

DATE 04/13/2010

Columbia County Building Permit  
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT  
000028483

APPLICANT SYDNEY ROBERTS PHONE 386.364.8402  
ADDRESS 6865 KEENTOWN ROAD DUETTE FL 34219  
OWNER JOHN ZARRELLA PHONE 386.623.0411  
ADDRESS 208 SW DRAGON FLY COURT LAKE CITY FL 32024  
CONTRACTOR MICHAEL GLASSBURN, JR. PHONE 863.838.3502  
LOCATION OF PROPERTY 90-W TO CYPRESS LAKE S.D, TL TO DRAGON FLY COURT, TR AND  
IT'S THE 3RD. HOME ON R.  
TYPE DEVELOPMENT ATTACHED GARAGE ESTIMATED COST OF CONSTRUCTION 36000.00  
HEATED FLOOR AREA 720.00 TOTAL AREA 720.00 HEIGHT 14.00 STORIES 1  
FOUNDATION CONC WALLS FRAMED ROOF PITCH 4'12 FLOOR CONC  
LAND USE & ZONING RSF-2 MAX. HEIGHT 35  
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 33-3S-16-02434-210 SUBDIVISION CYPRESS LAKE  
LOT 10 BLOCK PHASE 3 UNIT TOTAL ACRES 1.00

CBC1252563  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING X-10-082 BLK HD N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS:

Check # or Cash 1231

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Insulation date/app. by  
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by  
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by  
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 180.00 CERTIFICATION FEE \$ 3.60 SURCHARGE FEE \$ 3.60

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 237.20

INSPECTORS OFFICE Laurie Hobson CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



## Notice of Treatment *Added 6543*

Applicator: **Florida Pest Control & Chemical Co. (www.flapest.com)**

Address: 536 SE Bay Ave

City: LAKE CITY

Phone: 386 752-1703

Site Location: Subdivision

Cypress Lake

Lot #

Block #

Permit #

28483

Address: 208 Dragonfly Ct. L.C.

Product used	Active Ingredient	% Concentration
<input checked="" type="checkbox"/> Premise	Imidacloprid	0.1%
<input type="checkbox"/> Termidor	Fipronil	0.12%
<input type="checkbox"/> Bora-Care	Disodium Octaborate Tetrahydrate	23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated	Square feet	Linear feet	Gallons Applied
<u>Garage Addition</u>	<u>120</u>	<u>108</u>	<u>57.6</u>

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line \_\_\_\_\_.

4-19-10

Date

12:04

Time

F279

Print Technician's Name

Remarks: \_\_\_\_\_

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05



**COLUMBIA COUNTY  
OFFICE  
OF  
CIVIL  
ENGINEERING**

# OCCUPANCY

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 33-3S-16-02434-210

Building permit No. 000028483

Use Classification ATTACHED GARAGE

Fire: 0.00

Permit Holder MICHAEL GLASSBURN, JR.

Waste:           

Owner of Building JOHN ZARRELLA

Total: 0.00

Location: 208 SW DRAGON FLY COURT, LAKE CITY, FL

Date: 06/21/2010

*Harry Dicks*

Building Inspector



**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*



# Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 536 SE Bay Ave

City: Lake City Phone: 754 1703

Site Location: Subdivision Cypress Lakes S/D

Lot # Block# Permit # 28483

Address 208 Dragon Fly Ct

Product used Active Ingredient % Concentration

☐ Premise Imidacloprid 0.1%

☒ Termitor Fipronil 0.12%

☐ Bora-Care Disodium Octaborate Tetrahydrate 23.0%

Type treatment:

☒ Soil

☐ Wood

Area Treated

Exterior Perimeter  
Garage Addition

Square feet

720

Linear feet

108 ft

Gallons Applied

10

As per Florida Building Code 104.2.6 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line JDP

6/3/10

Date

0245

Time

James Parker

Print Technician's Name

Remarks: No previous indication of treatment of parking pads

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05 ©



## Columbia County Building Permit Application

\$ 237.20  
no flood (Attached)  
an Sept.

For Office Use Only Application # 1003-53 Date Received 3-31-10 By LH Permit # 28483  
Zoning Official BLK Date 13.04.10 Flood Zone X Land Use RES. L-Den Zoning RSF-2  
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner 240 Date 4-12-10  
Comments \_\_\_\_\_  
☐ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr ON SITE Road/Code \_\_\_\_\_  
School \_\_\_\_\_ = TOTAL 0 SUSPENDED VF

Septic Permit No. X10-082 Fax 941-776-1045  
In Box Sydney Roberts 386-364-8402  
Name Authorized Person Signing Permit Michael Glassburn Phone 863-838-3502

Address 6865 Keentown Rd. Duette, FL 34219

Owners Name John Zarzalla Phone 386-623-0411

911 Address 208 SW Dragon Fly Crt. Lake City, FL 3204

Contractors Name Michael Glassburn Sr Phone 863-838-3502

Address 6865 Keentown Rd. Duette, FL 34219

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address GTC Design 130 W. Howard St., Live Oak

Mortgage Lenders Name & Address CASH 32064

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 33-35-16-02434-210 Estimated Cost of Construction 18,500.00

Subdivision Name Cypress Lake Lot 10 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase 3

Driving Directions West US 90 to Cypress Lake Sub. turn left into  
Subdivision 2nd pave road to right 2nd Ave CT - 3rd Ave on K

Number of Existing Dwellings on Property 1

Construction of New Garage Attached Total Acreage 1 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14'

Actual Distance of Structure from Property Lines - Front 104 Side 148 Side 48' Rear 72'

Number of Stories 1 Heated Floor Area 720 Total Floor Area 720 Roof Pitch 4/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

ck

# 1231



## Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION:** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

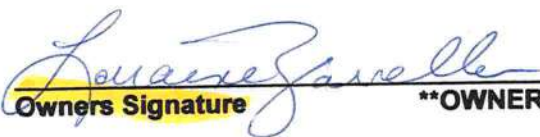
**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

  
Contractor's Signature (Permitee)

Contractor's License Number CBC 1252563  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 31 day of March 2010.

Personally known \_\_\_\_\_ or Produced Identification FLDL

  
State of Florida Notary Signature (For the Contractor)

SEAL:





# **SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1003-53 CONTRACTOR Michael Glassburn PHONE 963-838-3502

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	CBC1252563	Glassburn Sr. Const.	<i>[Signature]</i>
CONCRETE FINISHER	LL	LL	<i>[Signature]</i>
FRAMING	LL	LL	<i>[Signature]</i>
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
<b>PAINTING</b> OWNER <i>[Signature]</i>			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING	CBC1252563	Glassburn Sr. Const.	<i>[Signature]</i>
GARAGE DOOR	LL	LL	<i>[Signature]</i>
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

# Columbia County Property Appraiser

DB Last Updated: 3/29/2010

2009 Tax Roll Year

Parcel: 33-3S-16-02434-210

&lt;&lt; Next Lower Parcel

Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

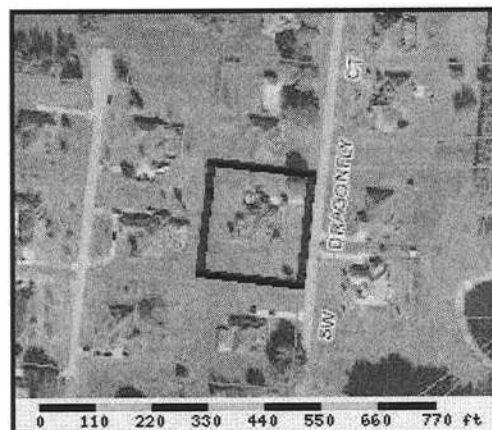
Interactive GIS Map

Print

Search Result: 1 of 1

## Owner & Property Info

Owner's Name	ZARRELLA JOHN & LORRAINE L		
Mailing Address	208 SW DRAGON FLY CT LAKE CITY, FL 32024		
Site Address	208 SW DRAGON FLY CT		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	2 (County)	Neighborhood	33316
Land Area	1.037 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 10 CYPRESS LAKE PHASE 3, ORB 773-125, 801-2099, 889-990, 937-2099,			



## Property & Assessment Values

2009 Certified Values		
<b>Mkt Land Value</b>	cnt: (0)	\$34,425.00
<b>Ag Land Value</b>	cnt: (1)	\$0.00
<b>Building Value</b>	cnt: (1)	\$144,628.00
<b>XFOB Value</b>	cnt: (5)	\$16,688.00
<b>Total Appraised Value</b>		\$195,741.00
<b>Just Value</b>		\$195,741.00
<b>Class Value</b>		\$0.00
<b>Assessed Value</b>		\$166,622.00
<b>Exempt Value</b>	(code: HX)	\$50,000.00
<b>Total Taxable Value</b>	Cnty: \$116,622 Other: \$116,622   Schl: \$141,622	

## 2010 Working Values

**NOTE:**  
2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
10/15/2001	937/2099	WD	I	Q	99	\$190,000.00
9/30/1999	889/990	WD	I	Q		\$166,000.00
2/14/1995	801/2099	WD	I	Q		\$128,000.00
4/2/1993	773/125	WD	V	U	35	\$70,000.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1995	ABOVE AVG. (10)	2196	2895	\$139,987.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0280	POOL R/CON	1995	\$6,758.00	0000512.000	32 x 16 x 0	(000.00)
0166	CONC,PAVMT	1995	\$1,062.00	0000708.000	0 x 0 x 0	(000.00)



28483

# NOTICE OF COMMENCEMENT

Inst: 201012006014 Date: 4/16/2010 Time: 2:00 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1192 P: 2122

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 33-38-16-02434-210

I, THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot 10 Cypress Lake Phase 3  
a) Street (job) Address: \_\_\_\_\_
2. General description of improvements: New Garage
3. Owner Information  
a) Name and address: John & Lorraine Zarrella  
b) Name and address of fee simple titleholder (if other than owner) \_\_\_\_\_  
c) Interest in property: Owner
4. Contractor Information  
a) Name and address: Michael Glassburn Jr  
b) Telephone No.: 863-838-3502 Fax No. (Opt.) \_\_\_\_\_
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender  
a) Name and address: N/A  
b) Phone No.: \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b).  
Florida Statutes:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Michael Glassburn Jr  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Michael Glassburn Jr  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 31 day of March, 2010, by:  
Michael Glassburn Jr as Contractor (type of authority, e.g. officer, trustee, attorney  
fact) for John & Lorraine Zarrella (name of party on behalf of whom instrument was executed).  
Personally Known ☐ OR Produced Identification ☒ Type FDL

Notary Signature Laurie Hodson Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Michael Glassburn Jr  
Signature of Natural Person Signing (in line #10 above.)

# Invoice

## Michael Glassburn Jr., LLC

6865 Keentown Rd  
Duette, FL 34219

Date	Invoice #
3/19/2010	1001

Michael Glassburn      Sidney Robetrts  
CBC-1252563      Project Manager/Salesman  
863-838-3502      386-364-8402

John Zarrella  
208 SW Dragonfly Crt  
Lake City, FL

Description	Amount
All Engineering fees and permits required for the construction of a 30' x 24' x 9' Garage tied into the existing home.	0.00
The new structure will have a 24' x 30' monolithic slab poured to include the footers for the new construction. The project will also include a 12' x 30' additional slab poured along one side of the building and a 5' apron across the front of the structure. The area under roof will be mirror finished and termite treated. The exposed area will have a broom finish.	5,800.00
The walls will be constructed of 2 x 4 southern yellow pine and will be sheeted with 7/16 structural OSB wrapped with house wrap and finished on the exterior only with 6" Hardee board lap siding left to be painted by others.	3,200.00
Windows & Doors will be as follows as per plans reviewed by customer; (4) 3-0 x 2-0 windows (1) 3-0 x 6-8 exterior door and (1) 8 x 16 manual garage door	2,100.00
Roof will be 24' x 30' with trusses 24" oc 4/12 pitch covered with 7/16 structural OSB and shingled to match existing structure. The roof will be tied into the existing roof where necessary per Engineered plans.	7,000.00
There will be one subpanel installed for the later addition by others of Lights and electrical outlets.	400.00
Any undisclosed deed restrictions or county/city restrictions are not covered in the above quote and any additional fees and permits required will be at an additional cost.	
30% down of \$5500.00 is required for Engineering and Permitting fees. Once Engineered Plans have been accepted by the Homeowner and Building Department and permit has been issued for construction to begin a second draw will be required for materials and subcontractors of \$9000.00. A third draw of \$3500.00 will be expected once the C/O has been issued by the Building Department. The final \$500.00 will be held by the Homeowner until the punch list has been completed.	
<i>DWN PAYMENT ✓ # 645 FOR 5500 ON 3/20/10</i>	
Thank you for your business.	
<i>[Signature]</i> 3/20/10	<b>Total</b> \$18,500.00



**PRODUCT APPROVAL SPECIFICATION SHEET**

Location: \_\_\_\_\_

Project Name: \_\_\_\_\_

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging	Masonite	6 Panel	FL 18
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic	Amarr	Garage Door Sectional	FL 697
6. Other			
<b>B. WINDOWS</b>			
1. Single hung	Betterbuilt	Aluminum	FL 663
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
1. Siding	Kaycan	Wood	FL 1139
2. Soffits	Kaycan	Wood	FL 1196
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles	Tomko		FL 623
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

2/02/04 - 1 of 2

Union Corrugating Metal Roof  
Website: [www.tlcpennits.org](http://www.tlcpennits.org)

James Hardie Board

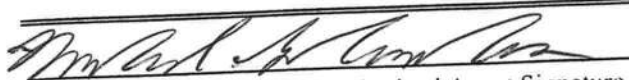
FL 72  
Effective April 1, 2004  
FL 889.5

YKKAP- FL 11382

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
<b>E. SHUTTERS</b>			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
<b>F. SKYLIGHTS</b>			
1. Skylight			
2. Other			
<b>G. STRUCTURAL COMPONENTS</b>			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
<b>H. NEW EXTERIOR ENVELOPE PRODUCTS</b>			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspect

  
Contractor or Contractor's Authorized Agent Signature

Michael Glassborn 3/31/10  
Print Name Date

Permit # (FOR STAFF USE ONLY)



BOUNDARY SURVEY IN SECTION 33, TOWNSHIP 3 SOUTH,  
RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.



SCALE: 1" = 40'

SYMBOL LEGEND

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
⊕	POWER POLE
▲	WATER METER
Ⓢ	CENTERLINE
*	WELL
⊙	SATELLITE DISH
⊞	TELEPHONE BOX
—E—	ELECTRIC LINES
—X—	WIRE FENCE
—○—	CHAIN LINK FENCE
—□—	WOODEN FENCE

DESCRIPTION:

LOT 10 OF "CYPRESS LAKE, PHASE 3" AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6,  
PAGE 80 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
2. BEARINGS ARE BASED ON SAID PLAT OF RECORD.
3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 6 JANUARY, 1988 COMMUNITY PANEL NUMBER 120070 0175 B. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.

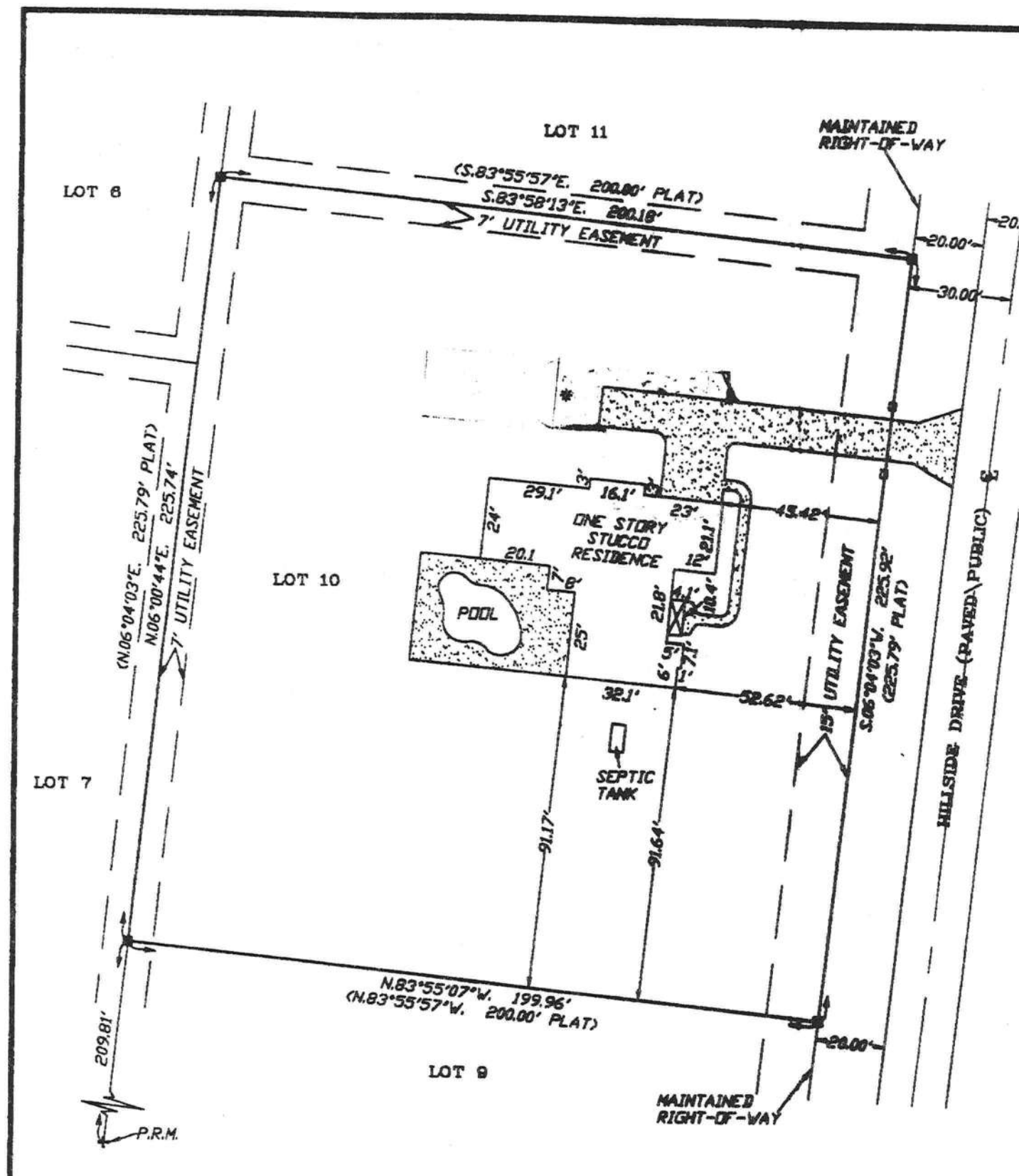
IFICATION

MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM  
BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS  
PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



**BRITT SURVEYING**

LAND SURVEYORS AND MAPPERS



**CERTIFIED TO:**

JERRY F. & NELLIE M. ROBERTSON  
FIRST FEDERAL SAVINGS BANK OF FLORIDA  
TAYLOR, BEAN & WHITAKER MORTGAGE CORPORATION  
ABSTRACT AND TITLE SERVICES INC.  
CHICAGO TITLE INSURANCE COMPANY

FIELD BOOK: 210

PAGE(S): 4-6

SURVEYOR'S

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE  
TECHNICAL STANDARDS AS SET FORTH BY THE FLA.  
IN CHAPTER 68B17-6, FLORIDA ADMINISTRATIVE CO

09/21/99  
FIELD SURVEY DATE

09/22/99  
DRAWING DATE

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORI.  
NUMBER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR



# Invoice

## Michael Glassburn Jr., LLC

6865 Keentown Rd  
Duette, FL 34219

Date	Invoice #
3/19/2010	1001

Michael Glassburn  
CBC-1252563  
863-838-3502

Sidney Robetrts  
Project Manager/Salesman  
386-364-8402

John Zarrella  
208 SW Dragonfly Crt  
Lake City, FL

Description	Amount
All Engineering fees and permits required for the construction of a 30' x 24' x 9' Garage tied into the existing home.	0.00
The new structure will have a 24' x 30' monolithic slab poured to include the footers for the new construction. The project will also include a 12' x 30' additional slab poured along one side of the building and a 5' apron across the front of the structure. The area under roof will be mirror finished and termite treated. The exposed area will have a broom finish.	5,800.00
The walls will be constructed of 2 x 4 southern yellow pine and will be sheeted with 7/16 structural OSB wrapped with house wrap and finished on the exterior only with 6" Hardee board lap siding left to be painted by others.	3,200.00
Windows & Doors will be as follows as per plans reviewed by customer; (4) 3-0 x 2-0 windows (1) 3-0 x 6-8 exterior door and (1) 8 x 16 manual garage door	2,100.00
Roof will be 24' x 30' with trusses 24" oc 4/12 pitch covered with 7/16 structural OSB and shingled to match existing structure. The roof will be tied into the existing roof where necessary per Engineered plans.	7,000.00
There will be one subpanel installed for the later addition by others of Lights and electrical outlets.	400.00
Any undisclosed deed restrictions or county/city restrictions are not covered in the above quote and any additional fees and permits required will be at an additional cost.	
30% down of \$5500.00 is required for Engineering and Permitting fees. Once Engineered Plans have been accepted by the Homeowner and Building Department and permit has been issued for construction to begin a second draw will be required for materials and subcontractors of \$9000.00. A third draw of \$3500.00 will be expected once the C/O has been issued by the Building Department. The final \$500.00 will be held by the Homeowner until the punch list has been completed.	
<i>DWN PAYMENT ✓ # 1645 FOR 5500 ON 3/20/10</i>	
Thank you for your business.	
<i>ASZ 3/20/10</i>	<b>Total</b> \$18,500.00

Application # 1003-53  
ZARRELLA

## ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1U0L215-Z0402065853

Truss Fabricator: W.B. Howland  
Job Identification: 6729-/24X30 BLDG.--COL. COUNTY /OUTBACK CONSTRUCTION -- Columbia County, FL  
Truss Count: 2  
Model Code: Florida Building Code 2007 and 2009 Supplement  
Truss Criteria: FBC2007Res/TPI-2002(STD)  
Engineering Software: Alpine Software, Version 9.02.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-05 -Closed

### Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

Details: A1101505-GBLLETIN-

Seal Date: 04/02/2010

-Truss Design Engineer-  
James F. Collins Jr.  
Florida License Number: 52212  
1950 Marley Drive  
Haines City, FL 33844

#	Ref	Description	Drawing#	Date
1	32545--A		10091083	04/01/10
2	32546--GE		10091082	04/01/10

7/4  
"TEMPORARY"  
UNTIL SEALS  
ARE IN



(6729-/24X30 BLDG. -COL. COUNTY /OUTBACK CONSTRUCTION -- Columbia County, FL - A)

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TROSS MFR.

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Roof overhang supports 2.00 psf soffit load.

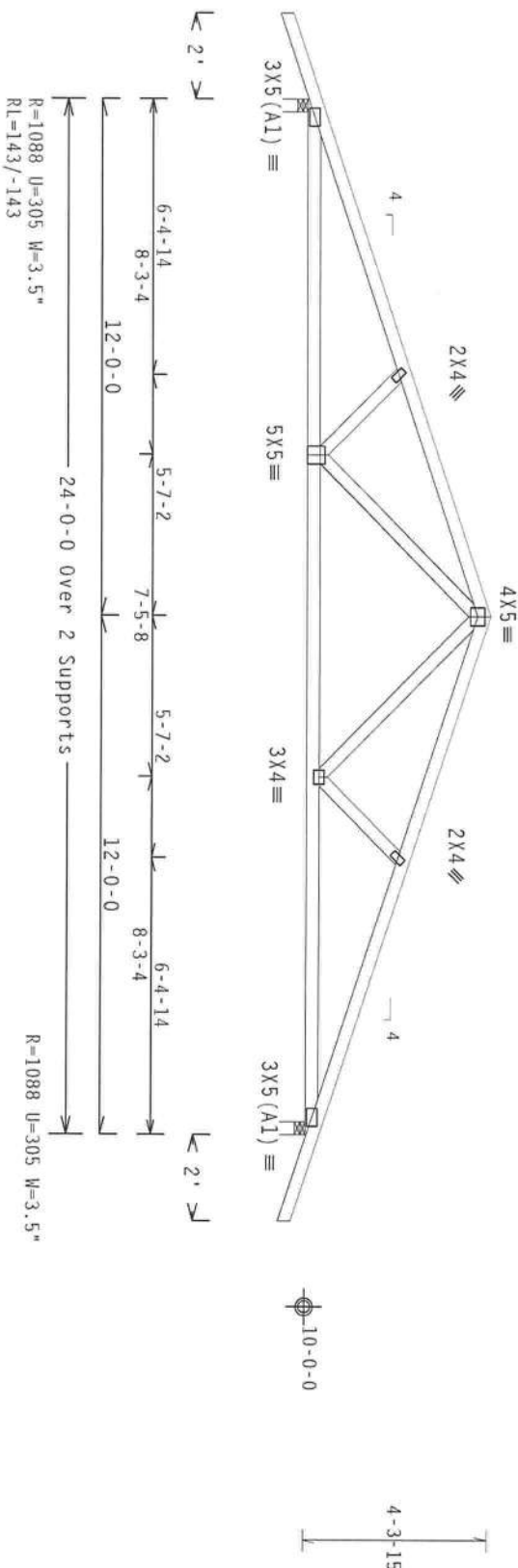
Bottom chord checked for 10.00 psf non-concurrent live load.

The overall height of this truss excluding overhang is 4-3-15.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCPI (+/-)=0.18

Wind reactions based on MMFRS pressures.

Deflection meets L/240 live and L/180 total load.



PLT TYP. Wave

Design Crit: FBC2007Res./TPI-2002 (STD)

FT/RT=20%(0%)/10(0)

9.02

QTY: 15 FL/-/5/-/-/R/-

Scale = .25"/ft.

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844

FL COA #0 278

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO RES3 (BRIDGING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22304) AND VICE (WOOD TRUSS COUNCIL OF AMERICA, 6500 ENTERPRISE AVE., SUITE 100, WILMINGTON, DE 19804) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE NOTED, ALL TRUSSES HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORDS SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI: OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. BY ALPINE AND TPI. THE BCG COMPANY'S TRUSSES ARE NOT TO BE USED FOR ANY OTHER PURPOSES. THE BCG COMPANY'S TRUSSES ARE NOT TO BE USED FOR ANY OTHER PURPOSES. ANY INSPECTION OF TRUSSES FOLLOWED BY (1) SHALL BE PERFORMED AS OF THIS DESIGN, POSITION PER DRAWING 1604-2. BRACING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. A SEAL ON THIS DESIGN INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. THE RESPONSIBILITY OF THE BRACING DESIGNER PER ASS/TP1 SEC. 2.



TC LL	20.0 PSF	REF R215-- 32545
TC DL	10.0 PSF	DATE 04/01/10
BC DL	10.0 PSF	DRW HCUR215 10091083
BC LL	0.0 PSF	HC-ENG KD/DLJ *
TOT. LD.	40.0 PSF	SEQN- 256971
DUR. FAC.	1.25	FROM CDM
SPACING	24.0"	JREF - 1U0L215_Z04

Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Truss spaced at 24.0" OC designed to support 2-0-0 top chord  
outlookers. Cladding load shall not exceed 0.00 PSF. Top chord  
must not be cut or notched.

Bottom chord checked for 10.00 psf non-concurrent live load.

The overall height of this truss excluding overhang is 4-0-4.

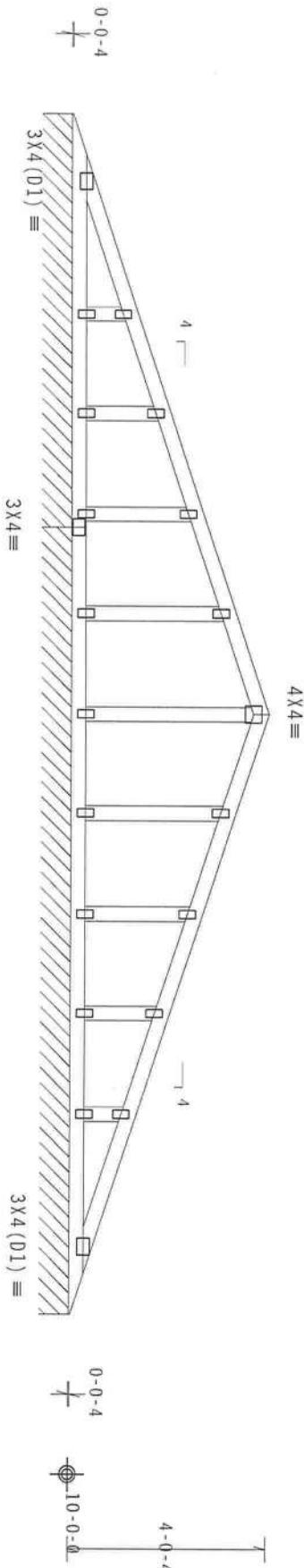
THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE  
ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND  
SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS  
LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE  
DESIGNED BY THE BUILDING DESIGNER.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located  
anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC  
DL=5.0 psf.  $I_w=1.00$  GCPI (+/-)=0.18

Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & GBLLETIN0109 for more requirements.

Deflection meets L/240 live and L/180 total load.



Note: All Plates Are 2x4 Except As Shown.  
Design Crit: FBC2007Res/TPI-2002 (STD)  
PLT TYP. Wave

R=137 PLF U=22 PLF W=8-3-4  
RL=12/-12 PLF

R=126 PLF U=18 PLF W=15-8-12

FT/RT=20%(0%)/10(0)

9.02.00

QTY: 1 FL/-/5/-/-/R/-

Scale = .3125"/ft.

\*\*WARNING\*\* THUSSES REQUIRE EXISTING CASE IN FABRICATION, HOURLING, SHIPPING, INSTALLING AND DRIVING.  
REFER TO BEST (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218  
NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND VICE (WOOD TRUSS COUNCIL OF AMERICA, ONESS  
A PROPERLY ATTACHED RIGID CEILING.

\*\*IMPORTANT\*\* FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. THE BCG, INC. SHALL NOT  
BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE OF THE TRUSS IN COMPLIANCE WITH  
TPI: OR FABRICATING, HANDLING, SHIPPING, INSTALLING & DRIVING OF TRUSSES.

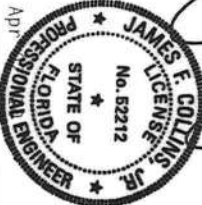
DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF BCG QUALITY DESIGN SPEC. BY A10093 AND TPI.  
THE BCG DESIGNER HAS REVIEWED THE TRUSS DESIGN AND HAS DETERMINED THAT THE TRUSS DESIGN  
PLATES TO EACH FACE OF TRUSS AND THE TRUSS ORIENTED LOCATED ON THIS DESIGN PER A SEAL ON THIS  
BRANDING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPONENT  
DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE  
BUILDING DESIGNER PER A101109 SEC. 2.

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844

FL COA #0 278



TC LL	20.0 PSF	REF R215-- 32546
TC DL	10.0 PSF	DATE 04/01/10
BC DL	10.0 PSF	DRW HCUR215 10091082
BC LL	0.0 PSF	HC-ENG KD/DLJ
TOT. LD.	40.0 PSF	SEQN- 256967
DUR. FAC.	1.25	FROM CDM
SPACING	24.0"	JREF- 1U0L215_204



1003-53

ITW Building Components Group, Inc.

ZARRELLA

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1U0L215-Z0402065853

Truss Fabricator: W.B. Howland  
Job Identification: 6729-/24X30 BLDG.--COL. COUNTY /OUTBACK CONSTRUCTION -- Columbia County, FL  
Truss Count: 2  
Model Code: Florida Building Code 2007 and 2009 Supplement  
Truss Criteria: FBC2007Res/TPI-2002(STD)  
Engineering Software: Alpine Software, Version 9.02.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

Details: A1101505-GBLLETIN-



Seal Date: 04/02/2010

-Truss Design Engineer-  
James F. Collins Jr.  
Florida License Number: 52212  
1950 Marley Drive  
Haines City, FL 33844

#	Ref	Description	Drawing#	Date
1	32545--A		10091083	04/01/10
2	32546--GE		10091082	04/01/10



Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCpi(+/-)=0.18

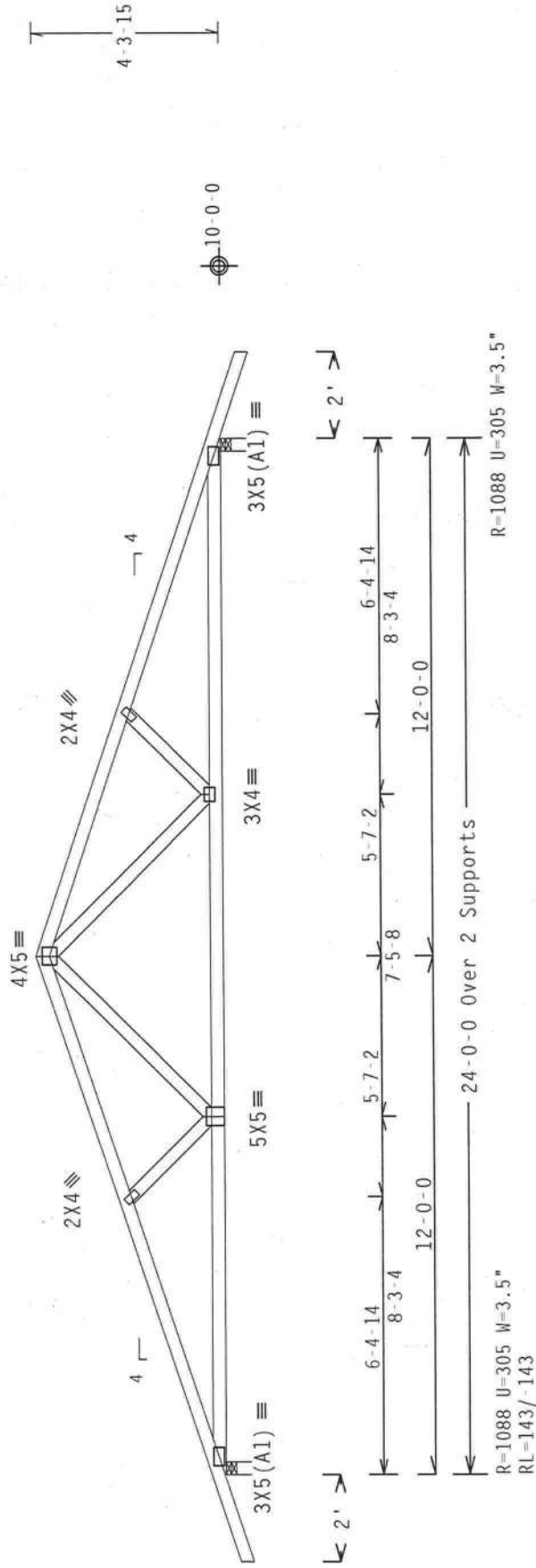
Roof overhang supports 2.00 psf soffit load.

Bottom chord checked for 10.00 psf non-concurrent live load.

The overall height of this truss excluding overhang is 4-3-15.

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load.



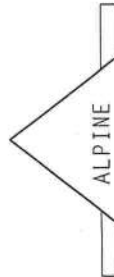
Design Crit: FBC2007Res/TPI-2002(STD)  
FT/RT=20%(0%)/10(0)

PLT TYP. Wave

Scale = .25"/Ft.

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATING, HANDLING, SHIPPING, INSTALLING AND BRACING. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI-2002 OR THE MANUFACTURER'S INSTRUCTIONS MAY BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING. THE TRUSS IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH IT WAS DESIGNED. THE TRUSS IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH IT WAS DESIGNED. THE TRUSS IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH IT WAS DESIGNED.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BEG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI-2002 OR THE MANUFACTURER'S INSTRUCTIONS MAY BE RESPONSIBLE FOR ANY DAMAGE TO THE TRUSS OR TO THE BUILDING. THE TRUSS IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH IT WAS DESIGNED. THE TRUSS IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH IT WAS DESIGNED. THE TRUSS IS NOT TO BE USED FOR ANY OTHER PURPOSES THAN THAT FOR WHICH IT WAS DESIGNED.



ITW Building Components Group Inc.  
Haines City, FL 33844  
FL COA #0278



TC LL	20.0 PSF
TC DL	10.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT. LD.	40.0 PSF
DUR. FAC.	1.25
SPACING	24.0"

REF	R215--	32545
DATE	04/01/10	
DRW	HCUSR215	10091083
HC-ENG	KD/DLJ	*
SEQN	256971	
FROM	CDM	
JREF	1UOL215_Z04	



Top chord 2x4 SP #2 N  
Bot chord 2x4 SP #2 N  
Webs 2x4 SP #2 N

Truss spaced at 24.0" OC designed to support 2-0-0 top chord  
outlookers. Cladding load shall not exceed 0.00 PSF. Top chord  
must not be cut or notched.

Bottom chord checked for 10.00 psf non-concurrent live load.

The overall height of this truss excluding overhang is 4-0-4.

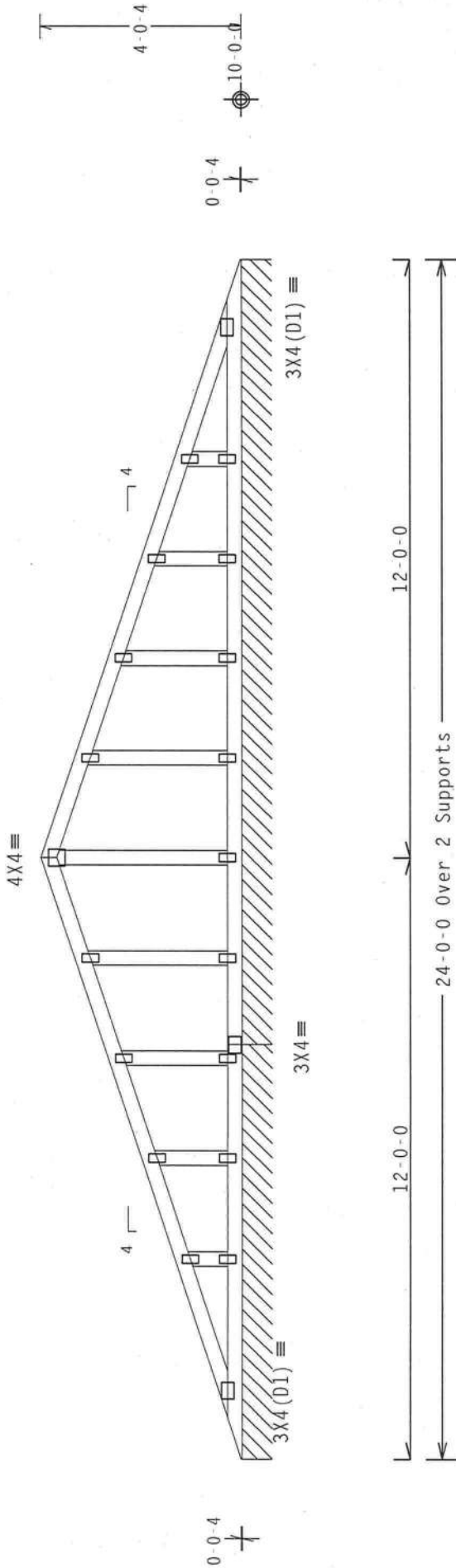
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ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND  
SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS  
LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE  
DESIGNED BY THE BUILDING DESIGNER.

110 mph wind, 15.00 ft mean hgt, ASCE 7-05, CLOSED bldg, located  
anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC  
DL=5.0 psf. Iw=1.00 GCpi(+/-)-0.18

Wind reactions based on MWFRS pressures.

See DWGS A11015050109 & GBLLETIM0109 for more requirements.

Deflection meets L/240 live and L/180 total load.



R=137 PLF U-22 PLF W-8-3-4  
RL=12/-12 PLF

R=126 PLF U=18 PLF W=15-8-12

Note: All Plates Are 2X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002(STD)

FT/RT=20%(0%)/10(0)

9.02.00

QTY:1

FL/-/5/-/R/-

Scale = .3125"/Ft.

REF R215 -- 32546

DATE 04/01/10

DRW HCUSR215 10091082

HC-ENG KD/DLJ

SEQN - 256967

FROM CDM

JREF - 1U0L215\_Z04

PLT TYP. Wave

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844

FL COA #0278

APR 10 2010

JAMES F. HULLANS, JR.

No. 52212

STATE OF FLORIDA

PROFESSIONAL ENGINEER

APR 10 2010

2x4 GABLE VERTICAL SPACING		BRACE		NO BRACES	(1) 1x4 "L" BRACE •				(1) 2x4 "L" BRACE •				(2) 2x4 "L" BRACE ••				(1) 2x6 "L" BRACE •				(2) 2x6 "L" BRACE •	
		GRADE			GROUP A		GROUP B		GROUP A		GROUP B		GROUP A		GROUP B		GROUP A		GROUP B			
		#1 / #2	#3																			
12" O.C.	SP	STUD	3' 10"	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"									
		HF	3' 9"	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"									
	SP	STANDARD	3' 9"	5' 2"	5' 2"	6' 9"	6' 9"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"									
		#1	4' 3"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"									
		#2	4' 2"	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"									
		#3	4' 0"	6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 5"	12' 8"	14' 0"	14' 0"									
	DFL	STUD	4' 0"	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 11"	12' 5"	12' 6"	14' 0"	14' 0"									
		STANDARD	3' 10"	5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"									
	16" O.C.	SP	STUD	4' 5"	7' 8"	7' 10"	9' 1"	9' 4"	10' 10"	11' 1"	14' 0"	14' 0"	14' 0"	14' 0"								
			HF	4' 4"	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"								
SP		STANDARD	4' 4"	6' 4"	6' 4"	8' 4"	8' 4"	9' 1"	9' 9"	10' 10"	12' 11"	14' 0"	14' 0"									
		#1	4' 10"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"									
		#2	4' 9"	7' 8"	8' 3"	9' 1"	9' 9"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"									
		#3	4' 6"	7' 7"	7' 7"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"									
DFL		STUD	4' 6"	7' 6"	7' 6"	9' 1"	9' 6"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"									
		STANDARD	4' 5"	6' 5"	6' 5"	8' 6"	8' 6"	10' 10"	11' 1"	13' 3"	13' 3"	14' 0"	14' 0"									
12" O.C.		SP	STUD	4' 11"	8' 5"	8' 8"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"								
			HF	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"								
	SP	STANDARD	4' 9"	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"									
		#1	5' 4"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"									
		#2	5' 3"	8' 5"	9' 1"	10' 0"	10' 9"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"									
		#3	5' 0"	8' 5"	8' 5"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"									
	DFL	STUD	5' 0"	8' 5"	8' 7"	10' 0"	10' 6"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"									
		STANDARD	4' 11"	7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"									

MAX GABLE VERTICAL LENGTH

## GABLE TRUSS DETAIL NOTES:

LIVE LOAD DEFLECTION CRITERIA IS L/240.

PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER  
CONTINUOUS BEARING (5 PSF TC DEAD LOAD).

CABLE END SUPPORTS LOAD FROM 4' 0"

OUTLOOKERS WITH 2' 0" OVERHANG, OR 12"

**PLYWOOD OVERHANG.**

ATTACH EACH "L" BRACE WITH 10d NAILS.  
(0.128"x3" min)

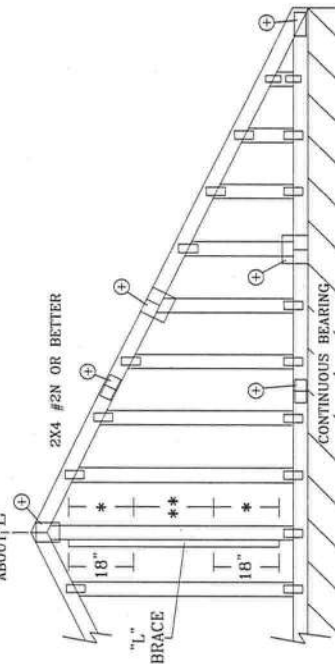
\* FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES

**\*\* FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C.**

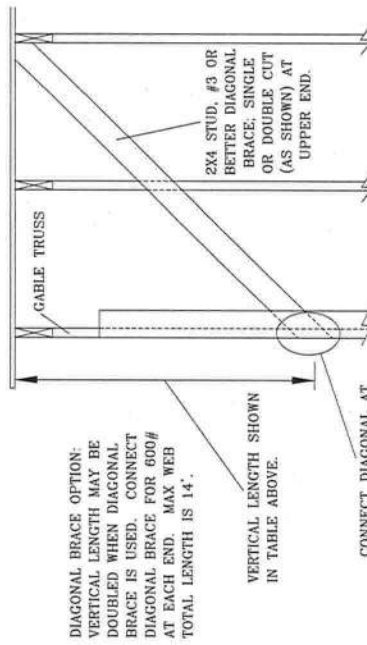
"L" BRACING MUST BE A MINIMUM OF 80% OF WEB IN 18" END ZONES AND 6" O.C. BETWEEN ZONES

GABLE VERTICAL PLATE SIZES	
VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0", BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR  
PEAK, SPLICE, AND HEEL PLATES



REFER TO CHART ABOVE FOR MAX GABLE VERTICAL LENGTH.



CONNECT DIAGONAL AT  
MIDPOINT OF VERTICAL WEB.

<div style="text-align: center;"> <p><b>TW</b> Building Components Group Inc.</p> </div>	<div style="border: 1px solid black; padding: 5px;"> <p><b>**WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET</b></p> <p>Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the Building Component Safety Information, by ITW and BCS, issued prior to performing any work on this truss. Trusses are designed and manufactured to be used in a specific application and shall have properly attached structural panels and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCS sections B3 &amp; B7. See this job's general notes page for more information.</p> <p><b>**IMPORTANT** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR</b></p> <p>ITW Building Components Group Inc. (ITWBCG) shall not be held liable for any deviation from this design. Any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing &amp; bracing of trusses. ITWBCG connector plates are made of 20/18/16GA (W/H/S/K) ASTM A653 grade 37/40/60 (K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details. A seal on this drawing or cover page indicates acceptance and professional engineering responsibility solely for the truss component design shown. The suitability and use of this component for any building is the responsibility of the Building Designer per ANSI/TPI 1 Sec. 2.</p> <p>ITW-BCG of the Building Designer per ANSI/TPI 1 Sec. 2  <a href="http://www.itwbcg.com">www.itwbcg.com</a>, <a href="http://www.tpinet.com">www.tpinet.com</a>, <a href="http://www.abcdindustry.com">www.abcdindustry.com</a>; ICC: <a href="http://www.iccsafe.org">www.iccsafe.org</a></p> </div>
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<div style="border-bottom: 1px solid black; padding-bottom: 5px;">REF</div> <div style="border-bottom: 1px solid black; padding-bottom: 5px;">DATE</div> <div style="border-bottom: 1px solid black; padding-bottom: 5px;">DRWG</div>	<div style="border-bottom: 1px solid black; padding-bottom: 5px;">ASCE7-05-GAB11015</div> <div style="border-bottom: 1px solid black; padding-bottom: 5px;">1/1/09</div> <div style="border-bottom: 1px solid black; padding-bottom: 5px;">A11015050109</div>
<div style="display: flex; justify-content: space-between;"> <div>MAX. TOT. LD. 60 PSF</div> <div>MAX. SPACING 24"</div> </div>	



# CABLE DETAIL FOR LET-IN VERTICALS

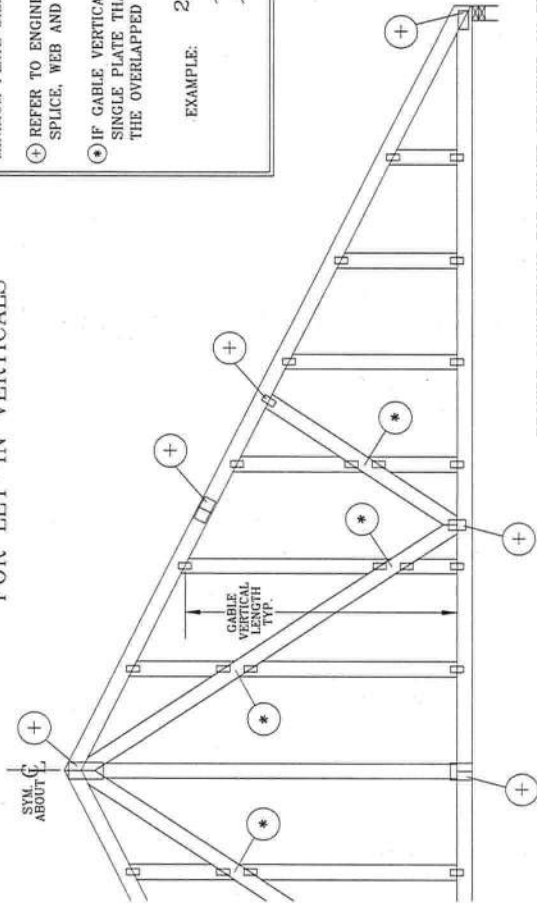
GABLE TRUSS PLATE SIZES  
REFER TO APPROPRIATE ITW GABLE DETAIL FOR  
MINIMUM PLATE SIZES FOR GABLE STUDS.

+

REFER TO ENGINEERED TRUSS DESIGN FOR PEAK,  
SPLICE, WEB AND HEEL PLATES.

+

IF GABLE VERTICAL PLATES OVERLAP, USE A  
SINGLE PLATE THAT COVERS THE TOTAL AREA OF  
THE OVERLAPPED PLATES TO SPAN THE WEB.

EXAMPLE:  


PROVIDE CONNECTIONS FOR UPLIFT SPECIFIED ON THE ENGINEERED TRUSS DESIGN.

ATTACH EACH "T" REINFORCING MEMBER WITH

END DRIVEN NAILS:

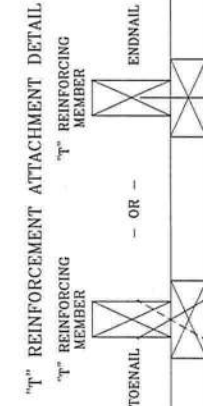
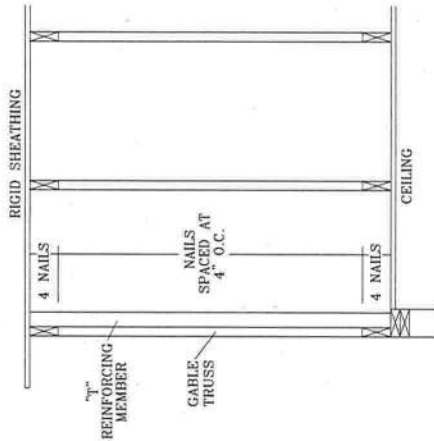
- 10d COMMON (0.148" X 3.1" MIN) NAILS AT 4" O.C. PLUS
- (4) NAILS IN TOP AND BOTTOM CHORD.

TOENAILED NAILS:

- 10d COMMON (0.148" X 3.1" MIN) TOENAILS AT 4" O.C. PLUS
- (4) TOENAILS IN TOP AND BOTTOM CHORD.

THIS DETAIL TO BE USED WITH THE APPROPRIATE ITW GABLE DETAIL FOR ASCE

- WIND LOAD:
  - ASCE 7-98 GABLE DETAIL DRAWINGS
    - A13015980109, A12015980109, A11015980109, A10015980109,
    - A13030980109, A12030980109, A11030980109, A10030980109
  - ASCE 7-02 GABLE DETAIL DRAWINGS
    - A13015020109, A12015020109, A11015020109, A10015020109,
    - A13030020109, A12030020109, A11030020109, A10030020109
  - ASCE 7-05 GABLE DETAIL DRAWINGS
    - A13015050109, A12015050109, A11015050109, A10015050109,
    - A13030050109, A12030050109, A11030050109, A10030050109
- SEE APPROPRIATE ITW GABLE DETAIL FOR MAXIMUM UNREINFORCED GABLE VERTICAL LENGTH.



TO CONVERT FROM "L" TO "T" REINFORCING MEMBERS,  
MULTIPLY "T" INCREASE BY LENGTH (BASED ON  
APPROPRIATE ITW GABLE DETAIL).

MAXIMUM ALLOWABLE "T" REINFORCED GABLE VERTICAL  
LENGTH IS 14' FROM TOP TO BOTTOM CHORD.

WEB LENGTH INCREASE W/ "T" BRACE

WIND SPEED AND MPH	"T" REINF. MBR. SIZE	"T" INCREASE
140 MPH	2x4	10 %
15 FT	2x6	50 %
140 MPH	2x4	10 %
30 FT	2x6	50 %
130 MPH	2x4	10 %
15 FT	2x6	50 %
130 MPH	2x4	10 %
30 FT	2x6	50 %
120 MPH	2x4	10 %
15 FT	2x6	50 %
120 MPH	2x4	10 %
30 FT	2x6	40 %
110 MPH	2x4	10 %
15 FT	2x6	40 %
110 MPH	2x4	10 %
30 FT	2x6	50 %
100 MPH	2x4	10 %
15 FT	2x6	30 %
100 MPH	2x4	10 %
30 FT	2x6	40 %
90 MPH	2x4	20 %
15 FT	2x6	20 %
90 MPH	2x4	20 %
30 FT	2x6	30 %

EXAMPLE:

ASCE WIND SPEED = 100 MPH  
MEAN ROOF HEIGHT = 30 FT, Kzt = 1.00  
GABLE VERTICAL = 24" O.C. SP #3  
"T" REINFORCING MEMBER SIZE = 2X4  
"T" BRACE INCREASE (FROM ABOVE) = 10% = 1.10  
(1) 2X4 "L" BRACE LENGTH = 6' 7"  
MAXIMUM "T" REINFORCED GABLE VERTICAL LENGTH  
1.10 x 6' 7" = 7' 3"



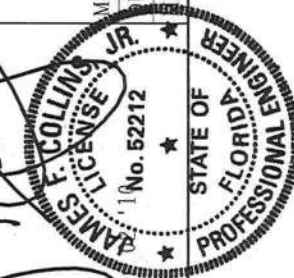
Earth City, MO 63045

\*\*\*WARNING\*\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET  
Trusses require extreme care in fabricating, shipping, installing and bracing. Refer to and follow  
ITW Building Component Safety Information, by TPI and WCA for safety practices prior to performing  
these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord  
shall have properly attached structural panels and bottom chord shall have a properly attached and  
ceiling. Locations shown for permanent lateral restraint of webs shall have bracing installed per BCSI  
sections B3 & B7. See this job's general notes page for more information.

\*\*\*IMPORTANT\*\*\* FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.  
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this design,  
any failure to build the truss in conformance with TPI, or fabricating, handling, shipping, installing &  
bracing of trusses. ITWBCG connector plates are made of 2018/18GA (W/H/S/K) ASTM A653 grade 37/40/50  
(K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown above and on Joint Details.  
This drawing or design page includes the name and professional engineering responsibility society  
for the truss component. The availability of this component for any building in the  
responsibility of the Building Designer per ANST/TPI 1 Sec. 2.  
ITW-BCG: www.itwbcg.com; TPI: www.tpinet.com; WCA: www.sbcindustry.com; ICC: www.iccsafe.org

REF LET-IN VERT  
DATE 1/1/09  
DRWG GBLETTIN0109

MAX TOT. LD. 60 PSF  
UR. FAC. ANY  
AX SPACING 24.0"





# COLUMBIA COUNTY BUILDING DEPARTMENT RESIDENTIAL CHECK LIST REQUIREMENTS

## MINIMUM PLAN REQUIREMENTS FOR THE FLORIDA BUILDING CODE RESIDENTIAL 2007 ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH  
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH  
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:  
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-  
Each Box shall be  
Circled as  
Applicable

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.)			
	Total (Sq. Ft.) under roof			

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

### **Site Plan information including:**

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		



## Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIIII	IIII	IIIIII
		YES	NO	N/A
8	Plans or specifications must show compliance with FBCR Chapter 3			
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient, Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	✓		

## Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys	✓		
18	Location and size of skylights with Florida Product Approval	N/A		
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

## Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Emergency escape and rescue opening shown in each bedroom (net clear opening shown)	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			
27	Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FBCR SECTION 311)			
28	Identify accessibility of bathroom (see FBCR SECTION 322)			

**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)**

**GENERAL REQUIREMENTS:  
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

**Items to Include-  
Each Box shall be  
Circled as  
Applicable**

**FBCR 403: Foundation Plans**

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing			
31	Any special support required by soil analysis such as piling.	✓		
32	Assumed load-bearing value of soil _____ Pound Per Square Foot			
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type)			

**FBCR 506: CONCRETE SLAB ON GRADE**

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

**FBCR 320: PROTECTION AGAINST TERMITES**

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
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**FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)**

37	Show all materials making up walls, wall height, and Block size, mortar type	✓		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

**Floor Framing System: First and/or second story**

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			
42	Attachment of joist to girder			
43	Wind load requirements where applicable			
44	Show required under-floor crawl space			
45	Show required amount of ventilation opening for under-floor spaces			
46	Show required covering of ventilation opening			
47	Show the required access opening to access to under-floor spaces			
	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges &			

48	intermediate of the areas structural panel sheathing			
49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			
51	Provide live and dead load rating of floor framing systems (psf).			

## **FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION**

<b>GENERAL REQUIREMENTS:</b> <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b>		<b>Items to Include- Each Box shall be Circled as Applicable</b>		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

## **FBCR :ROOF SYSTEMS:**

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

## **FBCR 802:Conventional Roof Framing Layout**

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

## **FBCR Table 602,3(2) & FBCR 803 ROOF SHEATHING**

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		



## **FBCR ROOF ASSEMBLIES FRC Chapter 9**

71	Include all materials which will make up the roof assembles covering	<input checked="" type="checkbox"/>		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	<input checked="" type="checkbox"/>		

## **FBCR Chapter 11 Energy Efficiency Code for residential building**

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. *Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area*

<b>GENERAL REQUIREMENTS:</b> <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b>		<b>Items to Include- Each Box shall be Circled as Applicable</b>		
		<b>YES</b>	<b>NO</b>	<b>N/A</b>
73	Show the insulation R value for the following areas of the structure			
74	Attic space			
75	Exterior wall cavity			
76	Crawl space			

### **HVAC information**

77	Submit two copies of a Manual J sizing equipment or equivalent computation study			
78	Exhaust fans locations in bathrooms			
79	Show clothes dryer route and total run of exhaust duct			

### **Plumbing Fixture layout shown**

80	All fixtures waste water lines shall be shown on the foundation plan			
81	Show the location of water heater			

### **Private Potable Water**

82	Pump motor horse power			
83	Reservoir pressure tank gallon capacity			
84	Rating of cycle stop valve if used			

### **Electrical layout shown including**

85	Switches, outlets/receptacles, lighting and all required GFCI outlets identified			
86	Ceiling fans			
87	Smoke detectors & Carbon dioxide detectors			
88	Service panel, sub-panel, location(s) and total ampere ratings			
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.			

90	Appliances and HVAC equipment and disconnects			
91	Arc Fault Circuits (AFCI) in bedrooms			

**Disclosure Statement for Owner Builders** If you as the applicant will be acting as an owner builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.

### **Notice Of Commencement**

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center"><b>GENERAL REQUIREMENTS:</b>  <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b></p>	<p align="center"><b>Items to Include- Each Box shall be Circled as Applicable</b></p>
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### **THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

		YES	NO	N/A
92	<b>Building Permit Application</b> A current Building Permit Application form is to be completed and submitted for all residential projects	✓		
93	<b>Parcel Number</b> The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested	✓		
94	<b>Environmental Health Permit or Sewer Tap Approval</b> A copy of a approved Columbia County Environmental Health (386) 758-1058	✓		
95	<b>City of Lake City</b> A permit showing an approved waste water sewer tap	✓		
96	<b>Toilet facilities shall be provided for all construction sites</b>			
97	<b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			
98	<b>Flood Information:</b> All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			
99	<b>CERTIFIED FINISHED FLOOR ELEVATIONS</b> will be required on any project where the base flood elevation (100 year flood) has been established	✓		
100	A development permit will also be required. Development permit cost is \$50.00			
101	<b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.	✓		
102	<b>911 Address:</b> If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and <b>received</b> through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125	✓		

**Section R101.2.1 of the Florida Building Code Residential:**

**The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.**

**Section 105 of the Florida Building Code defines the:**

**Time limitation of application.**

**An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.**

**Single-family residential dwelling.**

**Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.**

**Permit intent.**

**Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.**

**If work has commenced.**

**Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.**

**New Permit.**

**Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.**



**Work Shall Be:**

**Section 105.4.1.3:** Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

**The Fee:**

**Section 105.4.1.4:** The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

**When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department**

# MICHAEL GLASBURN JR., LLC

# ZARRELLA GARAGE ADDITION

APPLICABLE CODES

- 2007 FLORIDA BUILDING CODE WITH 2009 REVISIONS  
2007 NATIONAL ELECTRIC CODE (NFPA 70) WITH 2009 REVISIONS  
2007 FLORIDA PLUMBING CODE WITH 2009 REVISIONS  
2007 FLORIDA MECHANICAL CODE WITH 2009 REVISIONS  
2007 FLORIDA FIRE PROTECTION CODE WITH 2009 REVISIONS  
(INCLUDES 2007 LIFE SAFETY CODE)

OCCUPANCY CLASS

RESIDENTIAL (R)

CONSTRUCTION DOCUMENTS

1. THE ARCHITECT IS RESPONSIBLE FOR OBTAINING THE REQUIRED SETS OF CONSTRUCTION DOCUMENTS TO THE PERMIT ISSUING JURISDICTION. FOR THE ISSUANCE OF CONSTRUCTION PERMITS, THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO YOUR SALES REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF ANY WORK OR FABRICATION OF ANY MATERIALS.

DO NOT SCALE OFF THESE PLANS

1. ALL DIMENSIONS ARE SHOWN ON THE PLANS TO LOCATE ALL ITEMS. THESE ITEMS ARE SUBJECT TO DETERMINE THE LOCATIONS OF THESE ITEMS NOT DIMENSIONED.

BUILDING CATEGORIES

- CONSTRUCTION TYPE VB (TABLE 601) UNPROTECTED - NON SPRINKLED  
ALLOWABLE AREA..... 9000 S.F.  
ACTUAL..... 803 S.F.  
ALLOWABLE STORIES..... 2  
ACTUAL..... 1
- WIND DESIGN INFORMATION
- WIND SPEED..... 110 MPH  
CATEGORY..... II  
EXPOSURE..... B  
INTERNAL PRESSURE..... +/- 0.18
- GLAZING COMPONENTS
- ZONE 1: 10 S.F..... 12 543/19 922 PSF  
ZONE 2: 10 S.F..... 12 543/34 679 PSF  
ZONE 3: 10 S.F..... 12 543/51 281 PSF  
ZONE 4: 10 S.F..... 21 767/23 611 PSF  
ZONE 5: 10 S.F..... 21 767/29 148 PSF

LEGEND	
SYMBOL	DESCRIPTION
	ELEVATION MARK
	SECTION MARK
	DETAIL CALLOUT
	ELEVATION INDICATOR
	DOOR TAG
	WINDOW TAG
	ROOM TAG
	REVISION CLOUD W/ TAG

## DRAWING INDEX - BUILDING PACKAGE

SHEET #	SHEET TITLE	REV. #	REV. DATE
T-1.0	TITLE SHEET	0	03-29-10
S-1.0	GENERAL NOTES	0	03-29-10
S-2.0	FOUNDATION PLAN	0	03-29-10
S-3.0	ROOF FRAMING PLAN	0	03-29-10
S-3.1	ROOF FASTENING PLAN	0	03-29-10
S-4.0	SECTIONS	0	03-29-10
A-1.0	FLOOR PLAN	0	03-29-10
A-2.0	ELEVATIONS	0	03-29-10
C-1.0	SITE PLAN	0	03-29-10

### PRODUCT APPROVAL SPECIFICATION TABLE

USED THIS PROJECT	CATEGORY / SUBCATEGORY	MANUFACTURER	PRODUCT DESCRIPTION	FLORIDA APPROVAL NUMBERS
DOORS				
X	SWING	MASONITE INTERNATIONAL	METAL EDGE STEEL DOOR UNITS	19.1
WINDOWS				
	VINYL SINGLE HUNG	SCHWABCO INDUSTRIES INC.	DOUBLE PANE	132.1
ROOFING				
X	ASPHALT SHINGLES	TAMKO BUILDING PRODUCTS	HERITAGE 30 AR	1956.3
X	ASPHALT UNDERLAYMENT	TAMKO BUILDING PRODUCTS	MASTER SMOOTH	1481.1
STRUCTURAL COMPONENTS				
X	HOLD DOWN	SIMPSON STRONG-TIE	HDA	503.10
X	COILED STRAP	SIMPSON STRONG-TIE	CS16	1901.4
	STRAP TIE	SIMPSON STRONG-TIE	LSTA36	1901.36
	STRAP TIE	SIMPSON STRONG-TIE	MSTC40	1901.64
	STRAP TIE	SIMPSON STRONG-TIE	MSTC440	1901.70
	FACE MOUNT HANGER	SIMPSON STRONG-TIE	LU9210	3750.87
	FACE MOUNT HANGER	SIMPSON STRONG-TIE	LU526	3750.96
X	STUD PLATE TIES	SIMPSON STRONG-TIE	SPH4	552.21
	STUD PLATE TIES	SIMPSON STRONG-TIE	SPH6	558.35
X	HURRICANE TIES	SIMPSON STRONG-TIE	H10	474.109
	HURRICANE TIES	SIMPSON STRONG-TIE	H16Z	1423.4
	VALLEY TRUSS CLIP	SIMPSON STRONG-TIE	VTC2	3751.6



ISSUED FOR CONSTRUCTION

7/31/10



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MICHAEL GLASBURN JR., LLC  
ZARRELLA GARAGE ADDITION  
COLUMBIA COUNTY, FLORIDA

TITLE SHEET

T-1.0



DESIGN CRITERIA

DESIGN PER 2007 FLORIDA BUILDING CODE UNLESS OTHERWISE NOTED.

LIVE LOADS:

1. ROOFS AND CANOPIES:	
0 TO 200 SF	16PSF
201 TO 600 SF	14PSF
OVER 600 SF	12PSF
STAIRS:	
FLOORS:	100PSF
CORRIDORS:	50PSF
LOBBIES:	80PSF
BALCONIES:	80PSF
PARTITION LOAD (DEAD LOAD):	20PSF
GLAZING IS NOT REQUIRED.	

CONCRETE

1. ALL CONCRETE DESIGNED PER CURRENT EDITION OF ACI 318
2. ALL CONCRETE SHALL BE CONTROLLED CONCRETE.
3. CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS:
  - A. SLABS ON GRADE ..... 3000 PSI
  - B. SLABS ON GRADE ..... 3000 PSI
  - C. SLAB/STAIR CONCRETE ..... 3000 PSI
4. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A NOMINAL AIR DRY DENSITY OF 145 PCF
5. PROVIDE CONSTRUCTION JOINTS WHERE SHOWN, OMIT NONE AND ADD NONE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT/ENGINEER. SUBMIT DRAWINGS SHOWING ALL PROPOSED CONSTRUCTION JOINT LOCATIONS FOR APPROVAL PRIOR TO PREPARATION OF AFFECTED REINFORCEMENT SHOP DRAWINGS.
6. MINIMUM ELAPSED TIME BETWEEN ADJACENT CONCRETE PLACEMENTS SHALL BE 48 HRS
7. CONCRETE MIX DESIGN FOR EACH TYPE AND STRENGTH OF CONCRETE SPECIFIED SHALL BE SUBMITTED FOR ARCHITECT/ENGINEER REVIEW 30 DAYS PRIOR TO PLACEMENT OF CONCRETE
8. ALL REINFORCING STEEL ASTM A615 GRADE 60, ALL WELDED WIRE FABRIC ASTM A185

REINFORCING

1. ALL BAR REINFORCEMENT SHALL CONFORM TO ASTM A615 GRADE 60
2. WELDED WIRE FABRIC REINFORCEMENT SHALL CONFORM TO ASTM A185.
3. CLEARANCE OF MAIN REINFORCEMENT FROM ADJACENT SURFACES SHALL CONFORM TO THE FOLLOWING (UNLESS OTHERWISE SHOWN IN DETAIL)
  - A. UNFORMED SURFACES IN CONTACT WITH GROUND ..... 3"
  - B. SLABS ON GRADE (FOOTING OR WALL BOTTOM) ..... 1 1/2"
  - C. FORMED SURFACE IN CONTACT WITH GROUND (WALLS, PIERS) ..... 2"
  - D. IN ALL CASES, CLEARANCE NOT LESS THAN DIAMETER OF BARS.
4. REINFORCEMENT SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED ON DRAWINGS.
5. WHERE REINFORCEMENT IS NOT SHOWN ON DRAWINGS, PROVIDE REINFORCEMENT IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS OR SIMILAR TO THAT SHOWN FOR MOST NEARLY SIMILAR SITUATIONS, AS DETERMINED BY THE ARCHITECT/ENGINEER. IN NO CASE SHALL REINFORCEMENT BE LESS THAN MINIMUM PERMITTED BY APPLICABLE CODES.
6. ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES\* (ACI-319)
7. ALL REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT/ENGINEER OR OWNER TESTING AGENCY BEFORE CONCRETE IS PLACED
8. WHERE CONTINUOUS BARS ARE CALLED FOR THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, LAPPED AT NECESSARY SPLICES AND HOOKED AT DISCONTINUOUS ENDS.
9. WELDED WIRE FABRIC SHALL BE LAPPED ONE FULL MESH PANEL OR 6" MINIMUM.
10. ALL REINFORCING SPLICES SHALL CONFORM TO THE TABLES PROVIDED IN THE GENERAL NOTES FOR STRENGTH OF CONCRETE BUT IN NO CASE LESS THAN THE REQUIREMENTS OF THE LATEST EDITION OF ACI 318.
11. SLABS AND WALLS SHALL NOT BE SLEEVED OR BOXED OUT OR HAVE THEIR REINFORCING INTERRUPTED EXCEPT AS SPECIFICALLY NOTED ON THE DRAWINGS. PROVIDE ADDITIONAL REINFORCEMENT AROUND OPENINGS AS SHOWN IN THE DETAILS.
12. SUBMIT DESIGNED SHOP DRAWINGS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATION OF REINFORCING. DRAWINGS SHALL SHOW OF BARS AND SUPPORT DETAILS. SHOP DRAWINGS SHALL INDICATE CONSTRUCTION JOINTS, CURBS, DEPRESSIONS, SLEEVES AND OPENINGS, ETC. WITH ALL ADDITIONAL REINFORCING REQUIRED.
13. BAR SUPPORTS SHALL BE GALVANIZED OR STAINLESS STEEL. BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE GALVANIZED AND PLASTIC TIPPED.

SLAB AND WALL REINFORCING LAP SPLICE LENGTHS

LAP SPLICE LENGTHS FOR REINFORCING IN 4000 PSI CONCRETE ARE AS FOLLOWS:	
BAR SIZE	DEVELOPMENT LENGTH
TOP	OTHER
3	21
4	20
5	25
6	31
7	39
8	51

LAP SPLICE LENGTHS FOR REINFORCING IN 3000 PSI CONCRETE ARE AS FOLLOWS:

BAR SIZE	DEVELOPMENT LENGTH
TOP	OTHER
3	15
4	20
5	25
6	31
7	39
8	51

NOTES:

1. LAPPED SPLICE LENGTHS BASED ON ASTM A-615, GRADE 60, REBAR
2. REINFORCING BARS ARE CLASSIFIED AS TOP BARS WHEN MORE THAN 12" OF CONCRETE IS CAST BENEATH RESPECTIVE REINFORCING BAR.
3. COMPRESSION SPLICES PERMISSIBLE ONLY WHERE SPECIFICALLY NOTED ON THE DRAWINGS. DETAILS OR SCHEDULES.
4. TENSION SPLICES SHALL BE USED IN ALL BEAMS, SLABS AND WALLS UNLESS OTHERWISE NOTED
5. WHEN LAPING LARGER BAR WITH SMALLER BAR, LAP LENGTH FOR SMALLER BAR SHALL GOVERN RESPECTIVE SPLICE
6. SPLICE CONTINUOUS TOP REINFORCING BARS AT CENTER OF CLEAR SPAN WITH COMPRESSION SPLICES
7. SPLICE CONTINUOUS BOTTOM REINFORCING BARS AT CENTER OF SUPPORTING ELEMENT WITH COMPRESSION SPLICES
8. ALL SPLICE LENGTHS NOTED IN INCHES

FOUNDATIONS

1. ALL FINISHED EXCAVATIONS AND BEARING GRADES SHALL BE INSPECTED AND APPROVED BY THE OWNERS SOIL TESTING AGENCY BEFORE ANY CONCRETE IS PLACED.
2. ALL FOUNDATION WALLS SHALL BE BRACED DURING THE OPERATION OF BACKFILLING AND COMPACTION. SHIELDING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS ARE EFFECTIVE. BACKFILL NO FOUNDATION WALLS UNTIL PERMANENT LATERAL STRUCTURAL SUPPORT SYSTEM IS IN PLACE AND OF ADEQUATE STRENGTH TO WITHSTAND THE APPLIED LATERAL PRESSURES.
3. LOCATE ALL EXISTING BELOW GRADE UTILITIES. PROVIDE UTILITIES WITH POSITIVE PROTECTION AGAINST DAMAGE DUE TO SETTLEMENT AND CONSTRUCTION OPERATIONS.
4. ALL FOOTING SUBGRADES, AS REQUIRED, AND ALL SLAB SUBGRADES SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT BASED ON LABORATORY DESIGNATION ASTM D1557.
5. COMBINED AND INDIVIDUAL FOOTINGS ARE DESIGNED TO BEAR ON UNIFORM SOIL CAPABLE OF SUPPORTING 2,500 PSF. CONTINUOUS FOOTINGS ARE DESIGNED TO BEAR ON SOIL CAPABLE OF SUPPORTING 2,500 PSF.

FLOOR SLABS

1. FLOOR SLABS SHALL BE SUPPORTED ON AT LEAST 4" OF RELATIVELY CLEAN GRANULAR MATERIAL, SUCH AS SAND AND GRAVEL, OR CRUSHED STONE. GRANULAR MATERIAL SHALL HAVE 100% PASSING THE 1/2" SIEVE AND A MAXIMUM OF 10% PASSING THE NO. 200 SIEVE.
2. STRUCTURAL FILL SHALL BE PLACED IN THIN LAYERS, NOT EXCEEDING 12" IN THICKNESS AND COMPACTED WITH A HEAVY ROLLER. EACH LIFT SHALL BE THOROUGHLY COMPACTED WITH THE LABORATORY ROLLER TO PROVIDE DENSITIES TO AT LEAST 95% OF THE PROCTOR MAXIMUM DRY DENSITY (ASTM D-1557). STRUCTURAL FILL SHALL CONSIST OF A NON-BINDING, NON-PLASTIC, GRANULAR SOIL CONTAINING LESS THAN 10% MATERIAL PASSING THE 200 MESH SIEVE.

SUPPLEMENTARY NOTES

1. ALL CONNECTORS LISTED ARE SIMPSON STRONG-TIE, UNLESS OTHERWISE SPECIFIED. SUBSTITUTED SCREW SIZE AND NUMBER SHALL BE IN ACCORDANCE WITH MANUFACTURER'S CATALOG. ROOF TRUSS CLIPS SHALL BE SELECTED TO PROVIDE THE UP-LIFT RESISTANCE SHOWN ON THE ROOF TRUSS SHOP DRAWINGS.
2. TRUSS ENGINEER MAY PROVIDE ALTERNATE CONNECTIONS.
3. PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. THE STRUCTURE SHOULD NOT BE CONSIDERED STABLE UNTIL ALL STRUCTURAL ELEMENTS HAVE BEEN CONSTRUCTED.
4. VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR EMBEDS, OPENINGS, SLEEVES, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS. ALL STRUCTURAL OPENINGS AROUND OR AFFECTED BY MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT SHALL BE VERIFIED WITH EQUIPMENT PURCHASED BEFORE PROCEEDING WITH STRUCTURAL WORK AFFECTED.
5. EMBEDMENT FOR EXPANSION BOLTS SHALL BE 3" X 1/2" MINIMUM FOR 1/2" BOLTS IN CONCRETE, 5" X 1/2" IN GROUDED MASONRY. HILTI KIM BOLT II OR EQUIVALENT EPOXY GROUT SHALL BE POWER FAST CARTRIDGE SYSTEM BY RAMM, HY150 CARTRIDGE SYSTEM BY HILTI. FILL IT RE200. IF HOLE IS CORED INSTEAD OF DRILLED OR APPROVED EQUAL. UNLESS OTHERWISE SPECIFIED, ALL HOLE SHALL BE 1/2" LARGER THAN REBAR SIZE AND 3/4" LARGER THAN THREADED ROD SIZE. HOLE SHALL BE BRUSHED OUT WITH BOTTLE BRUSH AND THEN BLOWN OUT WITH AIR USING A COMPRESSOR WITH A FUNCTIONAL OIL TRAP. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS.
6. ANY ENGINEERING DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER IN THE STATE OF THE PROJECT. GENERAL CONTRACTOR MUST REVIEW AND APPROVE SHOP DRAWINGS PRIOR TO SUBMITTAL TO ARCHITECT/ENGINEER. SUBMITTALS WHICH DO NOT CONTAIN THE CONTRACTOR'S SHOP DRAWING STAMP OR HAVE BEEN MERELY "RUBBER STAMPED" SHALL BE RETURNED WITHOUT REVIEW.
7. REQUESTED TO THE CONTRACT DOCUMENTS SHALL BE CLOUDED ON SHOP DRAWINGS OR REVIEWED AND ACKNOWLEDGED BY THE ENGINEER. SHOP DRAWING SUBMITTALS SHALL ONLY BE CHECKED FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN ON THE CONSTRUCTION DOCUMENTS.

TERMINAL PROTECTION NOTES:

1. SOIL CORROSION PROTECTION METHOD:
  - A. PERMANENT SIGN THAT IDENTIFIES THE TERMINAL TREATMENT PROVIDER AND NEED FOR REINFORCEMENT AND TREATMENT CONTRACTOR RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL. FBC 1602.8
  - B. CONDENSATE AND ROOF DOWNSPOUTS SHALL DISCHARGE AT LEAST 1'-0" AWAY FROM BUILDING SIDE WALLS. FBC 1603.4
  - C. IRRIGATION/SPRINKLER SYSTEMS INCLUDING ALL RISERS AND SPRAY HEADS SHALL NOT BE INSTALLED WITHIN 1'-0" FROM BUILDING SIDE WALL. FBC 1603.4 TO PROVIDE FOR INSPECTION FOR TERMINAL INFESTATION BETWEEN WALL COVERSINGS AND FINAL EARTH GRADE SHALL NOT BE LESS THAN 8". EXCEPTION: PAINT AND DECORATIVE CEMENTitious FINISH LESS THAN 3/4" THICK ADHERED DIRECTLY TO FOUNDATION WALL. FBC 1816.1.1
  - D. INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND BACKFILL IS COMPLETE. FBC 1816.1.1
  - E. SOIL DISTRIBUTED AFTER THE INITIAL TREATMENT SHALL BE RETREATED INCLUDING SPACES BETWEEN FOUNDATIONS AND ROOF DOWNSPOUTS.
  - F. BOXED AREAS IN CONCRETE FLOORS FOR SUBSEQUENT INSTALLATION OF TRAPS, ETC. SHALL BE MADE WITH PERMANENT METAL OR PLASTIC FORMS. PERMANENT FORMS MUST BE OF A SIZE AND DEPTH THAT WILL MAINTAIN THE DISTURBANCE OF SOIL AFTER THE INITIAL TREATMENT. FBC 1816.1.3
  - G. MINIMUM 1/4" VAPOR RETARDER MUST BE INSTALLED TO PROTECT AGAINST GROUNDWATER DILUTION IF RAINFALL OCCURS BEFORE VAPOR RETARDER PLACEMENT. RETREATMENT IS REQUIRED. FBC 1816.1.4
  - H. CONCRETE OVERPOUR AND MORTAR ALONG THE FOUNDATION PERIMETER MUST BE REMOVED BEFORE EXTERIOR SOIL TREATMENT. FBC 1816.1.5
  - I. SOIL TREATMENT MUST BE APPLIED UNDER ALL EXTERIOR CONCRETE OR GRADE WITHIN 1'-0" OF THE STRUCTURE SIDEWALLS. FBC 1816.1.6
  - J. AN EXTERIOR VERTICAL CHEMICAL BARRIER MUST BE INSTALLED AFTER CONSTRUCTION IS COMPLETE INCLUDING LANDSCAPING AND IRRIGATION. ANY SOIL DISTURBED AFTER THE VERTICAL BARRIER IS APPLIED, SHALL BE RETREATED. FBC 1816.1.6
  - K. ALL BUILDINGS ARE REQUIRED TO HAVE PRE-CONSTRUCTION TREATMENT. FBC 1816.1.6
  - L. A CERTIFICATE OF COMPLIANCE MUST BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY BEFORE A CERTIFICATE OF OCCUPANCY WILL BE ISSUED. THE CERTIFICATE OF COMPLIANCE SHALL STATE: "THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. THE TREATMENT IS IN ACCORDANCE WITH THE RULES AND LAWS OF THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES." FBC 1816.1.7
  - M. AFTER ALL WORK IS COMPLETED, LOOSE WOOD AND FILL MUST BE REMOVED FROM BELOW AND WITHIN 1'-0" OF THE BUILDING. THIS INCLUDES ALL GRADE STAKES, TRAP BOXES, FORMS, SHORING OR OTHER CELLULOSE CONTAINING MATERIAL. FBC 503.1.3
  - N. NO WOOD, VEGETATION, STUMPS, CARBOBOARD, TRASH, ETC., SHALL BE BURIED WITHIN 15'-0" OF ANY BUILDING OR PROPOSED BUILDING. FBC 3203.1.4

ROUGH CARPENTRY

1. COMPLY WITH THE MOST CURRENT ADDITION OF THE "APA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION MANUAL," AND THE MOST CURRENT ADDITION OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION MANUAL."
2. PROVIDE NEW LUMBER AND PLYWOOD WITH GRADE WHICH INDICATES SPECIES, MILL NUMBER, MOISTURE CONTENT WHEN SURFACED, AND GRADE OR STRESS RATING STAMPS FROM THE ASSOCIATIONS HAVING JURISDICTION.
3. FASTEN STUDS AND RAFTERS WITH WIND RESISTANCE, JOISTS AND RAFTERS TO SIDE OF BEAMS WITH HANGERS, AND SHEAR WALLS WITH HOLD-DOWNS USING PROPRIETARY STEEL CONNECTORS.
4. PRESURE TREAT ALL STRUCTURAL LUMBER IN COMPLIANCE WITH SPECIFICATIONS.
5. PROVIDE HOT DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS AND HARDWARE CONNECTORS AT PRESSURE TREATED STRUCTURAL LUMBER.
6. PROVIDE WOOD HARDWARE CONNECTORS AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY INC."

WALL CONSTRUCTION

1. PROVIDE SOUTHERN PINE GRADE KILN DRIED STUDS WITH MAXIMUM MOISTURE CONTENT OF 15% AT TIME OF DRESSING
2. FRAME INTERIOR WALLS WITH 2"x4" STUDS @ 16" O.C. AND EXTERIOR WALLS WITH 2"x6" @ 16" O.C. FOR HEIGHTS UNDER 10'-0"
3. PROVIDE SOLID WALL BRIDGING SPACED AT 4'-0" VERTICALLY
4. VERTICALLY ALIGN STUDS AND OPENINGS IN BEARING WALLS UNLESS SPECIAL FRAMING IS PROVIDED
5. FOOT CORNERS WITH A MINIMUM OF 3 STUDS SPIKED TOGETHER
6. PROVIDE SINGLE BOTTOM SHOE AND DOUBLE TOP PLATE IN ALL BEARING WALLS. OFFSET TOP PLATES A MINIMUM OF 4'-0". THE SHOE AND TOP PLATE BUTT JOINTS TOGETHER WITH METAL PLATES, ANCHOR BOLTS WITH 5/8" BOLTS EMBEDDED 8" AND SPACED NO MORE THAN 4'-0" APART AND LOCATED AT CORNERS AND 12" FROM OPENINGS AND ENDS OF WALLS.
7. FABRICATE BUTT-UP POSTS AS FOLLOWS:
  - A. (1) 2"x4'S FASTENED WITH ONE ROW OF STAGGERED 100 NAILS @ 8"
  - B. (1) 2"x4'S FASTENED WITH TWO ROWS OF STAGGERED 300 NAILS @ 8"
  - C. (1) 2"x6'S FASTENED WITH TWO ROWS OF 300 NAILS

FLOOR AND ROOF CONSTRUCTION

1. PROVIDE SOUTHERN PINE NO. 2 OR BETTER LUMBER FOR JOISTS AND RAFTERS SURFACED DRY WITH MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF DRESSING.
2. LOCATE JOISTS AND RAFTERS DIRECTLY OVER WALL STUDS.
3. PROVIDE DOUBLE JOIST UNDER WALLS PARALLEL TO JOISTS.
4. NOTCHES IN JOISTS SHALL NOT EXCEED 1/8 OF THE JOIST DEPTH AND SHALL NOT BE IN THE MIDDLE THIRD OF THE SPAN. BORED HOLES SHALL NOT BE WITHIN 2" OF JOIST EDGES AND SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE JOIST.
5. INSTALL ONE LINE OF 1"x3" CROSS BRIDGING FOR EACH 8'-0" OF FLOOR FRAMING. INSTALL 2" SOLID BLOCKING BETWEEN JOISTS OVER ALL BEAMS OR OTHER SUPPORTING MEMBERS.
6. PROVIDE 3/4" APA STRUCTURAL 1" RATED PLYWOOD SHEATHING EXTERIOR EXPOSURE FOR SUBFLOORS AND COVER WITH 5/8" TONGUE AND GROOVE, INTERIOR TYPE WITH EXTERIOR GLEU, UNDERLAYMENT GRADE PLYWOOD.

STRUCTURAL GLUE LAMINATED TIMBER

1. PROVIDE GLUED LAMINATED TIMBER DESIGNED, FABRICATED, AND INSTALLED ACCORDING TO THE MOST CURRENT COPY OF THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION MANUAL."
2. SUBMIT SHOP DRAWINGS TO THE ARCHITECT SHOWING ERECTION PLANS, FABRICATED ASSEMBLIES, AND ACCESSORIES. SHOW MEMBER DESIGNATIONS, SIZES AND CONNECTIONS. SUBMIT DESIGN CALCULATIONS PREPARED BY A LICENSED ENGINEER INDICATING STRENGTHS, STABILITY, AND SERVICEABILITY OF MEMBERS AND CONNECTIONS.
3. USE ADHESIVES THAT COMPLY WITH AITC-A190.1-1992 AND MEET WET CONDITION OF SERVICE.
4. APPLY CLEAR SEALER TO THE ENDS OF MEMBERS RIGHT AFTER TRIMMING. SEAL SURFACES OF MEMBERS WITH PENETRATING SEALER AS APPROVED BY THE ARCHITECT. INDIVIDUALLY WRAP MEMBERS WITH PLASTIC FOR TEMPORARY PROTECTION.
5. PROTECT TIMBERS FROM THE EFFECTS OF MOISTURE DURING STORAGE.

ENGINEERED STRUCTURAL WOOD

1. PROVIDE LAMINATED VENEER LUMBER (LVL) AND PARALLEL STRAND LUMBER (PSL) MADE UNDER PROCESSES APPROVED BY THE NATIONAL RESEARCH BOARD. COMPLY WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION "TIMBER CONSTRUCTION MANUAL." FOR THE DESIGN, FABRICATION AND CONSTRUCTION OF ENGINEERED STRUCTURAL WOOD.
2. PROVIDE LVL LUMBER HAVING THE FOLLOWING GRADE AND DESIGN VALUES:  
GRADE = 1.9E, FLEXURAL STRESS (Fb) = 2,800 PSI, MODULUS OF ELASTICITY (E) = 1,900,000 PSI, SHEAR MODULUS OF ELASTICITY (G) = 118,750 PSI AND HORIZONTAL SHEAR STRESS (Fv) = 280 PSI.
3. PROVIDE LVL LUMBER HAVING THE FOLLOWING GRADE AND DESIGN VALUES:  
GRADE = 2.0E, FLEXURAL STRESS (Fb) = 2,900 PSI, MODULUS OF ELASTICITY (E) = 2,000,000 PSI, SHEAR MODULUS OF ELASTICITY (G) = 125,000 PSI AND HORIZONTAL SHEAR STRESS (Fv) = 290 PSI.
4. NAIL EACH LAYER OF MULTIPLE LVL MEMBERS TOGETHER WITH (3) 16d NAILS PER FOOT.

PREFABRICATED TRUSSES

1. DESIGN, FABRICATE, AND INSTALL METAL PLATE-CONNECTED TRUSSES MEETING TRUSS PLATE INSTITUTE TPI 1-1995 AND THE MOST CURRENT COPY OF THE AMERICAN FOREST AND PAPER ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION."
2. SUBMIT SHOP DRAWINGS TO THE ARCHITECT SHOWING ERECTION PLAN, FABRICATED ASSEMBLIES, AND ACCESSORIES. SHOW MEMBER DESIGNATIONS, SIZES AND CONNECTIONS. SUBMIT DESIGN CALCULATIONS PREPARED BY A LICENSED ENGINEER INDICATING STRENGTHS, STABILITY, AND SERVICEABILITY OF MEMBERS AND CONNECTIONS.
3. PROVIDE KILN-DRIED LUMBER MEETING OR EXCEEDING THE FOLLOWING DESIGN VALUES:  
Fb = 1,600 PSI, Ft = 925 PSI, Fc = 1,500 PSI, AND E = 1,600,000 PSI.
4. BRACE ROOF TRUSSES TO PROVIDE STABILITY DURING AND AFTER CONSTRUCTION.

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AUTH. # 9461

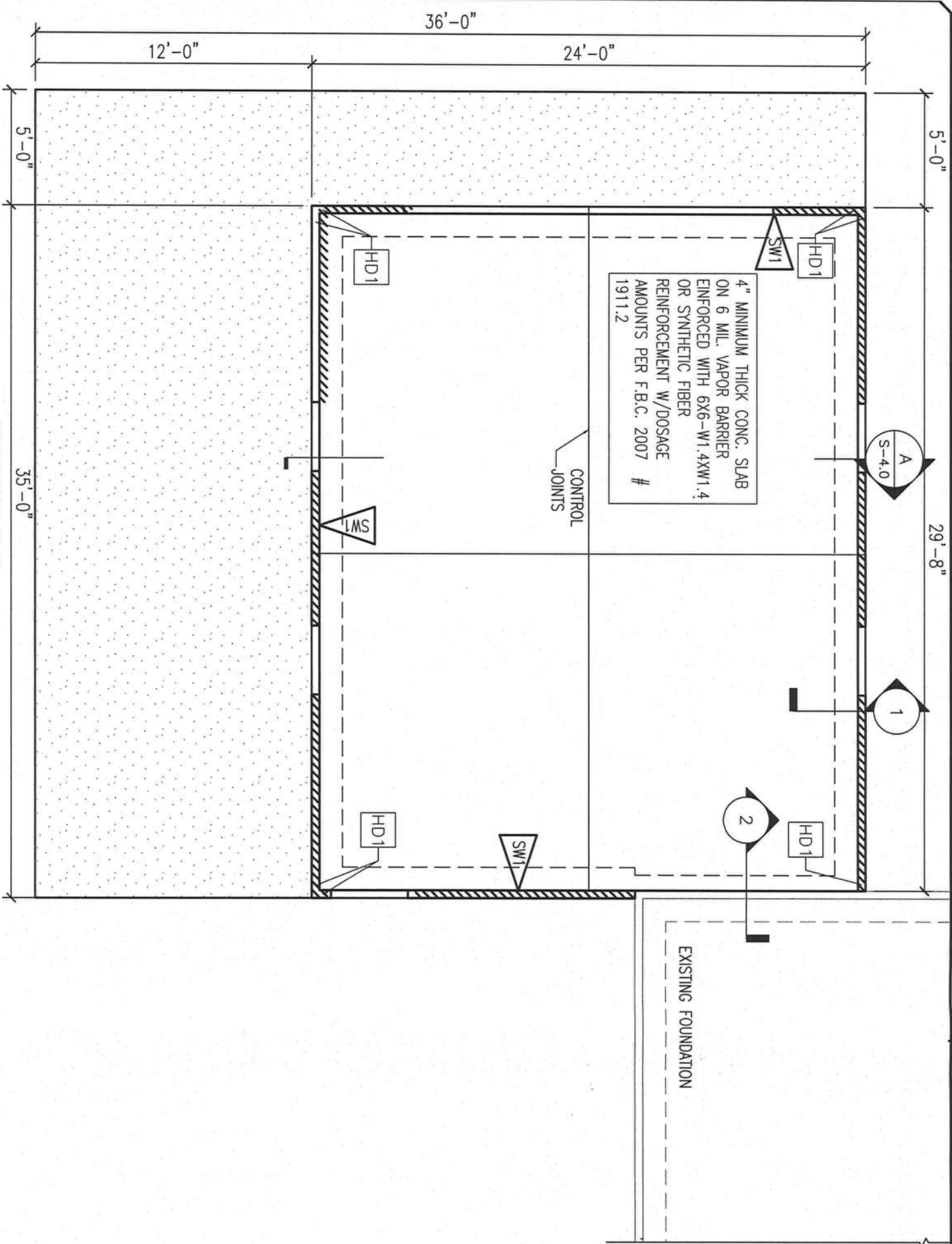
MICHAEL GLASBURN JR., LLC  
ZARRELLA GARAGE ADDITION  
COLUMBIA COUNTY, FLORIDA

GENERAL NOTES

S-1.0

PROJECT NUMBER	PF-10-052
DRAWN BY	F. VALETTECH
CHECKED BY	G.J.G.



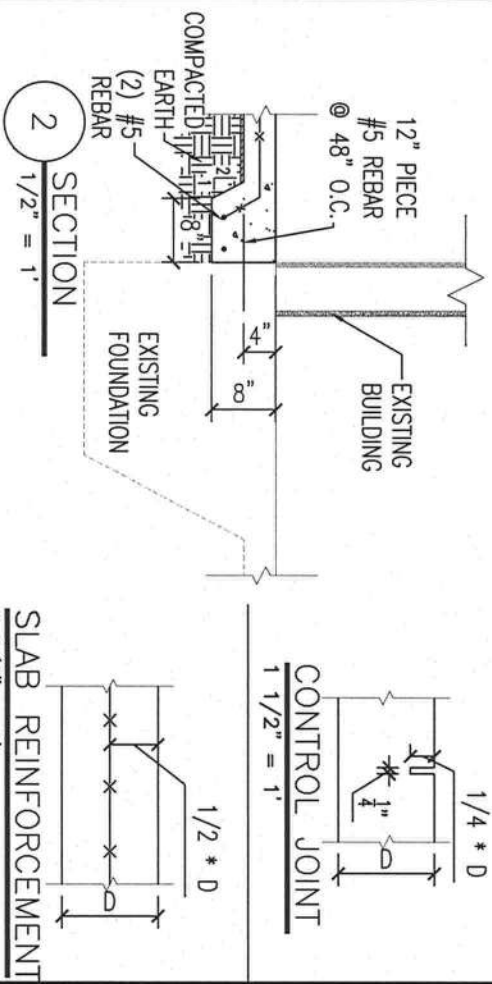
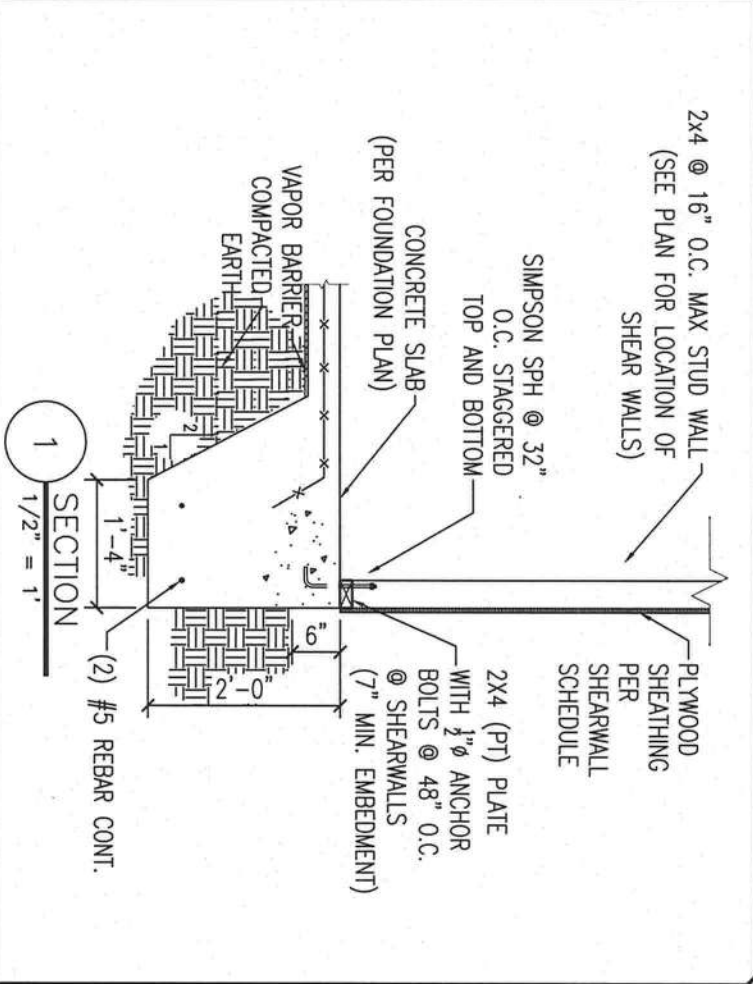


FOUNDATION PLAN  
1/4" = 1'

SHEARWALL SCHEDULE

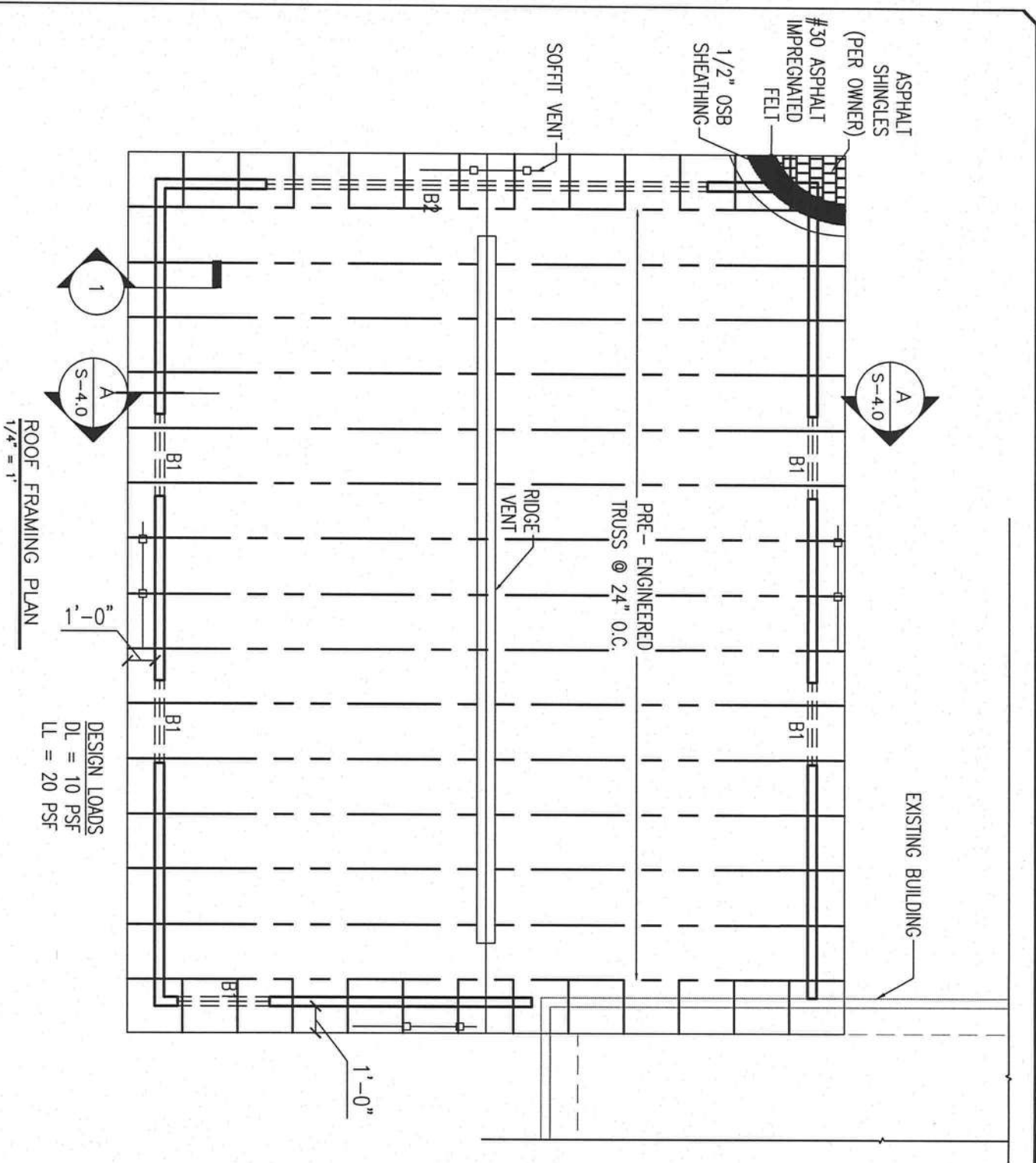
MARK	SHEATHING TYPE & SIZE	NAILING PATTERN	HOLDOWN REQUIREMENTS	ANCHOR BOLTS SPACING
SW1	15/32" PLYWOOD SHEATHING	8d NAILS @ 4" O.C. EDGES AND 8" O.C. FIELD	SIMPSON STRONG-TIE HD2A HOLDOWN	1/2" @ 48" O.C.

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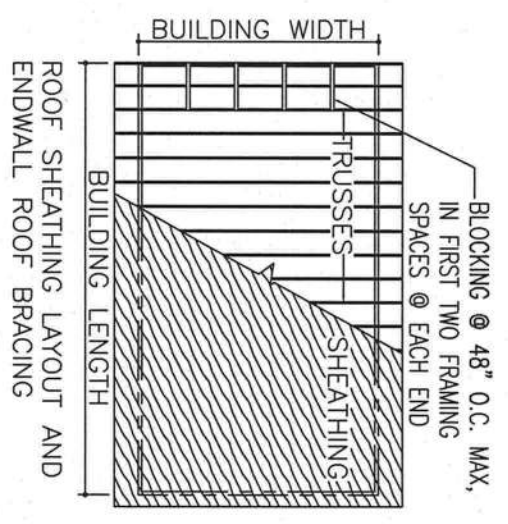
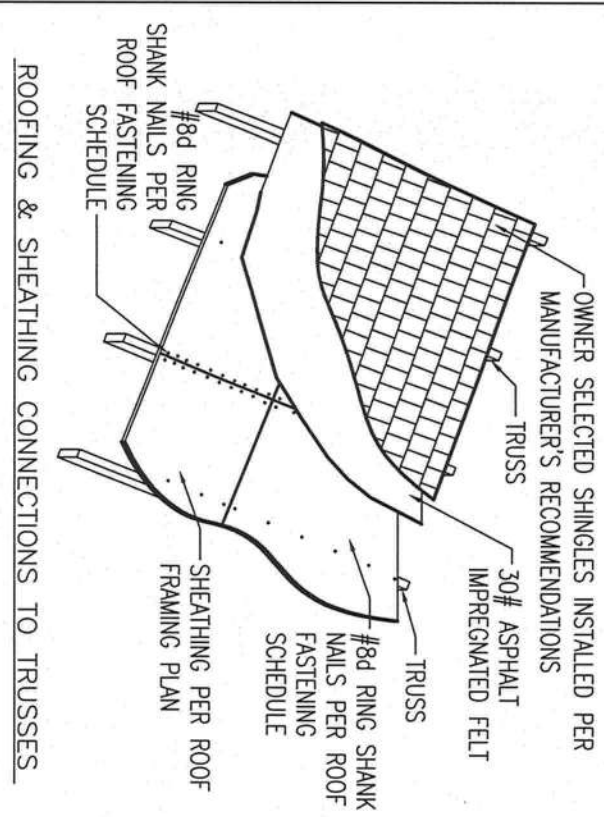
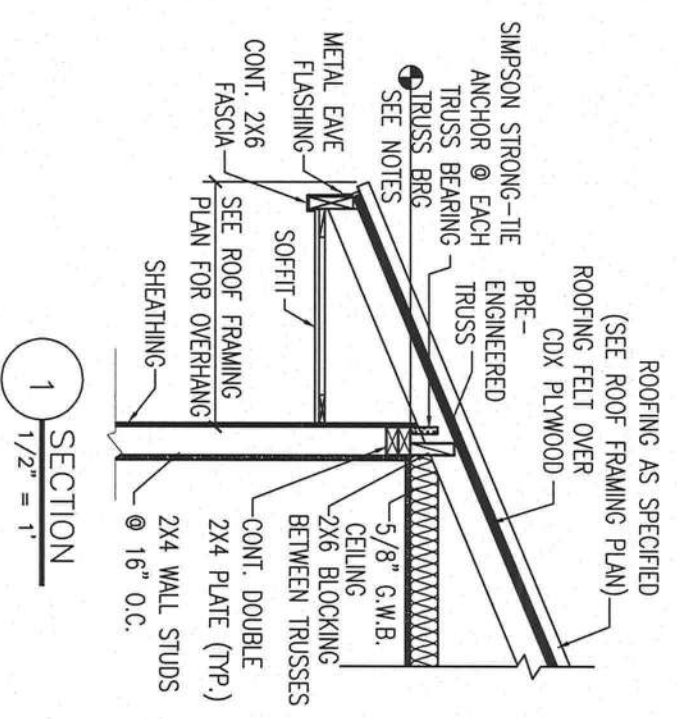


\*NOTES:

- (1) HD1 = SIMPSON STRONG-TIE HD2A HOLD DOWN
- (2) CONTRACTOR SHALL VERIFY ALL FOUNDATION DIMENSIONS PRIOR TO CONSTRUCTION. IF A DIMENSION CONFLICT OCCURS BETWEEN FLOOR PLAN AND THE FOUNDATION PLAN, THE FLOOR PLAN SHALL CONTROL.
- (3) ADDED FILL SHALL BE APPLIED IN 8" LIFTS. EACH LIFT SHALL BE COMPACTED TO 90% DRY COMPACTION PER THE "MODIFIED PROCTOR" METHOD.
- (5) [Hatched pattern] = SHEAR WALL
- (6) NEW FOUNDATION TO MATCH ELEVATION OF EXISTING FOUNDATION.
- (7) [Dotted pattern] = NEW CONCRETE PAD



TRUSS FASTENER SCHEDULE						
LOCATION	PLY	UPLIFT	FASTENER		NAILS REQUIRED	
			QUANTITY	ITEM #	TRUSS	PLATE
ROOF TRUSS	1	< 415 #	1	H2.5	(5) 8d	(5) 8d
	1	< 905 #	1	H10	(8) 8dX1½	(8) 8dX1½
	1	< 1200 #	2	H2.5	(10) 8d	(10) 8d
	2	< 870 #	1	H10S	(8) 8dX1½	(8) 8dX1½
	2	< 2150 #	1	LGT2	(14) 16d SINKERS	(16) 16d SINKERS
	3	< 3685 #	1	LGT3-SDS2.5(26)	16d SINKERS	(12) SDS ¼"X2½"



BEAM SCHEDULE		
SYMBOL	MARK	DESCRIPTION
----	B1	(2) 2"x10" W/ 1/2" PLYWOOD FILLER
-----	B2	3 1/2" X 9 1/2" LVL

NOTES:

- (1) TYPICAL ROOF TRUSS BEARING TO MATCH EXISTING ROOF.
- (2) SLOPED ROOF SHEATHING SHALL BE 1/2" CDX PLYWOOD OR 1/2" OSB NAILED PER ROOF FASTENING SCHEDULE
- (3) COORDINATE LOCATION OF ALL DOORS AND WALL OPENINGS WITH ARCHITECTURAL DRAWINGS.
- (4) 346 SQUARE INCHES (TOTAL) OF VENTILATION REQUIRED 50-80% FROM ATTIC VENT AND THE REMAINDER FROM SOFFIT VENTS.

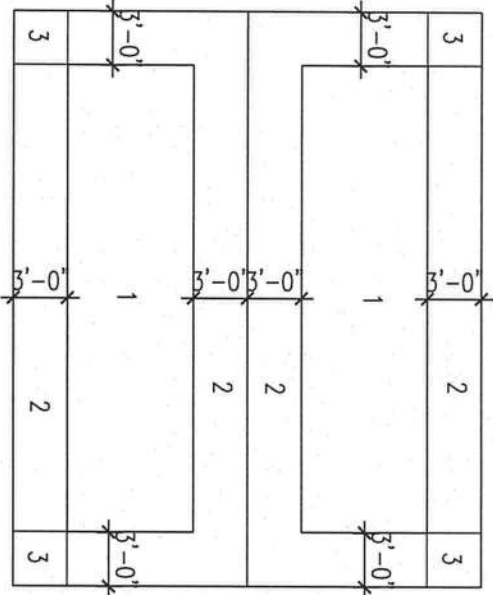
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ROOF FRAMING PLAN

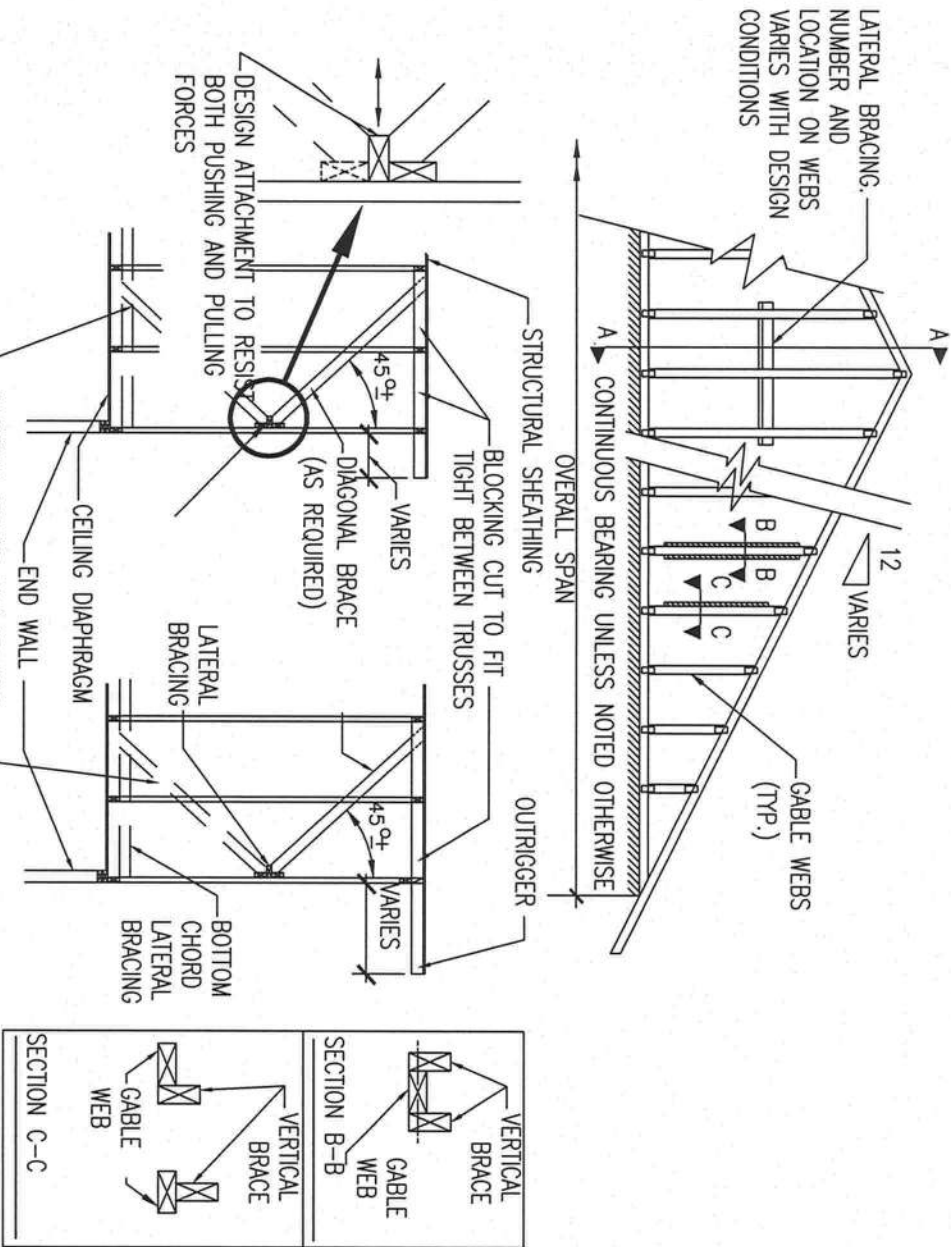
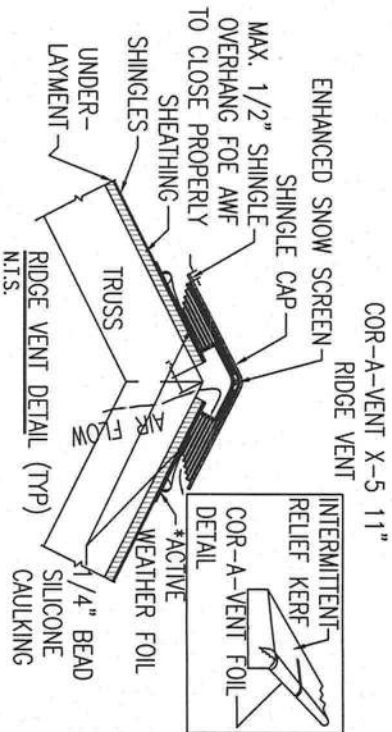
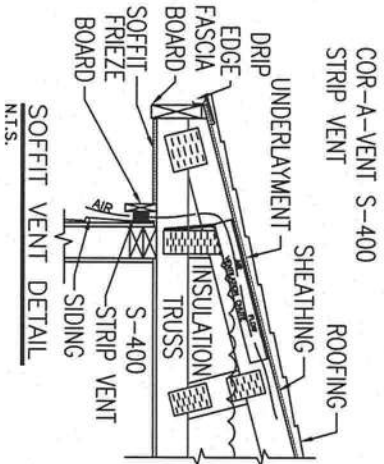
MICHAEL GLASBURN JR., LLC  
NEW GARAGE ADDITION  
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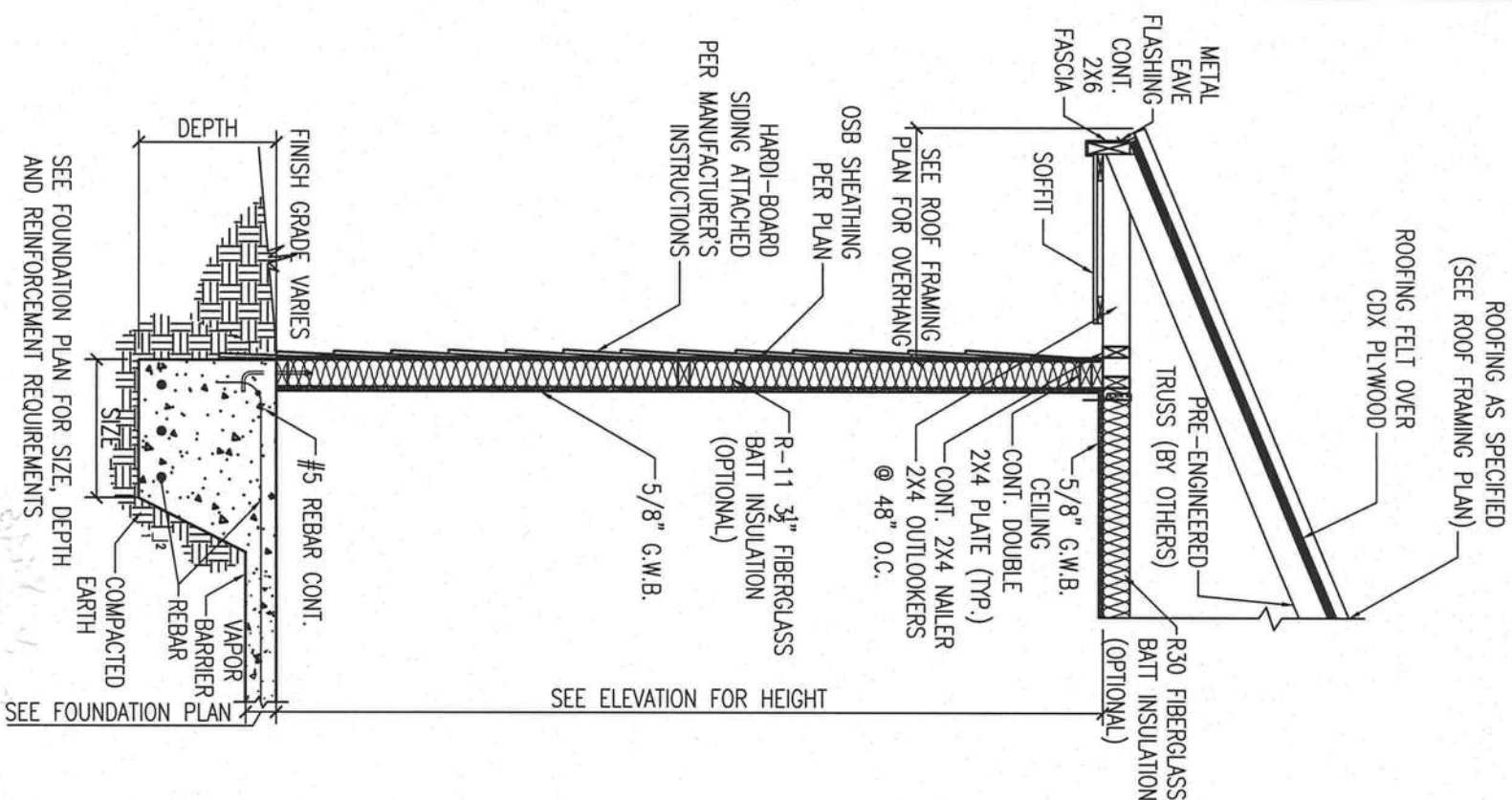
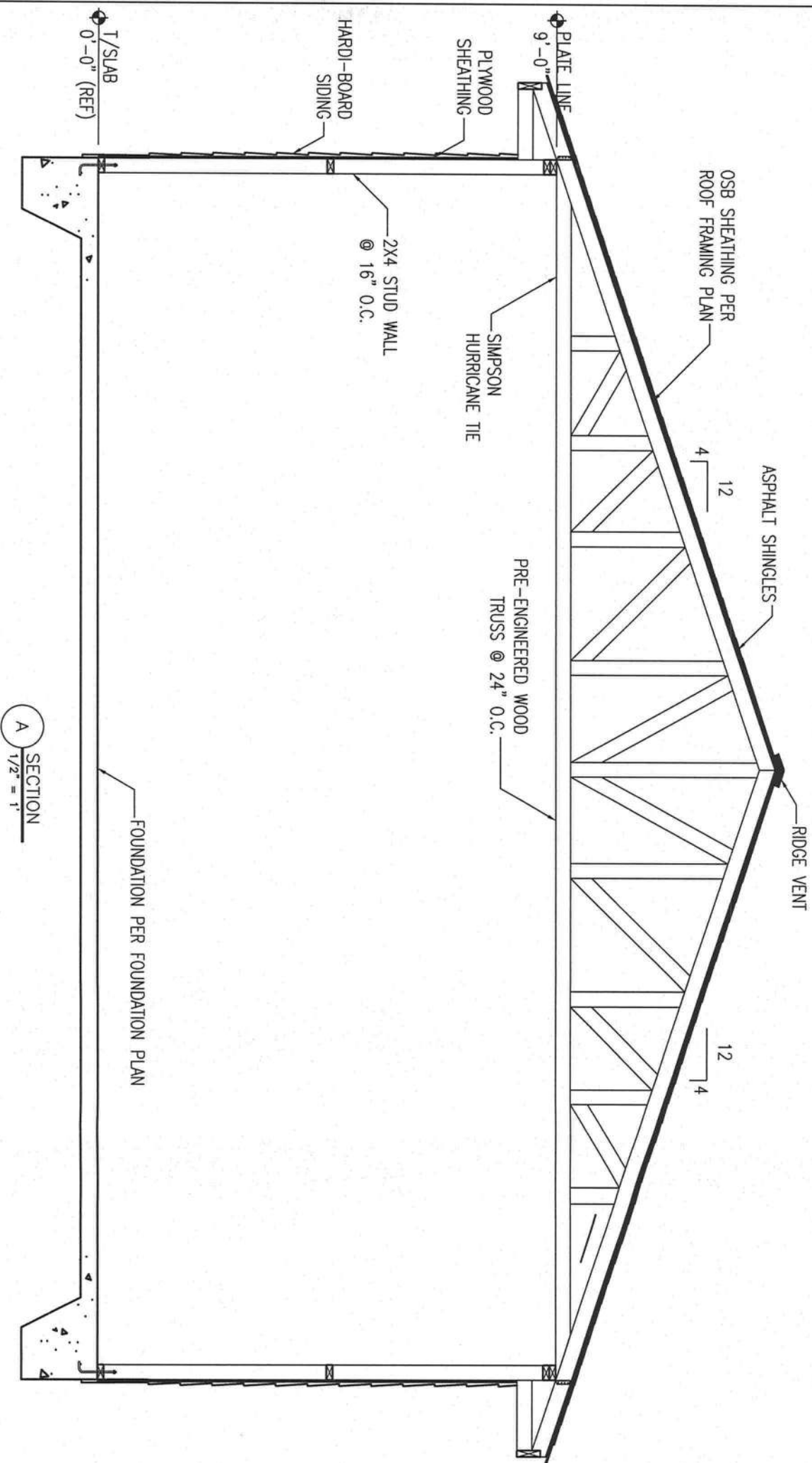
ROOF FASTENING ZONE									
WIND VELOCITY (3 SECOND GUST) 120 MPH	MAIN ROOF			SHEATING-TO -GABLE-END- WALL FRAMING			OVERHANG (EAVES)		
	PANEL LOCATION	1	2	3	2	3	2	3	3
	FASTENING SCHEDULE (INCHES ON CENTER)								
SUPPORTED PANEL END AND EDGES	6			6			6		
	6			6			6		
	6			6			6		
PANEL FIELD	12	6	4	3	3	3	6	4	4



- NOTES:
1. ACTUAL BRACING REQUIREMENTS WILL VARY DUE TO WIND LOAD, CODE CRITERIA BUILDING HEIGHT, TRUSS SPAN, WEB LUMBER (GRADE AND SPECIES), ON CENTER SPACING, AND OTHER VARIABLES. BRACING AND ATTACHEMENT REQUIREMENTS SHOULD BE DESIGNED FOR EACH SPECIFIC JOB.
  2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL, AS WELL AS THE DESIGN AND SPECIFICATION OF TEMPORARY AND PERMANENT BRACING OF THE ROOF SYSTEM IS THE RESPONSIBILITY OF THE BUILDING DESIGNER.

ISSUED FOR CONSTRUCTION





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SECTIONS

MICHAEL GLASBURN JR., LLC  
ZARRELLA GARAGE ADDITION  
COLUMBIA COUNTY, FLORIDA

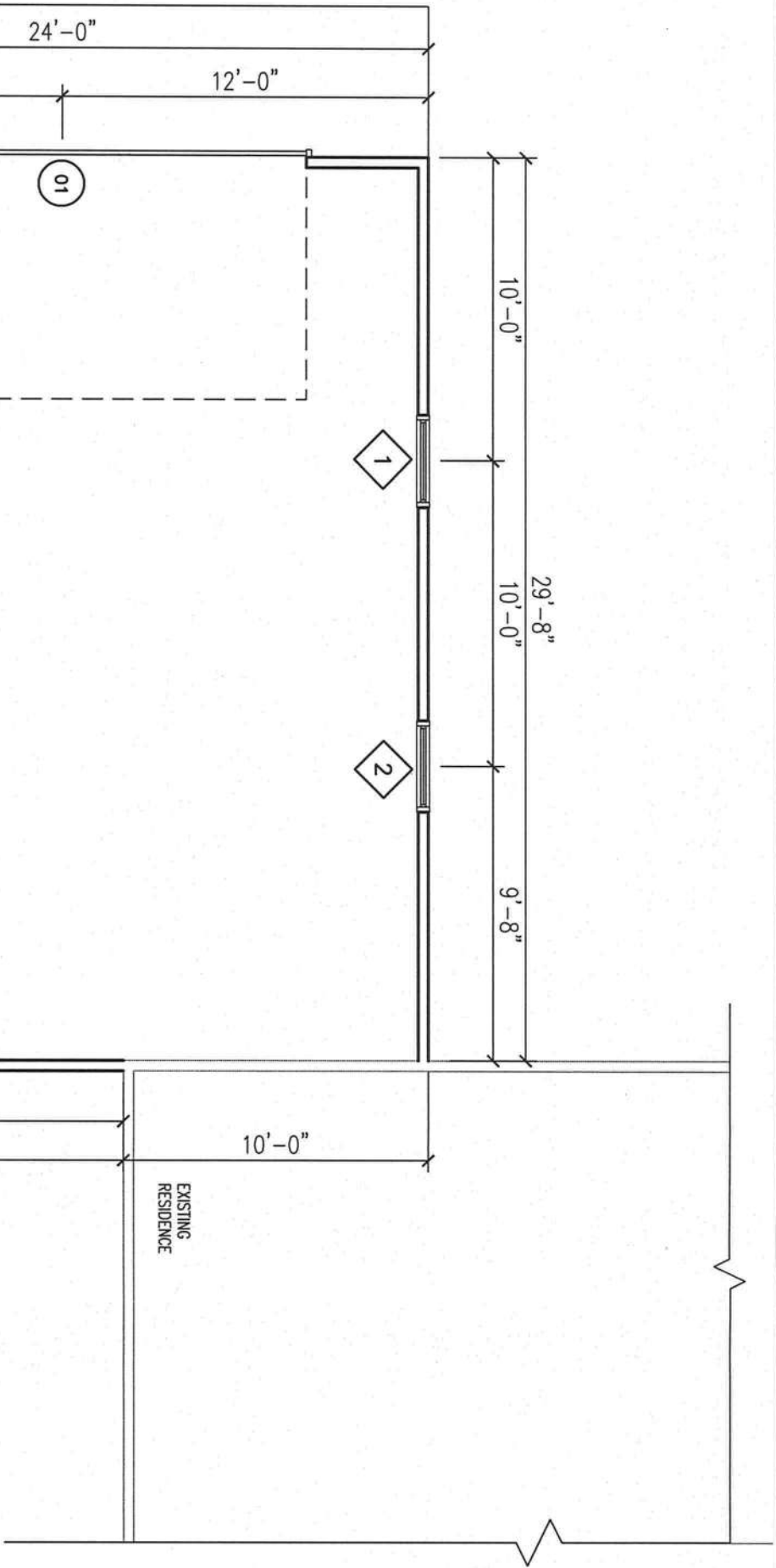


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S-4.0

PROJECT NUMBER  
PF10-052  
DESIGNED BY  
F. VALETTECH  
CHECKED BY  
G.J.G.

SHEET 6 OF 9



WINDOW SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
1	3'-0"	5'-0"	SINGLE HUNG	WOOD	--
2	3'-0"	5'-0"	SINGLE HUNG	WOOD	--
3	3'-0"	5'-0"	SINGLE HUNG	WOOD	--
4	3'-0"	5'-0"	SINGLE HUNG	WOOD	--

DOOR SCHEDULE					
MARK	SIZE			MATL	STYLE
	WD	HGT	THK		
1	16'-0"	8'-0"	1 3/4"	WOOD	OVERHEAD - SECTIONAL
2	3'-0"	6'-8"	1 3/4"	HOLLOW METAL	HINGED - SINGLE - EXTERIOR

FLOOR PLAN  
3/16" = 1'



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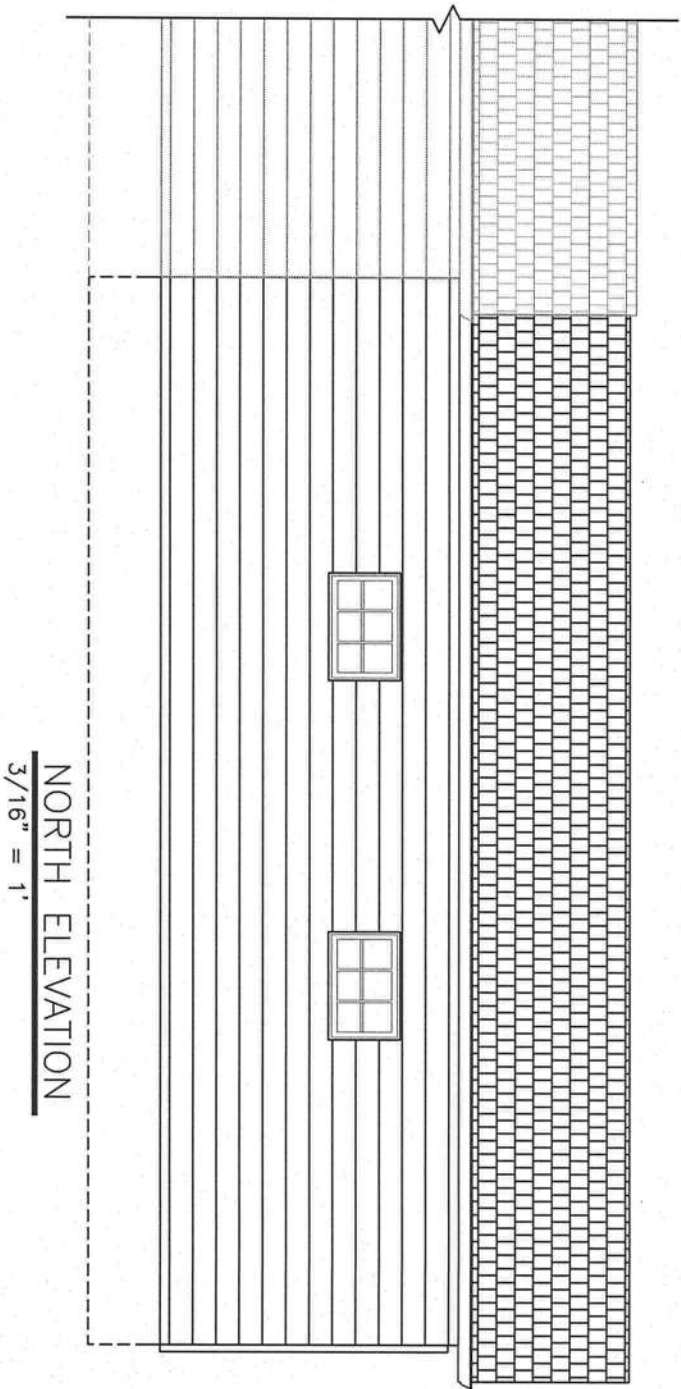
FLOOR PLAN

A-1.0

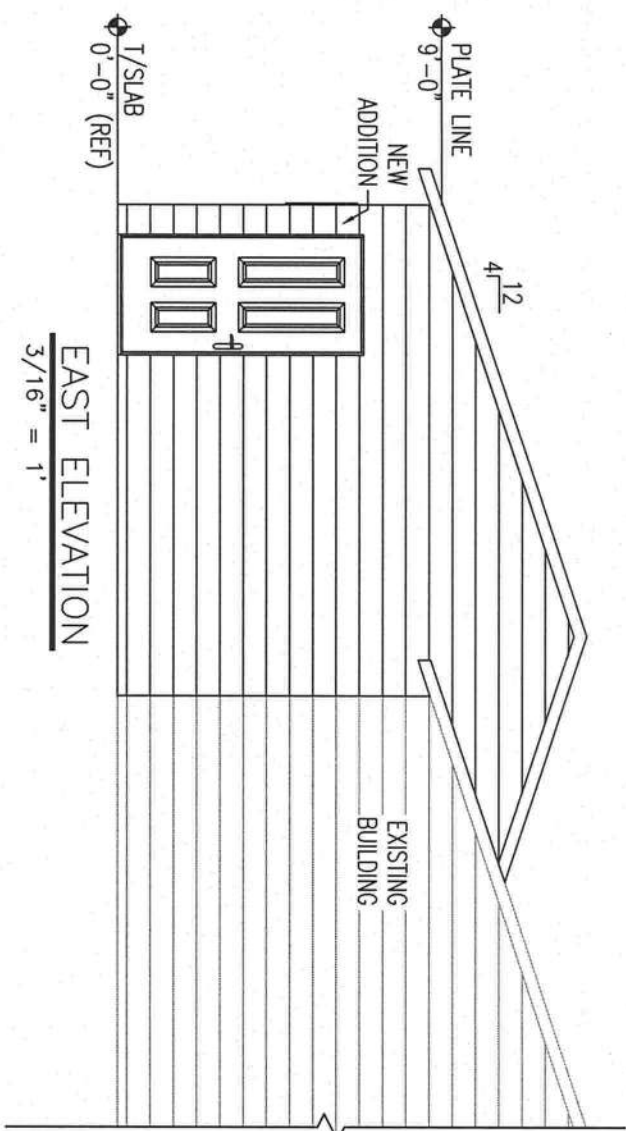
PROJECT NUMBER  
PF-10-052  
DESIGNED BY  
F. VOLETICH  
CHECKED BY  
G.J.G.  
SHEET 7 OF 9

ISSUED FOR CONSTRUCTION

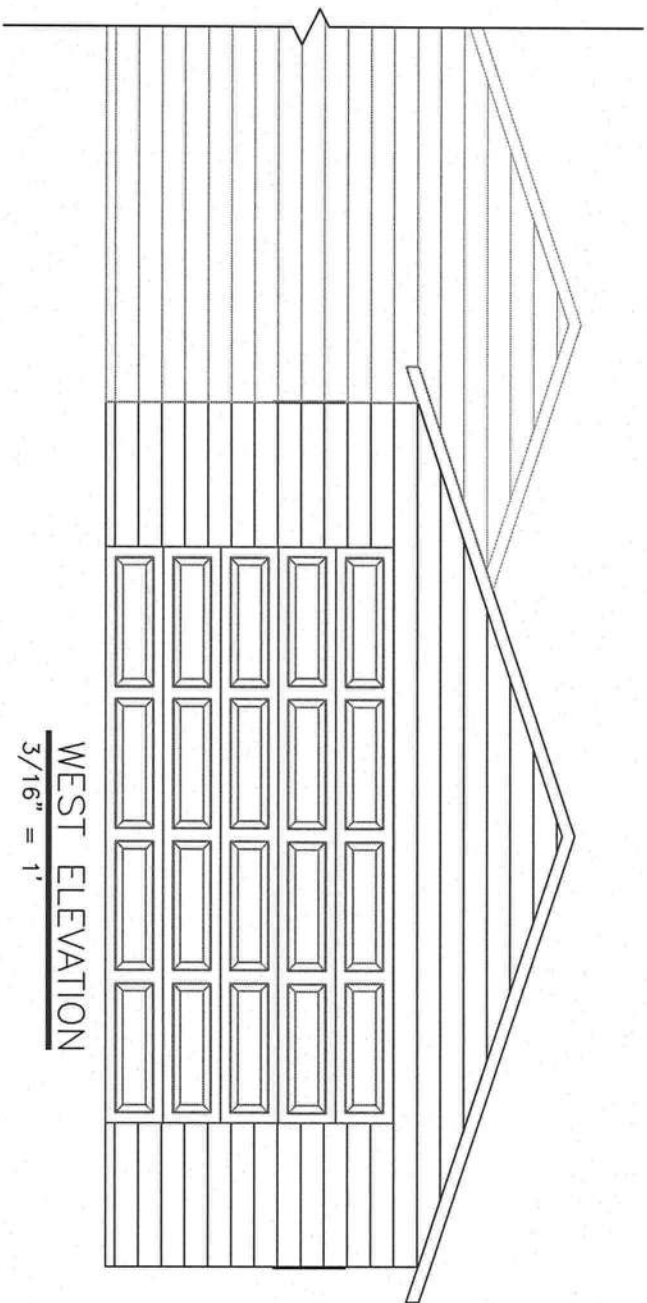
7/21/10



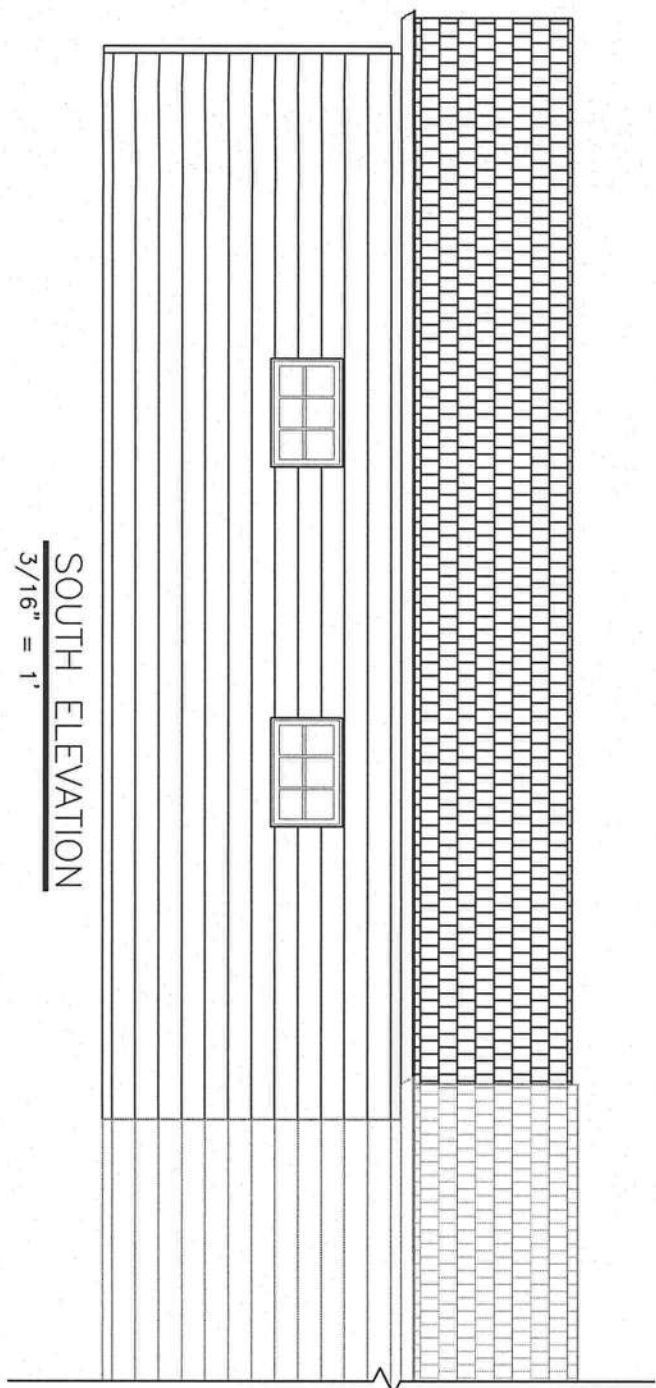
NORTH ELEVATION  
3/16" = 1'



EAST ELEVATION  
3/16" = 1'



WEST ELEVATION  
3/16" = 1'



SOUTH ELEVATION  
3/16" = 1'

ISSUED FOR CONSTRUCTION

3/31/10



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ELEVATIONS

A-2.0

PROJECT NUMBER  
PF10-052  
DRAWN BY  
F. VULETICH  
CHECKED BY  
G.J.G.  
SHEET 8 OF 9





SITE PLAN  
1/32" = 1'

ISSUED FOR CONSTRUCTION

7/31/10