

DATE 02/09/2017

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000034923

APPLICANT MATTHEW ERKINGER PHONE 754-5555

ADDRESS 248 SE NASSAU ST LAKE CITY FL 32025

OWNER JOHN R MCCLAIN III PHONE 386-365-0066

ADDRESS 220 SE KLONDIKE PLACE LAKE CITY FL 32025

CONTRACTOR MATTHEW ERKINGER PHONE 754-5555

LOCATION OF PROPERTY EAST BAY AVE. R COUNTRY CLUB, R WOODHAVEN ST, R CUSTER WAY,
L KLONDIKE PL. THROUGH CUL-DE-SAC TO LEFT GATE

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 113450.00

HEATED FLOOR AREA 1721.00 TOTAL AREA 2269.00 HEIGHT 1 STORIES 1

FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH FLOOR SLAB

LAND USE & ZONING RSE-2 MAX. HEIGHT 35

Minimum Set Back Requirements: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.DUL 0 FLOOD ZONE AH DEVELOPMENT PERMIT NO. 17-002

PARCEL ID 09-4S-17-08301-008 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 10.01

CRC1330825 *x Matthew Erkinger*

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant Owner/Contractor

PRIVATE 17-0061-N BS TC N

Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time/STUP No.

COMMENTS: MINIMUM FLOOR ELEVATION IS 104.5'. NEED ELEVATION CERTIFICATE ON

FINISHED CONSTRUCTION INCLUDING ALL MACHINERY BEFORE POWER

NOC ON FILE Check # or Cash 11441

FOR BUILDING & ZONING DEPARTMENT ONLY

(Footer Slab)

Temporary Power Foundation Monolithic

 date/app. by date/app. by date/app. by

Under slab rough-in plumbing Slab Sheathing/Nailing

 date/app. by date/app. by date/app. by

Framing Insulation

 date/app. by date/app. by

Rough-in plumbing above slab and below wood floor Electrical rough-in

 date/app. by date/app. by

Heat & Air Duct Perf. beam (Lintel) Pool

 date/app. by date/app. by

Permanent power C/O Final Culvert

 date/app. by date/app. by

Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing

 date/app. by date/app. by

Reconnection RV Re-roof

 date/app. by date/app. by

BUILDING PERMIT FEE \$ 570.00 CERTIFICATION FEE \$ 11.35 SURCHARGE FEE \$ 11.35MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ PLAN REVIEW FEE \$ 143.00 DP & FLOOD ZONE FEE \$ 75.00 CULVERT FEE \$ TOTAL FEE 860.70INSPECTOR'S OFFICE *Z* CLERK'S OFFICE *CH*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

\$860.70

CK# 11441

Columbia County New Building Permit Application

For Office Use Only Application # 1702-07 Date Received 2-1-17 By UA Permit # 34923
Zoning Official PHS Date 2-8-17 Flood Zone AH Land Use RLD Zoning RSF-2
FEMA Map # 0311C BFE Elevation 103.5 MFE 104.5 River N/A Plans Examiner T.C Date 2-8-17
Comments Need Elevation Certificate on finished construction before Perm Power
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☒ Parent Parcel # 08301-009
☒ Dev Permit # 17-002 MA Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☐ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 17-0061-N OR City Water Fax
Applicant (Who will sign/pickup the permit) Matthew A. Erkinger Sr. Phone (386) 754-5555
Address 248 SE NASSAU ST. Lake City, FL 32025
Owners Name John R. McClain, III Phone (386) 365-0066
911 Address 220 SE Klondike Place Lake City, FL 32025
Contractors Name Erkinger Construction Group Phone (386) 754-5555
Address 248 SE NASSAU ST. LAKE CITY, FL 32025
Contractor Email info@erkingerhomes.com ***Include to get updates on this job.
Fee Simple Owner Name & Address

Bonding Co. Name & Address
Architect/Engineer Name & Address Mark Disosway 163 SW Midtown Pl. #103 Lake City
Mortgage Lenders Name & Address First Federal Savings Bank of FL 4705 W. US 90 L.C.

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy
Property ID Number 08301-008 Estimated Construction Cost \$150K
Subdivision Name Lot Block Unit Phase

Driving Directions from a Major Road Baya Ave East, Turn Right Country Club Road
Turn Right SE Woodhaven Street to end, Turn Right SE
Custer Way to end, Turn Left on Klondike Place to Left Gate

Construction of SINGLE STORY RESIDENCE Commercial OR X Residential
Proposed Use/Occupancy Private Home Number of Existing Dwellings on Property 1
Is the Building Fire Sprinkled? N/A If Yes, blueprints included Or Explain

Circle Proposed - Culvert Permit or (Culvert Waiver) or D.O.T. Permit or Privatized Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 95' Side 225'+ Side 500'+ Rear 475'+
Number of Stories 1 Heated Floor Area 1721 Total Floor Area 2269 Acreage 10

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) ? 44.9

They had parcel # 08301-008, if they split of 10 ac - we need to check
Parcel #, Septic Permit shows UA, so attached needs.

Columbia County Building Permit Application

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

John R. McChin
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

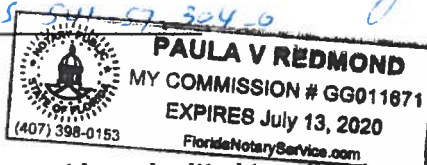
[Signature]
Contractor's Signature

Contractor's License Number LRC 1330825
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27th day of January 202017

Personally known _____ or Produced Identification FL DLE 625 SU 07 324 6
[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:



Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

Notification:

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

(2)

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1702-07 CONTRACTOR Matthew A. Erkinger SR PHONE 754-5555
 THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

☒ ELECTRICAL 74	Print Name <u>MARC MATTHEWS</u> License #: <u>EC13005459</u>	Signature <u>[Signature]</u> Phone #: <u>386-244-2029</u>
☒ MECHANICAL/ A/C 1052	Print Name <u>RICHARD REGISTER</u> License #: <u>CAC041267</u>	Signature <u>[Signature]</u> Phone #: <u>904-384-2862</u>
☒ PLUMBING/ GAS 710	Print Name <u>CODY BARRS</u> License #: <u>CFC1427145</u>	Signature <u>[Signature]</u> Phone #: <u>386-623-0509</u>
☒ ROOFING 1034	Print Name <u>WAIN POWELL</u> License #: <u>CCC051307</u>	Signature <u>[Signature]</u> Phone #: <u>386-294-1755</u>
☐ SHEET METAL	Print Name <u>N/A</u> License #:	Signature _____ Phone #:
☐ FIRE SYSTEM/ SPRINKLER	Print Name <u>N/A</u> License #:	Signature _____ Phone #:
☐ SOLAR	Print Name <u>N/A</u> License #:	Signature _____ Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	_____	_____	_____
CONCRETE FINISHER	000218	Tony Jordan	[Signature]
FRAMING	000035	David Ponton	[Signature]
INSULATION	000240	WILL SIKES	[Signature]
STUCCO	_____	_____	_____
DRYWALL	CRC1330825	Matthew A. Erkinger Sr	[Signature]
PLASTER	_____	_____	_____
CABINET INSTALLER	CRC1330825	Matthew A. Erkinger Sr	[Signature]
PAINTING	000180	Scott Vogeli	[Signature]
ACOUSTICAL CEILING	_____	_____	_____
GLASS	000619	CARI Bullard	[Signature]
CERAMIC TILE	000546	RYAN HARDIN	[Signature] Below
FLOOR COVERING	000546	Ryan Hardin	[Signature]
ALUM/VINYL SIDING	000312	Paul Phinney	[Signature]
GARAGE DOOR	_____	_____	_____
METAL BLDG ERECTOR	_____	_____	_____

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

08301-008

Sales Print
Doc 709

This Instrument Prepared by & return to:
 Name: **Trish Lang, an employee of
 NORTH CENTRAL FLORIDA TITLE,
 LLC**
 Address: **343 NW COLE TER
 LAKE CITY, FL 32055
 File No. 16Y-09025TL**

Inst: 201612019267 Date: 11/28/2016 Time: 4:04PM
 Page 1 of 2 B: 1326 F: 912, P: DeWitt Casson, Clerk of Court
 Columbia, County, By: BD
 Deputy Clerk Doc Stamp-Deed: 0.70

Parcel I.D. #: **R08301-009**

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED Made the 22 day of November, A.D. 2016, by **JOHN R. MCCLAIN, A
 WIDOWER**, hereinafter called the grantor, to **JOHN R. MCCLAIN, III**, whose post office address is **127 SE
 LINDEN LOOP, LAKE CITY, FLORIDA 32025**, hereinafter called the grantees:

(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal
 representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration,
 receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm
 unto the grantees all that certain land situate in **Columbia County, State of Florida**, viz:

PART OF THE NE (1/4) OF THE SW (1/4) OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17
 EAST, COLUMBIA COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 5/8" IRON ROD, LB 7042, MARKING THE NW CORNER OF THE NE (1/4)
 OF THE SW (1/4) OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA
 COUNTY, FLORIDA, AND THENCE S. 01 DEGREES 12'10" E., ALONG THE WEST LINE OF
 SAID NE (1/4) OF THE SW (1/4), A DISTANCE OF 30.02 FEET TO A 5/8" IRON ROD, LS 4708,
 ON THE SOUTH LINE OF THE NORTH 30.00 FEET OF SAID NE (1/4) OF THE SW (1/4) AND
 THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE S. 89 DEGREES
 16'55" E., PARALLEL TO THE NORTH LINE OF SAID NE (1/4) OF THE SW (1/4), A DISTANCE
 OF 777.56 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED WEST LINE OF LOT
 31 OF "WOODHAVEN UNIT IV", A SUBDIVISION AS PER THE PLAT THEREOF RECORDED
 IN PLAT BOOK 4, PAGE 108 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA;
 THENCE S. 01 DEGREES 35'25" E., 266.10 FEET TO A CONCRETE MONUMENT, LS 1950,
 MARKING THE NW CORNER OF LOT 29 OF SAID "WOODHAVEN UNIT IV"; THENCE N. 89
 DEGREES 05'28" W., 19.84 FEET TO A 5/8" IRON ROD, LB 6685, MARKING THE NW CORNER
 OF LANDS IDENTIFIED AS "PARCEL 2" AS DESCRIBED IN OFFICIAL RECORDS
 BOOK (ORB) 822, PAGE 181, OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY,
 FLORIDA; THENCE S. 01 DEGREES 38'17" E., 123.30 FEET TO A 5/8" IRON ROD, LB 6685,
 MARKING THE SW CORNER OF SAID PARCEL 2; THENCE S. 88 DEGREES 46'13" E., ALONG
 THE MONUMENTED SOUTH LINE OF SAID PARCEL 2, A DISTANCE OF 19.59 FEET TO THE
 WEST LINE OF THE AFOREMENTIONED LOT 29; THENCE S. 01 DEGREES 40'56" E., ALONG
 THE WEST LINE OF SAID "WOODHAVEN UNIT IV", A DISTANCE OF 173.51 FEET TO A 5/8"
 IRON ROD, LS 4708; THENCE N. 89 DEGREES 16'55" W., PARALLEL TO THE
 AFOREMENTIONED NORTH LINE OF THE NE (1/4) OF THE SW (1/4), A DISTANCE OF 781.49
 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENT WEST LINE OF SAID NE (1/4) OF
 THE SW (1/4); THENCE N. 01 DEGREES 12'10" W., 562.86 FEET TO THE POINT OF
 BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AND THE PUBLIC UTILITIES
 OVER AND ACROSS THE NORTH 30.00 FEET OF THE NE (1/4) OF THE SW (1/4) AND THE
 SOUTH 30.00 FEET OF THE SE (1/4) OF THE NW (1/4), ALL IN SECTION 9, TOWNSHIP 4
 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, LYING WEST OF THE RIGHT-
 OF-WAY OF SE KLONDIKE PLACE (PREVIOUSLY WOODHAVEN BOULEVARD), A 60 FOOT
 PUBLIC RIGHT-OF-WAY AS SHOWN ON SAID PLAT OF "WOODHAVEN UNIT IV", A
 SUBDIVISION AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 108 OF THE
 PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise
 appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that he is lawfully seized of said land in fee simple; that
 he has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and
 will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all
 encumbrances, except taxes accruing subsequent to December 31, 2016.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Witness Signature

Printed Name

Witness Signature

Printed Name

JOHN R. MCCLAIN

Address:

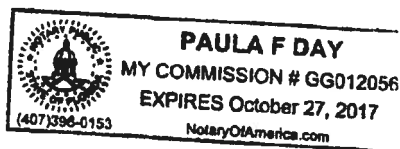
222 SE KLONDIKE PLACE, LAKE CITY,
FLORIDA 32025

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 22 day of November, 2016, by JOHN R. MCCLAIN, who is known to me or who has produced Driver License as identification.

Notary Public

My commission expires October 27, 2017



Recording Fees \$
Documentary Stamps \$
Total \$

PK 0889 102607

08301-009

Prepared By And Return To
SOUTHEAST TITLE GROUP, LLP

Address: 2015 So. First
Lake City, FL

SE File #99Y-10026/DH

FILED AND RECORDED IN PUBLIC
RECORDS OF FLORIDA COUNTY

OCT 14 PM 4:06

Property Appraiser's Parcel I.D. Number

09-48-17-08301-009

Grantee(s) S.S.#(s):

20

Documentary Stamp

Intangible Tax

P. DeWitt Cason

Clerk of Court

By *[Signature]* D.C.

WARRANTY DEED

THIS WARRANTY DEED made and executed the 8th day of October, 1999 by
JACK W. PERRY, A MARRIED PERSON, hereinafter called the Grantor, to
JOHN RANDALL MCCLAIN and GINGER LEE MCCLAIN, HIS WIFE, whose post office address is: RT. 12, BOX
564, LAKE CITY, FLORIDA 32025,
hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

WITNESSETH: That the Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate, lying and being in COLUMBIA County, State of Florida, viz:

EXHIBIT "A" ATTACHED HERETO AND BY REFERENCE MADE A PART HEREOF

☒ If this box is checked, the Grantor warrants that the above described property is not his/her constitutional homestead as defined by the laws of the State of Florida. He/she resides at
2702 S.E. 50TH TERR, OCALA, FL. 32471.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except easements, restrictions and reservations of record, if any, and taxes accruing subsequent to December 31, 1998.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

Witness: *[Signature]*

Witness: *[Signature]*

[Signature]
JACK W. PERRY

Address: 2702 SE 50TH TERRACE

OCALA, FL 32671

Witness:

Address 2702 SE 50TH TERRACE
OCALA, FL 32671

Witness:

STATE OF FLORIDA
COUNTY OF Columbia

I hereby certify that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgements, personally appeared **JACK W. PERRY, A MARRIED PERSON**, who produced the identification described below, and who acknowledged before me that they executed the foregoing instrument.
Witness my hand and official seal in the county and state aforesaid this 8th day of October, 1999.

[Signature]
Notary Public

Identification Examined: _____

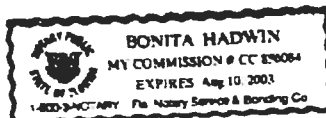


EXHIBIT "A"

COMMENCE AT THE NW CORNER OF THE NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST AND RUN THENCE S 1°12'10"EAST, ALONG THE WEST BOUNDARY OF SAID NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 575.00 FEET TO THE POINT OF BEGINNING; THENCE S 40°52'27"EAST, 1029.04 FEET TO THE SE CORNER OF THE W $\frac{1}{2}$ OF THE NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$; THENCE RUN N 89°25'23"WEST, ALONG THE SOUTH BOUNDARY OF THE W $\frac{1}{2}$ OF THE NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ A DISTANCE OF 657.24 FEET TO THE SW CORNER OF THE NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$; THENCE N 1°12'10"WEST, ALONG THE WEST BOUNDARY OF SAID NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 771.66 FEET TO THE POINT OF BEGINNING.

ALSO:

THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, LESS AND EXCEPT THE SOUTH 60 FEET THEREOF; LESS AND EXCEPT THE EAST 300 FEET THEREOF AND LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCELS OF LAND:

A STRIP OR PARCEL OF LAND IN THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SW CORNER OF SAID SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 9 AND RUN N 1°12'10"WEST, ALONG THE WEST LINE OF SAID SE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 60.00 FEET; THENCE S 89°34'56"EAST, PARALLEL TO THE SOUTH LINE OF SAID SE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING; THENCE N 1°12'10"WEST, PARALLEL TO SAID WEST LINE, OF SE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 211.52 FEET; THENCE S 89°34'56"EAST, PARALLEL TO SAID SOUTH LINE, OF SE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 823.24 FEET; THENCE S 1°39'04"EAST, PARALLEL TO THE EAST LINE OF SAID SE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 211.58 FEET; THENCE N 89°34'56"WEST, PARALLEL TO SAID SOUTH LINE OF SW $\frac{1}{4}$ A DISTANCE OF 824.90 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT: A STRIP OR PARCEL OF LAND IN THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCE AT THE SW CORNER OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, THENCE RUN N 1°12'10"WEST, ALONG THE WEST LINE OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, 60.00 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE N 1°12'10"WEST, 357.93 FEET, THENCE S 89°34'56"EAST, PARALLEL TO THE SOUTH LINE OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, 972.09 FEET, THENCE S 1°39'04"EAST, PARALLEL TO THE EAST LINE OF THE SE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$, 146.45 FEET, THENCE N 89°34'56"WEST, PARALLEL TO SAID SOUTH LINE, 823.24 FEET, THENCE S 1°12'10"EAST, PARALLEL TO SAID WEST LINE, 211.52 FEET, THENCE N 89°34'56"WEST, PARALLEL TO SAID SOUTH LINE, 150.00 FEET TO THE POINT OF BEGINNING, TOGETHER WITH THE SOUTH 30 FEET OF THE W $\frac{1}{2}$ OF THE SE $\frac{1}{4}$ OF THE NW $\frac{1}{4}$ AND THE NORTH 30 FEET OF THE W $\frac{1}{2}$ OF NE $\frac{1}{4}$ OF THE SW $\frac{1}{4}$ OF SAID SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA. (END OF LESS OUT)

ALSO:

A TRACT OF LAND IRREGULAR IN SHAPE LYING TOTALLY WITHIN THE NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ OF SAID SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: W $\frac{1}{2}$ OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$, LESS AND EXCEPT THE NORTH 30 FEET THEREOF AND LESS AND EXCEPT THE FOLLOWING DESCRIBED TRACT: COMMENCE AT THE NW CORNER OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ AND RUN THENCE S 1°12'10"EAST ALONG THE WEST BOUNDARY OF SAID NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 575.00 FEET TO THE POINT OF BEGINNING; THENCE S 40°52'27"EAST 1029.04 FEET TO THE SE CORNER OF W $\frac{1}{2}$ OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$; THENCE RUN N 89°25'23"WEST ALONG THE SOUTH BOUNDARY OF W $\frac{1}{2}$ OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 657.24 FEET TO THE SW CORNER OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$; THENCE N 1°12'10"WEST ALONG THE WEST BOUNDARY OF SAID NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ A DISTANCE OF 771.66 FEET TO THE POINT OF BEGINNING. (END OF LESS OUT)

ALSO:

THE E $\frac{1}{2}$ OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ LESS AND EXCEPT THE NORTH 30 FEET THEREOF AND LESS AND EXCEPT ALL LANDS LYING WITHIN SAID NE $\frac{1}{4}$ OF SW $\frac{1}{4}$ AS ARE INCLUDED IN WOODHAVEN UNIT IV, A SUBDIVISION AS RECORDED IN PLAT BOOK 4, PAGE 108, CURRENT PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, SAID WOODHAVEN UNIT IV CONSISTING OF THE EAST 528.02 FEET, MORE OR LESS, OF SAID E $\frac{1}{2}$ OF NE $\frac{1}{4}$ OF SW $\frac{1}{4}$; ALSO LESS AND EXCEPT .057 ACRES MORE OR LESS PREVIOUSLY CONVEYED TO DOYLE ROOKS AND PATRICIA ROOKS, HIS WIFE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGIN AT THE NW CORNER OF LOT 29, WOODHAVEN UNIT IV AND RUN S 01°39'04"EAST ALONG THE WEST BOUNDARY OF SAID LOT 29, A DISTANCE OF 123.33 FEET; THENCE RUN N 89°15'50" WEST, 20 FEET; THENCE RUN N 01°39'04"WEST 123.33 FEET; THENCE RUN S 89°15'50"EAST 20 FEET TO THE NW CORNER OF SAID LOT 29 AND THE POINT OF BEGINNING. (END OF LESS OUT)

updated: 12/8/2016

Tax Collector Tax Estimator Property Card

Parcel List Generator

<< Next Lower Parcel Next Higher Parcel >>

2016 TRIM (pdf)

[Interactive GIS Map](#)

Print

<< Prev

Search Result: 9 of 16

Next >>

0 690 1380 2070 2760 3450 4140 4830 ft

Mkt Land Value	cnt: (1)	\$0.00
Ag Land Value	cnt: (0)	\$8,306.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$8,306.00
Just Value		\$104,136.00
Class Value		\$8,306.00
Assessed Value		\$8,306.00
Exempt Value	(code: HX H3 13)	\$8,306.00
Total Taxable Value		Cnty: \$0 Other: \$0 Schl: \$0

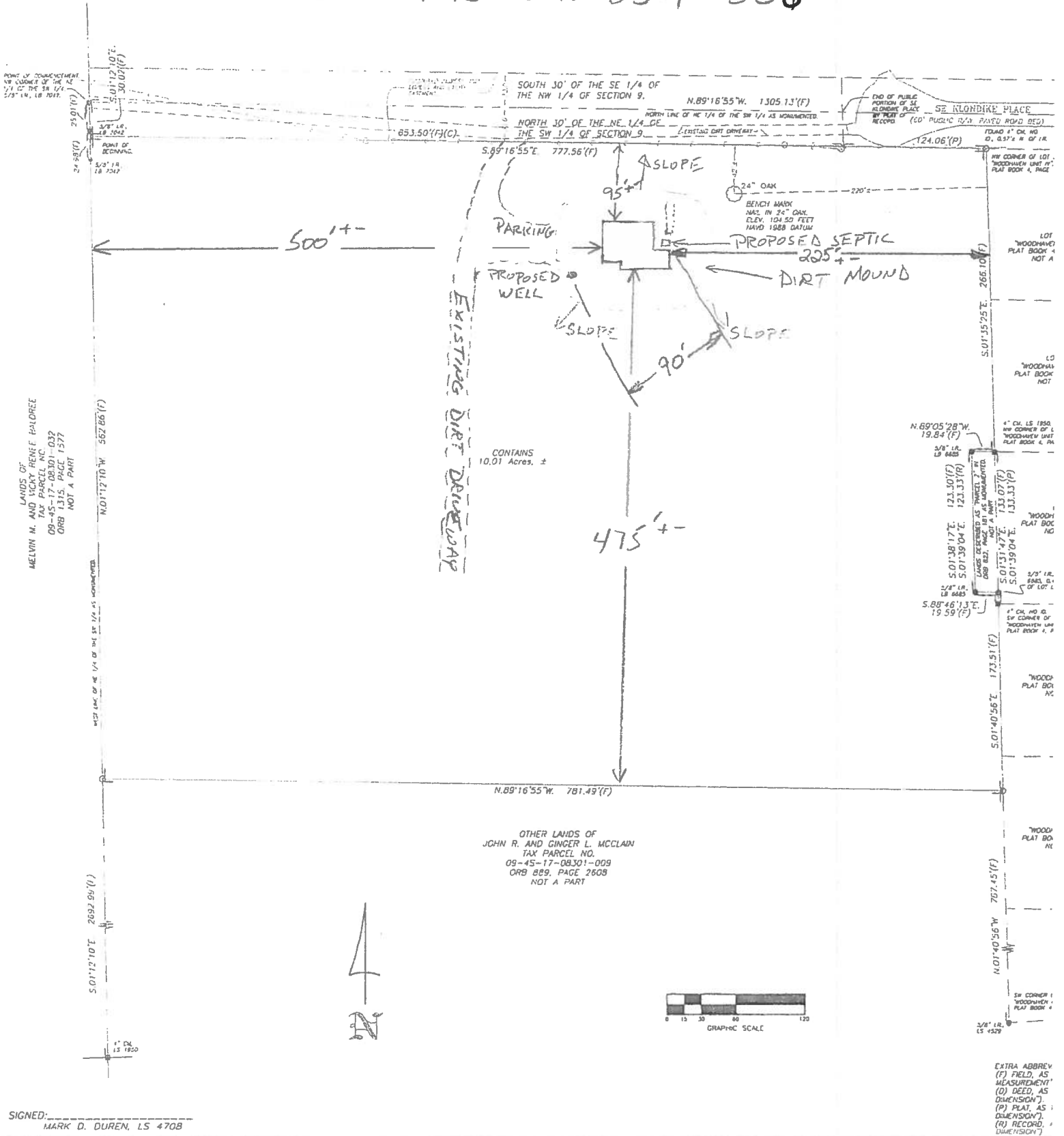
[Show Similar Sales within 1/2 mile](#)

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

SITE PLAN FOR JOHN R. McCLAIN

PARCEL # 09-45-17-R08301-008



EXTRA ABBREV
(F) FIELD, AS
MEASUREMENT
(D) DEED, AS
DIMENSION
(P) PLAT, AS
DIMENSION
(R) RECORD, AS
DIMENSION

13

THIS INSTRUMENT PREPARED BY
AND RETURN TO:
NORTH CENTRAL FLORIDA TITLE, LLC
343 NW COLE TER
LAKE CITY, FL 32055

Parcel I.D. #: R08301-009
Permit No.

Inst: 201612020873 Date: 12/22/2016 Time: 1:58PM
Page 1 of 2 B: 1327 P: 2470, P. DeWitt Cason, Clerk of Court
Columbia County, By: BD
Deputy Clerk

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF COLUMBIA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement. This Notice shall be void and of no force and effect if construction is not commenced within ninety (90) days after recordation.

1. Description of property: (Legal description of property, and street address if available)

127 SE LINDEN LOOP, LAKE CITY, FL 32025

PART OF THE NE (1/4) OF THE SW (1/4) OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 5/8" IRON ROD, LB 7042, MARKING THE NW CORNER OF THE NE (1/4) OF THE SW (1/4) OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA. AND THENCE S. 01 DEGREES 12'10" E., ALONG THE WEST LINE OF SAID NE (1/4) OF THE SW (1/4), A DISTANCE OF 30.02 FEET TO A 5/8" IRON ROD, LS 4708, ON THE SOUTH LINE OF THE NORTH 30.00 FEET OF SAID NE (1/4) OF THE SW (1/4) AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE S. 89 DEGREES 16'55" E., PARALLEL TO THE NORTH LINE OF SAID NE (1/4) OF THE SW (1/4), A DISTANCE OF 777.56 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENTED WEST LINE OF LOT 31 OF "WOODHAVEN UNIT IV", A SUBDIVISION AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 108 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE S. 01 DEGREES 35'25" E., 266.10 FEET TO A CONCRETE MONUMENT, LS 1950, MARKING THE NW CORNER OF LOT 29 OF SAID "WOODHAVEN UNIT IV"; THENCE N. 89 DEGREES 05'28" W., 19.84 FEET TO A 5/8" IRON ROD, LB 6685, MARKING THE NW CORNER OF LANDS IDENTIFIED AS "PARCEL 2" AS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 822, PAGE 181, OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE S. 01 DEGREES 38'17" E., 123.30 FEET TO A 5/8" IRON ROD, LB 6685, MARKING THE SW CORNER OF SAID PARCEL 2; THENCE S. 88 DEGREES 46'13" E., ALONG THE MONUMENTED SOUTH LINE OF SAID PARCEL 2, A DISTANCE OF 19.59 FEET TO THE WEST LINE OF THE AFOREMENTIONED LOT 29; THENCE S. 01 DEGREES 40'56" E., ALONG THE WEST LINE OF SAID "WOODHAVEN UNIT IV", A DISTANCE OF 173.51 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N. 89 DEGREES 16'55" W., PARALLEL TO THE AFOREMENTIONED NORTH LINE OF THE NE (1/4) OF THE SW (1/4), A DISTANCE OF 781.49 FEET TO A 5/8" IRON ROD, LS 4708, ON THE MONUMENT WEST LINE OF SAID NE (1/4) OF THE SW (1/4); THENCE N. 01 DEGREES 12'10" W., 562.86 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AND THE PUBLIC UTILITIES OVER AND ACROSS THE NORTH 30.00 FEET OF THE NE (1/4) OF THE SW (1/4) AND THE SOUTH 30.00 FEET OF THE SE (1/4) OF THE NW (1/4), ALL IN SECTION 9, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, LYING WEST OF THE RIGHT-OF-WAY OF SE KLONDIKE PLACE (PREVIOUSLY WOODHAVEN BOULEVARD), A 60 FOOT PUBLIC RIGHT-OF-WAY AS SHOWN ON SAID PLAT OF "WOODHAVEN UNIT IV", A SUBDIVISION AS PER THE PLAT THEREOF RECORDED IN PLAT BOOK 4, PAGE 108 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

2. General description of improvement: CONSTRUCTION OF A SINGLE FAMILY DWELLING

3. Owner information:

a. Name and address:

JOHN R. MCCLAIN, III

b. Interest in property: Fee Simple

c. Name and Address of Fee Simple Titleholder (if other than owner):

4. Contractor: (Name and Address)

ERKINGER CONSTRUCTION GROUP

248 SE NASSAU STREET, LAKE CITY, FLORIDA 32025

Telephone Number: 386-754-5555

5. Surety (if any):

- a. Name and Address:
Telephone Number: _____
b. Amount of Bond \$ _____

6. Lender: (Name and Address)
FIRST FEDERAL BANK OF FLORIDA
PO BOX 2029, LAKE CITY, FL 32056
Telephone Number: 386-755-0600

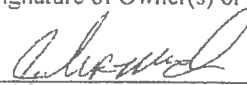
7. Persons within the State of Florida designated by Owner upon whom notice or other documents may be served as provided by Section 713.13(1)(a)(7), Florida Statutes: (Name and Address)
N/A

8. In addition to himself, Owner designates the following person(s) to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes: (Name and Address)
FIRST FEDERAL BANK OF FLORIDA
PO BOX 2029, LAKE CITY, FL 32056
Telephone Number: 386-755-0600

9. Expiration date of Notice of Commencement (the expiration date is 1 year from the date of recording unless a different date is specified) _____.

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Signature of Owner(s) or Owner's Authorized Officer/Director/Partner/Manager:



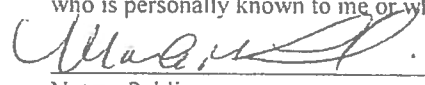
JOHN R. MCCLAIN, III {SEAL}

{SEAL}

The foregoing instrument was acknowledged before me this 16th day of December, 2016, by JOHN R. MCCLAIN, III, who is personally known to me or who has produced

Driver's License

as identification.

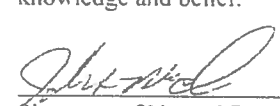


Notary Public
My Commission Expires: _____



Notary Public State of Florida
Maria M Landin
My Commission FF 160171
Expires 09/16/2018

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.



Signature of Natural Person Signing Above



COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT
263 NW Lake City Ave., Lake City, FL 32055

Telephone: (386) 758-1125 x 1 * Fax: (386) 758-1365 * Email: gis@columbiacountyfla.com



Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	1/17/2017 3:59:29 PM
Address:	220 SE KLONDIKE PI
City:	LAKE CITY
State:	FL
Zip Code	32025

Parcel ID	08301-008
-----------	------------------

REMARKS: Address for proposed structure on parcel.

Address Issued By: **Signed:/ Ronal N. Croft**

Columbia County GIS/911 Addressing Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

CR # 10-6439

PERMIT NO. 17-0066/N
DATE PAID: 1/30/17
FEE PAID: 310.00
RECEIPT #: 127396

APPLICATION FOR CONSTRUCTION PERMIT

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: JOHN R. MCCLAIN IIIAGENT: ERKINGER HOME BUILDERSTELEPHONE: (386) 754-5555MAILING ADDRESS: 248 SE NASSAU ST.LAKE CITYFL 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: METES AND BOUNDS PLATTED: _____PROPERTY ID #: 09-4S-17-08301-009 ZONING: AG I/M OR EQUIVALENT: ☐ NO ☐PROPERTY SIZE: 44.900 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☐ NO ☐ DISTANCE TO SEWER: N/A FTPROPERTY ADDRESS: 220 SE KLONDIKE PL LAKE CITY

DIRECTIONS TO PROPERTY: TAKE US 90 EAST, TURN RIGHT ON COUNTRY CLUB, TURN RIGHT ON WOOD HAVEN, TO END, TURN RIGHT ON CUSTERS WAY, TURN LEFT ON KLONDIKE, THRU GATE AT END OF STREET, SITE ON LEFT.

BUILDING INFORMATION ☒ RESIDENTIAL ☐ COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	HOUSE	4	1,721	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____SIGNATURE: [Signature] DATE: 1-30-17

17-0061N



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONLINE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT #: **12-SC-1736057**
APPLICATION #: **AP1273391**
DATE PAID: **130.17**
FEE PAID: **310.00**
RECEIPT #: **1273396**
DOCUMENT #: **PR1047471**

CONSTRUCTION PERMIT FOR: OSTDS NewAPPLICANT: JOHN**17-0061 McCLAIN IIIPROPERTY ADDRESS: 220 SE KLONDIKE Lake City, FL 32025

LOT: _____ BLOCK: _____ SUBDIVISION: _____

PROPERTY ID #: 08301-009 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065, F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [1,050] GALLONS / GPD NEW Septic Tank CAPACITY
A [] GALLONS / GPD N/A CAPACITY
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK:1250 GALLONS]
K [] GALLONS DOSING TANK CAPACITY [] GALLONS @ [] DOSES PER 24 HRS #Pumps []

D [500] SQUARE FEET min. req'd drainfield SYSTEM
R [] SQUARE FEET N/A SYSTEM

A TYPE SYSTEM: [x] STANDARD [] FILLED [] MOUND []

I CONFIGURATION: [x] TRENCH [] BED []

N

F LOCATION OF BENCHMARK: nail in 15inch oak tree east of system site

I ELEVATION OF PROPOSED SYSTEM SITE [0.00] [INCHES] FT [] ABOVE [] BELOW BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [18.00] [INCHES] FT [] ABOVE [] BELOW BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [0.00] INCHES EXCAVATION REQUIRED: [] INCHES

O

The system is sized for 4 bedrooms with a maximum occupancy of 8 persons (2 per bedroom), for a total estimated flow of 400 gpd.

T

The licensed contractor installing the system is responsible for installing the minimum category of tank in accordance with s. 64E-6.013(3)(f), FAC.

H

E

R

SPECIFICATIONS BY: PAUL LLOYD TITLE: PSEAPPROVED BY: Karen J. Evans TITLE: OPS Environmental Specialist I Columbia CHDDATE ISSUED: 01/31/2017EXPIRATION DATE: 07/31/2018

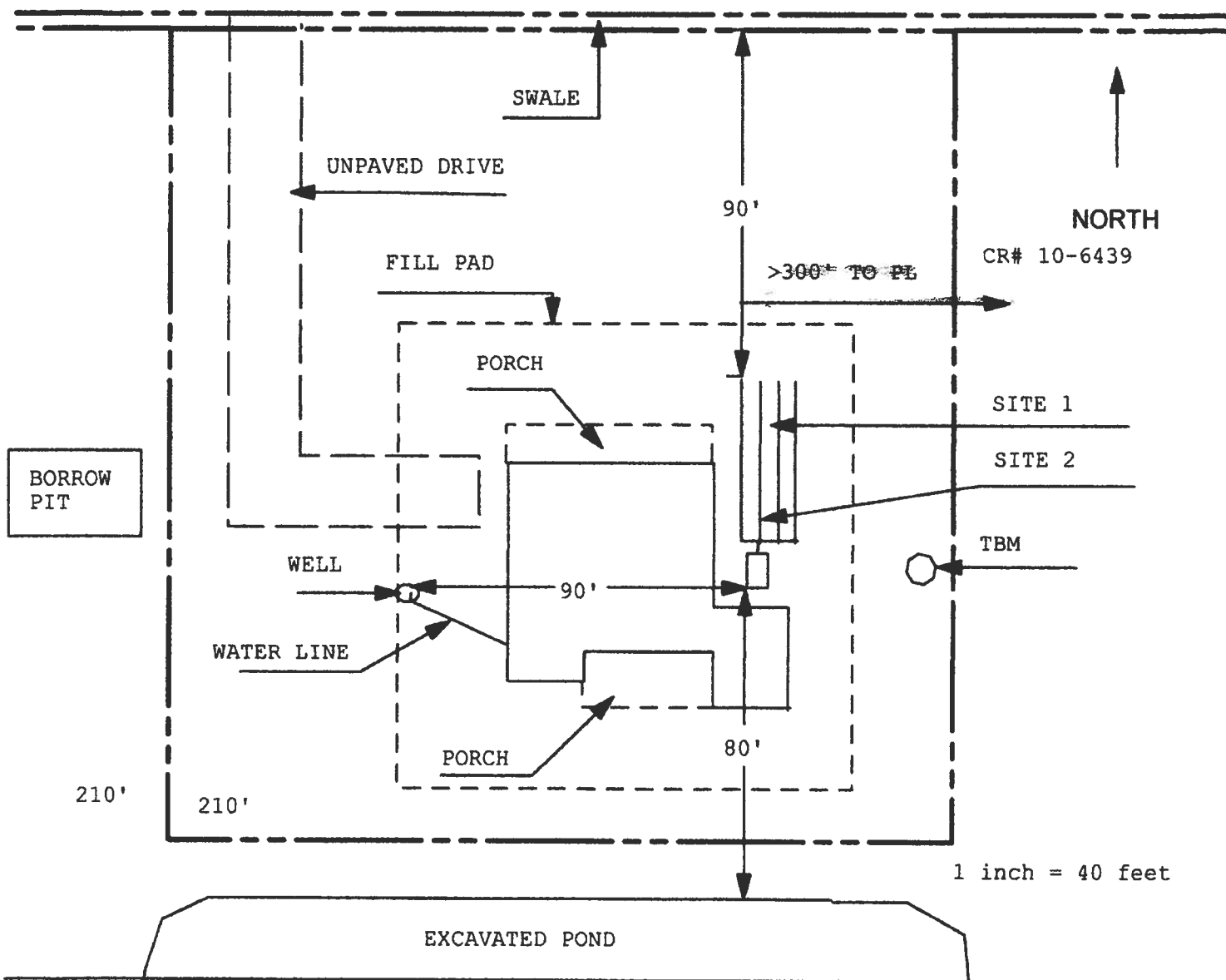
DH 4016, 08/09 (Obsoletes all previous editions which may not be used)

Incorporated: 64E-6.003, FAC

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan

Permit Application Number: 17-0006/NI

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By [Signature] Date 1/22/17
Plan Approved ☒ Not Approved ☐ Date 1-31-17
By Karen J. Evans Columbia CPHU

Notes: _____

12
CLYATT WELL DRILLING, INC.

(Established in 1971)

Post Office Box 180

Worthington Springs, FL 32697

*Phone (386)496-2488 *** FAX (386)496-4640*

WELL DESCRIPTION

DESCRIPTION DATE

CUSTOMER NAME AND ADDRESS

Erkinger Home Builders
Attn.: Matthew A. Erkinger
248 Southeast Nassau Street
Lake City, Florida 32025

DESCRIPTION OF WORK

4" Well and Pump

DESCRIPTION

Feet 4" Well

1 HP Submersible Pump

1-1/4" Drop Pipe

14/3 Submersible Pump Wire

81 Gallon Captive Air Tank

4 X 1-1/4 Well Seal

Pressure Relief Valve

Controls and Fittings

The above description is provided to give a brief description of the residential water well to be constructed by Clyatt Well Drilling, Inc.

**Columbia County Building Department
Flood Development Permit**

**Development Permit
F 023- 17-002**

DATE 02/09/2017 BUILDING PERMIT NUMBER 000034923
APPLICANT MATTHEW ERKINGER PHONE 754-5555
ADDRESS 248 SE NASSAU ST LAKE CITY FL 32025
OWNER JOHN R MCCLAIN III PHONE 386-365-0066
ADDRESS 220 SE KLONDIKE PLACE LAKE CITY FL 32025
CONTRACTOR MATTHEW ERKINGER PHONE 754-5555
ADDRESS 248 SE NASSAU ST LAKE CITY FL 32025
SUBDIVISION _____ Lot _____ Block _____ Unit _____ Phase _____
TYPE OF DEVELOPMENT SFD, UTILITY PARCEL ID NO. 09-4S-17-08301-008

FLOOD ZONE AH BY BS 2-4-2009 FIRM COMMUNITY # 120070 - PANEL # _____
FIRM 100 YEAR ELEVATION 103.5' PLAN INCLUDED YES or NO
REQUIRED LOWEST HABITABLE FLOOR ELEVATION 104.5'
IN THE REGULATORY FLOODWAY YES or NO RIVER NONE
SURVEYOR / ENGINEER NAME _____ LICENSE NUMBER _____

Not needed ONE FOOT RISE CERTIFICATION INCLUDED

Not needed ZERO RISE CERTIFICATION INCLUDED

Not needed SRWMD PERMIT NUMBER _____
(INCLUDING THE ONE FOOT RISE CERTIFICATION)

DATE THE FINISHED FLOOR ELEVATION CERTIFICATE WAS PROVIDED _____

INSPECTED DATE _____ BY _____

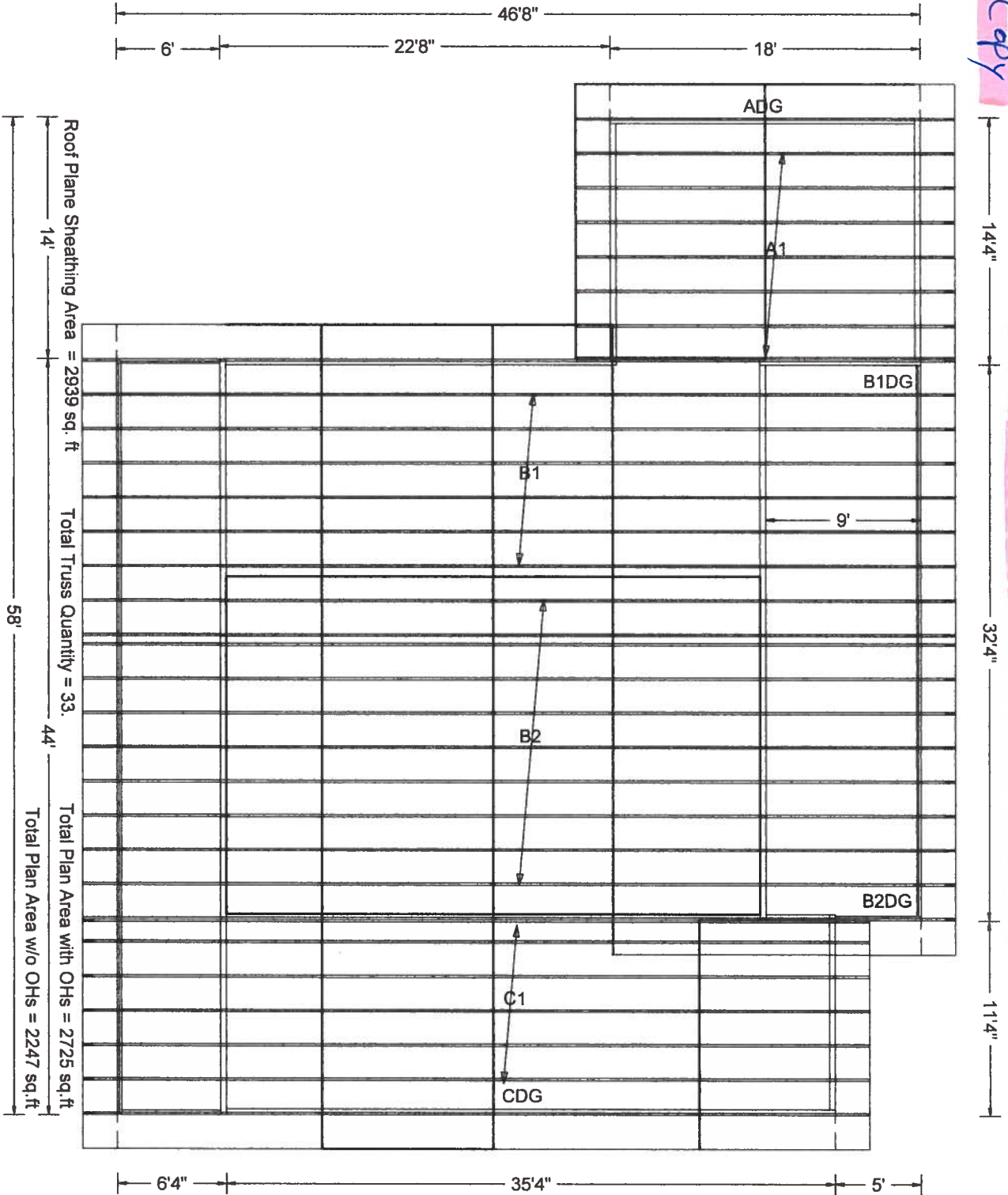
COMMENTS _____

135 NE Hernando Ave., Suite B-21
Lake City, Florida 32055
Phone: 386-758-1008
Fax: 386-758-2160



Perm. # 34923
Country Copy

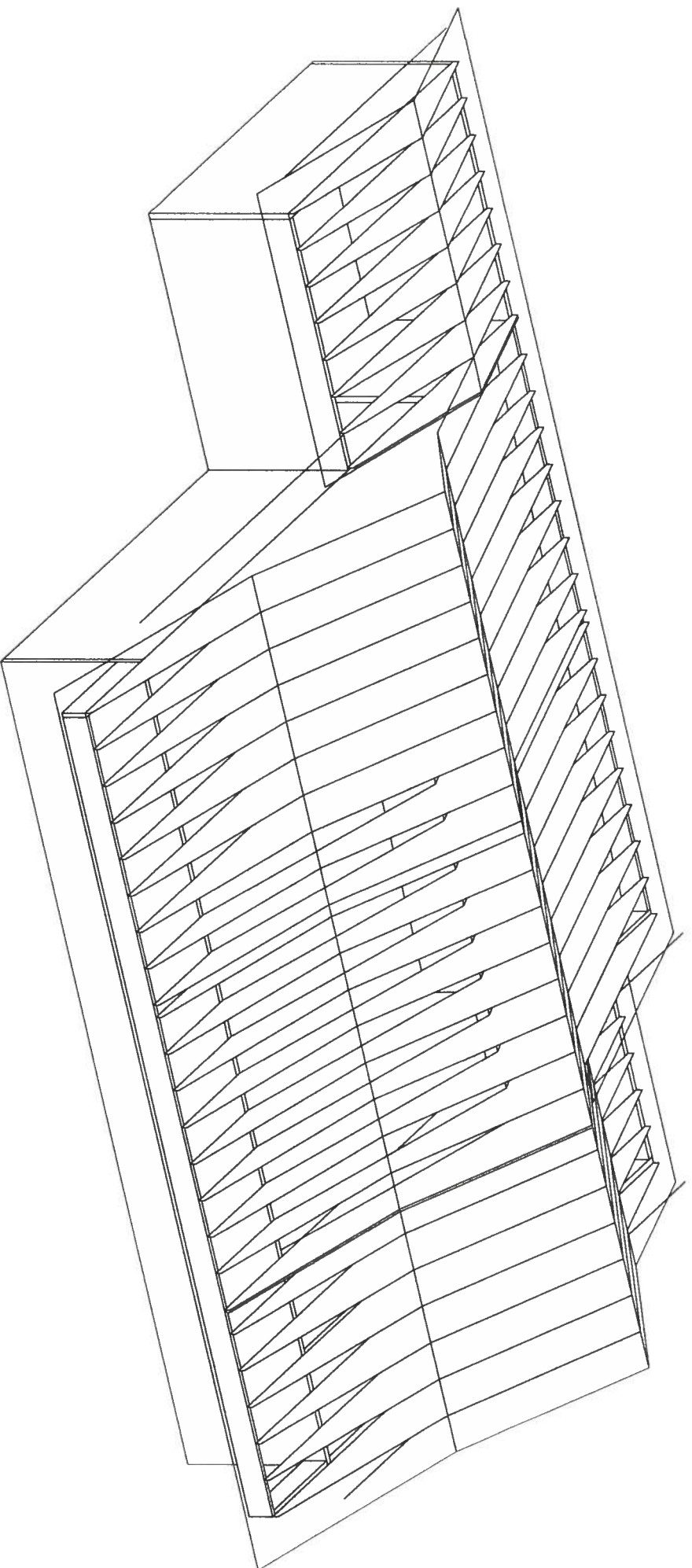
John McLain Res rev 2/2/17



Job Name: McLain Res
Customer: Curt Burlingame
Designer: Curt Burlingame
PlanName: q
Created : 02-14-2017
SemRef# : B45518a

JOB NO:
B45518a

PAGE NO:
1 OF 1





Alpine, an ITW Company
2400 Lake Orange Dr., Suite 150
Orlando, FL 32837
Phone: (800)755-6001
alpineitw.com

Site Information:

Customer: Seminole Trusses, Inc.	Job Number: B45518a
Job Description: McLain Res	
Address:	City, State, Zip: Ft White, FL

Name, Address and License # of Structural EOR if one exists for the building:

Name:	License #:	State:
Address:	City, State, Zip:	

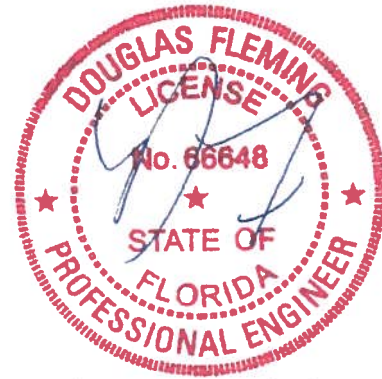
Job Engineering Criteria:

Design Code: FBC 2014 RES	View Version: 16.01.00.0504.20	JRef #: 1VYc8570005
Wind Standard: ASCE 7-10	Wind Speed (mph): 130	Roof Load (psf): 20.00- 7.00- 0.00- 10.00
		Floor Load (psf): None

This package contains a job notes page, 8 truss drawings and 3 details.

Item	Seal #	Truss
1	045.17.1356.27863	ADG
3	045.17.1356.36440	B1
5	045.17.1358.17073	B2
7	045.17.1357.35677	B2DG

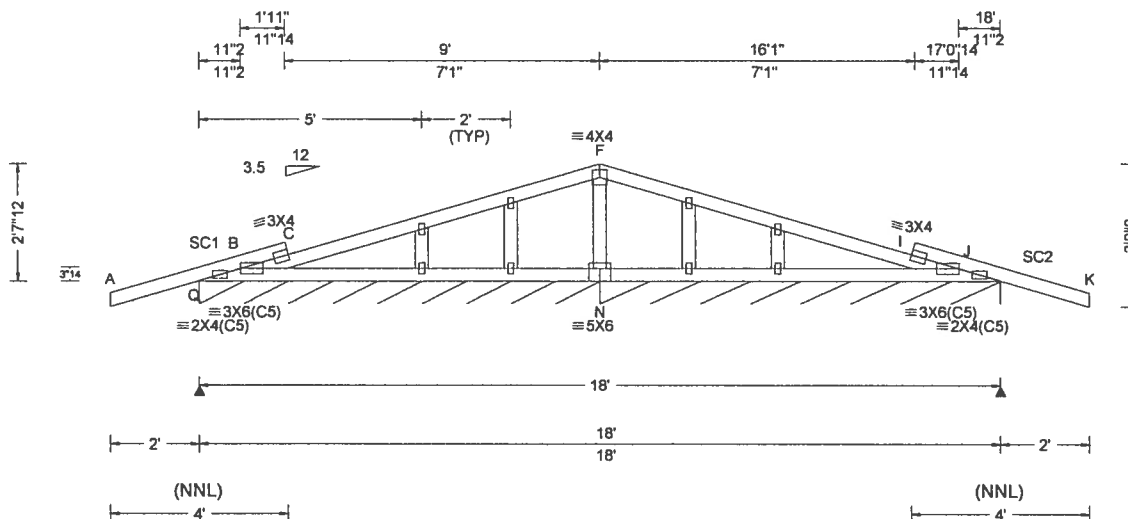
Item	Seal #	Truss
2	045.17.1356.29433	A1
4	045.17.1357.09900	B1DG
6	045.17.1357.30167	C1
8	045.17.1357.37653	CDG



This document has been electronically signed and sealed using a Digital Signature. Printed copies without an original signature must be verified using the original electronic version.

02/14/2017

Job Number: B45518a McLain Res Truss Label: ADG	Ply: 1 Qty: 7	SEQN: 19728 / T1 FROM:	GABL Cust: R857 DrwNo: 045.17.1356.27863 SSB / DF	JRef: 1VYc8570005 02/14/2017
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs), or *=PLF
TCLL: 20.00	Wind Std: ASCE 7-10	Pg: NA Ct: NA CAT: NA	PP Deflection in loc L/defl L/#	Loc R /U /Rw /Rh /RL /W
TCDL: 7.00	Speed: 130 mph	Pf: NA Ce: NA	VERT(LL): 0.008 C 999 240	Q* 99 /8 /52 /- /5 /108
BCLL: 0.00	Enclosure: Closed	Lu: NA Cs: NA	VERT(TL): 0.018 C 999 180	N* 77 /10 /31 /- /- /107
BCDL: 10.00	Risk Category: II	Snow Duration: NA	HORZ(LL): 0.002 C - -	Wind reactions based on MWFRS
	EXP: B		HORZ(TL): 0.004 C - -	Q Min Brg Width Req = -
Des Ld: 37.00	Mean Height: 15.00 ft	Code / Misc Criteria	Creep Factor: 1.5	N Min Brg Width Req = -
NCBCLL: 10.00	TCDL: 3.5 psf	Bldg Code: FBC 2014 RES	Max TC CSI: 0.269	Bearings Q & N are a rigid surface.
Soffit: 2.00	BCDL: 5.0 psf	TPI Std: 2007	Max BC CSI: 0.115	
Load Duration: 1.25	MWFRS Parallel Dist: 0 to h/2	Rep Factors Used: Yes	Max Web CSI: 0.048	
Spacing: 24.0 "	C&C Dist a: 3.00 ft	FT/RT:20(0)/5(2)		Members not listed have forces less than 375#
	Loc. from endwall: Any	Plate Type(s):		
	GCpi: 0.18	WAVE		
	Wind Duration: 1.25		VIEW Ver: 16.01.00F.0504.20	

Lumber
 Value Set: 13B (Effective 6/1/2013)
 Top chord 2x4 SP #1
 Bot chord 2x4 SP #1
 Webs 2x4 SP #3
 :Stack Chord SC1 2x4 SP #1:
 :Stack Chord SC2 2x4 SP #1:
 Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Plating Notes
 All plates are 1.5X3 except as noted.

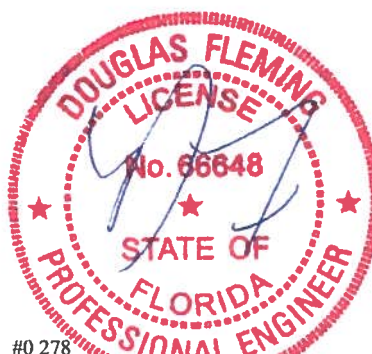
Purlins
 In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	49	-2.00	2.00
TC	94	2.00	9.00
TC	75	9.00	16.00
TC	49	16.00	20.00
BC	75	0.29	17.71

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Wind
 Wind loads based on MWFRS with additional C&C member design.

Additional Notes
 See DWGS A14015ENC101014 & GBLLETIN1014 for gable wind bracing and other requirements.
 Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" oc intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" oc. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.



#0 278

02/14/2017

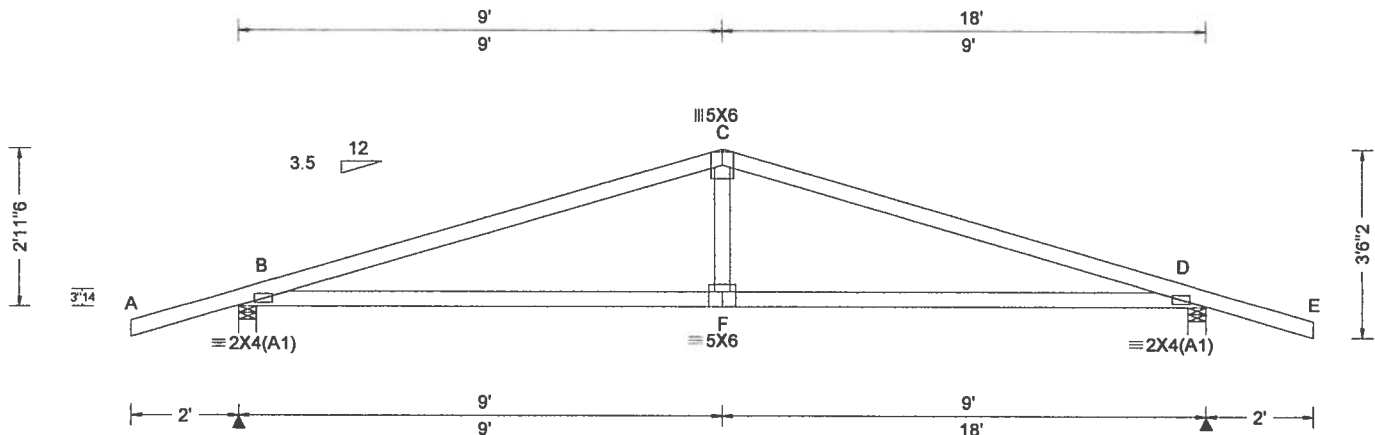
****WARNING**** READ AND FOLLOW ALL NOTES ON THIS DRAWING!
****IMPORTANT**** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS
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 2400 Lake Orange Dr.
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 Orlando FL, 32837

Job Number: B45518a McLain Res Truss Label: A1	Ply: 1 Qty: 7	SEQN: 19729 / T2 FROM:	SPEC	Cust: R857 DrwNo: 045.17.1356.29433 SSB / DF	JRef: 1VYc8570005 02/14/2017
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Def/CSI Criteria	Maximum Reactions (lbs)
TCLL: 20.00 TCDL: 7.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 37.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.25 Spacing: 24.0 "	Wind Std: ASCE 7-10 Speed: 130 mph Enclosure: Closed Risk Category: II EXP: B Mean Height: 15.00 ft TCDL: 3.5 psf BCDL: 5.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 3.00 ft Loc. from endwall: Any GCpi: 0.18 Wind Duration: 1.25	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Code / Misc Criteria Bldg Code: FBC 2014 RES TPI Std: 2007 Rep Factors Used: Yes FT/RT:20(0)/5(2) Plate Type(s): WAVE	PP Deflection in loc L/defl L# VERT(LL): 0.054 F 999 240 VERT(TL): 0.119 F 999 180 HORZ(LL): 0.016 F - - HORZ(TL): 0.036 F - - Creep Factor: 1.5 Max TC CSI: 0.988 Max BC CSI: 0.622 Max Web CSI: 0.148 VIEW Ver: 16.01.00F.0504.20	Loc R / U / Rw / Rh / RL / W B 789 / 84 / 401 / - / 49 / 4.0 D 789 / 84 / 401 / - / - / 4.0 Wind reactions based on MWFRS B Min Brg Width Req = 1.5 D Min Brg Width Req = 1.5 Bearings B & D are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp. B - C 551 -1361 C - D 551 -1361

Lumber

Value Set: 13B (Effective 6/1/2013)

Top chord 2x4 SP #1

Bot chord 2x4 SP #1

Webs 2x4 SP #3

Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Purlins

In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	56	-2.00	20.00
BC	75	0.15	17.85

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Wind

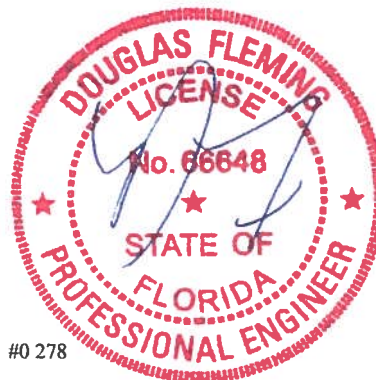
Wind loads based on MWFRS with additional C&C member design.

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
B - F	1255 -417	F - D	1255 -417

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.
C - F	388 0



02/14/2017

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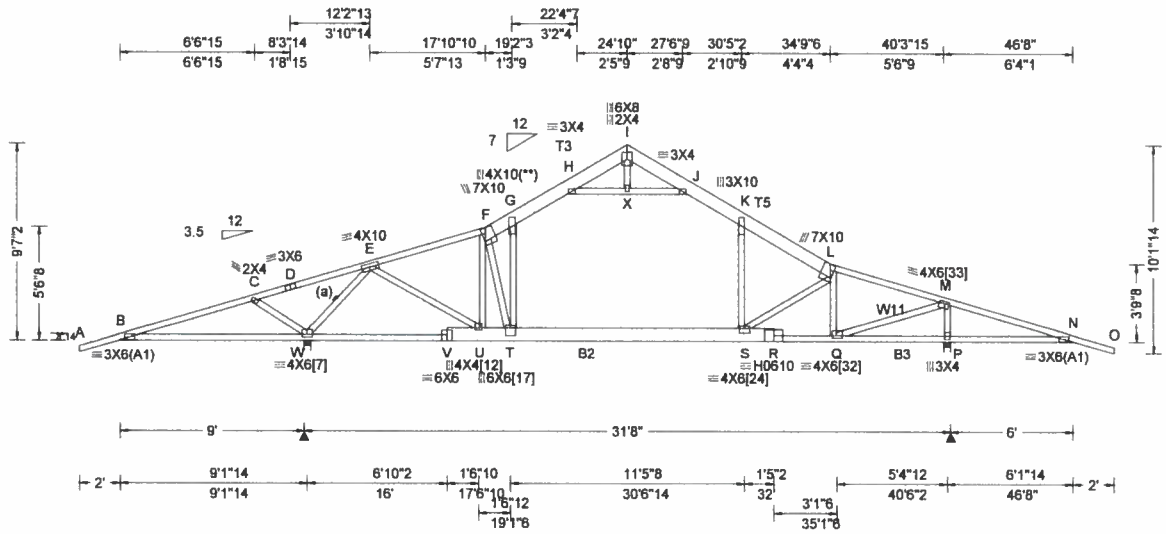
ALPINE
AN ITW COMPANY
2400 Lake Orange Dr.
Suite 150
Orlando FL, 32837

Job Number: B45518a
McLain Res
Truss Label: B1

Ply: 1
Qty: 6

SEQN: 19746 / T3 COMN
FROM:
Page 1 of 2

Cust: R857 JRef: 1VYc8570005
DrwNo: 045.17.1356.36440
SSB / DF 02/14/2017



Loading Criteria (psf)
TCLL: 20.00
TCDL: 7.00
BCLL: 0.00
BCDL: 10.00
Des Ld: 37.00
NCBCLL: 10.00
Soffit: 2.00
Load Duration: 1.25
Spacing: 24.0 "

Wind Criteria
Wind Std: ASCE 7-10
Speed: 130 mph
Enclosure: Closed
Risk Category: II
EXP: B
Mean Height: 15.00 ft
TCDL: 3.5 psf
BCDL: 5.0 psf
MWFRS Parallel Dist: h/2 to h
C&C Dist a: 4.67 ft
Loc. from endwall: not in 6.50 ft
GCpi: 0.18
Wind Duration: 1.25

Snow Criteria (Pg. Pf in PSF)
Pg: NA Ct: NA CAT: NA
Pf: NA Ce: NA
Lu: NA Cs: NA
Snow Duration: NA

Code / Misc Criteria
Bldg Code: FBC 2014 RES
TPI Std: 2007
Rep Factors Used: Yes
FT/RT: 20(0)/5(2)
Plate Type(s):
WAVE, HS

Defl/CSI Criteria
PP Deflection in loc L/def L/#
VERT(LL): 0.211 S 999 240
VERT(TL): 0.563 T 668 180
HORZ(LL): 0.087 G - -
HORZ(TL): 0.254 G - -
Creep Factor: 1.5
Max TC CSI: 0.994
Max BC CSI: 0.972
Max Web CSI: 0.912
VIEW Ver: 16.01.00F.0504.20

Maximum Reactions (lbs)
Loc R / U / Rw / Rh / RL / W
W 3230 / 141 / 1270 / - / 179 / 4.0
P 2561 / 126 / 1045 / - / - / 4.0
Wind reactions based on MWFRS
W Min Brg Width Req = 3.4
P Min Brg Width Req = 2.6
Bearings W & P are a rigid surface.

Members not listed have forces less than 375#
Maximum Top Chord Forces Per Ply (lbs)
Chords Tens.Comp. Chords Tens. Comp.
B - C 1709 -1106 G - H 207 -2193
C - D 2209 -1185 J - K 237 -2235
D - E 2276 -1182 K - L 138 -2853
E - F 177 -2571 L - M 118 -2541
F - G 218 -3261 M - N 1456 -945

Maximum Bot Chord Forces Per Ply (lbs)
Chords Tens.Comp. Chords Tens. Comp.
B - W 1117 -1549 S - R 2506 -46
W - V 1092 -256 R - Q 2505 -47
V - U 1093 -254 Q - P 941 -1217
U - T 2509 -21 P - N 965 -1351
T - S 2304 0

Maximum Web Forces Per Ply (lbs)
Webs Tens.Comp. Webs Tens. Comp.
C - W 226 -746 I - X 484 -29
W - E 820 -3368 X - J 156 -2580
E - U 2122 -429 S - K 1117 0
U - F 589 -1883 S - L 255 -378
F - T 351 -1070 L - Q 314 -1264
G - T 2244 -88 Q - M 3320 -702
H - X 156 -2580 M - P 613 -2372

Lumber

Value Set: 13B (Effective 6/1/2013)
Top chord 2x4 SP #1
T3, T5 2x8 SP SS Dense:
Bot chord 2x4 SP #1 :B2 2x8 SP SS Dense:
B3 2x4 SP M-30:
Webs 2x4 SP #3 :W11 2x4 SP #1:
Lumber value set "13B" uses design values
approved 1/30/2013 by ALSC

Bracing

(a) Continuous lateral restraint equally spaced on member. Or 1x4 "T" reinforcement. 80% length of web member. Same species & SRB grade or better, attached with 8d Box or Gun (0.113"x2.5", min.) nails @ 6" oc.

Plating Notes

(**) 1 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

Plate Shift Table

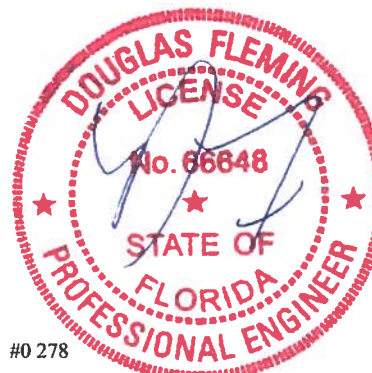
JT	Plate	Lateral	Chord	JT	Plate	Lateral	Chord
No	Size	Shift	Bite	No	Size	Shift	Bite
[7]	W4X6	S	1.50	[12]	W4X4	1.50	R 1.25
[17]	W6X6	3.25 R	4.25	[24]	W4X6	S	2.50
[32]	W4X6	2.50 L	1.25	[33]	W4X6	2.75 R	1.25

Loading

Attic room loading from 19-4-10 to 30-3-6: Live Load:
40 PSF. Dead Load: 10 PSF Ceiling: 10 PSF,
Kneewalls: 10 PSF

#0 278

02/14/2017



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2400 Lake Orange Dr.
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Orlando FL, 32837

Job Number: B45518a McLain Res Truss Label: B1	Ply: 1 Qty: 6	SEQN: 19746 / T3 FROM: Page 2 of 2	COMN Cust: R857 JRef: 1VYc8570005 DrwNo: 045.17.1356.36440 SSB / DF 02/14/2017
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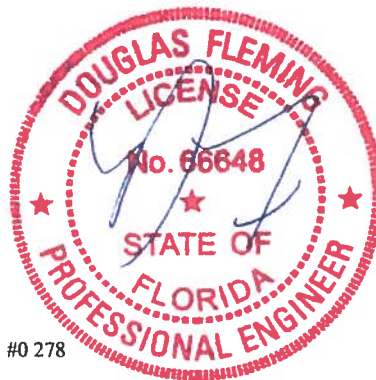
Wind

Wind loads based on MWFRS with additional C&C member design.

Left and right cantilevers are exposed to wind

Additional Notes

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



#0 278

02/14/2017

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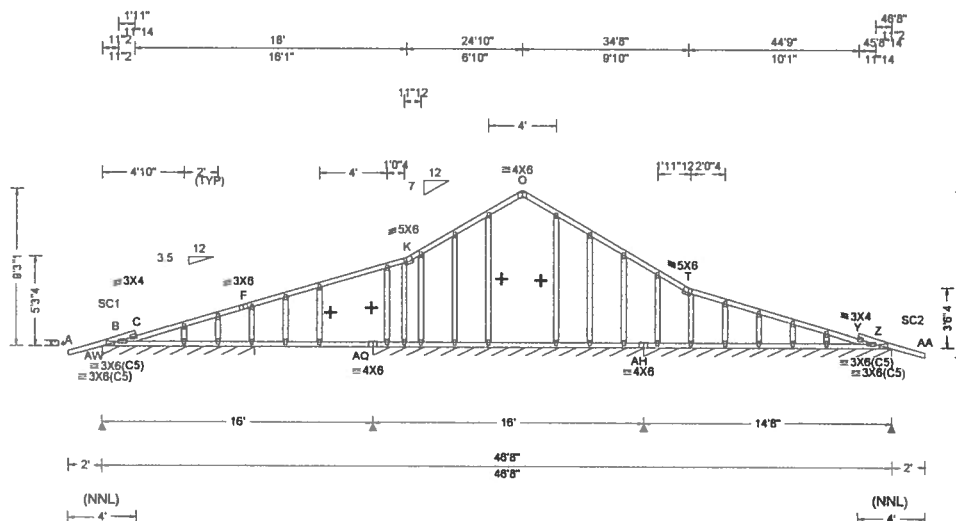
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Orlando FL, 32837

Job Number: B45518a	Ply: 1	SEQN: 19731 / T4	GABL	Cust: R857	JRef: 1VYc8570005
McLain Res	Qty: 1	FROM:		DrwNo: 045.17.1357.09900	
Truss Label: B1DG				SSB / DF	02/14/2017



Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg. Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs), or *PLF
TCLL: 20.00	Wind Std: ASCE 7-10	Pg: NA Ct: NA CAT: NA	PP Deflection in loc L/def L/#	Loc R / U / Rw / Rh / RL / W
TCDL: 7.00	Speed: 130 mph	Pf: NA Ce: NA	VERT(LL): 0.060 999 240	AW119 / 10 / 67 / - / 20 / 108
BCLL: 0.00	Enclosure: Closed	Lu: NA Cs: NA	VERT(TL): 0.144 595 180	AQ88 / 8 / 47 / - / - / 192
BCDL: 10.00	Risk Category: II	Snow Duration: NA	HORZ(LL): 0.015 - -	AH85 / 8 / 48 / - / - / 176
Des Ld: 37.00	EXP: B		HORZ(TL): 0.038 - -	Wind reactions based on MWFRS
NCBCLL: 10.00	Mean Height: 15.00 ft		Creep Factor: 1.5	AW Min Brg Width Req = -
Soffit: 2.00	TCDL: 3.5 psf		Max TC CSI: 0.336	AQ Min Brg Width Req = -
Load Duration: 1.25	BCDL: 5.0 psf		Max BC CSI: 0.309	AH Min Brg Width Req = -
Spacing: 24.0 "	MWFRS Parallel Dist: 0 to h/2		Max Web CSI: 0.176	Bearings AW, AQ, & AH are a rigid surface.
	C&C Dist a: 4.67 ft			
	Loc. from endwall: Any			
	GCPi: 0.18			
	Wind Duration: 1.25			
		Code / Misc Criteria	VIEW Ver: 16.01.00F.0504.20	Members not listed have forces less than 375#
		Bldg Code: FBC 2014 RES		
		TPI Std: 2007		
		Rep Factors Used: Yes		
		FT/RT:20(0)/5(2)		
		Plate Type(s):		
		WAVE		

Lumber

Value Set: 13B (Effective 6/1/2013)

Top chord 2x4 SP #1

Bot chord 2x4 SP #1

Webs 2x4 SP #3

:Stack Chord SC1 2x4 SP #1:

:Stack Chord SC2 2x4 SP #1:

Lumber value set "13B" uses design values

approved 1/30/2013 by ALSC

Plating Notes

All plates are 2X4 except as noted.

Purlins

In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	49	-2.00	2.00
TC	75	2.00	44.67
TC	49	44.67	48.67
BC	75	0.29	46.38

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading

Gable end supports 8" max rake overhang. Top chord must not be cut or notched.

Wind

Wind loads based on MWFRS with additional C&C member design.

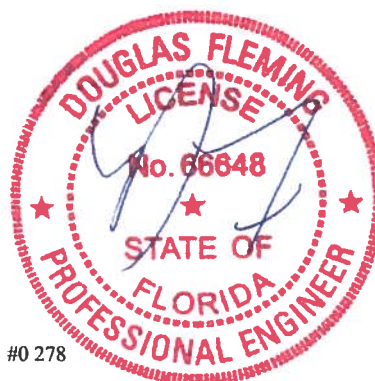
+ Member to be laterally braced for out of plane wind loads

Additional Notes

See DWGS A14015ENC101014 & GBLLETIN1014 for gable wind bracing and other requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" oc intervals. Attach stacked top chord (SC) to dropped top chord in notchable area using 3x4 tie-plates 24" oc. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in notchable area using 3x6.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



#0 278

02/14/2017

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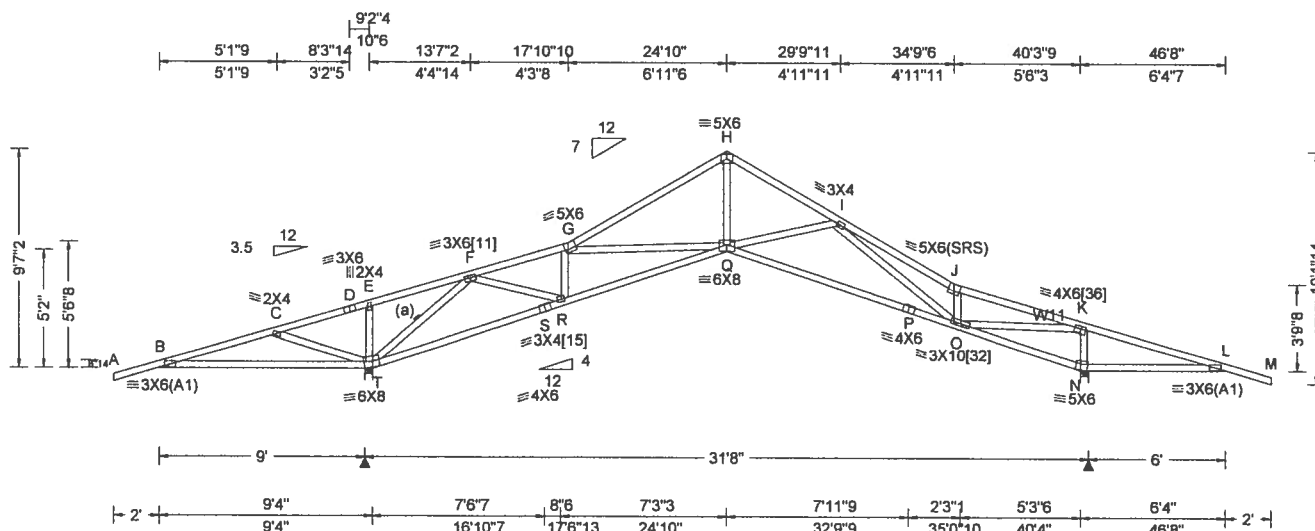
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Orlando FL, 32837

Job Number: B45518a	Ply: 1	SEQN: 19732 / T5	COMN	Cust: R857	JRef: 1VYc8570005
McLain Res	Qty: 10	FROM:		DrwNo: 045.17.1358.17073	
Truss Label: B2				SSB / DF	02/14/2017



Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs)
TCLL: 20.00 TCDL: 7.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 37.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.25 Spacing: 24.0"	Wind Std: ASCE 7-10 Speed: 130 mph Enclosure: Closed Risk Category: II EXP: B Mean Height: 15.00 ft TCDL: 3.5 psf BCDL: 5.0 psf MWFRS Parallel Dist: h to 2h C&C Dist a: 4.67 ft Loc. from endwall: not in 13.00 ft GCpi: 0.18 Wind Duration: 1.25	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Code / Misc Criteria Bldg Code: FBC 2014 RES TPI Std: 2007 Rep Factors Used: Yes FT/RT:20(0)/5(2) Plate Type(s): WAVE	PP Deflection in loc L/defl L/# VERT(LL): 0.199 Q 999 240 VERT(TL): 0.530 Q 701 180 HORZ(LL): 0.165 N - - HORZ(TL): 0.438 N - - Creep Factor: 1.5 Max TC CSI: 0.990 Max BC CSI: 0.994 Max Web CSI: 0.739 VIEW Ver: 16.01.00F.0504.20	Loc R / U / Rw / Rh / RL / W T 2111 / 108 / 1291 / - / 180 / 4.0 N 1792 / 51 / 1063 / - / - / 4.0 Wind reactions based on MWFRS T Min Brg Width Req = 2.5 N Min Brg Width Req = 2.1 Bearings T & N are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp.

Lumber

Value Set: 13B (Effective 6/1/2013)

Top chord 2x4 SP #1

Bot chord 2x4 SP #1

Webs 2x4 SP #3 :W11 2x4 SP #1:

Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Bracing

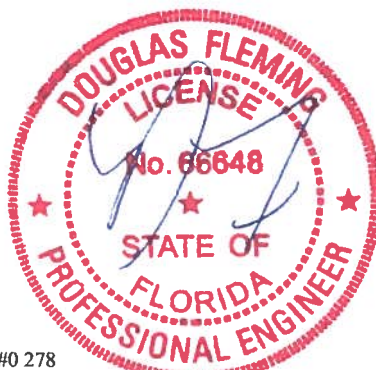
(a) Continuous lateral restraint equally spaced on member. Or 1x4 "T" reinforcement. 80% length of web member. Same species & SRB grade or better, attached with 8d Box or Gun (0.113"x2.5", min.)nails @ 6" oc.

Plate Shift Table

JT No	Plate Size	Lateral Shift	Chord Bite	JT No	Plate Size	Lateral Shift	Chord Bite
[11]	W3X6	3.25	L 1.25	[15]	W3X4	1.75	R 1.25
[32]	W3X10	4.66	R 1.25	[36]	W4X6	2.75	R 1.25

Purlins			
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:			
Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	47	-2.00	17.88
TC	44	17.88	24.83
TC	42	24.83	34.78
TC	44	34.78	48.67
BC	63	0.00	9.33
BC	75	9.33	24.83
BC	67	24.83	40.33
BC	69	40.33	46.67
Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.			

Maximum Bot Chord Forces Per Ply (lbs)	Maximum Web Forces Per Ply (lbs)
Chords Tens.Comp. Chords Tens. Comp.	Webs Tens.Comp. Webs Tens. Comp.
B - T 1094 -1097 Q - P 2282 0	C - T 250 -473 Q - I 242 -479
T - S 1214 -835 P - O 2229 0	T - F 447 -2286 I - O 635 -432
S - R 1216 -785 O - N 1065 -1214	F - R 1556 -215 J - O 192 -999
R - Q 2478 -98 N - L 991 -1123	R - G 248 -832 O - K 3073 -392
	G - Q 403 -516 N - K 283 -1284
	Q - H 1749 0

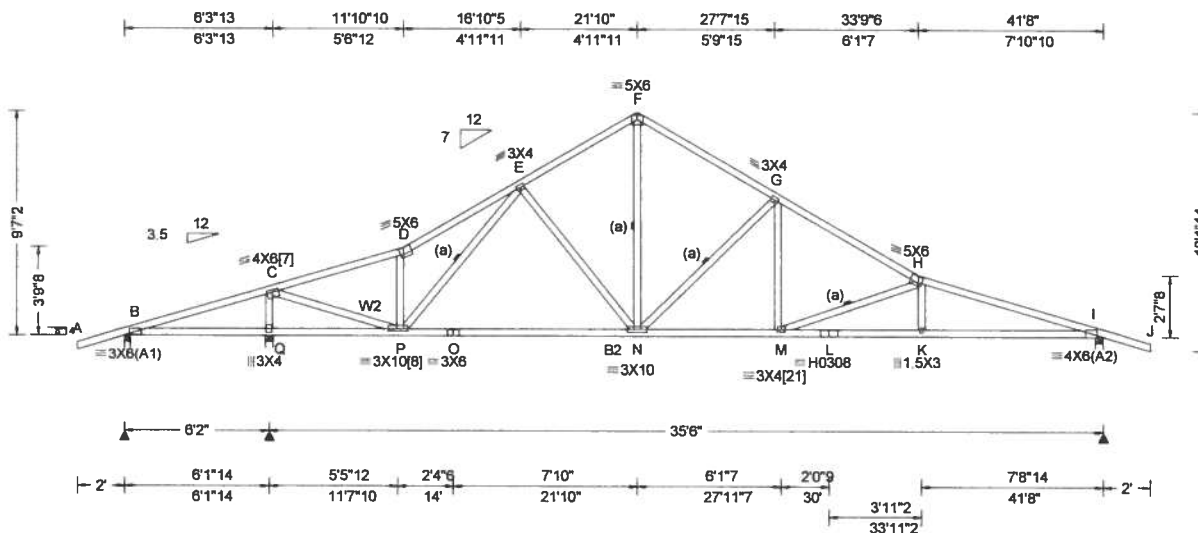


#0 278
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Job Number: B45518a	Ply: 1	SEQN: 19733 / T6	COMN	Cust: R857	JRef: 1Vyc8570005
McLain Res	Qty: 6	FROM:		DrwNo: 045.17.1357.30167	
Truss Label: C1				SSB / DF	02/14/2017



Loading Criteria (psf) TCLL: 20.00 TCDL: 7.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 37.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.25 Spacing: 24.0"	Wind Criteria Wind Std: ASCE 7-10 Speed: 130 mph Enclosure: Closed Risk Category: II EXP: B Mean Height: 15.00 ft TCDL: 3.5 psf BCDL: 5.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 4.17 ft Loc. from endwall: Any GCpi: 0.18 Wind Duration: 1.25	Snow Criteria (Pg.Pf in PSF) Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Code / Misc Criteria Bldg Code: FBC 2014 RES TPI Std: 2007 Rep Factors Used: Yes FT/RT: 20(0)/5(2) Plate Type(s): WAVE, HS	Defl/CSI Criteria PP Deflection in loc L/def L/# VERT(LL): 0.227 H 999 240 VERT(TL): 0.504 H 842 180 HORZ(LL): 0.053 F - - HORZ(TL): 0.117 F - - Creep Factor: 1.5 Max TC CSI: 0.986 Max BC CSI: 0.988 Max Web CSI: 0.602 VIEW Ver: 16.01.00F.0504.20	Maximum Reactions (lbs) Loc R / U / Rw / Rh / RL / W B 159 / 268 / 41 / - / 179 / 3.0 Q 2137 / 164 / 1049 / - / - / 4.0 I 1441 / 127 / 758 / - / - / 4.0 Wind reactions based on MWFRS B Min Brg Width Req = 1.5 Q Min Brg Width Req = 2.1 I Min Brg Width Req = 1.7 Bearings B, Q, & I are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp.
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Lumber
Value Set: 13B (Effective 6/1/2013)
Top chord 2x4 SP #1
Bot chord 2x4 SP #1 :B2 2x4 SP SS Dense:
Webs 2x4 SP #3 :W2 2x4 SP #1:
Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Bracing
(a) Continuous lateral restraint equally spaced on member. Or 1x4 "T" reinforcement. 80% length of web member. Same species & SRB grade or better, attached with 8d Box or Gun (0.113"x2.5", min.) nails @ 6" oc.

Plate Shift Table

JT No	Plate Size	Lateral Shift	Chord Bite	JT No	Plate Size	Lateral Shift	Chord Bite
[7]	W4X6	S	1.25	[8]	W3X10	4.50	L 1.25
[21]	W3X4	S	1.25				

Purlins
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	55	-2.00	21.83
TC	47	21.83	33.78
TC	29	33.78	43.67
BC	62	0.13	41.52

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading
Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Wind
Wind loads based on MWFRS with additional C&C member design.

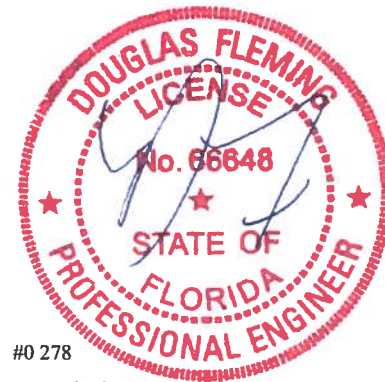
Additional Notes
Negative reaction(s) of -268# MAX. from a non-wind load case requires uplift connection. See Maximum Reactions.

Maximum Bot Chord Forces Per Ply (lbs)

Chords	Tens.Comp.	Chords	Tens. Comp.
B - C	1344 -376	F - G	491 -1530
C - D	433 -1564	G - H	676 -2297
D - E	623 -1786	H - I	1123 -3641
E - F	497 -1512		

Maximum Web Forces Per Ply (lbs)

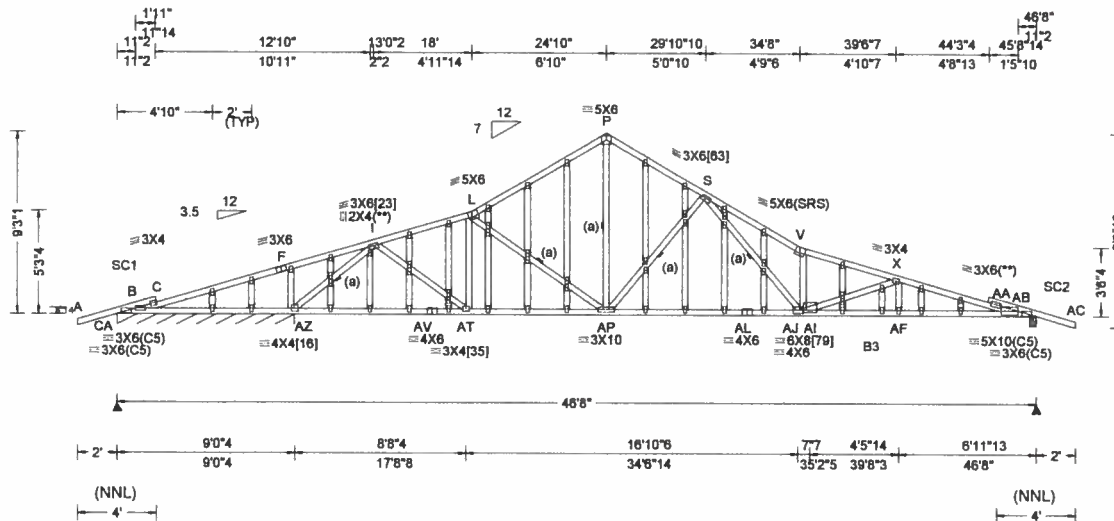
Webs	Tens.Comp.	Webs	Tens. Comp.
B - Q	435 -1267	N - M	1888 -348
Q - P	400 -1158	M - L	3436 -988
P - O	1424 -194	L - K	3436 -988
O - N	1424 -194	K - I	3444 -984



#0 278
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Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg. Pf in PSF)	Defl/CSI Criteria	Maximum Reactions (lbs), or *PLF
TCLL: 20.00 TCDL: 7.00 BCLL: 0.00 BCDL: 10.00 Des Ld: 37.00 NCBCLL: 10.00 Soffit: 2.00 Load Duration: 1.25 Spacing: 24.0"	Wind Std: ASCE 7-10 Speed: 130 mph Enclosure: Closed Risk Category: II EXP: B Mean Height: 15.00 ft TCDL: 3.5 psf BCDL: 5.0 psf MWFRS Parallel Dist: 0 to h/2 C&C Dist a: 4.67 ft Loc. from endwall: Any GCPI: 0.18 Wind Duration: 1.25	Pg: NA Ct: NA CAT: NA Pf: NA Ce: NA Lu: NA Cs: NA Snow Duration: NA Code / Misc Criteria Bldg Code: FBC 2014 RES TPI Std: 2007 Rep Factors Used: Yes FT/RT: 20(0)/5(2) Plate Type(s): WAVE	PP Deflection in loc L/def L/# VERT(LL): 0.407 V 999 240 VERT(TL): 0.925 V 485 180 HORZ(LL): 0.112 O - - HORZ(TL): 0.255 O - - Creep Factor: 1.5 Max TC CSI: 0.995 Max BC CSI: 0.973 Max Web CSI: 0.906 VIEW Ver: 16.01.00F.0504.20	Loc R / U / Rw / Rh / RL / W CA*256 / 23 / 136 / - / 20 / 108 AB 1436 / 123 / 785 / - / - / 4.0 B / 128 Wind reactions based on MWFRS CA Min Brg Width Req = - AB Min Brg Width Req = 1.5 Bearings CA & AB are a rigid surface. Members not listed have forces less than 375# Maximum Top Chord Forces Per Ply (lbs) Chords Tens.Comp. Chords Tens. Comp.

Lumber
Value Set: 13B (Effective 6/1/2013)
Top chord 2x4 SP #1
Bot chord 2x4 SP #1 : B3 2x4 SP SS Dense:
Webs 2x4 SP #3
Stack Chord SC1 2x4 SP #1:
Stack Chord SC2 2x4 SP #1:
Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Bracing
(a) Continuous lateral restraint equally spaced on member.

Plating Notes
All plates are 2X4 except as noted.
(**) 2 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

Plate Shift Table

JT No	Plate Size	Lateral Shift	Chord Bite	JT No	Plate Size	Lateral Shift	Chord Bite
[16]	W4X4	2.50 R	1.75	[23]	W3X6	S	1.25
[35]	W3X4	S	1.25	[63]	W3X6	3.25 R	1.25
[79]	W6X8	S	1.25				

Loading
Gable end supports 8" max rake overhang. Top chord must not be cut or notched.

Purlins
In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	49	-2.00	2.00
TC	65	2.00	18.00
TC	62	18.00	24.83
TC	37	24.83	34.67
TC	25	34.67	44.67
TC	36	44.67	48.67
BC	56	0.29	46.38

Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Wind
Wind loads based on MWFRS with additional C&C member design.

Chords	Tens.Comp.	Chords	Tens. Comp.
B - C	1806 - 633	P - S	604 - 1446
C - F	1788 - 587	S - V	1446 - 3718
F - I	1801 - 542	V - X	1138 - 3184
I - L	603 - 1379	X - AA	1553 - 4273
L - P	601 - 1438	AA-AB	1544 - 4324

Maximum Bot Chord Forces Per Ply (lbs)

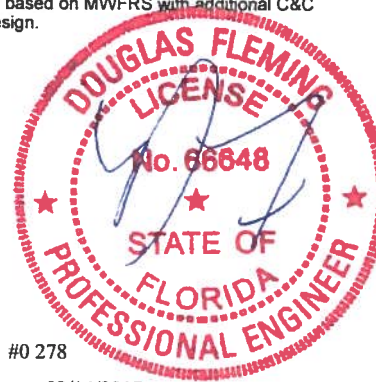
Chords	Tens.Comp.	Chords	Tens. Comp.
B - AZ	653 - 1689	AJ - AI	3170 - 952
AT - AP	1326 - 302	AI - AF	4078 - 1348
AP - AL	1877 - 384	AF - AB	4104 - 1358
AL - AJ	1877 - 384		

Maximum Web Forces Per Ply (lbs)

Webs	Tens.Comp.	Webs	Tens. Comp.
AZ - I	953 - 2752	S - AJ	2095 - 913
I - AT	1190 - 321	AI - X	571 - 1177
AT - L	102 - 432	X - AF	457 - 190
AP - S	447 - 1060		

Maximum Gable Forces Per Ply (lbs)

Gables	Tens.Comp.	Gables	Tens. Comp.
P - AP	1106 - 494	V - AI	420 - 972



#0 278
02/14/2017

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Job Number: B45518a McLain Res Truss Label: B2DG	Ply: 1 Qty: 1	SEQN: 19738 / T7 FROM: Page 2 of 2	GABL Cust: R857 JRef: 1VYc8570005 DrwNo: 045.17.1357.35677 SSB / DF 02/14/2017
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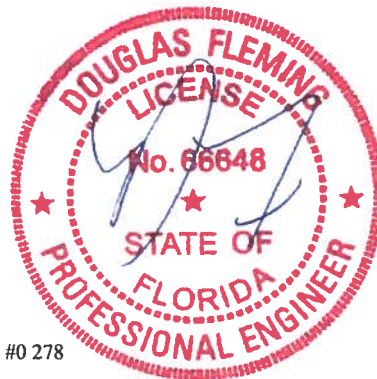
Additional Notes

See DWGS A14015ENC101014 & GBLLETIN1014 for gable wind bracing and other requirements.

Stacked top chord must NOT be notched or cut in area (NNL). Dropped top chord braced at 24" oc intervals. Attach stacked top chord (SC) to dropped top chord in noticable area using 3x4 tie-plates 24" oc. Center plate on stacked/dropped chord interface, plate length perpendicular to chord length. Splice top chord in noticable area using 3x6.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

Note: The Project Engineer shall provide for endwall stability per the Florida Building Code. The top of the wall below this truss shall be laterally braced as specified by the Project Engineer. This truss will not provide lateral support of the end wall.



#0 278

02/14/2017

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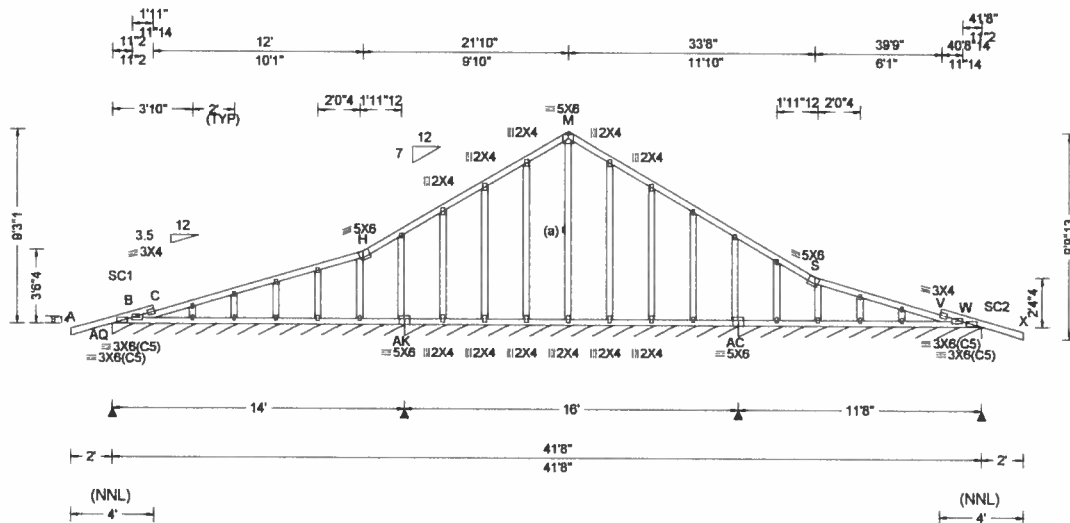
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Truss Label: CDG

Ply:	1
Qty:	1

SEQN: 19735 / T8 GABL
FROM:

Cust: R857 JRef: 1VYc8570005
DrwNo: 045.17.1357.37653
SSB / DF 02/14/2017



Loading Criteria (psf)	Wind Criteria	Snow Criteria (Pg,Pf in PSF)	Defl/CSI Criteria	▲ Maximum Reactions (lbs), or *=PLF
TCLL: 20.00	Wind Std: ASCE 7-10	Pg: NA Ct: NA CAT: NA	PP Deflection in loc L/defl L/#	Loc R /U /Rw /Rh /RL /W
TCDL: 7.00	Speed: 130 mph	Pf: NA Ce: NA	VERT(LL): 0.002 AP 999 240	AQ*87 /10 /49 /- /13 /168
BCLL: 0.00	Enclosure: Closed	Lu: NA Cs: NA	VERT(TL): 0.007 AP 999 180	AK*77 /3 /38 /- /- /192
BCDL: 10.00	Risk Category: II	Snow Duration: NA	HORZ(LL): 0.002 S - -	AC*79 /9 /44 /- /- /140
	EXP: B		HORZ(TL): 0.006 P - -	Wind reactions based on MWFRS
Des Ld: 37.00	Mean Height: 15.00 ft		Creep Factor: 1.5	AQ Min Brg Width Req = -
NCBCLL: 10.00	TCDL: 3.5 psf	Code / Misc Criteria	Max TC CSI: 0.269	AK Min Brg Width Req = -
Soffit: 2.00	BCDL: 5.0 psf	Bldg Code: FEC 2014 RES	Max BC CSI: 0.059	AC Min Brg Width Req = -
Load Duration: 1.25	MWFRS Parallel Dist: 0 to h/2	TPI Std: 2007	Max Web CSI: 0.151	Bearings AQ, AK, & AC are a rigid surface.
Spacing: 24.0 "	C&C Dist a: 4.17 ft	Rep Factors Used: Yes		
	Loc. from endwall: Any	FT/RT:20(0)/5(2)		
	GCpi: 0.18	Plate Type(s):		
	Wind Duration: 1.25	WAVE		
			VIEW Ver: 16.01.00F.0504.20	Members not listed have forces less than 375#

Lumber

Value Set: 13B (Effective 6/1/2013)

Top chord 2x4 SP #1

Bot chord 2x4 SP #1

Webs 2x4 SP #3

:Stack Chord SC1 2x4 SP #1:

:Stack Chord SC2 2x4 SP #1:

Lumber value set "13B" uses design values

approved 1/30/2013 by ALSC

Bracing

(a) Continuous lateral restraint equally spaced on member. Or 1x4 "T" reinforcement. 80% length of web member. Same species & SRB grade or better, attached with 8d Box or Gun (0.113"x2.5",min.)nails @ 6" oc.

Plating Notes

All plates are 1.5X3 except as noted.

Purlins

In lieu of structural panels or rigid ceiling use purlins to laterally brace chords as follows:

Chord	Spacing(in oc)	Start(ft)	End(ft)
TC	49	-2.00	2.00
TC	75	2.00	39.67
TC	49	39.67	43.67
BC	75	0.29	41.38

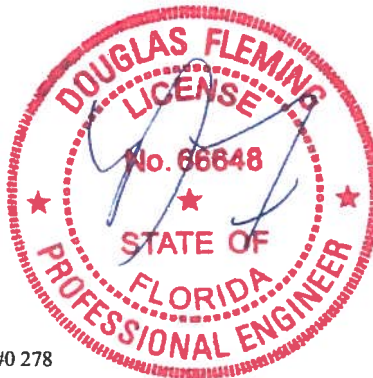
Apply purlins to any chords above or below fillers at 24" OC unless shown otherwise above.

Loading

Gable end supports 8" max rake overhang. Top chord must not be cut or notched.

#0 278

02/14/2017



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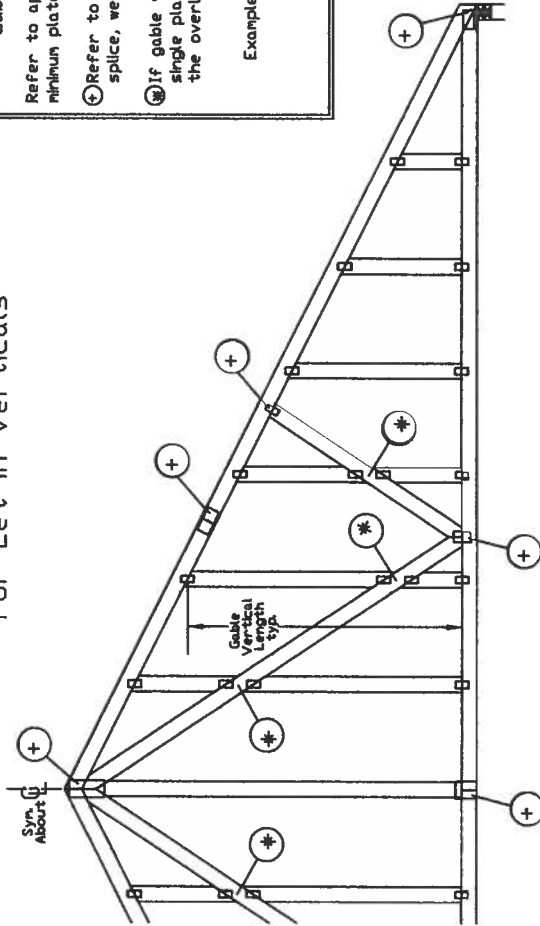
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Gable Detail For Let-In Verticals

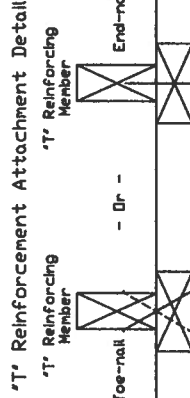


Gable Truss Plate Sizes

Refer to appropriate Alpine gable detail for minimum plate sizes for vertical studs.

⊕ Refer to Engineered truss design for peak, splice, web, and heel plates.

⊗ If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.



To convert from 'L' to 'T' reinforcing members, multiply 'T' increase by length (based on appropriate Alpine gable detail).

Maximum allowable 'T' reinforced gable vertical length is 14' from top to bottom chord.
'T' reinforcing member material must match size, specie, and grade of the 'L' reinforcing member.

Web Length Increase w/ 'T' Brace

'T' Reinf.	Mbr. Size	Increase
2x4	2x6	30 %
2x6	2x8	20 %

Example:

ASCE 7-10 Wind Speed = 120 mph
Mean Roof Height = 30 ft, Kzt = 100
Gable Vertical = 24' o.c. SP #3
'T' Reinforcing Member Size = 2x4
'T' Brace Increase (From Above) = 30% = 1.30
(1) 2x4 'L' Brace Length = 8' 7"
Maximum 'T' Reinforced Gable Vertical Length
1.30 x 8' 7" = 11' 2"

Provide connections for uplift specified on the engineered truss design.

Attach each 'T' reinforcing member with

End Driven Nails:

- 10d Common (0.148"x3".min) Nails at 4' o.c. plus
- (4) nails in the top and bottom chords.

Toenailed Nails:

- 10d Common (0.148"x3".min) Toenails at 4' o.c. plus
- (4) toenails in the top and bottom chords.

This detail to be used with the appropriate Alpine gable detail for ASCE wind load.

ASCE 7-05 Gable Detail Drawings

A13015051014, A12015051014, A1015051014, A10015051014, A14015051014, A13030051014, A12030051014, A10030051014, A10030051014

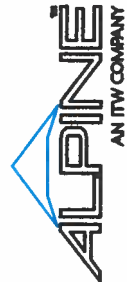
ASCE 7-10 Gable Detail Drawings

A11515ENC101014, A12015ENC101014, A14015ENC101014, A10015ENC101014, A18015ENC101014, A20015ENC101014, A14030ENC101014, A14030ENC101014, A18030ENC101014, A20030ENC101014, A11515ENC100815, S12015ENC100815, S14015ENC100815, S18015ENC100815, S20015ENC100815, S11530ENC100815, S12030ENC100815, S14030ENC100815, S18030ENC100815, S20030ENC100815, S20030ENC100815

See appropriate Alpine gable detail for maximum unreinforced gable vertical length.

IMPORTANT: READ AND FOLLOW ALL NOTES ON THIS DRAWING. INSTALLERS MUST FOLLOW THE INSTRUCTIONS AND SPECIFICATIONS OF THE MANUFACTURER OF THE TRUSS AND SHEATHING. REFER TO THE TRUSS AND SHEATHING MANUFACTURER'S LITERATURE FOR ADDITIONAL INFORMATION.

Trusses require extreme care in fabrication, handling, shipping, bracing and bracing. Refer to and follow the instructions and specifications of the truss manufacturer. Trusses shall be installed in accordance with the instructions and specifications of the truss manufacturer. Trusses shall be installed in accordance with the instructions and specifications of the truss manufacturer. Trusses shall be installed in accordance with the instructions and specifications of the truss manufacturer.



13723 Riverport Drive
Suite 200
Maryland Heights, MO 63043

REF LET-IN VERT

DATE 10/01/14

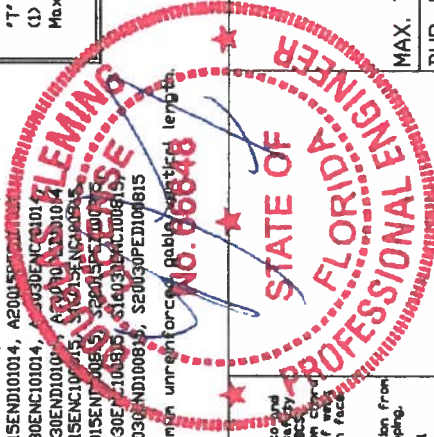
DRWG GBLLETIN1014

MAX. TOT. LD. 60 PSF

DUR. FAC. ANY

MAX. SPACING 24.0'

#0 278 02/14/2017



CLR Reinforcing

Member Substitution

This detail is to be used when a Continuous Lateral Restraint (CLR) is specified on a truss design but an alternative web reinforcement method is desired.

Notes:

This detail is only applicable for changing the specified CLR shown on single ply sealed designs to T-reinforcement or L-reinforcement or scab reinforcement.

Alternative reinforcement specified in chart below may be conservative. For minimum alternative reinforcement, re-run design with appropriate reinforcement type.

Web Member Size	Specified CLR Restraint	Alternative Reinforcement T- or L- Reinf.	Scab Reinf.
2x3 or 2x4	1 row	2x4	1-2x4
2x3 or 2x4	2 rows	2x6	2-2x4
2x6	1 row	2x4	1-2x6
2x6	2 rows	2x6	2-2x4
2x8	1 row	2x6	1-2x8
2x8	2 rows	2x6	2-2x6

T-reinforcement, L-reinforcement, or scab reinforcement to be same species and grade or better than web member unless specified otherwise on Engineer's sealed design.

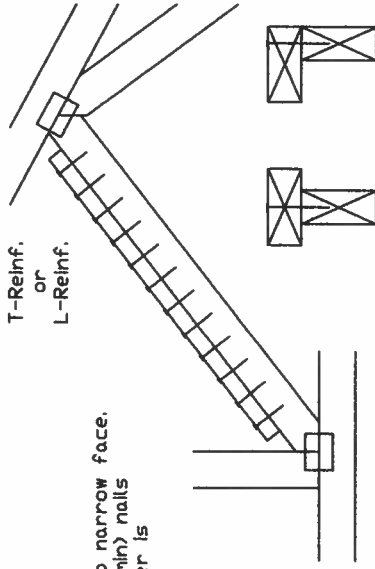
(X) Center scab on wide face of web. Apply (1) scab to each face of web.

T-Reinforcement

or

L-Reinforcement:

Apply to either side of web narrow face. Attach with 10d (0.128"x3.0",min) nails at 6" o.c. Reinforcing member is a minimum 80% of web member length.

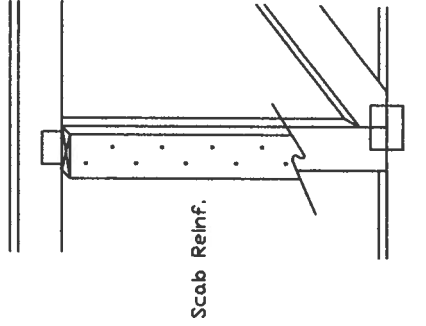


T-Reinf.

L-Reinf.

Scab Reinforcement:

Apply scab(s) to wide face of web. No more than (1) scab per face. Attach with 10d (0.128"x3.0",min) nails at 6" o.c. Reinforcing member is a minimum 80% of web member length.



Scab Reinf.



IMPORTANT: READ AND FOLLOW ALL NOTES ON THIS DRAWING
 Trusses require extreme care in fabrication, handling, shipping, installing and bracing. Refer to and follow the latest edition of ECI Building Component Safety Information, by TPI and SCAI for safety practices prior to performing these functions. Installers shall provide temporary bracing per ECI Building Component Safety Information, by TPI and SCAI. Trusses shall be braced in accordance with the ECI Building Component Safety Information, by TPI and SCAI. Trusses shall have a properly attached and sealed end cap. Locations shown for permanent lateral restraint of web of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 100-2 for standard plate positions.
 Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from the design shown. The truss is fabricated in accordance with AISI/TPI 1, or for handling, shipping, installation & bracing of trusses.
 A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The authority and use of this drawing for any structure is the responsibility of the Building Designer per AISI/TPI 1 Sec 2.
 For more information are the job's general notes page and these web sites:
 ALPINE: www.alpineinc.com ITW: www.itwbuildingcomponents.com SCAI: www.scai.org



13723 Riverport Drive
 Suite 200
 Maryland Heights, MO 63043

PSF REF CLR Subst.

PSF DATE 10/01/14

PSF DRWG BRCLBSUB1014

PSF

PSF

PSF

PSF

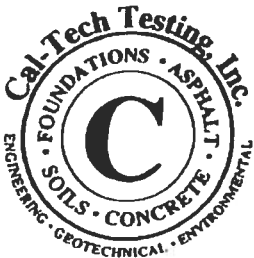
T.C. L.D.

DUR. FAC.

SPACING

#1278 02/14/2017

Permit # 34923



CAL-TECH TESTING, INC.

ENGINEERING & TESTING
LABORATORY

P.O. Box 1625 • Lake City, FL 32056 • (386) 755-3633 • Fax (386) 752-5456

450 SR 13 N. • Suite 206-308
Jacksonville FL. 32259

(904) 381-8901 • Fax (904) 381-8902

REPORT OF DAILY CONSTRUCTION TESTING AND MONITORING

Client Eirkinger Builders
Project 220 S.E. Klondike Place
Contractor Eirkinger Builders

Date 02/16/17
Job. No 17-123
Technician K. HARRIS

WORK ORDER:

☒ DENSITY

Spec's: 95%
Test No.: 1-3
Inches: 12"

☐ CONCRETE

☐ Cylinders
☐ Beams
☐ Prisms
☐ Pick-Up

Set No. _____

☐ Pick-Up Proctor

☐ Pick-Up LBR

DESCRIPTION OF DAYS ACTIVITIES:

Took (3) Density Test on
House PAD.

Time In: 3:30 P

Time Out: 4:30 P

FDT's Performed 3

Cyls Cast/Cal-Tech _____

Cyls Cast/Client _____

Beams Cast/Cal-Tech: _____

Weather: _____

Hours Worked: 1.0

Other Tests: _____

Hours Travel: _____

Miles Travel: _____

Hours Standby: _____

Hours O.T.: _____

K. Harris
FIELD REPRESENTATIVE

CLIENT REPRESENTATIVE



CAL-TECH TESTING, INC.

ENGINEERING & TESTING
LABORATORY

P.O. Box 1625 • Lake City, FL 32056 • (386) 755-3633 • Fax (386) 752-5456

450 SR 13 N. • Suite 206-308

Jacksonville FL. 32259

(904) 381-8901 • Fax (904) 381-8902

REPORT OF DAILY CONSTRUCTION TESTING AND MONITORING

Client Soleman Const
Project SE 144th St.
Contractor SAC

Date 2-24-17
Job. No 17-093
Technician MR. Arthy

WORK ORDER:

☒ DENSITY

Spec's:

Test No.: 7-12

Inches: 8"

☐ CONCRETE

☐ Cylinders

☐ Beams

☐ Prisms

☐ Pick-Up

Set No. _____

☐ Pick-Up Proctor

☐ Pick-Up LBR

DESCRIPTION OF DAYS ACTIVITIES:

Density in 3000 ft every 500.

Time In: 1:15p

Time Out: _____

FDT's Performed _____

Cyls Cast/Cal-Tech _____

Cyls Cast/Client _____

Beams Cast/Cal-Tech: _____

Weather: _____

Hours Worked: 3.75

Other Tests: _____

Hours Travel: _____

Miles Travel: 94

Hours Standby: _____

Hours O.T.: _____

[Signature]
FIELD REPRESENTATIVE

CLIENT REPRESENTATIVE



Cal-Tech Testing, Inc.

- Engineering
 - Geotechnical
 - Environmental
- Laboratories

P O Box 1625 • Lake City, FL 32056-1625 • Tel(386)755-3633 • Fax(386)752-5456
 450 SR 13 N, Suite 206, #308, Jacksonville, FL 32259 • Tel(904)381-8901 • Fax(904)381-8902

REPORT OF IN-PLACE DENSITY TEST

JOB NO.: 17-00123-01

DATE TESTED: 2/16/2017

DATE REPORTED: 2/27/2017

PROJECT:	220 SE Klondike Place, Lake City, FL	
CLIENT:	Erkinger Homebuilders, Inc. 248 SE Nassau Street, Lake City, FL 32025	
GENERAL CONTRACTOR:	Erkinger Homebuilders, Inc.	
EARTHWORK CONTRACTOR:	Erkinger Homebuilders, Inc.	
INSPECTOR:	K. Harris	
ASTM METHOD (D-6938) Nuclear		SOIL USE BUILDING FILL
SPECIFIED REQUIREMENTS: 95%		

TEST NO.	TEST LOCATION	TEST DEPTH	WET DENSITY (lb/ft ³)	MOISTURE PERCENT	DRY DENSITY (lb/ft ³)	PROCTOR TEST NO.	PROCTOR VALUE	% MAXIMUM DENSITY
1	Northeast Corner, 15' South & 8' West	12"	116.3	9.9	105.8	1	107.2	99%
2	Northwest Corner, 12' East & 20' South	12"	117.4	9.8	106.9	1	107.2	100%
3	Northwest Corner, 25' South & 15' East	12"	116.7	9.4	106.7	1	107.2	100%

REMARKS:

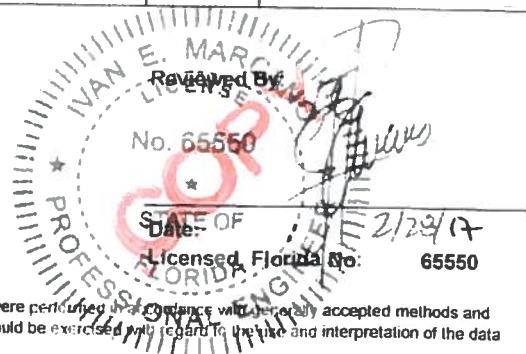
The Above Tests Meet Specified Requirements.

PROCTORS				
PROCTOR NO.	SOIL DESCRIPTION	MAXIMUM DRY UNIT WEIGHT (lb/ft ³)	OPT. MOIST.	TYPE
1	Brown Sand with Silt (SP-SM) & Trace of Clay	107.2	12.5	MODIFIED (ASTM D-1557)

Respectfully Submitted,
 CAL-TECH TESTING, INC.

Linda M. Creamer

Linda M. Creamer
 President - CEO



The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data. This report shall not be reproduced without prior approval of the author.



- Engineering
- Geotechnical
- Environmental

Laboratories

Cal-Tech Testing, Inc.

P O Box 1625 • Lake City, FL 32056-1625 • Tel(386)755-3633 • Fax(386)752-5456

450 SR 13 N, Suite 206, #308, Jacksonville, FL 32259 • Tel(904)381-8901 • Fax(904)381-8902

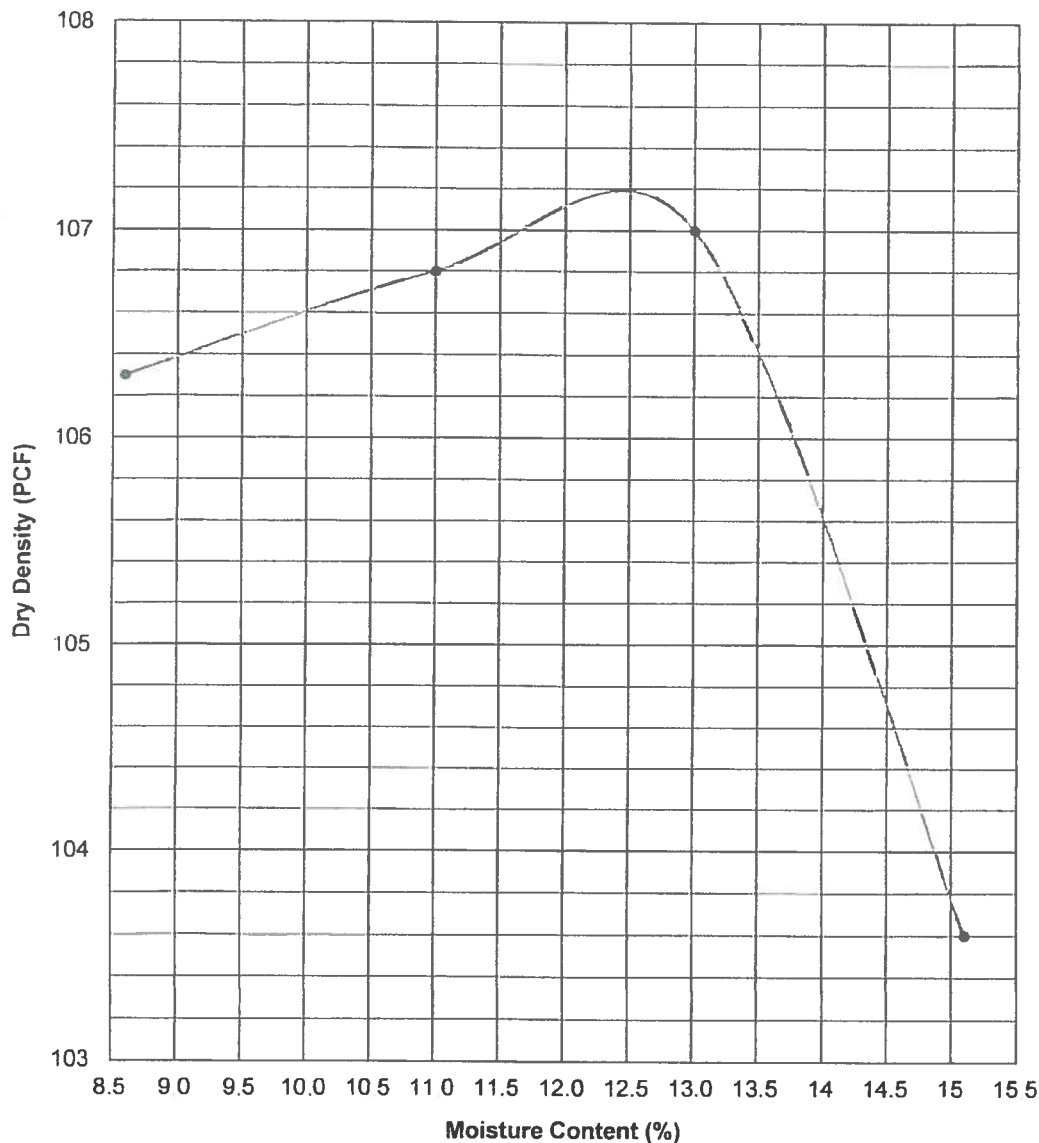
REPORT OF LABORATORY COMPACTION TEST

Client: Erkinger Homebuilders, Inc. 248 SE Nassau Street Lake City, FL 32025
Project Name: 220 SE Klondike Place
Project Location: Lake City, FL
Contractor: Erkinger Homebuilders, Inc

File No: 17-00123-01

Date: 2/27/2017

Lab No: 19908



PROCTOR DATA

Proctor No.: 1

Modified Proctor (ASTM D-1557) ☐

Standard Proctor (ASTM D-698) ☐

Maximum Dry
Dens. Pcf: 107.2

Optimum Moisture
Percent: 12.5

Total -200 (%): 10.2

LL: NA

PI: NP

The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data. This report shall not be reproduced without prior approval of the author.

Sample Description: Brown Sand with Silt (SP SM) & Trace of Clay

Sample Location: Jobsite

Proposed Use: Building Fill

Sampled By: K Harris

Date: 2/16/2017

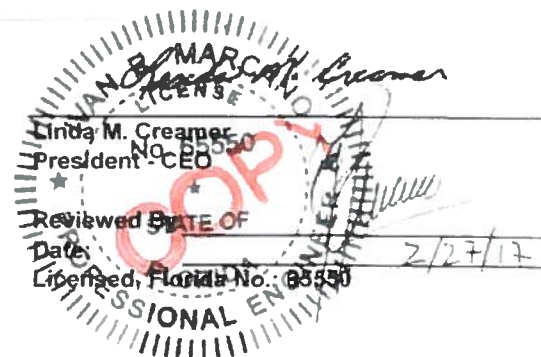
Tested By: T Holmes

Date: 2/24/2017

Remarks: 1cc: Client

1cc: File

JGG



#34923



FLORIDA PEST CONTROL
www.flapest.com

IMPORTANT NOTICE TO OWNER

During the construction of your home Florida Pest Control & Chemical Co. provided treatment for the control and prevention of subterranean termites.

Continued protection requires that annual inspections be made. Please contact us at the number below to receive a copy of your Termite Protection Policy.

Address: _____

Phone: 727-123-1234

Removal Date: 12-18

PH 100 Q

COLUMBIA COUNTY OFFICE OF CIVIL ENGINEERING

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 09-4S-17-08301-008

Building permit No. 000034923

Use Classification SFD, UTILITY

Fire: 59.28

Permit Holder MATTHEW ERKINGER

Waste: 48.27

Owner of Building JOHN R MCCLAIN III

Total: 107.55

Location: 220 SE KLONDIKE PL, LAKE CITY, FL 32025

Date: 07/06/2017

Ray Cunn

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

Notice of Treatment

Applicator: **Florida Pest Control** • (www.flapest.com)

Address: 536 SE Baya Dr

City Lake City FL Phone (386) 752-1703

Site Location: Subdivision _____

Lot # _____ Block# _____ Permit # 34923

Address 220 SE Klondike PL Lake City FL

<u>Product used</u>	<u>Active Ingredient</u>	<u>% Concentration</u>
☐ Premise	Imidacloprid	0.1%
☒ Termidor	Fipronil	0.12%
☐ _____	_____	_____

Type treatment: ☒ Soil

<u>Area Treated</u>	<u>Square feet</u>	<u>Linear feet</u>	<u>Gallons Applied</u>
<u>Foundation</u>	<u>2,139</u>	_____	<u>110</u>
<u>Block voids</u>	_____	<u>280</u>	<u>90</u>
_____	_____	_____	_____

As per Florida Building Code – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

3-13-17
Date

9:00
Time

Sohnathon Gaines
Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

Not Necessary at this time.

Needed at Perm. Power

on finished Court.

OMB No. 1660-0008
Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

*filed as only proof
of Elevation of 104.7'*

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name JOHN RANDALL MCCLAIN III				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 220 SE KLONDIKE PLACE				Company NAIC Number:	
City LAKE CITY		State Florida		ZIP Code 32025	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) TAX PARCEL NO. 09-4S-17-08301-008					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>N.30D09'23.4"</u> Long. <u>W.082D37'15.8"</u> Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>1B</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) _____ sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade _____					
c) Total net area of flood openings in A8.b _____ sq in					
d) Engineered flood openings? ☐ Yes ☐ No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____					
c) Total net area of flood openings in A9.b _____ sq in					
d) Engineered flood openings? ☐ Yes ☐ No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number COLUMBIA COUNTY, FL 120070			B2. County Name COLUMBIA		B3. State Florida
B4. Map/Panel Number 12023C0313	B5. Suffix C	B6. FIRM Index Date 02/04/2009	B7. FIRM Panel Effective/ Revised Date 02/04/2009	B8. Flood Zone(s) AH	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 103.5
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: ☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No Designation Date: _____ ☐ CBRS ☐ OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 220 SE KLONDIKE PLACE			Policy Number:
City LAKE CITY	State Florida	ZIP Code 32025	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☒ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: Q 370 PID BD2281 Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|--|-------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 104.7 | ☒ feet | ☐ meters |
| b) Top of the next higher floor | _____ | ☒ feet | ☐ meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | _____ | ☒ feet | ☐ meters |
| d) Attached garage (top of slab) | _____ | ☒ feet | ☐ meters |
| * e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) <u>BLANK</u> | _____ | ☒ feet | ☐ meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 103.3 | ☒ feet | ☐ meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 103.6 | ☒ feet | ☐ meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | _____ | ☒ feet | ☐ meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name
MARK D. DUREN

License Number
LS4708

Title
FLORIDA LICENSED SURVEYOR AND MAPPER

Company Name
MARK D. DUREN AND ASSOCIATES, INC

Address
1604 SW SISTERS WELCOME ROAD

City
LAKE CITY

State
Florida

ZIP Code
32025

Signature

Date
03/16/2017

Telephone

386-758-9831

[Signature]
LS4708
3/16/2017
Seal
Here

17-113

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

CONCRETE SLAB WITH FILLED STEMWALLS. NO OTHER IMPROVEMENTS AT THIS TIME. STRUCTURE IS UNDER CONSTRUCTION. HAG AND LAG ARE ON FILL.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 220 SE KLONDIKE PLACE			Policy Number:
City LAKE CITY	State Florida	ZIP Code 32025	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ . _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
---------	------	-------	----------

Signature	Date	Telephone
-----------	------	-----------

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 220 SE KLONDIKE PLACE			Policy Number:
City LAKE CITY	State Florida	ZIP Code 32025	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement		
G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____		
G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____		
G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____		
Local Official's Name		Title
Community Name		Telephone
Signature		Date
Comments (including type of equipment and location, per C2(e), if applicable)		

☐ Check here if attachments.

BUILDING PHOTOGRAPHS**ELEVATION CERTIFICATE**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.**FOR INSURANCE COMPANY USE**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
220 SE KLONDIKE PLACE

Policy Number:

City
LAKE CITYState
FloridaZIP Code
32025

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

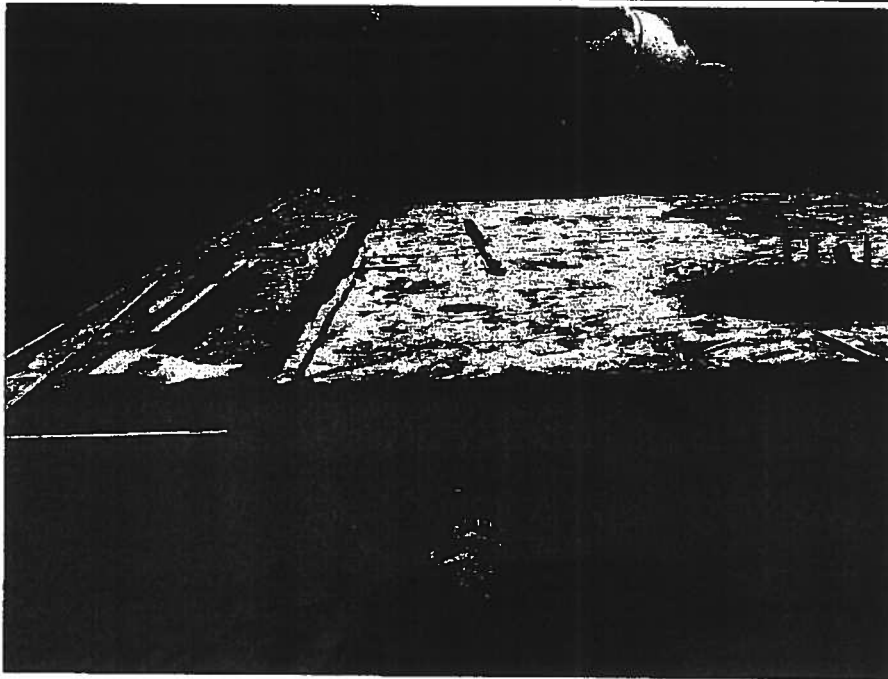


Photo One

Photo One Caption WEST OR RIGHT SIDE VIEW ALSO SHOWING FRONT PORCH AREA. MARCH 15, 2017.

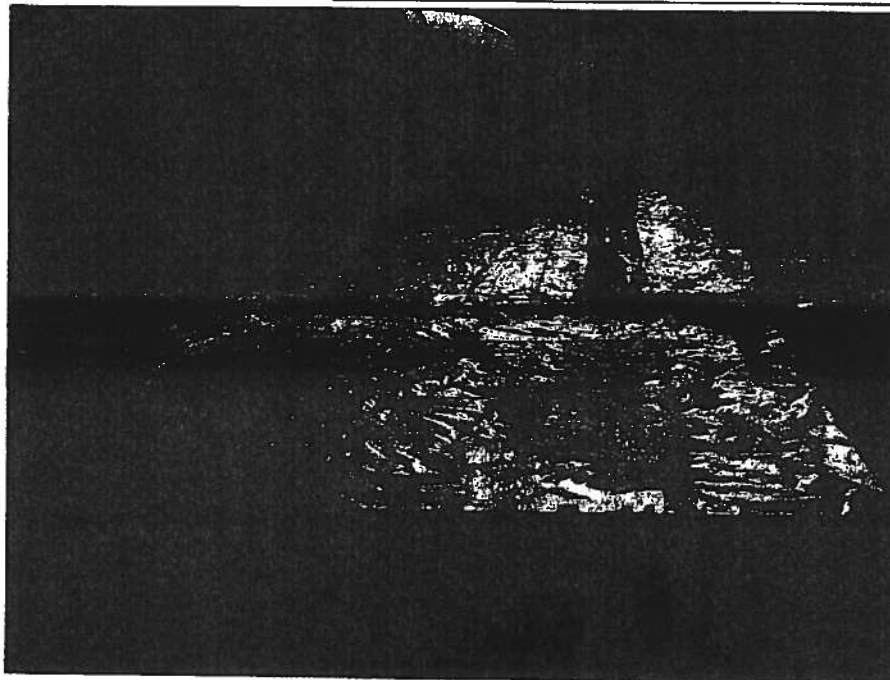


Photo Two

Photo Two Caption WEST OR RIGHT SIDE VIEW ALSO SHOWING BACK PORCH AREA. MARCH 15, 2017.