

DATE 07/18/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026036

APPLICANT ROBERT SHEPPARD PHONE 623-2203
ADDRESS 6355 SE CR 245RIVE LAKE CITY FL 32025
OWNER DON & BEBRA SLOAN PHONE 386.752.0980
ADDRESS 636 SW BOSTON TERR FT. WHITE FL 32038
CONTRACTOR ROBERT SHEPPARD PHONE 752-0980

LOCATION OF PROPERTY 47-S TO US 27,TR TO RIVERSIDE,TL TO UTAH,TL TO WASHINGTON
TR, TO BOSTON,TR APPROX. 1/4 MILE ON R BEFORE MONTANA

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES

FOUNDATION WALLS ROOF PITCH FLOOR

LAND USE & ZONING A-3 MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 26-6S-15-01100-000 SUBDIVISION 3 RIVERS ESTATES

LOT 105 BLOCK PHASE UNIT 18 TOTAL ACRES

IH0000833
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor Robert Sheppard
EXISTING 07-565-E BK JH Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, TT MUST BE REMOVED

Check # or Cash 7007

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
 date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
 date/app. by date/app. by
Reconnection Pump pole Utility Pole
 date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 16.74 WASTE FEE \$ 50.25

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 341.99

INSPECTORS OFFICE Gale Tedlow CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 9-22-06) Zoning Official afg 7/18/07 Building Official OK JTH 7-16-07

AP# 0707-36 Date Received 7/13/07 By G Permit # 26036

Flood Zone X Development Permit — Zoning A-3 Land Use Plan Map Category A-3

Comments Travel trailer must be removed.

FEMA Map# _____ Elevation DEED Finished Floor _____ River _____ In Floodway _____

☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☐ Well letter ☒ Existing well

☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from installer

☐ State Road Access ☐ Parent Parcel # _____ ☐ STUP-MH _____

Property ID # 00-00-00-01100-00 Subdivision Three Rivers Estates Lot 105 Unit 18

- New Mobile Home _____ Used Mobile Home ☒ Year 2006
- Applicant Robert Sheppard Phone # 386-752-0980
- Address 6355 SE CR 245, Lake City, FL 32055
- Name of Property Owner Donald + Debra Sloan Phone# same
- 911 Address 636 SW Boston Terr, Ft. White, FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Same Phone # 752-0980
Address Same
- Relationship to Property Owner none
- Current Number of Dwellings on Property 0 - travel trailer pop-up camper (to be moved)
- Lot Size 100 x 400 Total Acreage .91 acres
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home no
- Driving Directions to the Property From Lake City, go out Hwy 47 S. to Ft. White, FL. At the light, turn rt. onto Hwy 27 N. go 3 miles right before Fitchuckne Bridge, turn left into 3 Rivers Estates, turn left onto Utah, rt. onto Washington, left onto SW Boston Terr. go about 1 mile down on rt. Name is on a sign. (Riverside Ave)
- Name of Licensed Dealer/Installer Robert Sheppard Phone # 386-623-2203
- Installers Address 6355 SE CR 245 Lake City
- License Number FH0000833 Installation Decal # 278546

PERMIT NUMBER

PERMIT WORKSHEET

Installer

Robert Sheppard

License #

TH 0000833

Address of home being installed

Manufacturer

Fleetwood

Length x width

16x80

NOTE:

*if home is a single wide fill out one half of the blocking plan
if home is a triple or quad wide sketch in remainder of home*

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's initials

RS

New Home

☐

Used Home

☒

Home installed to the Manufacturer's Installation Manual

Home is installed in accordance with Rule 15-C

☒

Single wide

☒

Wind Zone II

☒

Wind Zone III

☐

Double wide

☐

Installation Decal #

278546

Triple/Quad

☐

Serial #

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (256)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	6'	7'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size

17x22

Perimeter pier pad size

17x22

Other pier pad sizes (required by the mfg.)

17x22

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft

5 ft

FRAME TIES

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer

Over 1101

OTHER TIES

Number

24

within 2' of end of home spaced at 5' 4" oc

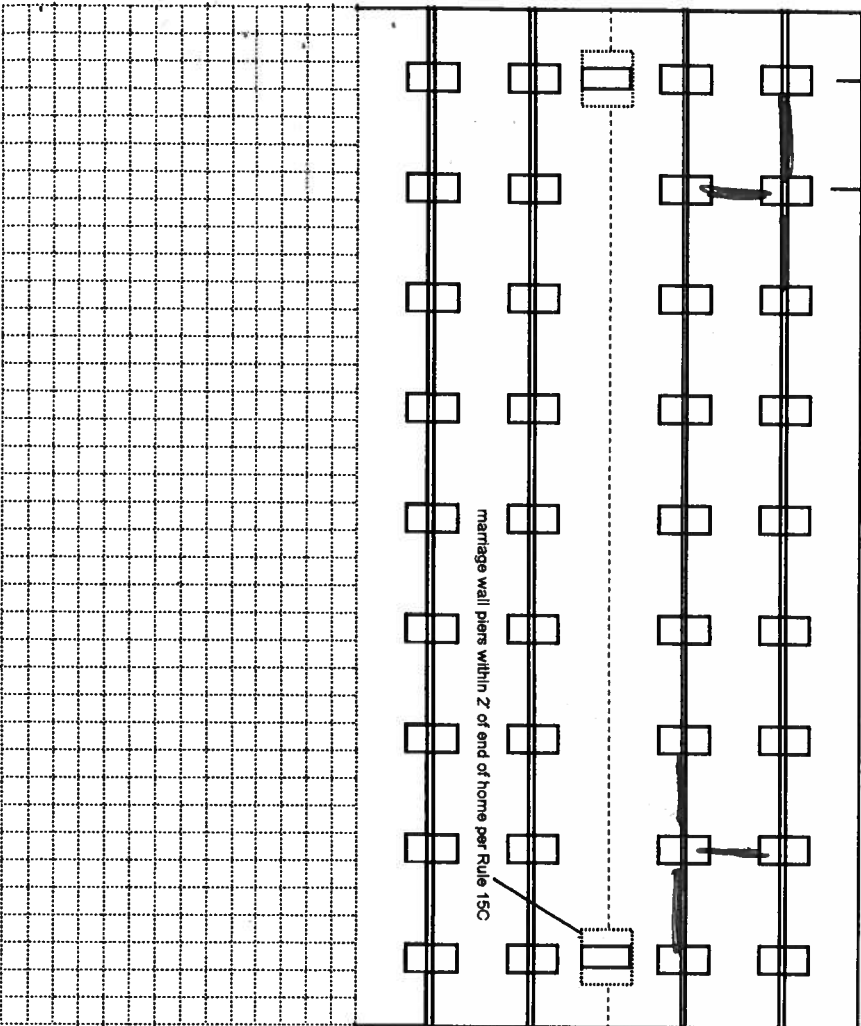
24

Sidewall

Longitudinal

Marriage wall

Shearwall



POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

x 1700 x 1700 x 1700

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1700 x 1700 x 1700

TORQUE PROBE TEST

The results of the torque probe test is 245 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

PS Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Robert Shefferson

Date Tested

7-9-07

Electrical

Plumbing

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 28

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 22

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: 1/2" Length: 3" Spacing: 12"
Walls: Type Fastener: 1/2" Length: 3" Spacing: 12"
Roof: Type Fastener: 1/2" Length: 3" Spacing: 12"
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket

Installed:

Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 22
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☐ No ☐
Dryer vent installed outside of skirting. Yes ☐ N/A ☒
Range downflow vent installed outside of skirting. Yes ☐ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒
Other: ☐

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 45C-1 & 2

Installer Signature

Robert Shefferson Date 7-9-07

This Instrument Prepared by & return to:
Name: Melanie Bowman, an employee of
TITLE OFFICES, LLC
Address: 1089 SW MAIN BLVD.
LAKE CITY, FLORIDA 32025
File No. 06Y-04056MDB

Parcel I.D. #: 01100-000

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 24th day of May, A.D. 2006, by **SUSAN BYNUM, A MARRIED PERSON**, hereinafter called the grantor, to **DONALD J. SLOAN and DEBRA S. SLOAN, HIS WIFE**, whose post office address is **579 SE BAYA DR, LAKE CITY, FL. 32025**, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in **Columbia County, State of Florida**, viz:

Lot 105, THREE RIVER ESTATES, Unit 18, according to the map or plat thereof as recorded in Plat Book 6, Page 12, of the Public Records of Columbia County, Florida.

**** THE ABOVE SAID PROPERTY IS NOT THE HOMESTEAD PROPERTY OF THE GRANTOR ****

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Marta Bryan

Witness Signature

MARTA BRYAN

Printed Name

Rogina Simpkins

Witness Signature

Rogina Simpkins

Printed Name

Susan Bynum L.S.

SUSAN BYNUM

Address:

2714 SW SANTA FE DR, FT. WHITE, FL 32038

Inst: 2006013336 Date: 06/02/2006 Time: 14:56

Doc Stamp-Deed : 227.50

DC, P. Dewitt Cason, Columbia County B:1085 P:1648

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 24th day of May, 2006, by **SUSAN BYNUM**, who is known to me or who has produced [Signature] as identification.

Marta Bryan

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 7/9/2007 DATE ISSUED: 7/11/2007

ENHANCED 9-1-1 ADDRESS:

636 SW BOSTON TER
FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

00-00-00-01100-000

Remarks:

LOT 105 UNIT 18 THREE RIVERS ESTATES.

Address Issued By:


Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

843

Approved Address

JUL 11 2007

911Addressing/GIS Dept

BUILDING - BUILDING PERM NO. 1336-TSS-0160

JUL 10 2007 09:00 AM

PRELIMINARY MOBILE HOME INSPECTION REPORT

EFFECTIVE 7-9-07 BY LA IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? NOHOME NAME Chris & Ashley Todd PHONE 963-2605 CELL _____

ADDRESS _____

MOBILE HOME PARK NO SUBDIVISION NOGIVING DIRECTIONS TO MOBILE HOME See attached sheet

MOBILE HOME INSTALLER _____ PHONE _____ CELL _____

MOBILE HOME INFORMATION

MAKE Winward YEAR 06 SIZE 16 x 80 COLOR Tan/WhiteSERIAL NO. GAFL 607A555 67A V21WIND ZONE 1 Must be wind zone II or higher NO WIND ZONE I ALLOWED

INTERIOR:

INSPECTION STANDARDS

P or F) ☒ PASS ☐ FAILED

SMOKE DETECTOR () OPERATIONAL () MISSING

FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION _____

DOORS () OPERABLE () DAMAGED

WALLS () SOLID () STRUCTURALLY UNSOUND

WINDOWS () OPERABLE () INOPERABLE

PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING

CEILING () SOLID () HOLES () LEAKS APPARENT

ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT FIXTURES MISSING

EXTERIOR:

WALLS: SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING

WINDOWS () CRACKED/BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT

ROOF () APPEARS SOLID () DAMAGED

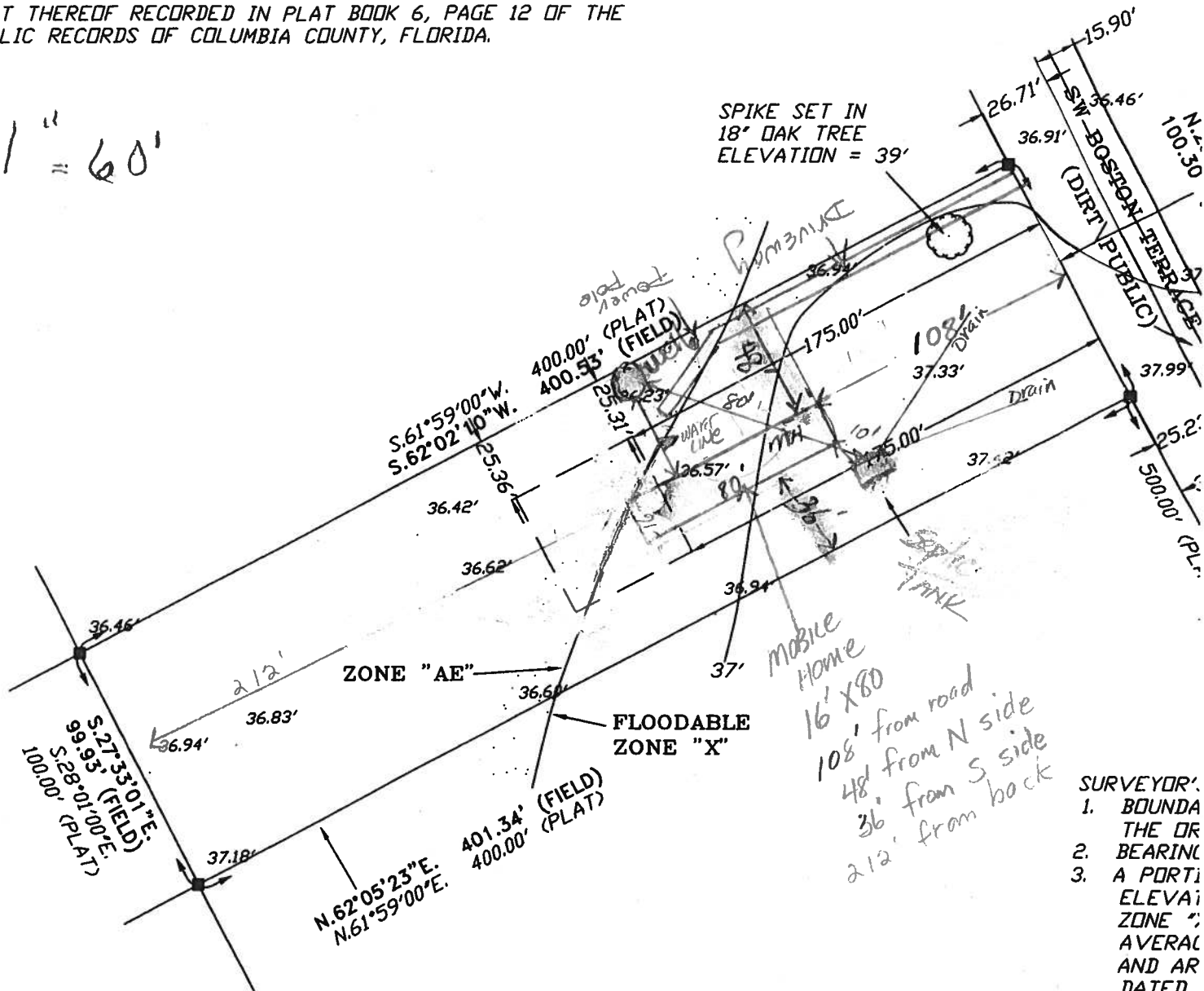
STATUS:

APPROVED ☒ WITH CONDITIONS: _____NOT APPROVED ☐ NEED REINSPECTION FOR FOLLOWING CONDITIONS: _____SIGNATURE Dwy ID NUMBER 306 DATE 7-11-07

DESCRIPTION:

LOT 105 OF 'THREE RIVERS ESTATES UNIT NO. 18' AS PER
PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 12 OF THE
PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

1" = 60'



NOTE: ALL PROPERTY CORNERS HAD NO IDENTIFICATION.

Donald Sloan
07/12/07
REVISED ON 07/10/06.

- SURVEYOR'S
1. BOUND
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THIS S
6. THIS S
POLICY.

CERTIFIED TO:
DEBRA SLOAN

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE
TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESS
IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTI

06/27/06 06/30/06
FIELD SURVEY DATE DRAWING DATE

Donald Sloan
CERTIFICATION

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A
MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES

FIELD BOOK: 286 PAGE(S): 60



STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

07-0565E

Permit Application Number _____

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.

SEE
ATTACHED

Notes: _____

Site Plan submitted by: _____
Signature

OWNER

Title

an Approved ☒ Not Approved _____

Date 7-13-07

Silvia Ford ESU

Columbia CHD

County Health Department

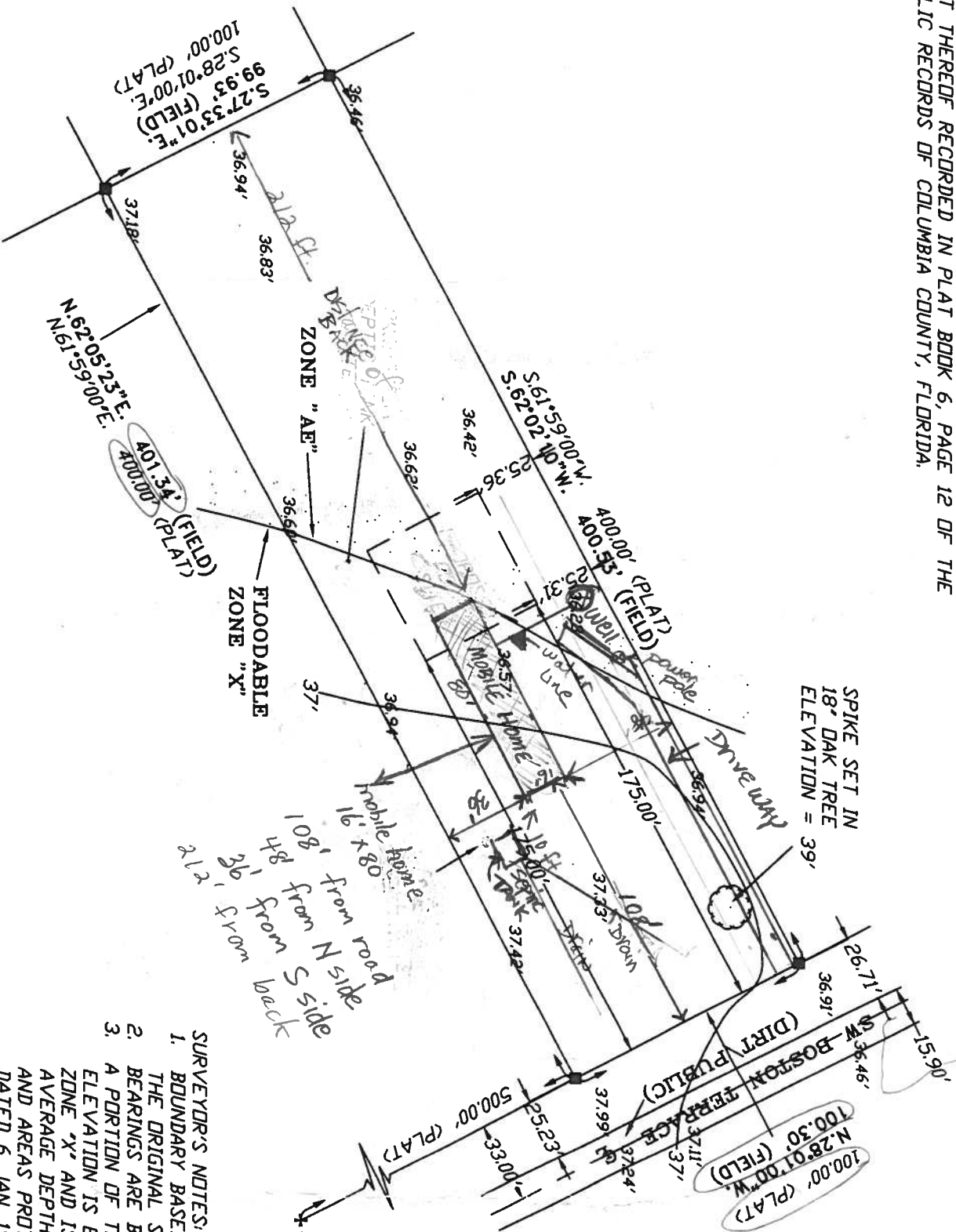
ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

To Building of 20ning

DESCRIPTION:
LOT 105 OF "THREE RIVERS ESTATES UNIT NO. 18" AS PER
PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 12 OF THE
PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

100 X 400 property dimensions

BOUNDARY SURVEY IN SECTION 26, TOWNSHIP 6 SOUTH,
RANGE 15 EAST,
COLUMBIA COUNTY, FLORIDA.



SCALE: 1" = 60'

SYMBOL		LEGEND
■	4'X4' CONCRETE MONUMENT FOUND	
□	4'X4' CONCRETE MONUMENT SET	
●	IRON PIPE FOUND	
○	IRON PIN AND CAP SET	
⊕	POWER POLE	
▲	WATER METER	
⌒	CENTERLINE	
*	WELL	
⊙	SATELLITE DISH	
⊙	TELEPHONE BOX	
—E—	ELECTRIC LINES	
—*—	WIRE FENCE	
—Φ—	CHAIN LINK FENCE	
—Φ—	WOODEN FENCE	

NOTE: ALL PROPERTY CORNERS HAD NO IDENTIFICATION.

REVISED DN 07/10/06.

CERTIFIED TO:

DEBRA SLDAN

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM
TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS
IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

06/27/06

06/30/06

FIELD SURVEY DATE

DRAWING DATE

DEBRA SLDAN, P.S.S.

CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND
MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

BRITT

BRITT SURVEYING

LAND SURVEYORS AND MAPPERS

830 WEST DUVAL STREET LAKE CITY, FLORIDA 32055

(386)752-7163 FAX (386)752-5573

WORK ORDER # L-17490