	nbia County Building ermit Expires One Year From the Da	
APPLICANT DAVID SIMQUE	РНО	
ADDRESS 2941 W US HIGHWA	LAKE CITY	FL 32055
OWNER WESTFIELD GROUP	PHO	NE <u>386.755.0757</u>
ADDRESS 2941 W US HIGHWA	LAKE CITY	FL 32055
CONTRACTOR DAVID SIMQUE	PHO	
	WAY 90 BETWEEN WAFFLE HOUSE & APP ORTH SIDE.	PLEBEES ON
TYPE DEVELOPMENT COMM. SHOP	PPING CTR ESTIMATED COST O	OF CONSTRUCTION / MILLION
HEATED FLOOR AREA 12096.00	TOTAL AREA 13826.00	HEIGHT 27.00 STORIES 1
FOUNDATION CONC W.	ALLS STEEL ROOF PITCH	4'12 FLOOR CONC
LAND USE & ZONING COMMERCI	AL	MAX. HEIGHT 35
Minimum Set Back Requirments: STREI	ET-FRONT 20.00 REA	R 15.00 SIDE .00
NO. EX.D.U. 0 FLOOD ZON	E X DEVELOPMENT	PERMIT NO.
PARCEL ID 35-3S-16-02585-006	SUBDIVISION VILLAGE SQ	QUARE
LOT BLOCK PHASE	E UNIT	TOTAL ACRES 10.00
	CBC056158	2/1/
Culvert Permit No. Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor
FDOT APPROVED X-04-0327	BLK	JDK N
Driveway Connection Septic Tank Numb	er LU & Zoning checked by	Approved for Issuance New Resident
COMMENTS: SDP 04-6		
I FT ABOVE 120		1020
- F		Check # or Cash 1038
Temporary Power	BUILDING & ZONING DEPARTME Foundation	INT ONLY (footer/Slab) Monolithic
date/app. by	date/app. by	date/app. by
		Sheathing/Nailing
Framing date/	app. by date/app. by	date/app. by
date/app. by	Rough-in plumbing above slab and below v	wood floor date/app. by
Electrical rough-in	Heat & Air Duct	
date/app. by	date/app. by	Peri. beam (Lintel) date/app. by
Permanent power date/app. by	C.O. Final	Culvert
M/H tie downs, blocking, electricity and plumbi		date/app. by Pool
Reconnection	date/app. by Pump pole Utility	date/app. by
date/app. by M/H Pole T	date/app. by	date/app. by Re-roof
date/app. by	date/app. by	date/app. by
BUILDING PERMIT FEE \$ 5000 .00	CERTIFICATION FEE \$ 69.13	SURCHARGE FEE \$ 69.13
MISC. FEES \$OO ZONIN	G CERT. FEE \$ 50.00 FIRE FEE \$	WASTE FEE \$
FLOOD ZONE DEVELOPMENT FEE \$	CULVERT FEE \$	TOTAL FEE 5, 188.26
FLOOD ZONE DEVELOPMENT FEE \$ INSPECTORS OFFICE	CULVERT FEE \$ CLERKS OFFICE	ΩII

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR MPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY FORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

LEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER HAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK THORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

he Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0412-25 Date Received 2/8/04 By Ju Permit # 22718
Application Approved by - Zoning Official Date Date Plans Examiner Date
Flood Zone Development Permit Zoning Land Use Plan Map Category
Comments SOR 04-6
Applicants Name David J. SIMQUE Phone 386-719-7262
Address P.O. BOX 2962 LAKE City 14 32056
Owners Name 6/5571-jeld (5200p Phone 386- 755-0757
911 Address 2941 W US, NIGHWAY 90 Lote on Pl 32055
Contractors Name Simons Constitution Phone 386-755-7187
Address P.O. BON 2962 LOKE City, 14, 32056
Fee Simple Owner Name & Address WEST FIELD GRANG
Architect/Engineer Name & Address Boiley Bishop + LANE 484 SW CAMPIERED DEL
Architect/Engineer Name & Address Boiley Bishop & LANE 484 SW Commerce Ori Mortgage Lenders Name & Address Mercantile Bask hoke City 32027
Circle the correct power company - FL Power & Light - Clay Elec Suwannee Valley Elec Progressive Energy
Property ID Number 35-35-16-02585-006 Estimated Cost of Construction foco, 100, 05
Subdivision Name Village Squape Shipping Mall Lot Block Unit Phase
Driving Directions Higherpy 90 62THEEN WAFFILE HOUSE AND Appleases
ON North Side
Type of Construction METAL Building Number of Existing Dwellings on Property NONE
Total Acreage/O.00 Lot Size Do you need a <u>Culvert Permit</u> or <u>Culvert Waiver</u> or <u>Have an Existing Drive</u>
Actual Distance of Structure from Property Lines - Front 70 Side 40 Side 101 Rear 40
Total Building Height 24 Number of Stories Heated Floor Area 13,000 Roof Pitch 12/12
Application is hereby made to obtain a namely to do made and to the Hotel Control of the Hote
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in
compliance with all applicable laws and regulating construction and zoning.
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING
TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
THE PROPERTY OF THE RESERVE TOOK NOTICE OF COMMENCEMENT.
Out To Star
Owner Builder or Agent (Including Contractor) Contractor Signature Contractors License Number
STATE OF FLORIDA Competency Card Number
COUNTY OF COLUMBIA NOTARY STAMP/SEAL
Sworn to (or affirmed) and subscribed before me
this this day of Dec. 2004.
Personally known or Produced Identification Notary Signature CRISTA THOMAS MY COMMISSION # DD092740
EXPIRES Feb 14, 2006 Bonded Thru Notary Public Underwriters

Cet . lapey 4.50

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328 Inst:2004028144 Date:12/17/2004 Time:16:39

_______DC,P.DeWitt Cason,Columbia County B:1033 P:1502

PERMIT NO.___

TAX FOLIO NOS.: 35-38-16-02585-006

NOTICE OF COMMENCEMENT

STATE OF FLORIDA COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Description of property:

SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION

- General description of improvement: Construction of a retail shopping center.
 - Owner information:
- a. Name and address: WESTFIELD GROUP, LLLP a Florida Limited Liability Limited Partnership, Post Office Box 3566, Lake City, Florida 32056.
 - b. Interest in property: Fee Simple
- Owner):
- 4. Contractor: SIMQUE CONSTRUCTION, Post Office Box 2962, Lake City, Florida 32056.
 - 5. Surety
 - a. Name and address: None
- 6. Lender: MERCANTILE BANK, 187 SW Baya Drive, Lake City, Florida
- 7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes: None
- 8. In addition to himself, Owner designates ROBERT W. TURBEVILLE, Sr. Vice President of MERCANTILE BANK, 187 SW Baya Drive, Lake City, Florida 32025, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is lecember 17, 2005.

WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership

lam -

Charles S. Sparks General Partner

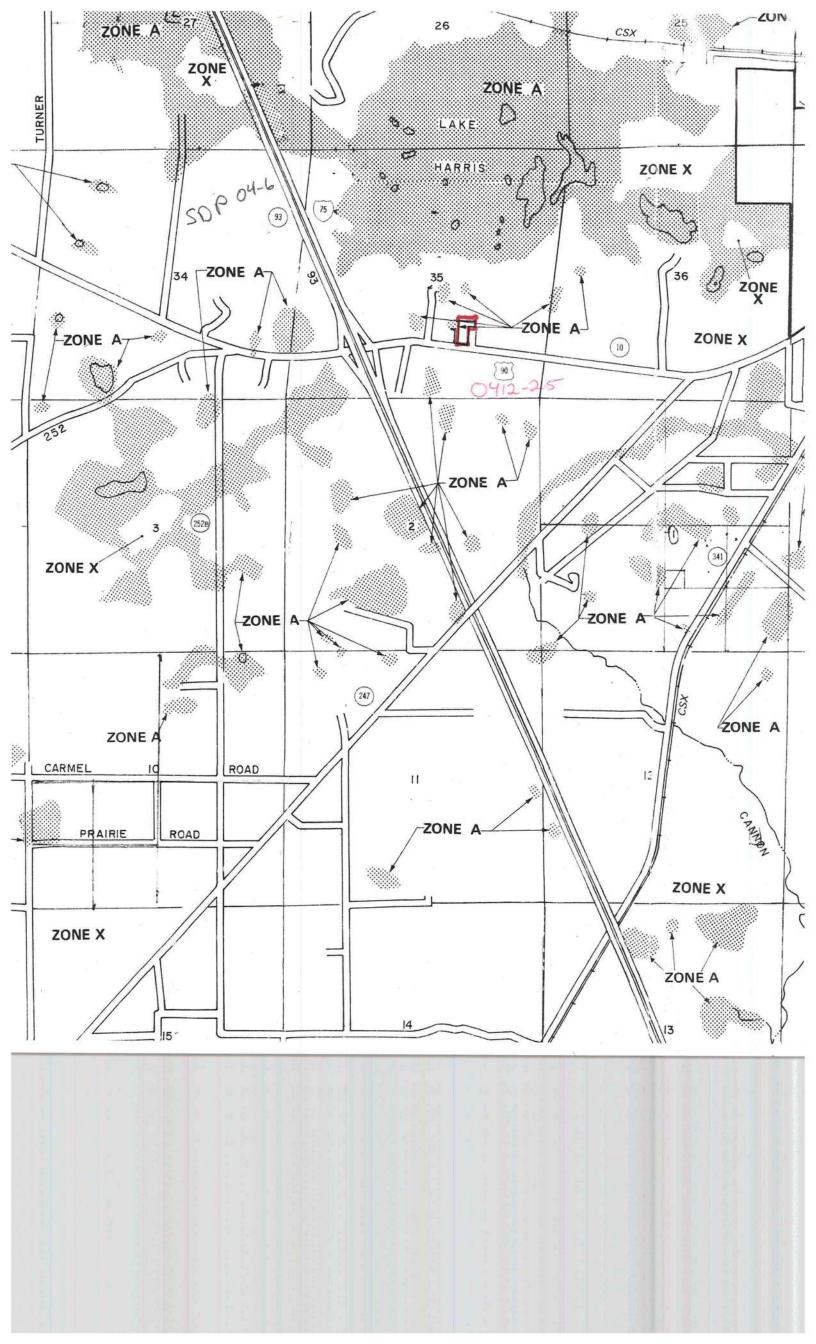
Inst:2004028144 Dete:12/17/2004 Time:16:38
_____DC,P.DeWitt Cason,Columbia County B:1033 P:1503

Scott D. Stewart General Partner

The foregoing instrument was acknowledged before me this 17th day of December 2004, by CHARLES S. SPARKS and SCOTT D. STEWART, General Partners of WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, on behalf of the partnership. They are personally known to me and did not take

Notary Public

My commission expires



COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949 PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: November 4.	, 2004
ENHANCED 9-1-1 ADDRESS	S:
2941 W US HIGHWAY	7 90 (LAKE CITY, FL 32055)
Addressed Location 911 Phon	e Number: NOT AVAIL.
OCCUPANT NAME:	NOT AVAIL.
	ILING ADDRESS:
PROPERTY APPRAISER MA	AP SHEET NUMBER: 69C
PROPERTY APPRAISER PA	RCEL NUMBER: 35-3S-16-02585-006
Other Contact Phone Number	(If any):
Building Permit Number (If k	nown):
Remarks: (PROPOSED 12,09	06 SF BUILDING LOCATION ON PARCEL)
Address Issued By: Columbia	County 9-1-1 Addressing Department

9-1-1 ADDRESSING APPROVED

New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525 (exp. 10/31/2005)

This form is completed by the licensed Pest Control Company.

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA. #22713

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

Section 1: General Information (Treating Company Information) Company Name: Aspen Pest Control, Inc. Company Address: 301 NW Cole Terrace Zip Company Business License No. _ Company Phone No. FHA/VA Case No. (if any) Section 2: Builder Information Company Name: Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) ☐ Basement ☐ Crawl Type of Construction (More than one box may be checked)

Slab Other Approximate Depth of Footing: Outside . Type of Fill Inside Section 4: Treatment Information Date(s) of Treatment(s)_ Brand Name of Product(s) Used EPA Registration No. Approximate Final Mix Solution % Approximate Size of Treatment Area: Sq. ft. Linear ft. Linear ft. of Masonry Voids Approximate Total Gallons of Solution Applied _ ☐ Yes No Was treatment completed on exterior? Yes ☐ No Service Agreement Available? Note: Some state laws require service agreements to be issued. This form does not preempt state law. Attachments (List) Comments JF104376 2/000 Name of Applicator(s). Certification No. (if required by State law) The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations. Authorized Signature Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010. 1012; 31 U.S.C. 3729, 3802) Form NPCA-99-B may still be used form HUD-NPCA-99-B (04/2003) Reorder Product #2581 • From Crown Graphics, Inc. • 1-800-252-4011

New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525 (exp. 10/31/2005)

This form is completed by the licensed Pest Control Company.

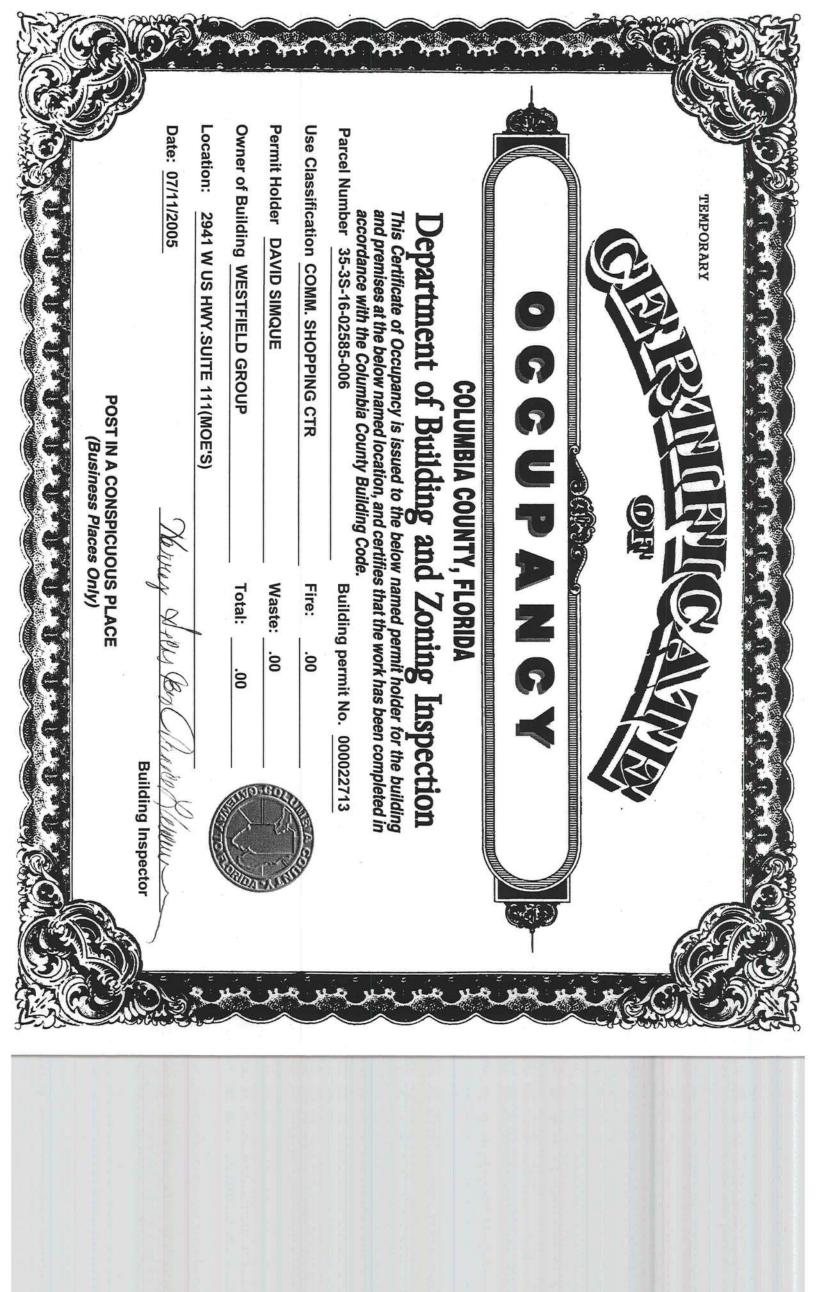
er Product #2581 • From Crown Graphics, Inc. • 1-800-252-4011

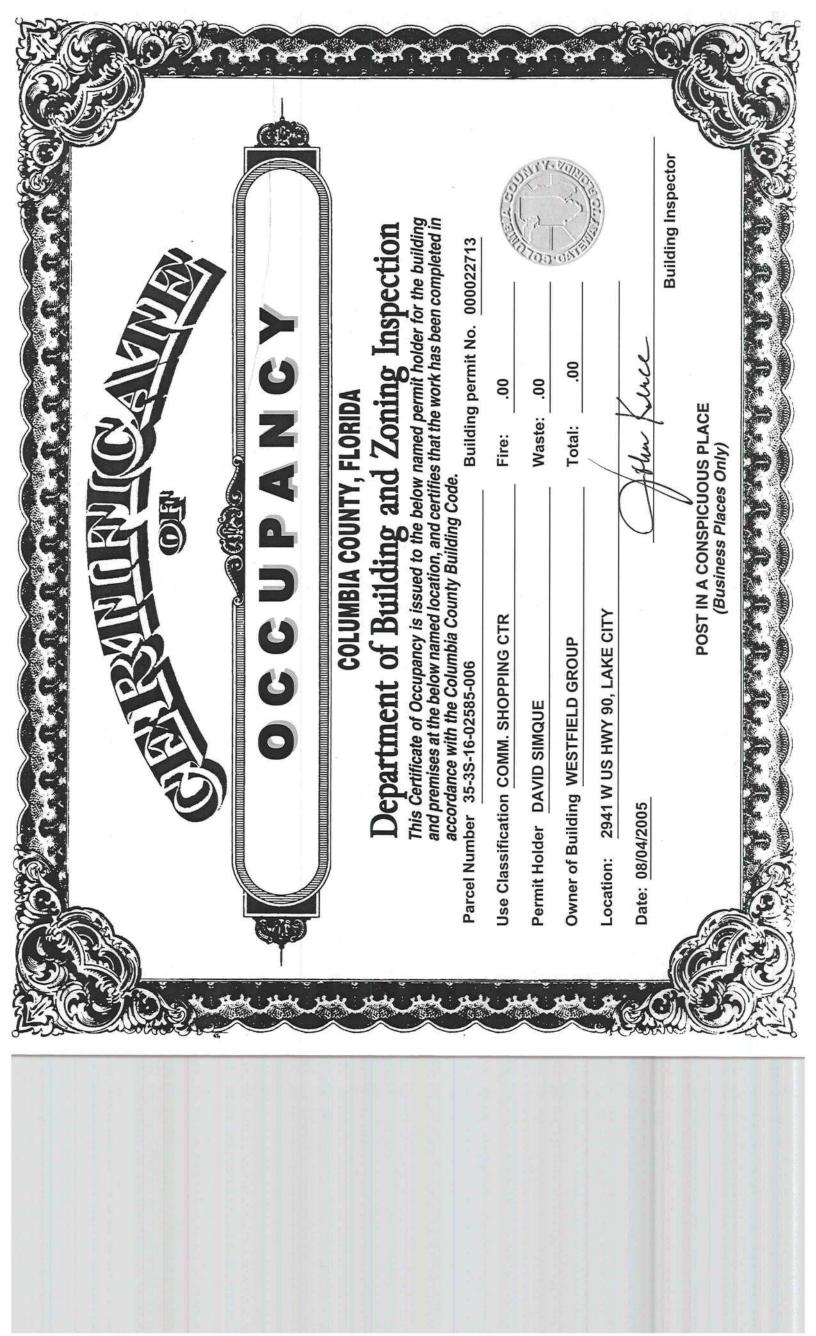
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This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

227/3 All contracts for services are between the Pest Control Operator and builder, unless stated otherwise. Section 1: General Information (Treating Company Information) Aspen Pest Control, Inc. Company Name: 301 NW Cole Terrace Lake Cit State Company Address: City Zip JE109478 Company Business License No. Company Phone No. FHA/VA Case No. (if any) Section 2: Builder Information Company Phone No. Company Name: Section 3: Property Information Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) Type of Construction (More than one box may be checked) Slab ☐ Basement ☐ Crawl ☐ Other Approximate Depth of Footing: Outside Inside Type of Fill Section 4: Treatment Information Date(s) of Treatment(s) 23 Brand Name of Product(s) Used EPA Registration No. _ Approximate Final Mix Solution % Approximate Size of Treatment Area: Sq. ft. Linear ft. Linear ft. of Masonry Voids 100 Approximate Total Gallons of Solution Applied □ No ☐ Yes Was treatment completed on exterior? ☐ Yes ☐ No Service Agreement Available? Note: Some state laws require service agreements to be issued. This form does not preempt state law. Attachments (List) Comments JF104376 Name of Applicator(s) Certification No. (if required by State law) The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations. Authorized Signature Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010. 1012; 31 U.S.C. 3729, 3802) Form NPCA-99-B may still be used form HUD-NPCA-99-B (04/2003)









SUWANNEE RIVER WATER MANAGEMENT DISTRICT

9225 CR 49 LIVE OAK, FLORIDA 32060 TELEPHONE: (386) 362-1001 TELEPHONE: 800-226-1066 FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE: WESTFIELD GROUP LLLP. POST OFFICE BOX 3566 LAKE CITY, FL 32056 PERMIT NUMBER: ERP01-0351M

DATE ISSUED: 09/30/2004 DATE EXPIRES: 09/30/2007

COUNTY: COLUMBIA TRS: S35/T3S/R16E

PROJECT: VILLAGE SQUARE SHOPPING CENTER

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

CHARLES S. SPARKS WESTFIELD GROUP LLLP. POST OFFICE BOX 3566 LAKE CITY, FL 32056

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Previous permit application was withdrawn by the applicant. Modification consists of construction and operation of a surfacewater management system serving 13.62 acres of impervious surface on a total project area of 19.25 acres in a manner consistent with the application package submitted by Bailey Bishop & Lane, Inc. certified on September 22, 2004.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right

Project: VILLAGE SQUARE SHOPPING CENTER

Page 2 of 8

to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

- 1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
- 2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
- 3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
- 4. Off-site discharges during and after construction shall be made only through the facilities

Project: VILLAGE SQUARE SHOPPING CENTER

Page 3 of 8

authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.

- 5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.
- 6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
- 7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
- 8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.
- 9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
- 10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.
- 11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
- 12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.
- 13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit

Project: VILLAGE SQUARE SHOPPING CENTER

Page 4 of 8

is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

- 14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.
- 15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
- 16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.
- 17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in chapter 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988), which is incorporated by reference, unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the specifications in chapter 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988). The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
- 18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.
- 19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

Project: VILLAGE SQUARE SHOPPING CENTER

Page 5 of 8

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

- 21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.
- 22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.
- 23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on onsite observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed

Project: VILLAGE SQUARE SHOPPING CENTER

Page 6 of 8

dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;
- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.
- 24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.
- 25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.
- 26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit

Project: VILLAGE SQUARE SHOPPING CENTER

Page 7 of 8

does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

- 27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
- 28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.
- 29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.
- 30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.
- 31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by _

_ Date Approved_

9/30/04

Project: VILLAGE SQUARE SHOPPING CENTER

Page 8 of 8

Clerk

Executive Director



NOV 3 0 2004

JEB BUSH GOVERNOR

JOSE ABREU SECRETARY

FDOT- Lake City Maintenance Permits Department Post Office Box 1415 Lake City, Fl. 32056-1415

Date: 11-24-04

Bailey, Bishop & Lane, Inc. Ms. Ann Newland, P.E. P.O.B. 3717 Lake City, Fl. 32056-1415

RE: Approved FDOT Access Connection Permit State Access Permit No: 04-A-292-0023

Access Permit Category: D State Section No: 29010 Mile Post Location: 7.219 +-

Ms. Newland:

This cover letter acknowledges your request on behalf of your client, Mr. Sparks who represents Westfield Group, LTD in making proposed new Access Connection and Roadway Improvements to State Highway No. 10 in West Lake City, Florida. As Westfield Group, LLLP's engineering agent, you are hereby notified that permission is hereby granted by the Florida Department of Transportation in making the following related permitted improvements and/or modifications according to FDOT Specifications and approved Permit Provisions. Special Note: A section of the property being developed under this permit has had a Stipulated Final Court Judgment (Parcel 108), Case Number 97-09-CA, Division CV-B. A copy of this Court Judgment is attached as a part of this permit and explains the stipulations lain out.

Access Connection Details

Proposed for construction on State Highway No. 10 at or about FDOT Mile Post 7.129 is a single, 2 lane thirty-foot wide (30'), Right In/Right Out Only, Radius Return Concrete and Asphalt Access Connection. The new proposed connection shall be considered a Class D, Commercial Access Connection and as such may not exceed the maximum total average vehicular trips allowed under this approved permit. The new driveway shall be constructed as an urban radius return concrete/asphalt connection with a fifty-foot right in and a thirty-five foot right out turn movement radii with Type F concrete curb & gutter turn radii. The required Drop Curb shall be twenty-four inches in width, all per FDOT Index No. 300, Sheet 1 of 1. The new concrete connection shall have an additional five foot wide concrete travel surface beyond the back of the sidewalk area of the connection, with a finished surface asphalt course of a minimum two inches in compacted thickness from the concrete edge to the FDOT Right-of-way line, refer to Sheet No. 14 for detail of same.

Driveway Subgrade and Limerock Base Requirements

The new FDOT Permit approved connection, due to it's having both concrete and asphalt surface courses shall require 2 types of subgrade specifications. The proposed asphalt section shall require a minimum twelve inch compacted and stabilized earth base with a tested and passing minimum density of 95% with an LBR of 40.

www.dot.state.fl.us



Page 2 of 5 Cover Letter Access Permit 04-A-292-0023/ Village Square

The required Limerock Base Course for the final asphalt section shall require a minimum compacted thickness of eight (8") inches in depth, with a tested and passing minimum density of 98%. Three (3) density tests shall be made of both the subgrade and limerock base courses with proof of passing requirements to the Lake City Maintenance, Permits Office a minimum of 24 hours before any concrete pours can be commenced.

Concrete Requirements

Those areas requiring concrete under this approved FDOT Permit (Slab, Turn Radii & Type " F" C & G) shall be constructed to a minimum depth of six inches thick and shall extend to a point of (5') five feet beyond the back of the existing sidewalk area. Be aware that all concrete materials utilized upon FDOT Right-of-Way shall meet or exceed a minimum cure-out of 3000 p.s.i., with Certified FDOT Type I Concrete being required. Concrete tickets for each truck delivery to the site_shall be provided to on-site FDOT Inspector and shall provide the type, class, cure-out strength and total Cubic Yards to FDOT Permits Personnel on-site at the time of all concrete pours with the required evidence to same. Fibered concrete shall not be allowed to be utilized under this approved access permit. Both turn radii shall be constructed with FDOT Type "F" Curb & Gutter as well as the twenty-four inch wide Drop Curb Design. All concrete structures permitted herein shall be constructed in one Monolithic pour. The two required A.D.A. Ramps shall be poured at this same time and is hereby required as a provision of this permit. All straight lineType F curb and gutter construction shall be with metal forms only. Tactile A.D.A. Early Warning Pattern of Truncated Dome Design only shall be used and must be constructed to the State/Federal Government Design Requirements. Both Thermoplastic and Pre-Formed Plastic Material Section Type Method can be utilized, Rubber Stamping Mats are not allowed. All A.D.A. Ramps and Early Warning construction shall be completed to the State of Florida, FDOT's most current specifications and shall be constructed while the FDOT Inspector is on-site. Refer to Sheet No. 9 of the approved site plans for additional Plan Notes required under this permit.

A.D.A. Requirements

The Permittee shall meet or exceed the minimum FDOT requirements for A.D.A., Early Warning Detection of the type prescribed by the approved permit. Rubber Mats cannot be used only prefabricated plastic material type are allowed. The Permittee shall notify the local Lake City Maintenance, Permits Office of the type and material planned to be used a minimum of 48 hours before the A.D.A. Ramps are poured. Refer to Plan Sheet No. 9 Sidewalk Curb Ramp for detail. This is a Mandatory Condition of the permit.

Existing Concrete Driveway & Restoration Requirements

The existing drop curb, concrete connection shall be removed in it's entirety with all new FDOT Standard concrete Type F, FDOT Curb & Gutter and Standard Sidewalk shall be repoured to FDOT Standards. New earth fill and a complete coverage of Coastal Bermuda Grass Sod shall be required through the pre-existing areas of the old connection. Due to FDOT having an existing legal easement to a Stormwater Pond the Permittee has agreed as a provision of this permit to construct a flat emergency concrete entry slab as shown on Sheet No. 16 (revised.) This new non-typical concrete slab shall be poured to a minimum depth of eight inches with steel mesh wire required within. A minimum cure-out requirement of 3000 p.s.i. shall be required for concrete strength. Note all existing connections shall be removed and have had complete R/W Restoration as called for above and in the approved plans before any commencement of construction can begin at the new connection sites.

Testino

The proposed earth subgrade base course shall be compacted to a passing maximum density of 98%, with three (3) density tests made. Proof of passing density shall be forwarded to the local FDOT Permits Inspector a minimum of 48 hours in advance of any planned paving commencement. The Permittee, and/or his/her General Contractor shall contact the FDOT Permits Office for location for all tests sites. No concrete pours or paving can be started without proof of passing density tests.

Page 3 of 5 Cover Letter Permit No. 04-A-292-0023/ Village Square

Pavement Striping and Signage Requirements

Per the approved permit and site plan the completed concrete/asphalt surface course shall have as a minimum a single, White Thermoplastic STOP BAR as well as a minimum of thirty (30') L.F. of Yellow, double six (6") wide, Thermoplastic Lane Separation Striping all per FDOT Index No. 17346. All new Thermoplastic Striping shall conform to the State FDOT Indexes 17302, 17346 and /or 11860. All thermoplastic marking materials shall be "Certified Lead Free" Materials. A single Series 600, R1-1 aboveground STOP SIGN shall be required to be constructed at each access point per the approved site plan. The new access point on SR-25-A shall also have two "Right Turn Only" aboveground signs. All aboveground signs proposed to be constructed upon FDOT Right-of way shall be constructed per approved site plan and per FDOT Index No. 17302, Sheet 1 of 1 and Index 11860. All metal posts on FDOT shall be aluminum two inch or greater in diameter and set at a minimum height of 7 feet from EOP grade with brackets per FDOT Index No. 11860.

Note: All aboveground signs that are required under this approved permit shall be in place and have received a passing inspection before final driveways completion. The areas receiving pavement markings, (STOP BAR/LANE STRIPING) shall receive a chemical pre-treatment before the final thermoplastic materials are placed down. Note: FDOT Inspector must be on site for this phase of the project with the responsibility for scheduling this phase of the project being the Permitee or his/her General Contractor or Engineer Manager. The Permittee or his/her contractor shall set up a mutually agreeable time for this inspection. The new connection shall not be utilized at any time before the FDOT Permits Office has made their final permitted site inspection with notice of passing project inspection being forwarded by written letter to the Permittee from the permitting FDOT agency.

Roadway, Ditch/Slope Area, Grass Sodding Requirements & R/W Restoration

All areas of either ditch line as well as any front and back slopes or Grass Utility Strips any disturbed earthen areas on either side of the new connection permitted shall require a complete coverage of Certified Coastal Bermuda Grass Sod. All other areas outside this particular area shall require a complete coverage of hulled Bermuda grass and millet seed with copious amounts of Straw Mulch covering all. All areas upon FDOT R/W shall be made clean and acceptable by final inspection by FDOT Personnel.

Notice of Final Approved Plans Interpretation

The Local Permits Office having jurisdiction over the approved permit shall have final determination over all approved plan & construction concepts and method details that could affect the FDOT Right-of-Way Property.

Notice of Pre-Construction Meeting (Mandatory)

The Permittee and his/her construction supervisor(s) shall meet a minimum of 48 hours in advance of activation of this permit, so that all parties will have an opportunity to read in detail this attached cover letter, review its plans and be provided the opportunity to ask any questions he or she may have in regards to this permit. It shall be the Permittee's responsibility to contact the local Permits Office no later than 48 hours in advance of the planned activation/construction commencement date, so that this provision can be completed satisfactory to all parties involved. BE AWARE: THIS IS A MANDATORY PERMIT PROVISION!! FAILURE TO COMPLETE THIS SPECIAL PROVISION SHALL BE REASON FOR SUSPENSION OF THE APPROVED PERMIT!

Page 4 of 5 Cover Letter Permit No. 04-A-292-0023 / Village Square

Grass Sod Requirement Details

Due to the difference in the elevation grades from the back of existing sidewalk and the finished paved surface of the project the permittee shall add earth fill and a complete coverage of Coastal Bermuda Grass sod between these areas across the entire length of the project front. Refer to the engineer's Slope & Sod Detail shown on Plan Sheet No. 9. All slopes, shoulders, ditches, and other disturbed areas within the limits of the proposed paved turnout radii, shall be completely grass sodded with Certified Coastal Bermuda grass. Note: all grass shall be installed, watered and inspected for evidence of growth, before any paving can commence under this permit. Failure to complete this provision can be reason for temporary suspension of this permit. NOTICE: ALL R/W RESTORATION AND REQUIRED GRASS SOD SHALL BE PLACED DOWN AND INSPECTED BEFORE ANY ASPHALT/CONCRETE PAVING CAN COMMENCE UNDER THIS APPROVED PERMIT.

Real Family Judgments/ Parcel No. 108

The Final Court Judgments requires FDOT to allow use of 430 feet for parking on the existing easement road area. No permanent improvements shall be allowed under this judgment, however the Department shall agree to paved parking improvements within this area with stipulations. In case of emergency the Department retains its rights under law to make and take any and all actions required to protect the general public and its roadway corridors within its legal easement in regards to these paved parking areas as may be mandated to the Department by the Laws of the State of Florida. The Permittee understands that this is a legal permit provision and has agreed to this stipulation as part of the final approval agreement for

Permit Agreement on NW Corner of FDOT Stormwater Easement & Pond Areas.

A request from the Permittee for use of a small section of property owned by FDOT to allow a paved section of roadway for the use by Westfield Group LLLP. By verbal notification from the District II, Permits Office to Lake City Maintenance, Permits Office it has been conveyed that the Legal Office of District II has reviewed said request for use by Westfield Group LLLP (Charles Sparks, Rep.) for the use of a section of the FDOT's Easement/Property for use to construct an east/west roadway across said property. The Department has agreed to this use, but retains it rights under law to recover said property if deemed necessary at any time in the future. This section is not included in the Court Judgments and as such is on a temporary loan for use by the Permittee and may be reclaimed at any time if required by FDOT. Any paved roadway improvements are to be constructed with the understanding of this permit stipulation.

Notice of Minimum FDOT Construction Requirements

All construction shall be to the most current F.D.O.T. Roadway and Traffic Design Standards and F.D.O.T. Standard Specifications for Road and Bridge Construction. All construction shall be per approved permit, cover letter, special provisions, and signed and sealed site plans and shall conform to all current F.D.O.T. Specifications and Inspections. No work can commence on F.D.O.T. right- of- way before the approved Maintenance of Traffic Plan is in place. The FDOT Permits Staff shall have final say as to any conflicts of interest that may occur, before, during or after the construction phase.

Save Harmless Clause

Please refer to the approved permit, cover Letter and site plan drawings and if attached addendum for Access type, location and construction details. Refer to the approved connection permit for additional General and Special Provisions that could alter construction design plans as shown on the attached site plan. A copy of the approved site plan and the permit itself shall be on site at all times. Construction on the Department of Transportation's Right-of-Way shall meet all of the Department's Standard Construction Specifications and Safety Criteria. This Permit is issued with the understanding that a Department approved contractor shall perform all construction in accordance with F.D.O.T. Specifications and that all costs of construction shall be borne by the applicant.

Page 5 of 5 Cover Letter Permit No. 04-A-292-0023 / Village Square

It is also understood and agreed that the rights and privileges herein set out, are granted only to the extent of the State's Right, Title and Interest in the land to be entered upon and used by the holder, and the holder will at all times, assume all risk of and indemnify, defend, and save harmless the State of Florida and the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercise by said holder of the aforesaid rights and privileges.

Also, please request your Engineer or Representative to contact our Permits Coordinator, Neil E. Miles, at P.O. Box 1415, Lake City, Fl 32056-1415, Phone Number (904) 961-7193 or if no answer 961-7180, a minimum of 48 hours prior to your planned commencement date.

Sincerely,

Neil E. Miles Access Permits Engineer Lake City Maintenance

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION

DRIVEWAY CONNECTION PERMIT FOR ALL CATEGORIES

850-040-18 SYSTEMS PLANNING 04/03 Page 1 of 3

PART	1: PERMIT INFORMATION
APPLICATION NUMBER:04-a-292-0023	
Permit Category:D	Access Classification:11
Project: Village Sguare / 30' Asph E/L D/W W 50' /	35' tutn Radii.
Permittee: Westfield Group,LLLP/ Charlie Sparks	
Section/Mile Post: 29010 / 7.129+-	State Road: S.R.10
Section/Mile Post: 29010 / 7.219+-	State Road: S.R.10
PART 2:	PERMITTEE INFORMATION
Permittee Name: Westfield Group LLLP/ Charlie Spar	ks
Permittee Mailing Address: P.O. Box 3566	
City, State, Zip: Lake City ,FL. 32056	
Telephone: (386)755-5110	_
Engineer/Consultant/or Project Manager: Bailey Bisho	op & Lane, Inc.
Engineer vacantille for the state of	n M. Newland
Mailing Address: P.O. Box 3717	P.E. #
City, State, Zip: Lake City, FI 32056-3717	
Telephone: (386)752-5640	FAX, Mobile Phone, etc. (386)755-7771
	3: PERMIT APPROVAL
The above application has been reviewed and is hereby	approved subject to all Provisions as attached.
Permit Number: 04-A-292-0023 Department of Transporta	tion
Signature: Mul E. Mul	Title: Permits Coordinator
Department Representative's Printed Name Neil I	E. Miles, Coordinator
	ary, this permit is only valid for 6 months)
Special provisions attached YES NO	· · · · · · · · · · · · · · · · · · ·
Date of Issuance:	2 4 2004
If this is a normal (non-temporary) permit it authorizes cor extended by the Department as specified in 14-96.007(6).	nstruction for one year from the date of issuance. This can only be

See following pages for General and Special Provisions

PART	4:	GENERAL	PROVISIONS
	· ·	GENERAL	FRUVIAL INS

1.	Notify the Department of Transport	ation Maintenance Office at least 48 hours in advance of starting proposed work
	Phone: (386)961-7180	, Attention: Neil E. Miles Permit Coordinator

- A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
- Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
- Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
- All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
- The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
- Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
- If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
- Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
- 10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
- All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
- 12. Transportation Control Features and Devices in the State Right of Way. Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
- 13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
- 14. The Permittee shall be responsible for determining and notify all other users of the right of way.
- 15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

PART 5: SPECIAL PROVISIONS

NON-CONFORMING CONNECTIONS:

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

- The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
- All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL & SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PERMIT SHALL BE ACCORDING TO THE MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT THE TIME OF ACTUAL CONSTRUCTION AND PERMIT ACTIVATION.

PART 6: APPEAL PROCEDURES

You may request an administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes. If you disagree with the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may request a formal administrative hearing pursuant to Section 120.57(1), Florida Statutes. If you agree with the facts stated in the Notice, you may request an informal administrative hearing pursuant to Section 120.57(2), Florida Statutes. You must send the written request to:

Clerk of Agency Proceedings Department of Transportation Haydon Burns Building 605 Suwannee Street, M.S. 58 Tallahassee, Florida 32399-0458

The written request for an administrative hearing must conform to the requirements of either Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and must be received by the Clerk of Agency Proceedings by 5:00 P.M., no later than 21 days after you received the paper, and contain:

- Your name, address, telephone number, and Department identifying number on the Notice, if known, and name, address, and telephone number of your representative, if any;
- 2. An explanation of how you are affected by the action described in the Notice.
- 3. A statement of how and when you received the Notice.
- 4. A statement of all disputed issues of material fact. If there are none, you must so indicate.
- 5. A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle you to relief; and
- 6. A demand for relief.

A formal hearing will be held if there are disputed issued of material fact. If a formal hearing is held, this matter will be referred to the Division of Administrative Hearings, where you may present witnesses and evidence and cross examine other witnesses before an administrative law judge. If there are no disputed issues of material fact, an informal hearing will be held, in which case you will have the right to provide the Department with any written documentation or legal arguments which you wish the Department to consider.

Mediation, pursuant to Section 120.573, Florida Statutes, will be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

If a written request for an administrative hearing is not timely received you will have waived your right to have the intended action reviewed pursuant to Chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

FLORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH GOVERNOR

JOSE ABREU, SECRETARY



PERMITTEE:Charlie Sparks/ Permit No: 04-A-292-0023 State Rd:10 / Section: 29010 /MP:7.196+-7.219 / PERMIT CAT: D PROJ DESCRIPTION:PRO: 30' W ASPH D/W W 50'-30' RADII.

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLYED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

- All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded 1. XXX and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
- Permittee shall restore wildflowers disturbed during permitted construction with new seed to be (amount and & 2. XXX method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
- The Permittee will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) 3. XXX hours in advance of starting excavation within the area of any signalized intersection.
- The Permittee can be required to physically relocate (move), as so indicated under this permit at a future date, 4. XXX due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
- Existing utilities may be located within the construction area. Prior to permit approval, permittee shall locate and 5. XXX notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permittee shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permittee shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permittee shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
- No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump 6. <u>XXX</u> islands must be located at least twelve (12) feet from right-of-way line.
- Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be 7. XXX restricted or prohibited.
- The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any 8. XXX type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
- All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on 9. XXX Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
- Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector. 10. XXX
- A pre-construction review of the construction planned under the permit shall be mandatory. The 11. XXX Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
- If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway 12. XXX then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY/CONNECTION APPLICATION FOR ALL CATEGORIES

850-040-15 SYSTEMS PLANNING 04/03

		OFFIC	E USE ONLY
Application Number: Category: Section/Mile Post: Section/Mile Post:	04-A-292 D 7.196 & 29010	7.219	Received By: <u>Dale Cray</u> Date: 7-27-04 State Road: SR. 10
 For help with this form Or visit our webs You may also en 	ent of Transportation to some questions may no n contact your local Mai ite at http://www11.myf	intenance or District Offi lorida.com/onestopperm	State Road: SR. 10 and other documents you are required to submit with your application. The all necessary documents and submit it to the Department of the ce. and office and ask for Driveway Permits.
esponsible Officer or Pers	on: Charlie Spar	ks	
he Applicant is a Compar dress: P.O. Box 3566 v, State: Lake City, FL	Phone: (386) 755		Fax: <u>(386)</u> 755-6449
charlie@charliespa			
	or Organization 11		
Applicant is a Company of ss:	organization, Name:		

AUTHORIZED REPRESENTATIVE: If specified by Applicant to handle, represent, sign, and file the application - NOTE: A notarized letter of authorization must be provided with the Application
Name: Bailey, Bishop & Lane, Inc
Company Namese See Above
Address: P.O. Box 3717
City, State: Lake City
Zip: 32056-3717 Phone: (386)752-5640 Fax: (386)755-7771
Email:
Address of property to be served by permit (if known): 200 feet west of Real Road If address is not known, provide distance from nearest intersecting public street (such as, 500 feet south of Main St.) Check here if you are requesting a new driveway temporary driveway modification to existing driveway safety upgrade
Does the property owner own or have any interests in any adjacent property? No Yes, if yes - please describe:
Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property? No Yes, if yes - list them on your plans and indicate the proposed and existing access points.
ocal Government Development Review or Approval Information:
Local Government Contact: Mr.Kerce, Columbia Co Bliuding Director
Government Agency: Columbia Bliuding Office
Phone #: (386)785-1008

Business (Name and Type)	Square Footage	Business	(Name and Type)	Square Footag
Village Square	21,696	3.		
		4.		
			The second secon	
ou are requesting a residential development a	ccess, what is the type (s	ingle family, apartment, to	wnhouse) and number of	units?
00			Nu	mber of Units
N/A				
ovide an estimate of the daily traffic volume an	ticipated for the entire pro	perty at build out (An indi	vidual single family home	duploy or guid play
required to complete this section).	no parod for the share pro	porty at baile bat. (All Indi	vidual single family nome	, duplex, or quad-piex
aily Traffic Estimate = L Q T	(Use the latest Institute	e of Transportation Engine	ers (ITE) Trip Generation	Report)
ou used the ITE Trip Generation Report, provi	de the land use code, inde	ependent variable, and refe	erence page number.	
= Land Use Code	Independent Variable		ITE Report page number	r reference
Check with the Flo following do	rida DOT Office where you ocuments are required to d	u will return this form to de complete the review of you	termine which of the rapplication.	
lans should be 11" x 17" (scale 1" x 50')		f) Proposed access des	ign	
ote: No plans larger than 24" x 36" will be acc) Highway and driveway plan profile		g) Parcel and ownershi h) Signing and striping	p maps including easeme	nts (Boundary Survey
Drainage plan showing impact to the highway Map and letters detailing utility locations before	y right-of-way	i) Traffic Control/Mainte	enance of Traffic plan	
after Development in and along the right of		j) Proof of liability insurk) Traffic Impact Study	ance	
Subdivision, zoning, or development plans Property map indicating other access, borde	ring roads and streets	Cross section of road	way every 100' if exclusiv	e turn lanes are requ
portant Notices to Applicant Before S				
ne Department Reserves The Right To Char	ge Traffic Features And	Devices In Right Of Way	At Any Time	
oposed traffic control features and devices	in the right of way, such	h as median openings an	d other traffic control d	evices, are not part
e connection(s) to be authorized by a conn ture in order to promote safety in the right	ection permit. The Dena	riment reserves the right	to change these featur	as and davices in th
installation or maintenance of such featur	es or devices shall not o	create any interest in the	maintenance of such fe	applicant of monles
gnificant Changes In Property Use Must Un	dergo Further Review			
an access permit is issued to you it will state	te the terms and condition	ons for its use. Significa	nt changes in the use a	s defined in Section
5.182(3), Florida Statutes, of the permitted plation of the permit.	access not consistent w	vith the terms and condit	ions listed on the permi	t may be considered
Information I Give Is Accurate				
ertify that I am familiar with the information formation is true, complete and accurate.	contained in this applic	ation and that to the bes	t of my knowledge and	belief, such
ormatori is true, complete and accurate.				
arting Work On The Driveway Connection A	fter I Get My Permit Mea	ns I Accept All the Cond	itions In My Permit	
rill not begin work on the connection until I e connection, I am accepting all conditions	receive my Permit and I listed in my Permit.	understand all the condi	tions of the Permit. Wh	en I begin work on
licant Name (Printed): Charlie Sparks				
1111	50.	-Date 7 1 5 0 /		
licant's signature:	Dan	-Date 7-15-04		

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION

PERMIT ADDENDUM

MAINTENANCE DISTRICT TWO 11/03

NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM

PERMIT RELATED CONSTRUCTION PROJECTS

I ENWIT NEED CON	NSTRUCTION PROJECTS
o be completed by Department	
Associated Permit No.(s):	
o be completed by Permittee	
Description of work to be performed DEVELDPINENT	OF A 21700SF RETAIL SHOPPING
CENTER WITH A 1.88 ALRE STORINWATE	R BASIN ALDNG US9D NEXT TO
APPLEBEE'S REST.	
Total Dist	urbed Area
	Prior to Construction
Calculations of Disturbed	Earth (Must Submit Copy to Department)
Over 1 Acre (Documents Available to Department Upon Request)	Under 1 Acre (Documents Available to Department Upon Request)
Generic Permit For Stormwater Discharge from Large and Small Construction Activities	An Erosion Control Plan
Notice of Intent(NOI) to use Generic Permit for Stormwater Discharge from Large and Small Construction Activities	
Stormwater Pollution Prevention Plan (SWPPP)	
Required Upon Commencement of Construction	on(Must Submit Copy to Department)
Notice of Termination (NOT) of Generic Permit Coverage	Notification of Completion
I certify that I understand the terms and conditions of the (NPDES) Generic Permit that authorizes the storm water construction site. I also understand that the Generic Perminspections, Documentation shall be available to the Department of the property o	discharges associated with activities from the nit requires erosion and sediment control
Signature:	Date: (1/20/04
Name and Title: Scott Stewart Trustee, Wes	/ 1/2/2/
. This addendum shall be completed for all activities that dis	
This addendum shall be completed for all activities that dis If this addendum is signed by a representative of the applic be attached.	cant, a letter of authorization from the permittee must
The above documents are in addition to documents require	ed from associated permits

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328

File No. 03-931

Property Appraiser's Parcel Identification No. 35-38-16-02585-006 Inst:2004010498 Date:05/07/2004 Time:13:11

Doc Stamp-Deed: 1107.40
Doc, P.DeWitt Cason, Columbia County B:1014 P:1886

WARRANTY DEED

THIS INDENTURE, made this 6th day of May 2004, BETWEEN HELEN B. REAL, unmarried, whose post office address is Post Office Box 2041, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantor*, and WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantee*.

WITNESSETH:

That said Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, its successors and assigns forever, the lands situate, lying and being in Columbia County, Florida described as follows:

SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

And said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

(First Witness) Terry McDavid Printed Name

Witness) Myrtle Ann McElroy Printed Name

B feal (SEAL)

Inst:2004010499 Date:05/07/2004 Time:13:11

Doc Stamp-Deed: 1107.40

___DC,P.DeWitt Cason,Columbia County B:1014 P:1887

STATE OF FLORIDA COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th day of May 2004, by HELEN B. REAL, unmarried. She is personally known to me and did not take an oath.

Notary Public

My Commission Expires:

SCHEDULE "A"

Commence at the intersection of the East line of Brookside, a subdivision as recorded in Plat Book 3 at Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E along the Northerly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet to the POINT OF BEGINNING; thence N 03°02'38"E, 856.99 feet; thence N 84°51'35"W, 274.49 feet to the East Line of said Brookside; thence N 03°06'05"E, along said East Line, 518.67 feet to the North line of the Southeast 1/4; thence N 87°20'07"E, along said North Line 863.64 feet; thence S 03°37'43"E, 470.56 feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'14"E, 562.63 feet; thence N 86°10'01"E, 145.72 feet; thence S 03°36'54"E, 222.17 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'15"W, 144.93 feet; thence N 84°47'28"W, 150.00 feet; thence N 03°36'15"W, 106.07 feet; thence S 84°52'29"E, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence S 84°52'31"E, 212.81 feet; thence S 05°08'43"W, 149.92 feet; thence S 84°52'31"E, 212.81 feet; thence S 03°38'27"E, 105.97 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet to the Northerly right of way of U.S. Highway 90 (State Road No. 10); thence N 84°51'35"W, along said Northerly right of way 240.04 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

COMMENCE at the intersection of the East Line of Brookside, a subdivision as recorded in Plat Book 3, Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E, along the Northerly right of way of U.S. Highway 90 (State Road 10), 275.03 feet; thence N 03°02'36"E, 750.72 feet; thence S 84°50'38"E, 134.32 feet to the POINT OF BEGINNING; thence N 05°07'44"E, 349.98 feet; thence S 84°52'40"E, 310.91 feet; thence S 05°05'44"W, 350.16 feet; thence N 84°50'38"W, 311.12 feet to the POINT OF BEGINNING.

Inst: 2004010499 Date: 05/07/2004 Time: 13:11 Doc Stamp-Deed: 1107.40 DC,P.DeWitt Cason,Columbia County B:1014 P:1888 THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328

RETURN TO:

TERRY MCDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 03-931

Property Appraiser's Parcel Identification No. 35-3S-16-02585-006

Inst:2004010500 Date:05/07/2004 Time:13:11

DC,P.DeWitt Cason,Columbia County B:1014 P:1889

QUITCLAIM DEED

THIS QUITCLAIM DEED, made this 6th day of May 2004, between D.B. ESPENSHIP, III, who does not reside on the property described herein, whose post office address is Post Office Box 1102, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the first part, and WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the second part.

WITNESSETH, that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has remised, released and quitclaimed, and by these presents does remise, release and quitclaim unto the said party of the second part all the right, title and interest claim and demand which the said party of the first part have in and to the following described lot, piece, or parcel of land, situate lying and being in the County of Columbia, State of Florida, to-wit:

SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION

N.B.: Neither the Grantor nor any member of his family live or reside on the property described herein or any land adjacent thereto or claim any part thereof or any land adjacent thereto as their homestead.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of said party of the first part, either in law or equity, to the only proper use, benefit and behoof of said party of the second part.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

(First Witness)
Terry McDavid
Printed Name

Printed Name

Mythe Witness)
Mythe Ann McElroy

Inst:2004010500 Date:05/07/2004 Time:13:11

Doc Stamp-Deed: 0.70
____DC,P.DeWitt Cason,Columbia County B:1014 P:1890

#DD 079305

MUBLIC STATE

STATE OF FLORIDA COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th day of May 2004, by D. B. ESPENSHIP, III. He is personally known to me and did not take an oath.

Notary Public My Commi

My Commission Expiresummuni

SCHEDULE "A"

Commence at the intersection of the East line of Brookside, a subdivision as recorded in Plat Book 3 at Page 45 of the public along the Northerly right of way of U.S. Highway 90 (State Road No. 856.99 feet; thence N 84°51'35"W, 274.49 feet to the East Line of feet to the North line of the Southeast 1/4; thence N 87°20'07"E, said Brookside; thence N 03°06'05"E, along said East Line, 518.67 along said North Line of the Southeast 1/4; thence N 87°20'07"E, feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'43"E, 470.56 feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'14"E, 562.63 feet; thence N 86°10'01"E, 145.72 feet; thence S 03°36'54"E, 222.17 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'15"W, 144.93 feet; thence S 84°52'29"E, 12.62 feet; thence N 03°36'15"W, 106.07 feet; thence S 84°52'29"E, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence N 84°53'48"W, 290.00 feet; thence N 05°06'09"E, 150.03 feet; thence N 84°53'48"W, 290.00 feet; thence S 03°38'27"E, 105.97 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°38'27"E, 105.97 feet to the Northerly right of way of U.S. Highway 90 (State Road 240.04 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

COMMENCE at the intersection of the East Line of Brookside, a subdivision as recorded in Plat Book 3, Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E, along the Northerly right of way of U.S. Highway 90 (State Road 84°50'38"E, 134.32 feet to the POINT OF BEGINNING; thence N 05°07'44"E, 349.98 feet; thence S 84°52'40"E, 310.91 feet; thence S 05°05'44"W, 350.16 feet; thence N 84°50'38"W, 311.12 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA. POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

> Inst:2004010500 Date:05/07/2004 Time:13:11 Doc Stamp-Deed : 0.70 _DC,P.DeWitt Cason,Columbia County B:1014 P:1891

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:2004010501 Date:05/07/2004 Time:13:11
______DC,P.DeWitt Cason,Columbia County B:1014 P:1892

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 03-931

ASSIGNMENT

PATRICK LEE REAL, Successor Trustee of the Exemption Equivalent Trust created under the Last Will and Testament and Codicil thereto, of Hubert E. Real, deceased, and HELEN B. REAL, unmarried, individually, whose address is Post Office Box 2041, Lake City, Florida 32056, parties of the first part, hereby assign to WESTFIELD GROUP, LLLP, a Florida Limited Liability Partnership, whose address is Post Office Box 3566, party of the second part, all of the right, title and interest of the parties of the first part in and to the Easements described in Schedule "A" attached hereto, together with all of the right, title and interest of the parties of the parties of the parties of the first

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals this 6th day of May 2004. Signed, sealed and delivered in our presence:

(First Withess)
Terry McDavid
Printed Name

(Second Witness)

Myrtle Ann McElroy
Printed Name

STATE OF FLORIDA COUNTY OF COLUMBIA Patrick Lee Real (SEAL)
Successor Trustee of the
Exemption Equivalent Trust

Helen B. Real (SEAL)

The foregoing instrument was acknowledged before me this 6th day of May 2004, by PATRICK LEE REAL, Successor Trustee of the Exemption Equivalent Trust created under the Last Will and Testament and Codicil thereto, of Hubert E. Real, deceased, and by Helen B. REAL, unmarried. They are personally known to me and did not take an oath.

Notary Public My Commission Expires

* #DD 079305

LIC STATE

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328

Inst:2004010502 Date:05/07/2004 Time:13:11 DC,P.DeWitt Cason,Columbia County B: 1014 P:1894 !

RETURN TO:

TERRY McDAVID POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328

File No. 03-931

ASSIGNMENT

PATRICK LEE REAL, Successor Trustee of the Exemption Equivalent Trust created under the Last Will and Testament and Codicil thereto, of Hubert E. Real, deceased, and HELEN B. REAL, unmarried, individually, whose address is Post Office Box 2041, Lake City, Florida 32056, parties of the first part, hereby assign to WESTFIELD GROUP, LLLP, a Florida Limited Liability Partnership, whose address is Post Office Box 3566, party of the second part, all of the right, title and interest of the Grantor under that certain Easement dated July 12, 1984 by and between Hubert E. Real and his wife, Helen B. Real, as Grantors and W. Floyd Messer, as Grantee, recorded in Official Records Book 542, Page 406 of the public records of Columbia County, Florida, including, but not limited to, the right to determine the width and location of any easement granted therein.

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals this 6th day of May 2004.

Signed, sealed and delivered in our presence:

(Pirst Witness) Terry McDavid Printed Name

Myrtle Ann McElroy Printed Name

Patrick Lee Real

Successor Trustee of the Exemption Equivalent Trust

Real

(SEAL)

Jul-31-01 10:54A FROM: PALL V SMITH

PHONE NO. : 9847527933

ar of

in the circuit court, fourth Judicial circuit, in and for Judicial County, Florida.

Case no: 97-09-ca Division: CV-B

STATE OF FLORIDA

DEPARTMENT OF TRANSPORTATION,

Potitioner.

VII.

PATRICK LEE REAL, ET. AL.,

Defendants,

COPY BURNEY

ANY 155 TAIL

ASSESSED TO BE

ASS

STUPULATED FINAL TUDGMICHT (Parcel 108)

THIS CAUSE having come on upon Joint Motion for the entry of a Stipulated Final Judgment made by the Petitioner and the Defendants set forth hereinbelow, and it appearing to the Court that the parties were suthorized to outer into such Motion, and the Court finding that the compensation to be paid by the Petitioner is full, just and reasonable for all parties concerned, and the Court being fully advised in the premises, it is now, therefore,

ADJUDGED man Defendants, PATRICK LEE REAL and HELEN B. RHAL, are the owners of Parcel 105; and it is further

ORDERED AND ADJUDGED that Defendants PATRICK LEE REAL and HELEN B. REAL, do have and preover of and from the Petitioner the sum of Four Hundred Twenty-Five Thousand and Novdollars (\$425,000.00) at full payment for the property taken designated as Parcel 106 and for all damages of any cause windocver; and it is further

charlie sparks

FROM -: PALL U SMITH

....... P. OZ

PHUNE 110. : 9847527933

ORDERED that Defendants have a son-amounty benefit of TWENTY-FIVE THOUSAND AND NO/100 (\$25,000.00) DOLLARS: and it is Aurober

ORDERED AND ADJUDGED that Paul V. Smill, Automosy for Defendance, PATRICK LER REAL and HELEN B. REAL, shall receive from the Petitioner the aum of SEXTY-FIVE THOUSAND Terree Hundred Seven and No/100 (565,307.00) dollars in amouncy fees for representation of the landowners \$57.057.00 of which is for securing a monetary benefit of \$172,900.00, and \$8,250.00 of which is for securing a non-monetary beautit of \$25,000.00; and it is Auriber

ADJUDGED that on March 6, 1997, the Petitioner deposited the sum of TWO HUNDRED FIFTY-TWO THOUSAND ONE HUNDRED NOVICO DOLLARS (\$252,100.00) into the Registry of this Court as the Petitioner's good faith estimate of value, which sum has been withdrawn by the Defendants; and it is further

ORDERED AND DIRECTED that the Clerk, upon additional deposit of the sum of Two Hundred Thirty-Eight Thousand Two Hundred Seven and No/100 (\$238,207.00) DOLLARS by the Petitioner and without further order of the court, shell pay forthwith to Paul V. Smith, Post Office Box 1792, Lake City, Florida 32056, the sum of \$238,207.00 for disbussement to the proper parties; and it is further

ORDERED that Defendants shall have the option to discharge surface water into Petitioner's detendon/retendon facility located on Parcel 106 by increasing the size of the facility at Defendants' cost on Defendance' land at which lime Defendants will assume the responsibility of maintrining the by drological function of the facility, and if Defendants elect such option all engineering plans for alterations to the detention/notation facility must be approved by Pathioner; and it is further

Jul-31-01 10:55A FROM : PALE V SMITH

PHONE NO. : 9047527933

MOTION

The parties, by and through their undersigned counsel, respectfully move for the entry of the foregoing Stipulated Final Judgmans.

MARY J. DORMAN, ESQUERE
Plorida Bar No. 917222
Mail Station 2009
Post Office Box 1089
1901 South Marion Street
Lake City, Florida 32056-1089
(904) 961-7530

Dated: 13/4/62

PAUL V. SMITH, DEQUIRE Plovida Bar No. 325910 Post Office Box 1792 Lake City, Florida 32056 (904) 752-7192

Dared: 12/2/97

PATRICK LEE REAL 4373 Seminojo Street Surke, Piorida 32091

Deted: 11-29-93

JAN-26-2004 14:52 DOT RIGHT OF WAY

904 961 7527

men Burley

P. 01



Florida Department of Transportation

Jee Bush COVERNOR Property Management/Division of Right of Way 1109 South Marion Avenue/Mail Station 2020 Lake City, Florida 32025-5874 386-961-7478 SC881-7478 FAX 386-961-7527

(yvonne.macdonald@dot.state.fl.us)

January 26, 2004

Mr. Charlie Sparks Daniel Crapps Agency, Inc. 2806 US Hwy 90 West Lake City, Florida 32055

RE:

DRAINAGE POND MODIFICATION ALONG NORTH SIDE OF SR10

(US90) NEAR REAL ROAD IN LAKE CITY

Item

:2083961

Section

:29010-2551

FAP

:NA

County SR

:Columbia :10 (US90)

Parcels

:108, 111

Dear Mr. Sparks:

After our meeting with your engineer and FDOT staff last Thursday, I spoke with our General Counsel, Ken Davis, about the possible ways to accomplish your proposal. We offer the following:

1. The Stipulated Final Judgment dated December 11, 1997, provides that Patrick Real may discharge surface water into the retention facility by enlarging the pond according to FDOT specifications and assuming maintenance responsibilities for

2. FDOT would require a permanent easement over the newly created pond area that would allow the Department to discharge water into that same area and also grant access to maintain the facility should you/your client fail to perform.

3. As you already know, plans must be approved by FDOT Drainage and the Suwannee River Water Management District. At the same time, the water management permit will need to be transferred to the new managing agency. This can be accomplished without conveyance of any underlying fee ownership

4. On approval of the plans and execution of the easement document, Maintenance would issue a permit authorizing modification of the pond and outlining maintenance responsibilities.

www.dot.state.fl.us



JAN-26-2004 14:53

DOT RIGHT OF WAY

904 961 7527 P.02

Charle Sparks January 26, 2004 Drainage Pond Modification - US60 - Lake City Page 2

The above addresses the pond site. As to that portion of parcel 108 that fronts along US90, the Stipulated Final Judgment grants Mr. Real the right to use 430' for parking only. Constructing a building on any portion of this parcel would require that you purchase or lease the property at fair market value. FDOT would need an easement for the underground drainage, pipe and you/your client would be responsible for relocating

As I mentioned, I will meet with Ken Davis again to be sure I have not overlooked any other possibilities. Call or e-mail if you require any additional information. It was a pleasure to see you again.

Sincerely.

Yvonne MacDonald

grown MacDorald

Deputy District Right of Way Manager, Operations.

District 2

WHOA LOOK AT THIS:

Over work to their

Lead
Lead
CS

TOTAL P. 02



BAILEY BISHOP & LANE, INC.

Engineers

Surveyors

Planners

Village Square

Ann M. Newland, P.E., P.E. Florida Reg. No. 59818

Date: September 3, 2004

Eng. Lic. 7362

Survey Lic. LB-0006685

P. O. Box 3717

Lake City, FL 32056-3717

Ph. (386) 752-5640

FAX (386) 755-7771

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET – RAI 2 REVISED SHEET 1 OF 7 September 3, 2004

PROJECT NAME <u>VILLAGE SQUARE</u> LOCATION <u>LAKE CITY</u>

TOTAL NUMBER OF BASINS 1 TWP 35 RNG 16E SEC 35

AREAS	ACREAGE	PERCENT PROJECT AREA
TOTAL PROJECT AREA	19.64	100.00%
DEVELOPED (NEW) IMPERVIOUS AREA	12.88	65.58%
EXISTING (OLD) IMPERVIOUS AREA	0.0	0%
TOTAL PROJECT IMPERVIOUS AREA	12.88	65.58%
UNDEVELOPED (GREEN SPACE) AREA	4,79	24.39%
BASINS / SURFACEWATER SYSTEM	2.38	10.03%
OTHER:	0.0	0%

UNDEVELOPED (GREEN SPACE)		4,79	24.39%
BASINS / SURFACEWATER SYSTE	M	2.38	10.03%
OTHER:		0.0	0%
SURFACEWATER MANAGEMENT S _ 1. TOTAL RETENTION WITH NO C X 2. RETENTION OF POST-DEVELO _ 3. DRY DETENTION OF POST-DE _ 4. WET DETENTION OF POST-DE _ 5. SYSTEM COMPRISED ENTIRE _ 6. OTHER (Specify)	OFFSITE DISCH OPED LESS PRI EVELOPED DISC EVELOPED DISC	IARGE E-DEVELOPED (CHARGE CHARGE	DISCHARGE
INDICATE INITIAL (1st) AND SECONI BODIES/DRAINAGE SYSTEMS FOR PROJECT:	EACH RETENTI	ON/DETENTION	SYSTEM IN
1st WATER BODY: Ex. drainage of Lake Harris	ditch	OPERATOR_	
Lake Hallis	<u> </u>	OPERATOR_	
IS FIRST WATER BODY: NATURAL (OR MAN-MADE	E (X)?	
		. ,	
	PRE-DEV DA		POST-DEVELOPED DATA
RATIONAL COEFFICIENT	0.:	30	0.77
SCS CURVE NUMBER			
TIME OF CONCENTRATION	71		

STORAGE FACILITY DATA:			
AREA CONTRIBUTING TO THE STORAGE FACIL	ITY	19.64	(acres)
PERMEABILITY RATE OF STORAGE AREA	1.5		/hr)

Source: (Please provide supporting documentation) <u>FIELD INSPECTION (SEE REPORT)</u> CONTROL STRUCTURE DESCRIPTION: <u>0.8' CONC. WEIR @ 155.3</u>

ATTACHED ARE 7 PAGES OF SUPPORTING CALCULATIONS WHICH ARE DATED September 3, 2004 AND NUMBERED SHEETS 2 THROUGH 7.

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET – RAI 2 REVISED SHEET 2 OF 7 September 3, 2004

PROJECT DESCRIPTION:

The developer's propose a master stormwater management system for the 19.64-acres they currently own/control. The first phase of the project consists of Village Square Commercial Center located along US Highway 90 between Applebee's and Waffle House. The second phase of the project is a proposed commercial subdivision and the extension of Real Road; however, this is just a proposed layout and may change in the future. Additionally, the developers would like to include runoff from Applebee's and the Tire Kingdom/Papa John's sites into the master stormwater basin. Westfield Group owns the property behind the Tire Kingdom/Papa John's site and are negotiating with Applebee's to connect their system and fill in their existing stormwater basin. Initially, neither Applebee's or the Tire Kingdom/Papa John's sites will be connected though.

The future development area will consist of a 12-lot commercial subdivision along with the extension of Real Road. Each lot is calculated at 70% maximum impervious. Columbia County will designing the Real Road extension to extend from the existing edge of pavement to Bascom Norris Drive just north of Wal-Mart; however, the runoff from the section within the project limits of this project have been incorporated into the proposed retention basin.

The predevelopment drainage area includes the Applebee's and Tire Kingdom sites and the portion of the area of the developer's property that currently drains to the existing drainage system that runs underneath the Cypress Inn parking area. The predeveloped drainage area is approximately 12.04-acres while the post-developed drainage area is approximately 20.74-acres.

There has been some discussion regarding the design percolation rate. Based upon a telephone conversation with Leroy Marshall on Thursday, August 26, 2004 and a meeting between Leory and Bailey Bishop & Lane on Friday, August 27th, Leroy ran the SRWMD's mounding program and determined that using a vertical unsaturated infiltration rate of 9.5 feet/day (half of what Cal-Tech Testing had recommended – as a safety factor of 2) the maximum stage in the stormwater basin would be 157.3 for the 100-year 10-day storm event. Based upon Leroy's calculations, if we use a rate of zero the maximum stage is 156.80 for the 100-year 4 and 8-hour storm events compared to your stage of 157.00 for the 100-year 24-hour event. We know that we will have some vertical percolation in the system; therefore it was agreed upon during Friday's meeting that we would use a rate of 1 foot per day. The maximum stage in the basin will be 157.1 for the 100-year 4, 8, and 24-hour storm events. The revised top of the bank around the basin will be a minimum of 157.50 feet.

A mitigation area of 0.20-acres is required for impacts to the existing 0.20-acre wetland/ditch, a ratio of one to one as indicated by David Still. The mitigation area will be within a portion of the existing borrow pit as noted on sheet 15 of the construction plans.

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET – RAI 2 REVISED SHEET 3 OF 7 September 3, 2004

PROJECT DATA

PRE-DEVELOPMENT RATIONAL COEFFICIENT

	COEFF.	FT2	ACRES
PROJECT AREA		524600.00	12.04
EXISTING IMPERVIOUS	0.95	0.00	0.00
GREEN AREA	0.30	524600.00	12.04
OTHER (1)	0.00	0.00	0.00
OTHER (2)	0.00	0.00	0.00

Cpre 0.30

POST-DEVELOPMENT RATIONAL COEFFICIENT

- L	COEFF.	FT2	ACRES
PROJECT AREA (area owned by	developers)	855716.82	19.64
DRAINAGE AREA	07 1137	903311.09	20.74
EXISTING IMPERVIOUS	0.95	0.00	0.00
VILLAGE SQUARE	0.95	133000.00	3.05
APPLEBEES	0.95	48226.87	1.11
PAPA JOHNS/TIRE KINGDOM	0.95	46939.81	1.08
FUTURE DEV. AREA	0.95	332844.57	7.64
REAL ROAD EXTENSION	0.00	32053.00	0.74
STORMWATER BASIN	1.00	105973.72	2.43
GREEN AREA	0.30	204273.12	4.69

Cpost

0.78

WATER QUALITY CALCULATIONS

	AC-FT	FT3
RUNOFF FROM TWO INCHES OF RAIN	2.54	110554
HALF INCH OF RUNOFF FROM SITE	0.82	35655

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET - RAI 2 REVISED SHEET 4 OF 7 September 3, 2004

BAILEY BISHOP & LANE, INC. SRWMD 10-YEAR "CRITICAL" STORM

POND DATA:

TOP ELEV (FT) = 157.5 BOT ELEV (FT) = 154.0

TOP LENGTH (FT) = 58.6 TOP WIDTH (FT) = 60.2 SS (H:1)= 3.0

OUTFLOW DATA:

SOIL- K(FT/HR) = 0.042 ORIFICE- DIA (IN) = 4.5 WEIR- C = 3.0

<---1 FT/DAY

L(FT) = 0.80

INVERT ELEV (FT) = 999.0 INVERT ELEV (FT) = 155.3

RESULTS - FLOOD HYDROGRAPH ROUTING:

RETEN VOL (CF) = 114967

10 YEAR (HOUR)	POST (CFS)	PRE (CFS)	OUTFLOW (CFS)	ОК	WATER HT (FEET)	OK	DISCHARGE VOL (CF)
1	105.4	38.6	0.8	YES	1 155.8	YES	1058
2	74.3	27.3	1.7	YES	156.1	YES	
4	36.8	13.5	2.8	YES	156.4	YES	5395
8	34.6	12.7	2.4	YES	156.3		15184
24	10.8	4.0	2.8	YES		YES	29907
		1.0	2.0	IES	156.4	YES	92850

HYDROGRAPH DATA:

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET – RAI 2 REVISED SHEET 5 OF 7 September 3, 2004

	LEN (FT) A (FT^2)	1500	VOL (CF)	T VOL (CF)	PERC RATE	PIPE RATE	WEIR RATE	DISCHARGE DISCHARGE	DISCHARGE	DT=0.1 HR 2S/DT+0	DT=0.5 HR 2S/DT+0		TOTAL	TOTAL SURFACE	
NA 836	6		Silver Silver	0.00	0.97	(010)	(CFS)	(CFS)	(CFS)	(CFS)	(CFS)	ELEV (FT)	(CFS)	(CFS)	
844	4	84441.56 8398.60	8.60	8398.60	0.98	00.0	000	0.00	0.97	-1.00E+50	-1.00E+50	154.00	0.97	0.00	
	8	85184.04 8472	8472.77	16871.37	0 00	00.0	0.00	0.00	0.98	47.64	10.31	154.10	0.98	0.00	
	26	_	700	25418.31	0.99	00.0	0.00	0.00	0.99	94.72	19,73	154.20	0.99	000	
22	59	86669.02 8621.12		34039.44	100	00.0	0.00	0.00	0.99	142.21	29.24	154.30	0.99	00.0	
NA 874	=			42734.73	1.01	00.0	0.00	0.00	1.00	190.11	38.82	154.40	1.00	00.0	
88154.00	X			51504 20	100	00.0	0.00	0.00	1.01	238.43	48.49	154.50	101	000	
88896.49	96			60347.85	1.02	0.00	0.00	0.00	1.02	287.15	58.25	154.60	1.02	00.0	
	38		_	69265.67	20.1	00.0	0.00	0.00	1.03	336.29	68.08	154.70	103	00.0	
NA 90381.46	3			78257 66	40.1	0.0	0.00	0.00	1.04	385.85	78.00	154.80	104	000	
91123.95	33		10100	87323.84	1.05	000	0.00	0.00	1.05	435.81	88.00	154.90	1.05	00.00	
91866.44	99			96464 18	80.1	000	0.00	0.00	1.05	486.19	98.08	155.00	1.05	00.0	
92608.93	8			105678 70	1.00	0.00	0.00	0.00	1.06	536.98	108,25	155.10	1.05	00.0	
93351.42	15			114967 39	20.1	0.00	0.00	0.00	1.07	588.18	118.49	155.20	1.07	0.00	
94093.90	33			124330 26	00.1	0.00	0.00	0.00	1.08	639.79	128.82	155.30	108	0.00	
94836.39	38			133767 31	2.00	0.00	0.08	0.08	1.16	691.89	139.31	155.40	5.50	0.00	
95578.88	œ		- 10	143278 53	7.7	0.00	0.21	0.21	1.31	744.46	149.94	155.50	3.10	0.00	
96321.37	-		100	52863.92		0.00	0.39	0.39	1.50	797,49	160.70	155.60	1.50	0.20	
97063 88	C		- 22	70:00:00	- :	0.00	0.61	0.61	1.72	850.97	171.57	155.70	1.72	0.00	
97806.35	0 10		- 13	102523.49	1.12	0.00	0.85	0.85	1.97	904.88	182.55	155 RD	107	10.0	
98548 83	0		2).B	17227.23	1.13	0.00	1.12	1.12	2.25	959.23	193.64	155.90	1.97	0.85	
99291 32	-		•	04047.73	4	0.00	1.41	1.41	2.55	1014.02	204.84	156.00	2 55	7.12	
100033.81	33			191947.24	1.15	0.00	1.72	1.72	2.87	1069.24	216 14	158 10	2.33	1.41	
100776 30	78	- 117		440000	1.16	0.00	2.05	2.05	3.21	1124.89	227.54	156.70	79.7	1.72	
101518 79	18		ene S	211933.95	7.17	0.00	2.40	2.40	3.57	1180.98	239.05	158.30	3.21	2.05	
102261.28	192			232217 3E		0.00	2.77	2.77	3.94	1237.49	250.65	156 40	20.0	2.40	
103	03003.76			242470 33	5 5	0.00	3.15	3.15	4.34	1294.43	262.36	156.50	4.34	3.15	
103	103746.25			252797 47	1.19	0.00	3.56	3.56	4.75	1351.81	274.16	156.60	4.75	2.5	
104	104488.74			263108 78	25.	0.00	3.98	3.98	5.18	1409.61	286.06	156 70	מלים	00.00	
106	105231.23			273674 27	12.7	0.00	4.41	4.41	5.62	1467.83	298.06	156.80	5.00	0.80	
101	105973 72			12.4.1001	77.1	0.00	4.86	4.86	80.9	1526.49	310.16	156 90	2.02	14.41	
5 6	2746			284223.94	1.23	0.00	5.32	5.32	6.55	1585.57	322 35	157.00	0.08	4.86	
2 5	10071021	1150		294847.78	1.24	0.00	5.80	5.80	7.03	10.000	20,500	00.761	0.55	5.35	
= ;	07458.69	- CO 16		305545.80	1.24	0.00	6.29	6.29	20.7	1040.07	334.64	157.10	7.03	5.80	
= :	08201.18	9 000		316317.98	1.25	00.00	6.79	6.70	200	1705.01	347.02	157.20	7.53	6.29	
2	08943.67			327164.35	1.26	0.00	7.30	7.30	2000	1705.36	359.50	157.30	8.04	6.79	
10	09686.16	.16 10920.54		338084.89	1.27	0.00	7,83	7.83	0.00	1826.14	372.08	157.40	8.56	7.30	
										AN / AN		411			

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET - RAI 2 REVISED SHEET 6 OF 7 September 3, 2004

BAILEY BISHOP & LANE, INC. SRWMD 100-YEAR "CRITICAL" STORM

TOP ELEV (FT) = 157.5 BOT ELEV (FT) = 154.0

TOP LENGTH (FT) = 58.6 TOP WIDTH (FT) = 60.2

SS (H:1)= 3.0

OUTFLOW BATA:

SOIL- K(FT/HR) = 0.042
ORIFICE- DIA (IN) = 4.5
WEIR- C = 3.0

<---i FT/DAY

L (FT) = 0.80

INVERT ELEV (FT) = 999.0 INVERT ELEV (FT) = 155.3

RESULTS - FLOOD HYDROGRAPH ROUTING: RETEN VOL (CF) = 114967

100 YEAR (HOUR)	POST (CFS)	PRE (CFS)	OUTFLOW (CFS)	OK	WATER HT	OK	DISCHARGE VOL (CF)
1	145.2	53.2	3.2	YES	156.5		
2	102.5	37.6	4.4	YES	156.8	YES	4311
4	50.8	18.6	5.8			YES	15720
8	49.7	18.2		YES	157.1	YES	35302
24	15.8		5.8	YES	157.1	YES	78168
27	10.0	5.8	5.3	YES	157.0	YES	222567

HYDROGRAPH DATA:

AREA (ACRES) = 19.64 C PRE = 0.30 C POST = 0.78

P (1 HOUR) = 4.20

P (2 HOUR) = 5.10 P (4 HOUR) = 6.08 P (8 HOUR) = 7.36 P (24 HOUR) = 9.84

SURFACEWATER MANAGEMENT SYSTEM PROJECT DATA SHEET – RAI 2 REVISED SHEET 7 OF 7 September 3, 2004

	ELEV (FT)	WID (FT)	LEN (FT)	A (FT^2)	VOL (CF)	T VOI (CE)	PERC RATE	PIPE RATE	WEIR RATE	DISCHARGE DISCHARGE	DISCHARGE	2S/DT+0	DT=0.5 HR 2S/DT+0		TOTAL SURFACE	SURFAC
	154.00	NA	NA	83699.07	000	000	(010)	(CFS)	(CFS)	(CFS)	(CFS)	(CFS)	(CFS)	ELEV (FT)	(CES)	505
	154.10	AN	AN	84441.56	8398.60	8398.60	0.97	0.00	0.00	0.00	76.0	-1.00E+50	-1.00E+50	154.00	0.62	000
	154.20	NA	N A	85184.04	8472 77	16871 37	00.0	0.00	0.00	0.00	0.98	47.64	10.31	154.10	0.98	000
	154.30	NA	A N	85926.53	8546.95	25418.31	0000	0.00	0.00	0.00	0.99	94.72	19.73	154.20	0 99	00.0
	154.40	NA NA	Ϋ́Z	86669.02	8621.12	34039 44	0.00	0.00	0.00	0.00	0.99	142.21	29.24	154.30	0000	9 0
	154.50	NA	AN	87411.51	8695.30	42734.73	9.5	0.00	0.00	0.00	1.00	190.11	38.82	154.40	1.00	
	154.60	AN	AZ.	88154.00	8769 47	51504 20	5.5	0.00	0.00	0.00	1.01	238.43	48.49	154 50	200	9 0
	154.70	AN	ΔZ	88896.49	8843.65	60347.85	1.02	0.00	0.00	0.00	1.02	287.15	58.25	154.60	100	0.0
	154.80	AA	AN	89638.97	8917.82	69265 67	50.1	0.00	0.00	0.00	1.03	336.29	68.08	154.70	1.03	
	154.90	A	A A	90381.46	8992.00	78257 66	40.1	0.00	0.00	0.00	1.04	385.85	78.00	154.80	104	
	155.00	¥.	N V	91123.95	9066.17	87323.84	1.05	000	0.00	0.00	1.05	435.81	88.00	154.90	1.05	000
מיספם סעע	155.10	Z:	NA.	91866.44	9140.34	96464.18	1.06	00.0	00.0	0.00	1.05	486.19	98.08	155.00	1.05	0.00
NA NEW D	155.20	Y :	Y.	92608.93	9214.52	105678.70	1.07	000	00.0	0.00	1.06	536.98	108.25	155.10	1.06	0.00
VOLLIME		Y Z	A S	93351.42	9288.69	114967.39	1.08	0.00	00.0	00.0	20.7	588.18	118.49	155.20	1.07	0.00
1000	100.40	Y S	Y.	94093.90	9362.87	124330.26	1.09	0.00	80.0	00.0	1.08	639.79	128.82	155.30	1.08	0.00
	155.50	Y S	Y :	94836.39	9437.04	133767.31	1.10	0.00	0.00	0.08	1.16	691.89	139.31	155.40	1.16	0.08
	100.00	Y S	Y.	95578.88	9511.22	143278.53	1.1	0.00	0.50	2.0	2.5	744.46	149.94	155.50	1.31	0.21
	07.001	NA	Y.	96321.37	9585.39	152863.92	1.1	0.00	0.63	0.39	1.50	797.49	160.70	155.60	1.50	0.39
	155.80	A A	NA	97063.86	9659.57	162523.49	1 12	000	0.0	10.0	7.1	820.97	171.57	155.70	1.72	0.61
	155.90	NA V	AN	97806.35	9733.74	172257.23	1 5	00.0	0.65	0.85	1.97	904.88	182.55	155.80	1.97	0.85
	156.00	N A	AN	98548.83	9807.92	182065.15	114	0.00	7.17	1.12	2.25	959.23	193.64	155.90	2.25	1.12
	156.10	Y.	AN	99291.32	9882.09	191947.24	1.15	00.0	- 4.	1.41	2.55	1014.02	204.84	156.00	2.55	1.41
	156.20	Y.	NA V	100033.81	9956.27	201903.51	1.16	00.0	20.0	7.72	2.87	1069.24	216.14	156.10	2.87	1.72
	156.40	X S	Y :	100776.30	10030.44	211933.95	1.17	0.00	2.40	2.03	3.27	1124.89	227.54	156.20	3.21	2.05
	156.50	(< Z	X S	101518.79	10104.62	222038.57	1.17	0.00	2.77	277	0.00	1727.40	239.05	156.30	3.57	2.40
	156.60	Z Z	X 2	102261.28	10178.79	232217.36	1.18	0.00	3.15	3.15	4.34	1294.43	250.65	156.40	3.94	2.77
	156.70	Z Z	Z S	103003.75	10252.97	242470.33	1.19	0.00	3.56	3.56	4 75	1351 81	274 46	120.50	4.34	3.15
	156.80	A N	2 2	103/46.23	10327.14	252797.47	1.20	0.00	3.98	3.98	5 18	1400 61	288.10	156.60	4.75	3.56
	156.90	N N	Z Z	105231 23	10401.32	263198.78	1.21	0.00	4.41	4.41	5.62	1467.83	208.00	150.70	5.18	3.98
	157.00	NA		405020	104/0.49	273674.27	1.22	0.00	4.86	4.86	6.08	1528 4a	240.46	150.00	29.62	4.41
	157.10	AN	2 2	105973.72	10549.67	284223.94	1.23	0.00	5.32	5.32	6.55	1585 57	322.26	156.90	6.08	4.86
	157 20	S S S	X .	1797 10.21	10623.84	294847.78	1.24	0.00	5.80	7 RO	2002	10.000	322.33	00.761	6.55	5.32
	157.30	Z Z	Z Z	10/458.69	10698.01	305545.80	1.24	0.00	6.29	629	7.53	1205.07	334.64	157.10	7.03	5.80
	157.40	2 2	Y S	108201.18	10772.19	316317.98	1.25	0.00	6.79	679	20.0	1705.01	347.02	157.20	7.53	6.29
	157.50	C S	4 4 2	108943.67	10846.36	327164.35	1.26	0.00	7.30	7.30	8 56 A	100.30	359.50	157.30	8.04	6.79
•	201101	5	Y.	109686.16	10920.54	338084.89	1.27	0.00	7.83	7.83	9.50	1887.35	372.08	157.40	8.56	7.30
									-		2	00.100	0.400			1



Planners

VILLAGE SQUARE RETAIL CENTER TRIP GENERATION REPORT

Ann M. Newland, P.E.

Date: July 14, 2004

P.O. Box 3717

Lake City, FL 32056-3717

Ph. (386) 752-5640

FAX (386) 755-7771

SUMMARY OF TRIP GENERATION CALCULATIONS

1-Feb-00 PROJECT DESCRIPTION: LAND USE DESCRIPTION: LAND USE VARIABLE:

VILLAGE SQUARE RETAIL CENTER

40 VARIABLE DESCRIPTION

	AVERAGE RATE	ADJUSTMENT FACTOR	DRIVEWAY VOLUME
AVERAGE WEEKDAY 2-WAY VOLUME	40.67	1.00	1627
7-9 AM PEAK HOUR ENTER	0.00	1.00	0
7-9 AM PEAK HOUR EXIT	0.00	1.00	0
7-9 AM PEAK HOUR TOTAL	0.00	1.00	0
4-6 PM PEAK HOUR ENTER	1.11	1.00	45
4-6 PM PEAK HOUR EXIT	1.48	1.00	59
4-6 PM PEAK HOUR TOTAL	2.59	1.00	104
AM GENERATOR PEAK HOUR ENTER	3.08	1.00	123
AM GENERATOR PEAK HOUR EXIT	3.33	1.00	133
AM GENERATOR PEAK HOUR TOTAL	6.41	1.00	256
PM GENERATOR PEAK HOUR ENTER	2.81	1.00	112
PM GENERATOR PEAK HOUR EXIT	2.12	1.00	85
PM GENERATOR PEAK HOUR TOTAL	4.93	1.00	197
SATURDAY 2-WAY VOLUME	42.04	1.00	1682
PEAK HOUR ENTER	0.00	1.00	0
PEAK HOUR EXIT	0.00	1.00	0
PEAK HOUR TOTAL	0.00	1.00	0
SUNDAY 2-WAY VOLUME	20.43	1.00	817
PEAK HOUR ENTER	0.00	1.00	0
PEAK HOUR EXIT	0.00	1.00	ő
PEAK HOUR TOTAL	0.00	1.00	o

Note: A zero rate indicates no rate data available

Source: Institute of Transportation Engineers, Trip Generation, 6th Edition, 1997

DOCUMENTS RECEIVED BY JLW

TO: JDK HDRTJ

DATE /- 25.05

APPLICATION # VILLAGE SQUARE
CONTRACTOR SIMOUFINAVIO

BLUEPRINTS

ENVIRONMENTAL HEALTH SIGNED SITE PLAN

NOC

WELL LETTER

LICENSURE DOCUMENTS

PROOF OF OWNERSHIP – DEED, ETC.

911 ADDRESS FORM

ONE FOOT RISE LETTER(SEALED)

MANUAL J FORM

ENERGY CODE

FIREPLACE SPECS

DOOR SPECS

WINDOW SPECS

GARAGE DOOR SPECS

SHINGLES/ROOF SPECS

City, Zip Code: L Builder: SIMQ Owner: WEST	90 WE	SQUARE -			46							08 1 2
City, Zip Code: L Builder: SIMQI Owner: WEST	90 WE		TENAN	T #1	Zone:							
Owner: WEST	AVEC	ST				Classific						-
Owner: WEST	proper c	ITY, FL	32055			Permit N		227	13			
WALLS		UST.			Permitti	ng Office:	60	MAR	IA C	OUNT	Y	
	FIELD	GROUP			Jurisdict	ion No.:	721	000				
				BUILDING	FORMATI	ÖN						
	AREA	TVPE ROOF/C	U AREA	A TYPE	FLOORS	ABEA	Tund	DOOR		T and		A88
Concrete (CBS)	9 300	Under Attic	0.03 168			IGRO	Wood		U AR	EA TYPE	e, wall	U AF
Wood frame		Single Assembly Other:	++-	Raised Woo	od bo		Metal		40 2	Doub	le, wall	81 2
Insulation R-value		Insulation A-value	30 168	Insulation R	-value		Other	90	_		e, roof	
			-	SYSTEMS IN	FORMATIO	ON	_				103	
TYPE	AIR CON	OCTIONER TORNOY	YONS			TING SYST		97	1104 770		HOT WAT	ER
Unitary & Heat Pump	5,5977			Control & Ma	at Pump				UM T	ectric		
<65,000 Btu/h ≥65,000 Btu/h		O SEER	5 PLV			681		6250	0	Resistance	,	
Water cooled		EER!		. ≥65,000 B Water cod		A	OP	_		Dedicated		p [
Evaporatively cooled		_ EER			refy cooled		OP OP	_	_ G			
PTAC Chiller	-	_ EER		Electric Resi				_		Natural LPG		
Gas heat pump	_	_ COP II	PLV	Gas/Oil (oiro				7.55		1U		F
Other:	_			<225,000/	300,000 Btu	/h A	FUE	_		her:		_ È
LIGHTING Total	al Lighting War	tage 2	560	1.4	DETERMINATION OF THE PROPERTY				=	2	Gazani Sasar Sasar	
27/2/27/19/19	onditioned Flo		080		ts/sq.ft.	Fig. 535316	ing cal	CULATIO	ן א	DUCTS	A-value.	ATTI
											Location	ALIG
Components	A	PRESCRI	PTIVE MEAS	UMES (Must b	e met or ex	ceeded by	all bu	lidings.)				
Operations Manual	Section 102.1	Requirements Operations man	not will be see	2-21								Che
NIndows & Doors	406.1	Maximum: .3 cfn	DOY BOT TO	viodow som: Ma	ulmumu 4 0 m	L						1
lointa/Cracks	406.1	10 De Caulked, g	asketed, weat	heretripped or ot	harwise seel	nd						1
Propped Celling Cavity	408.1	Vented: seal and	Insulate ceilin	og (no T-bar celli	ngs). Unvent	ed, no cellir	ng air ba	rrier: seal e	and insul	ate roof and	d side wall	8.
/entilation	409.1	T MING AN IN TAGICINETIE	A remedi prom	DROU.								-
	407.1, 408.1	Supplied with rea	cles - Heating	: Tables 4-7 4-8	4-9 Coolin	olume reduc	tion who	on ventilation	on is not	required.		1
IVAC Controls	407,1	разыте гевану	accessible ma	inual or automati	c thermostal	for each m	ratorn					1
IVAC Ducts	410.1	Alf ducts, fittings,	mechanical a	gulpment and no	anum chamb	APO ANAII NA	mecha	nically attac	ched, se	aled, insula	ted	-
salancing	410.1	and modulou in a	COURSINGS MAID	n me comerte of a	action 410 1						Macco	1
iping insulation	411.1	In accordance wi	th Table 4-11	sted and balance	id.							10
Vater Heaters	412.1	Automatic electric	storage wate	r heaters ≤120 g	allona and o	RR & Oll fina	d afteres	a water has	abasa ~75	000 81.4	ab all	1
		Portormance requ	MONTHS IN LAND	0/8 4-12. Electric :	>120 gallons	and unknotes	a < 30.4	TAL DOG	75,000,	Oil >105,00	3nau mes 0: É, .78,	
wirruning Pools	412.1	Standby lose £ 1. Spas & heated po	307 1 1 W VT. U	48. UII > 155 (AK)	E. /H SIGN	WW 1000 C 1	20. DEA					1
Spas ot Water Pipe		TIME TO M THE MINISTRALLY	mental anch	DCV Of / H%								N/A
isulation	412.1	Piping heat loss it tank.	s limited to the	levels in Table 4	-11 for alray	lating syste	me and	the first 8' o	of pipe fr	om a storag	96	10/10
later Flutures	412.1	Shower head wat										1
ghting		THE PROPERTY HOLD OF	O HOW OF IT SE	BIT-CIOSING VAIVA	25 mallon of	rculating, .5	gallon	non-oircula	285(K). P tina.	ublic lavate	ory fixture	1
gnung	615.1	Ballasts shall hav	e Power Facto	rs no less than .	90.							1
required by Florida law,	I hereby cert	ly that the system of	esign is in con	nollance with the	Florida Ene	mu Code						
					1 KING LIIO	gy Code.				Re	gistration	No.
ECTRICAL SYSTEM C GHTING SYSTEM DES	DESIGNER: _									~~~~		
ECHANICAL SYSTEM	DESIGNER.											
UMBING SYSTEM DE	BIGNER:				· · · · · · · · · · · · · · · · · · ·							
impliance with Chapts	er 4 was dem	chatrated by a Pre	scriptive Mes	sures methodo	loav.							
Mached Buildings <200	SO M.	~		nce stores <5,00				~-				
yboxes/sports stadiums	В		Restaurar	nts <5,000 sq.R.	oq.II.	H		Saha	ol huilding	gs <5,000 s gs <5,000 :	Q.R.	
affic safety control towe			Retail stor	n.pe <5,000 aq.n.		J		Stora	ge bulldi	ngs <5,000 :	sa,ft.	E
ereby certify that the plant	8 and apecifical	ions covered by the ca	alculation are in	compliance with the	4 7 5					-	- 55	
REPARED BY:	1172	5//	/	//		w of plans an orlds Energy (d apecific Code. Re	ations cover	ed by this	palculation in	dicates com	pliance with

FLORIDA BUILDING CODE — BUILDING

13.163

FORM 400C Limited and Sp	-01		RGY EFFICI ER 4 — Con	ENCY CO	DE FOR	R BUILD Compl	ING CO	NSTRU		limate Zor		RTH 2 3
Project Name: \	ILLAGE	SQUARE	TENAN-	T #2	Zone:	-						
Address: US	-90 W	EST	ICAR	- den	Building	Classific	ation:					
City, Zip Code:	LAKE C	ITY . FL	32056			Permit N					-	
Builder: SIM6	DUE CO	NST.				ng Office	-	171.42.1	1 60	UNTY		
Owner: WES	TEIELD	GROUP			Jurisdict		بالات ال	0 1217	1 40	UNIT		
WALLS				BUILDING IA		ON						
THE REAL PROPERTY AND ADDRESS OF THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO IS NAMED IN COLUMN	A CONTRACTOR OF THE PARTY OF TH	ROOF/C	U AREA	TYPE	FLOORS	4854		DOORS		GL	ASS	
Concrete (CBS)	19 160	Under Attic	· DSI 896	Slab-on-gra	de	AREA R96	Wood		AREA	Single, wall	U	AREA
Wood frame Metal frame	13 1280	Single Assembly	11	Raised Woo		-010	Metal	.40	21	Double, wall	181	113
Insulation R-value		Insulation A-value		Raised Con-	-value		Other Other			Single, roof	\top	
							Quint.			Double, roof		
	AIR CON	OMONER		SYSTEMS IN	FORMATIO	NC ACAS						
Unitary & Mant Purpo	具的	IGIENCY	TONS	TYPE		TING SYST		BTUM	TYPE	HOT WA	TER	
Unitary & Heat Pump <65,000 Btu/h	10.	OSEER	3	Central & He					Flechile	:		
≥65,000 Stu/h	_		PLV	<65,000 B ≥65,000 B		6.8		37,500	Linea	stance		D
Water cooled		_EERII	CONTROL OF THE PARTY OF THE PAR	Water cool			OP OP		Dedi Gas	cated Heat Pun	np	
Evaporatively cools		_ EER		Evaporativ	ely cooled		The state of the s		100000000000000000000000000000000000000			
Chiller	1	_EER _COP	PLV	Electric Resis			COP		LPG	1000		
Gas heat pump		COP		Gas/Oil (oiroin	s one) 300,000 Btu				HRU			Ħ
Other:				2225,000/3	300,000 Btu	/h	FUE		Other: .			ō
LIGHTING TO	tal Lighting Wa	ttage 17	60									
	Conditioned Fig	E	196	Watt	s/aq.ft.		ING CALCI	JLATION	DU	Location		TIC
		PRESCRI	DTIVE MEASUE	NEO /NO								
Componente	Section	Requirements	PTIVE MEASUR	JEG (MUST DE	met or ex	ceeded by	ell bulidi	ngs.)				
Operations Manual	102.1		al will be provide	d to nwner							C	hock
Windows & Doors	408.1	Maximum: .3 c/m	per sq.ft. of wind	dow eres: Max	lmum: 1.2 c	fm per eq ft	of door are	20				
Jointa/Cracks Dropped Celling Cavity	408.1 408.1	I O DA CERTICADO	askotod, weather	Efripped or oth	loos soluna	nd ha	C-1/- 021/0-1/4/-		Property (see 2)			\leftarrow
Reheat	407.1	Vented: seal and Electric resistance	Insulate ceiling (no T-bar cellin	gs). Unvent	ed, no cellir	ng air barrie	r: seal and	insulate ro	law ebia bna too	lis. L	_
Ventilation	409.1	Supplied with rea										_
HVAC Efficiency HVAC Controls	407.1, 408.1							4-A	huper fon	red.		_
HVAC Ducta	407,1 410.1	T cohorate teamity	accessiole manu	at or automatic	* thermoutet	for anah m					-	_
	410.1	Aut Guals, Intings,	mechanical equi	ale hos toama	num chamb	APO ABAII be	mechanice	ally attached	i, sealed,	insulated	-	
Belancing	410.1	and installed in ad HVAC distribution									L	_
iping Insulation	411.1	In accordance wit	h Table 4-11.								-	
Water Heaters	412.1	Automatic electric	storage water he	eatera ≤120 ga	illons and gi	BB & Oll fired	d atorage w	ater heater	<75.000	Bhith shall man		
wirruning Pools		Stancey loss £ 1.	30+114/V-, Gas.	Oli >155 000	F. 78 Stend	etendby los	8≤.30+27/V	7. Gas >75,	000, Öll >1	105,000: É _t .76,	" _	
Spas	412.1	Abas of Hagina bo	rois musi nave co	Wars. Non-con	nmercial po	ole must hav	ve pump tin	ner. Gas so.	a a pool h	teum enetae	-	,
lot Water Pipe	412.1	Piping heat loss is									N,	/A
Vater Fixtures	412.1	Shower head water	or flow restricted	to maximum of	125 ann =1	80 oni Toli	late meet 46	ACES AAAE			L	/
ghting	415.1	maximum flow of . Ballasts shall have				culating, 5	gallon non	-circulating	(K). PUblic	lavatory fixture	4	-
required by Florida Inv					-						~	
required by Florida law	I I Heleny Cert	y men the aystem de	ssign is in compli	ance with the i	Florida Ener	gy Code.				Registration	No.	
ECTRICAL SYSTEM	DESIGNER: _											- 1
GHTING SYSTEM DE	SIGNER:											
ECHANICAL SYSTEM LUMBING SYSTEM DE	BIGNER:											=
ompliance with Chapt	or 4 was dome	onstrated by a Broad	cointine Man									
annoused anniques <500	soft.	П										
yboxes/sports stadium	16		Restaurants	stores <5,000) sq.ft.			Office bu	ildings <5,	,000 sq.ft.		
affic safety control town	ere .	Ĭ	Retail stores	<5,000 an #				School by	uildings <	.A.ps 000,6		
nereby cartily inal the play orida Energy Code	on and - Alica	Company of the Company		,		10		Storage b	ulldings <	:5,000 sq.ft.		
orida Energy Code REPARED BY: Bereby centry that this build	1 /cet	1		1/21/03	the Flo		d apecification Code. Before coordance wit			allon indicates com d, this building will i	pilance w be inspeci	iso

FLORIDA BUILDING CODE — BUILDING

13,163

FORM 400C		LORIDA ENERG CHAPTER	Y EFFICI 4 — Con	ENCY CO	DE FOI	R BUILD	DING CO	NSTRU lethods	CTION		
Limited and Sp		uildings							CI	Imate Zone	NORTH
Project Name: \	/ILLAGE	SQUARE	TENAN-	τ #3	Zone:	-					
Address: US	90 WE	ST				Classific					
City, Zip Code:	LAKE CI	TY, FL 32	055		Building	Permit N	Vo.:				
Builder: SIMO	IVE COI	UST.			Permitti	ng Office	: COL	JMBIA	COU	NTY	
Owner: WES	TFIELD	GROUP			Jurisdic	tion No.:					
				BUILDING IN	FORMAT	ON					
TYPE		ROOF/CEIL TYPE	ING U AREA	-	FLOORS			DOOMS		GL/	88
Concrete (CBS) .	5 200	Under Attic	51 1120	Slab-on-grai	de	II20	Wood	- In		Single, wall	U AREA
Wood frame Metal frame	13 1320	Single Assembly Other:		Raised Woo Raised Con-	d	1120	Metal	. 40	21	Double, wall .	87 149
Insulation R-value		Insulation R-value	19	Insulation R	value	0	Insulated Other			Single, roof Double, roof	
				SYSTEMS IN	FORMAN	-				Doddie, Tour	
TYPE	AIR CON	DITIONER PICIENCY				TING SYST	TEM		T	HOT WAT	ER .
Unitary & Heat Pump			TONS	Central & He	at Pump	EFFIC		BTUM	TYPE	US: WAL	
<65,000 Btu/h ≥65,000 Btu/h		SEER	3	<65,000 B	tu/h	6.8	HSPF	37,500	Electric		~
Water cooled		EER IPL\	() () () () () () () () () ()	≥65,000 B	1000		COP		11000	tance ated Heat Pump	
Evaporatively cook	ed	_ EER	_	Evaporativ		8	30.000		Gas		
PTAC Chiller	-	EER		Electric Resis	tance			_	Natur	al	
Gas heat pump	_	COP IPLV	_	Gas/Oil (oircin	s one)				LPG HRU		99
Other:	- =			<225,000/3 >225,000/3	00,000 Btu	/h 6			Other: _		_
	tal Lighting Wa			1.9		Siz	ING CALCU	JLATION	DUC	TS A-value_	6
		por Area 112	<i>D</i>	VVAIL	s/sq.ft.	Art	nohed			Location .	ATTIC
		PRESCRIPTI	VE MEASUF	TES (Must be	mat or a	canded h	v all bulleli	nee)			
Componente Operations Manual	8ection 102.1	requirements					y an ound	rigo.)			Check
Windows & Doors	408.1	Operations manual	will be provide	d to owner.							L
loints/Cracks	406.1	Maximum: 3 cfm pe To be caulked, pask	ewu. woamer	HITIDOAN OF OTH	LODG GO BOOK	lad					~
Propped Celling Cavity	406.1	Vented: seal and ins	ulate ceiling (no T-har collin	gs). Unvent	ted, no cellir	ng air barrie	r: seal and i	naulate roo	of and eide walle	
/entilation	409.1	Electric resistance re Supplied with readily	sheat prohibite	od.	H - 11					P. M. IC BIOS WAND	
TVAC Efficiency	407.1, 408.1	Supplied with readily Minimum efficiencies						entilation is	not require	ed.	レ
IVAC Controls IVAC Ducta	407.1 410.1	T poberate teamily MCC	esaidie manu	al or summake	thermoute!	tar anch -					1
	410.1	Air ducts, fittings, me and installed in acco	Chanical agul	ole hos toams	num obsorb		mechanica	ally attached	, sealed, ir	rsuiated	-
elancing	410.1	HVAC distribution sy	Btern(B) tested								-
iping Insulation Vater Heaters	411.1	In accordance with T	able 4-11								-
- W-VI / IOUIDIO	412.1	Automatic electric sto performance requirem Standby loss s 1.30*	eldaT ni etner	eatera ≤120 ga 4-12. Electric >	illona and g 120 gallons:	as & oil fired standby los	d storage wi	ater heaters	≤75,000 B	itu/h shail meet	
wirruning Pools Spas	412.1	Spas & heated pools	must have on	vers. Non-corr							~
ot Water Pipe	412.1	Piping heat loss is lim									N/A
sulation (eter Fixtures	412.1										1
		Shower head water fi maximum flow of .5 g	DM: or if salf-c	o maximum of	2.5 gpm at	t 80 psi. Toli	lets meet 42	CFR 6295(k). Public la	avatory fixture	1
ghting	415.1	Ballasts shall have Po	ower Factors	no less than .9	O.	rcutating, 6	gallon non-	oirculating.			
required by Florida law	v, I hereby cert	ly that the system desig	n is in compli	ance with the f	lorida Ener	ray Code.				B 11 1 11	
						u,			222	Registration N	0.
BATING SYSTEM DE	SIGNER:										
ECHANICAL SYSTEM	DESIGNER:						•				
CHIBITEG STOTEM DE	ESIGNER:				~~~~	~~~					
mpliance with Chapt	ter 4 was dem	enstrated by a Prescri	ptive Messur	os methodolo	MY:						
runned Buildings <200	D sq ft.		Convenience	stores <5,000				Office by	d :a+- = -		_
yboxes/sports stadium	115 6.70		Restaurants	5,000 sq.ft.		ĭ		Sahool hu	idings <5,0	00 sq.ft.	밁ㅣ
	W		Retail stores	<5,000 sq.M.		-0		Storage b	ulidings <5,0	,000 sq.ft.	H 1
	ns and spention	ons operand by the calcula	ation are in com	pliange with the		w of plans and	d apocification	a covered by	this paleutati		
EPARED BY:	7/	ice with the Florida Energy	. DATE:	1/21/05		mpliance in ac				this building will be	Inspecied
VMER AGENT:	end is in complial	CHE WITH THE FIOSIDE ENERGY		/							
			DATE.	-	- DAVE		10000000				

	FL	ORIDA E	NERGY	EFFICI	ENCY COL	DE FOR	BUILD	ING CO	NSTRU	CTION	A		
FORM 400C	-01	CHA	PTER 4	— Con	nmercial B	uliding	Compl	lanca M	ethods			B.M	ORTH
Limited and Sp	0.00	Ildings								C	Ilmate Zor		
Project Name: \	VILLAGE	SQUARE	TE	NANT		Zone:							-
Address: US-0	70 WEST					Building	Classific	ation:					
City, Zip Code:	LAKE CI	TY, FL	320	55		Building	Permit N	lo.:					
Builder: 51M4						Permittir	ng Office	COLL	MBIA	CO	UNTY		
Owner: WEST	FIELD	GROUP				Jurisdict	ion No.;						
					BUILDING INF	PORMATIC	ON						
TYPE		TYPE	OF/CEILIN	GAREA	TYPE	FLOORS	ABEA	Same	DOOMS		GL	ASS	
Concrete (CBS) . I	5 200	Under Attic	.051	1120	Slab-on-grade		III20	Wood	- U	AREA	Single, wall	Ų.	ARE
Wood frame Metal frame		Single Assemi Other:	bly	+	Raised Wood	rate		Metal	040	21	Double, wall	87	149
insulation R-value		Insulation A-ve	alue	119	Insulation R-v	eulay		Other			Single, roof Double, roof	+	
				- 1	SYSTEMS INF	ORMATIC	N N						
TYPE	AIR CON	UTIONER ICIENCY					TING SYS				HOT WA	TER	
Unitary & Heat Pump				TONS	Central & Hea	t Pump	EFFIC		BTUM	TYPE			
<65,000 Btu/h ≥65,000 Btu/h		SEER		3_	<65,000 Btu	J ∕h	6.8	1SPF	37,500	1	c Jatance		
Water cooled		_EER _	IPLV		≥65,000 Btu Water cools			OP	_	Ded	licated Heat Pun	np.	7
Evaporatively cook		_EER	IF LV		Evaporative		8	OP OP		Gas		*	
PTAC Chiller		_EER	520,000		Electric Resist	anoe			_	LPG	7.7.7.7.7.		
Gas heat pump	_	_COP _	IPLV	-	Gas/Oil (circle					HRU			R
Other:	. =				<225,000/30 225,000/30	00,000 Btu/	h		_	Other:		_	H
LIGHTING To	tal Lighting Wat	tage	208	^	1.9	,0,000 Dttl							
	Conditioned Flo				Watts	ma fe		NG CALCU	JLATION	DI	UCTS A-value		
**************************************			1120		***************************************	ray.it.	Alta	CAMBO			Location	AT	TIC
Ca	T A	PRES	8CRIPTIV	E MEASUR	RES (Must be	met or ex	ceeded b	ell bulldi	ngs.)			_	
	Section	Requireme	ents		RES (Must be	mat or ex	ceeded b	y all bulldi	ngs.)				Check
Operationa Manual	8ection 102.1 408.1	Operations	manual wi	Il be provide	ed to owner							-	Check
Operations Manual Mindows & Doors Joints/Cracks	102.1 408.1 408.1	Operations Maximum: To be cauli	manual wi S cfm per i	Il be provide sq.ft. of wind sd, weather	ed to owner.	num: 1.2 c	fm per eq.fr	of door are	98.				1
Operations Manual Mindows & Doors Joints/Cracks Dropped Celling Cavity	102.1 406.1 406.1 406.1	Operations Maximum: To be cauli Vented: sea	manual wi S cim per i sed, gasket al and insul	Il be provide sq.ft. of wing ed, weather ate ceiling (ed to owner. dow area; Maximatripped or othe	num: 1.2 c	fm per eq.fr	of door are	98.	insulate r	ool and aids wa	le le	1
Operations Manual Windows & Doors Joints/Cracks Propped Celling Cavity Reheat	102.1 406.1 406.1 406.1 407,1	Operationa Maximum: To be caulik Vented: sea Electric resi	manual wi S cim per i sed, gasket al and insul istance reh	Il be provide sq.ft. of wind sd, weather ate ceiling (eat prohibit	ed to owner. dow area; Maxir ratripped or othe (no T-bar ceiling	mum: 1.2 c erwise seal s). Unvent	im per eq.fr ed. ed, no cellir	of door are	r: seal and		oof and alde wa	lş.	1
Operations Manual Windows & Doors Jointa/Cracks Propped Celling Cavity Reheat Fentilation IVAC Efficiency	102.1 406.1 406.1 406.1	Paquireme Operations Maximum: To be caulk Vented: ser Electric resi	manual wi manual wi 3 cfm per i kad, gasket al and insul istance reh th readily a	Il be provide sq.ft. of wind ed, weather ate ceiling (eat prohibit	ed to owner. dow area; Maxir ratripped or othe (no Y-bar ceiling ed.	mum: 1.2 c orwise seal s). Unvent	fm per eq.fr ed. ed, no cellis	of door are	r: seal and			ls.	1111
Operations Manual Windows & Doors Joints/Gracks Propped Celting Cavity Reheat /entilation fVAC Efficiency fVAC Controls	102.1 406.1 406.1 406.1 407.1 409.1 407.1,408.1	Operations Maximum: To be caulik Vented: see Electric resi Supplied wi Minimum sf Separate re	manual will S cfm per is G gazket and insul stance reh readily acces adily acces	Il be provide sq.ft. of wing ed, weather late ceiting (eat prohibit coeasible s - Heating: T	ed to owner. dow area; Maxir ratripped or othe (no T-bar celling ed. witch for shut-ol ables 4-7, 4-8,	mum: 1.2 cl orwise seal is). Unventi if and/or vo	im per sq.fr ed. ed, no cellis lume reduc g: Tablea 4	of door are ng air barrie tion when v	r: seal and rentilation is	uper ton	Mred.	lş.	נונענע
Operations Manual Windows & Doors Joints/Gracks Propped Celting Cavity Reheat /ontilation fVAC Efficiency fVAC Controls	102.1 406.1 406.1 406.1 407.1 407.1 407.1,408.1	Pequireme Operations Maximum: To be caule Vented: sue Electric resi Supplied wi Minimum ef Separate re Air ducts, fit	manual will 3 cfm per i 4 gasket al and insul istance reh th readily a fficiencies aduly acces things, med	Il be provide sq.ft. of wind ed, weather ate ceiting (eat prohibite accessible s - Heating: T sable manu	ed to owner. dow area; Maxir ratripped or other for T-bar ceiling ed. witch for shut-of ables 4-7, 4-8, 4 all or autonational per language.	mum: 1.2 c prwise seal s). Unventi ff and/or vo 4-9. Cooling thermostat	im per sq.ft sd. sd, no cellis sume reduc g: Tables 4 for each s	of door are ng air barrie tion when v	r: seal and rentilation is	uper ton	Mred.	is.	ונעענע
Operations Manual Windows & Doors Jointa/Cracks Propped Celling Cavity Reheat /entilation IVAC Efficiency IVAC Controls IVAC Ducts	102.1 406.1 406.1 406.1 407.1 409.1 407.1,408.1 407.1 410.1	Pequireme Operations Maximum: To be caulik Vented: sea Electric resi Supplied wit Minimum st Beparate re Alf ducts, fit and installed	manual will 3 cfm per i 4 gasket al and insul Istance reh th readily a fficiencies aduly acces things, med d in accord	Il be provide sq.ft. of wing sq.ft.	ed to owner. dow area; Maxir ratripped or othe (no T-bar ceiling ed. witch for shut-oi ables 4-7, 4-8, al or automatic lipment and plan he criteria of sec	mum: 1.2 c orwise seelis). Unventi ff and/or vo 4-9. Cooling thermostati tion 4.0.1	im per sq.ft sd. sd, no cellis sume reduc g: Tables 4 for each s	of door are ng air barrie tion when v	r: seal and rentilation is	uper ton	Mred.	ls.	111111
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Operations Manual Mindows & Doors Indows & Indows Indows	102.1 406.1 406.1 406.1 406.1 406.1 407.1 409.1 407.1,408.1 407.1 410.1 410.1 410.1 412.1 412.1 412.1 412.1 412.1 DESIGNER:	Pequireme Operations Maximum: To be caulik Vented: sea Electric resi Supplied wit Minimum Separate re Air ducts, fit and installed MVAC distri In accordant Automatic electromatic electromatic electromatic electromatic Piping heat i tank. Shower heat maximum fice Ballasts shall fy that the systematic delectromatic electromatic el	manual will manual will manual will so dim per i sed, gasket al and insul istance reh th readily a fficiencies - adily accert things, med d in accord button syste oe with Tat islectric store requirement s ≤ 1.30+1 ted pools in mun tharm loss is limit d water flow ow of .5 gpm il have Pow lem design	Il be provide sq.ft. of wince sq. weather ate ceiling (sq.ft. of wince sq.ft. of wince sq.ft. of sq.ft. occasible manus hanical equipment of the sq.ft. occasible manus hanical equipment of the sq.ft. occasible manus hanical equipment of the sq.ft. occasion occasio	ed to owner. dow area; Maxin retripped or other for shut-of ables 4-7, 4-8, 4 all or automatic and parent and plen the criteria of sec d and balanced. eaters <120 gall 4-12. Electric >1. Oil >155,000; Electric >1. Oil >155,000; Electric >1. Oil >156,000; Electric >1. Oil >1.	mum: 1.2 ci priviae seale is). Unventi if and/or vo 4-9. Cooling thermostat hum chamb tion 410.1. lons and gi 20 gallons: 2.78, Stand mercial poc 11 for circui 2.5 gpm at 2.5 gpm at 2.5 gpm at 2.5 gpm at 3.5 gpm at 3.5 gpm at 3.5 gpm at	Im per sq.ft ad. ad. no cellis lume reduce g: Tables 4 for each sy era shall be standby lose by lose ≤ 1 ble must ha atting syste 80 psi. Tol coulating, E	d atorage w s ≤ .30+27/\(\).30+95/\(\frac{1}{2}\), or each of the	r: seal and r: seal and rentilation is 4-6. ally attached attached r. Gas sp first 8' of pl 2CFR 6295 -circulating	s not required, sealed, sealed	insulated Blu/h shall mes 105,000: E, .78, heaters must I storage c lavatory future Registration		

DATE.

OWNER AGENT: _

	F	LORIDA ENERO	Y EFFICI	ENCY CO	DE FOR	BUILD	ING C	ONSTRU	CTION	1	
FORM 4000	100000	CHAPTER	1 4 — Con	nmercial	Building	Compl	lance l	Hethods			NOR
Limited and S									C	Ilmate Zon	98 1 2
Project Name:	VILLAGE	SQUARE T	ENANT	- #5	Zone:						
Address: US-	90 WE	ST			Building						
City, Zip Code:	LAKE	CITY, FL :	32055		Building						
Owner: WES		GROUP			Permittir	ng Office	COL	UMBIA	A CO	UNTY	
- 00 65	FIELD	GROOP			Jurisdict	ion No.;					
WALL	A			BUILDING I	VFORMATIC	NC					
TYPE	U AREA	TYPE ROOF/CEII	U AREA	TYPE	FLOORS	ADEA	Sund	DOORS		GL/	
Concrete (CBS) . Wood frame	15 200	Under Attic . ¿	51 1120	Slab-on-gra	de	AREA 1120	Wood	U	AREA	Single, wall	U AF
Metal frame .	3 320	Single Assembly Other:		Raised Wor			Metal Insulated	. 40	21	Double, wali . Single, roof	87 1
Insulation R-value	11	Insulation A-value	119	Insulation F			Other			Double, roof	
	18 550			SYSTEMS IN	FORMATIC	N					
TYPE	20	DITIONER PICIENCY	TONS	TYPE	HEA	TING SYS' EFFIC		Belle	-	HOT WAT	ER
Unitary & Heat Purry <65,000 Btu/h	10.0	SEER	37,500	Central & He		2012			Electric		
≥85,000 8tu/h		BEEH IPL		<65,000 E ≥65,000 E		6.8		37,50	nes	etance	F
Water cooled		EERIPL	2010	Water cod			COP	-	Ded	cated Heat Pum	9 [
Evaporatively cool PTAC	ed	_ EER _ EER			rely cooled				Natu	ral	г
Chiller	_	_COP IPL	v <u> </u>	Gas/Oil (circ			COP	_	LPG		
Gas heat pump Other:		_ COP		<225,000/	300,000 Btu/		1000	-	HRU Other:		
LIGHTING TO	tal Lighting Wa				300,000 Btu/	h E	4				
	Conditioned Fi							ULATION	DU	CTS R-value_	4
		por Area 112	0	Wat	ts/sq.ft.	AM	ached			Location .	ATTIC
		PRESCRIPT	IVE MEASU	PER Mant b	a met ar av						
Components	Section	I requirements			o mar or ax	Caecied D	A BII OUIIG	inga.)			1 04-
Operationa Manual Windows & Doors	102.1	Operations manual	will be provide	ed to owner.				_			Che
lointa/Cracks	408.1	Maximum: .3 cfm p	Katad, weame	TO TO DOCUTE	harwise seel	nd he					-
Dropped Celling Cavity	406.1	Vented: seal and in	sulate ceiling (no T-bar cettir	ngs). Unvente	ed, no celli	ng air barri	er: seal and	insulate r	of and aide walls	.
/entilation	409.1										
IVAC Efficiency	407.1, 408.1	Supplied with readil Minimum efficiencie	- neating. I	HD198 4-/. A-H	4-4 Cooling	Toples d	2 4 4 4 4	ventilation h	not requi	ned.	
IVAC Ducts	407.1	I coherate teamin HC	Ceasidia mani	demonstration and lead	c thermostat	for anah -					+
	4.0.1	Air ducts, fittings, m and installed in acco				era shall be	mechanic	ally attache	d, sealed,	insulated	
delancing Piping Insulation	410.1	MVAC distribution s	vetem(s) teste-	d and balance	d.						1
Vater Heaters	411.1	In accordance with	Table 4-11.								V
	100000	Automatic electric et performance requirer Standov loss s 1.30.							\$75,000	Stu/h shall meet	
wimming Pools	412.1										1 .
Spas	7.75.1	Spas & heated pools have a minimum the									1
lot Water Pipe	412.1	Piping heat loss is it	rilted to the le	vels in Table 4	-11 for alraul	ating syste	ms and the	e first 8' of n	ne from a	storene	N/A
later Fixtures	412.1										1 4
		Shower head water maximum flow of .5				60 psi, Tol	lets meet 4	2CFR 6295	(k). Public	lavatory fixture	1
ghting	415.1	Ballasts shall have P	ower Factors	no less than .	90.	and and	ganon no	n-curculating			1-
required by Florida is	w. I haraby carr	ify that the aystem desi	en la la comp								11
			gn is in compli	lance with the	Florida Ener	gy Code.				Registration N	lo.
ECTRICAL SYSTEM	DESIGNER: _			-						~~~	
GHTING SYSTEM DE ECHANICAL SYSTEM	DESIGNED										
UMBING SYSTEM D	EGIGNER:										
		onstrated by a Prescr	iptive Meson	ma mathed							
ruioned Buildings <20	Osq ft.			stores <5,00						-F-041901 112 0-2	
yboxes/sports stadius affic safety control tox	115		Restaurants	<5,000 sq.ft.	o 54.11.	H	_	Sahool h	ildings <5,	000 sq.ft.	F
	1 1		Retail stores	<5,000 sq.ft.		ā		Storage I	oulidings of	5,000 sq.ft.	F
ereby certily inal the plantida Energy Code	na and apacificat	light covered by the calcu	lation are in con	nplianog with the	9 Flaviou	ol plana an	d appelliant			ation indicates comp	
The state of the s	1116			//		Mas Engan	Cara Balan	on a covered b	A rura dajčnje	grion indicates comp	pliance with
REPARED BY	11/2	n/ /	<u>Del Sedates III</u>	1/21/00						d, this building will b	e inspecied
REPARED BY	ding is in compile	nce with the Florida Energy	DATE:	1/21/09	tor con	npliance in a	coordance w	Nth Section 55	3.208, F.S.	d, this building will b	e inspecied

FORM 400C	-01	CHA	energ Apter	Y EFFI(4 — Co	CIENCY CO	DDE FO Building	R BUILD g Compl	ING CO lance M	NSTRU6 ethods		Ilmate Zone	NORTH
Project Name: \	ILLAGE	SOUND	FT	ENAN	T #G	Zone:						912
Address: US-	90 WES	T		CIVOLV	1.0		Classific	ation;				
City, Zip Code: [AKE CI	N.FL	320	055			Permit P					
Builder: SIMG	DUE COL	UST.				Permitt	ing Office	COLL	MBID	CO	UNTY	
Owner: WEST	FIELD !	GROUP				Jurisdic	tion No.;					
					BUILDING	UEABUAY	ON					
WALLS		R	DOF/CEIL			FLOORS	IUN		DOORS		GLAS	9
		Under Attic	.09	U AREA		U U	AREA 1288	TYPE Wood	- In	AREA	TABE	U AREA
Wood frame Metal frame		Single Asser		1	Raised Woo	od	1455	Metal	.40	42	Single, wall Double, wall	37 176
Insulation R-value		Other: Insulation A-	value	+	Raised Con Insulation F			Insulated Other			Single, roof	
·						-		- Quisi			Double, roof	
10/08	AIR CON				SYSTEMS IN		ON TING SYS	iEM.			HOT WATER	
TYPE Unitary & Heat Pump		CIENCA		TONS			EFFIC		HAUTE	TYPE	HOT WATER	1
<65,000 Bru/h	10.0	SEER		3_	Central & He <65,000 E		6.8	4SPF	37,500	Electric	5. A	
≥65,000 Btu/h Water cooled	_	_ EER	IPLV		≥65,000 €	Btu/h	(-	1100	Istance Icated Heat Pump	4
Evaporatively cools		_ EER _ EER	IPLV		Water cod			OOP		Gas	cated real Pullip	
PTAC	_	_ EER			Electric Resi	vely cooled		COP		Natu		
Chiller Gas heat pump	_	_COP	IPLV		Gaa/Oil (oiro	is one)			Allerd	LPG HRU		
Other:	_	_ COP	Le-C-III.CV		<225,000/	300,000 Bt 300,000 Bt		1711/17/17/17	-	Other:		. H
LIGHTING TO	tal Lighting Wat						<i>I</i> h Ε	-1				400000
	Conditioned Flo			80				ing calcu	JLATION	DU	JCTS R-value	6
		OI AIGE	12	88	Wat	tta/sq.ft.	Att	ached			Location	ATTIC
		PRE	ESCRIPTI	VF MFAR	URES (Must b		d-d-	-01 WW				
Components	Section	Requiren	nents	V = INEAG	avera (west n	e met of a	ACREGISO D	y an buildi	ngs.)			1 44
Operations Manual Windows & Doors	102.1	Operation	a manual	will be provi	ded to owner.							Check
Jointa/Cracks	408.1	To be cau	: .3 cfm pe	r sq.ft. of w	indow area; Ma eratripped or ot	dmum: 1.2	cfm per sq.f	. of door are	9a			1
Dropped Celling Cavity	406.1	Vented: se	eal and ins	ulate ceilln	(no T-bar cetti	nerwise sea	ited no celli	no air barria	r pool and i		oof and side walls.	V
Reheat	4024			hant anabil	DREG.	- /· - · · · · ·	man in action				CONTRACTOR	
	407,1	I meaning the 10	CONTRACTOR IS	Troat promi								1
Ventilation VAC Efficiency	409.1 407.1, 408.1	Supplied v	with readily	acceasible	switch for shut-	off and/or	olume redu	tion when v	entilation is	not requ	fred.	1
Ventilation IVAC Efficiency IVAC Controls	409.1 407.1, 408.1 407.1	Supplied v Minimum i Separate i	with readily efficiencies	acceasible - Heating: easible mar	Tables 4-7, 4-6	thermost	ng: Tables 4	-3, 4-4, 4-5.	4-8.			1
Ventilation IVAC Efficiency IVAC Controls	409.1 407.1, 408.1	Supplied v Minimum i Separate i Air ducts,	with readily afficiencies readily acc fittings, me	accessible - Heating: essible man	Tables 4-7, 4-6 nual or automati	thermost	ng: Tables 4 it for each s	-3, 4-4, 4-5.	4-8.			V
Ventilation IVAC Efficiency IVAC Controls IVAC Ducts	409.1 407.1, 408.1 407.1	Supplied v Minimum i Separate i Air ducts, and install	with readily efficiencies readily acc fittings, me led in acco	e acceasible - Heating: esaible main chanical economical rdance with	Tables 4-7, 4-6 nual or automati pulpment and pla the criteria of s	t thermost enum cham	ng: Tables 4 it for each s	-3, 4-4, 4-5.	4-8.			1
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Ventilation IVAC Efficiency IVAC Efficiency IVAC Controls IVAC Controls IVAC Ducts Balancing Piping Insulation Vater Heaters Ivaling Pools I Spas Ivaling Pools Iv	409.1 407.1, 408.1 407.1, 408.1 410.1 410.1 410.1 411.1 412.1 412.1 412.1 412.1 412.1 412.1 412.1 412.1 412.1 413.	Supplied v Minimum i Separate i Air ducts, and install HVAC dist In accorda Automatic performant Standby to Spas & he have a min Piping hea tank Shower he maximum i Ballasts sh fy that the ay	with readily according to the control of the contro	acceasible — Heating — Hea	Tables 4-7, 4-6 must or sultomat julpment and pi the criteria of s ted and balance heaters ≤120 g te 4-12. Electric: s, Oil >155,000 covert. Non-co toy of 78%. levels in Table of the criteria of s the criteria of s the criteria of s ted and balance to 120 g the 4-12. Electric: s, Oil >155,000 to you of 78%. levels in Table of the criteria of the cr	is 4-9. Coolic thermostic thermostic thermostic thermostic that is a cooling to the cooling that is a	ng: Tablea 4 at for each g bers shall be gas à oil fire g: standby los ≤ 1 cole must he ulating syste at 80 psi. To alroulating ergy Code.	-3, 4-4, 4-5, ystem. by mechanical and attrage was ≤ 30+27/N. 30+95/V, we pump time and the silets meet 4/5 gallon non control and apecification code. Before Code. Before Code. Before Code. Before Code. Before Code.	ater heaters /-, Gas >75,0 ner. Gas spa first 8' of pig 2CFR 6295(-circulating.) Office bui School bui School bui Storage b	x75,000 x75,000 x75,000 x00, Oil > x1 & pool i x2 pool i x3 pool i x4 pool i	Insulated Btu/n shall meet 105,000: E ₁ .78, heaters must storage clavatory future Registration No.	777 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7 7

DATE

FORM 400C Limited and Sp	-Q1 ecial Uae Bu	The state of the s	IENCY CO	DE FOR Building	BUILD	DING Co	ONSTRU Methods	Climate Zone	NORTH
Project Name: \	ILLAGE	SQUARE TENANT	#7	Zone:					
Address: US-	90 WE	ST		Building	Classific	cation:			
City, Zip Code:	LAKE CI	ITY . FL 32055		Building					
Builder: SIMG							UMBIA	COUNTY	
Owner: WEST	FIELD	GROUP	****	Jurisdicti	on No.:	400	011/2/201	COUNTY	
			BUILDING IN	HA-111 N/A	NA.				
TYPE		ROOF/CEILING		FLOORS	M.		DOORS	I GLA	88
Concrete (CBS) . In		TYPE U AREA Under Attic 0.05 /232	Slab-on-grad	U	AREA	TYPE	U	AREA TYPE	U AREA
Wood frams		Single Assembly	Raised Woo	d	1232	Wood	. 87	Single, wall 2 Double, wall	07 1/7
Metal frame . I		Other: Insulation R-value	Raised Conc Insulation R-	rate		Insulated		Single, roof	87 167
						Other		Double, roof	
		OTTOMER	9YSTEMS IN		ING SYS	FEM		Y	
TYPE Unitary & Heat Pump		ICIENCY TONS	TYPE		EFFIC		BTUM	TYPE HOT WATE	R
<65,000 Btu/h	10.0	SEER · 3	Central & He					Flactric	
≥65,000 Btu/h		_EERIPLV	<65,000 Bt		6.8		37,500	Resistance	-0
Water cooled		EER IPLV	Water cool		!	COP		Dedicated Heat Pump	
Evaporatively cools	d	EER	Evaporativi	Bly cooled				Gas	_
PTAC Chiller	_	EER	Electric Resis	tance				Natural LPG	
Gas heat pump	_	COP IPLV	Gas/Oil (oirois					HRU	H
Other:	. =		<225,000/3	00,000 Btu/h	1			Other:	2000
LIGHTING TO	tal Lighting War		H	00,000 Btu/h		1			
	Conditioned Fic	I					ULATION	DUCTS R-value_	6
	SOURCE PRO	1232	Watt	s/sq.ft.	Att	ached		Location _	ATTIC
		PRESCRIPTIVE MEASU	間間の バルター・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・・						
Componente	Section	Requirements		mer or exc	d Debes	y all bulle	ings.)		
Operations Manual	102.1	Operations manual will be provide	ed to owner.						Chect
Windows & Doors Joints/Gracks	406.1	Maximum: .3 cfm per sq.ft. of win	dow area: Max	mum: 1.2 cfr	m per eq.f	t, of door a	rea		1
Propped Celling Cavity	406.1 406.1	TO DE CENTRES, SESKETES, WESTIG	month beautier	arwise seele	A		. 7.1.0.5	10.2	1
Reheat	407.1	Vented: seal and insulate ceiling i	(no T-bar cellin	gs). Unvente	d, no celli	ng air barr	ler: seal and	insulate roof and aide walls.	1
/entilation	409.1								-
IVAC Efficiency	407.1, 408.1	Supplied with readily accessible s Minimum efficiencies – Heating: T	ables 4-7 4-9	4-9 Cooling	ume reduc	ction when	ventilation la	not required.	
IVAC Controls	407.1	I DOUBLE LOSIGITA RECORDED IN INVITED	ial of automatic	tharmoutur 6	for anah a				V
IVAC Ducts	410.1	Alf ducts, imings, mechanical adu	air bos tosmal	num chamba	ra shall be	mechanic	cally attacher	d sealed insulated	-
lelancing	410.1	THE WINDSHOOT IN MCCONCESSION ASIES IN	ne criteria of se	Office A1D 1			7 4100	o, seales, miscriglist	1.7
iping insulation	411.1	HVAC distribution system(s) tests In accordance with Table 4-11.	d and balanced	1.					1
Vater Heaters	412.1								L
		Automatic electric storage water h performance requirements in Table	4-12 Flectric	illona and gai	s & oil line	d storage	water heaters	\$ \$75,000 Blu/h shall meet	
		performance requirements in Table Standby loss ≤ 1.30+114/V _T . Gas,							
wirming Pools	412.1	opes a neated pools must have a	overs. Non-com	mercial pool	la must he	VA DUMP I	Imar Ang sa	a P and best	1
Spas ot Water Pipe	410.1								N/A
sulation	412.1	Piping heat loss is limited to the le- tank	vels in Table 4-	11 for girquis	ating syste	me and th	e first 8' of pl	pe from a storage	
ater Fixtures	412.1								-
		Shower head water flow restricted maximum flow of .5 gpm; or if self-			culation (lets meet	42CFR 6295	(k). Public lavatory fixture	
ghting	415.1	Ballasts shall have Power Factors	no less than .9	0.		- Harrow HO	n-cuculaung.		
ECTRICAL SYSTEM OHTING SYSTEM DE	DESIGNER: _	fy that the ayatem design is in compl	·		gy Code.		andari	Registration No.). ————————————————————————————————————
ECHANICAL SYSTEM LUMBING SYSTEM DE	DESIGNER:								
mpliance with Chapt	or 4 was dense	onstrated by a Prescriptive Messu	rea methodolo	gy:					
reconsidered Buildings <200	ag fi	Convenience	stores <5,000				Office	ildings <5,000 sq.ft.	i press
yboxes/sports stadium	щ		<5.000 sq.R.				School h	uildings <5,000 sq.ft.	H
affic safety control town			<5,000 sq.ft.						

Retail stores <5,000 sq.ft.

wan the Floride Energy Code

.... DATE.

FLORIDA BUILDING CODE — BUILDING

I hereby cartily that the plans Florida Energy Code

OWNER AGENT:

Storage buildings <5,000 sq.ft.

Review of plans and specifications covered by this calculation indicates compilance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

2.	F	LORIDA ENER	GY EF	FICI	ENCY CO	DE FO	A BUILI	DING CO	NSTRU	CTION	-
FORM 400C Limited and Sp		CHAPTE	n 4 —	Con	imerciai i	3UIIQIN	g Comp	lianca N	lethods	Climate Zone	NORTH
Project Name: \	ILLAGE	SQUARE	TEA	JAN	JT #8	Zone:					
Address: US-	90 WE	ST					g Classifi	cation:			
City, Zip Code:	LAKE C	ITY , FL 3	205	5		Buildir	g Permit	No.:			
Builder: SIMG	VE CO					Permit	ting Office	: COL	UMBI.	A COUNTY	
Owner: WEST	FIELD	GROUP				Jurisdi	ction No.:				
						FARITA	V(35)				
WALLS	-	ROOF/CE	LING		BUILDING IN	FLOORS			DOORS	61.00	0.0
		Under Attic	UA	REA	TYPE	I	AREA	TYPE	[U]	AREA TYPE	U AREA
Wood frame		Single Assembly			Slab-on-grad Raised Woo	d	1232	Wood	40	Single, wall	
Metal frame . Inaulation R-value		Other: Insulation R-value	Π,		Raised Cond	crete		Insulated	. 40	21 Double, wall . Single, roof	87 390
		MISCIEDOM M-ARIOS	111	9	Insulation R	value		Other		Double, roof	
	AIS CON	OTTONER		_ !	YSTEMS IN						
TYPE	EP	CIENCY	TO	2NS	TYPE	HE	ATING SYS	IENCY	BTU/H	TYPE HOT WATE	R
Unitary & Heat Pump <65,000 Btu/h	10.0	SEER		3	Central & He					Fleetile	
≥65,000 Stu/h		_ BER IPI		_	<65,000 Bt ≥65,000 Bt		6.8	HSPF	37,500	Resistance	A
Water cooled		EERIPI			Water cool			COP COP		Dedicated Heat Pump	
Evaporatively cools PTAC		_ EER	-	_	Evaporative	ely cooled			_	Gas	
Chiller		_ EER _ COP IPI	v -	_	Electric Resia Gas/Oil (circle	tance		COP		LPG	H
Gas heat pump		COP	_	_	<225,000/3		n./h	AFUE		HRU	P
Other:			_	-	≥225,000/3					Other:	. 🗅
	tel Lighting Wa		080	,	1.	7	917	ING CALC	III ATION	DUCTS R-value	G
Total (Conditioned Flo		32			s/eq.ft.	-	ached		Location _	
		PRESCRIP	TIVE ME	ASUF	TES (Must be	met or s	excanded h	v all hulfel	inge)		
Componente Operations Manual	Section	requirements						y un conce	nga.)		Check
Mindows & Doors	102.1	Operations manua	l will be p	provide	d to owner.						Lingua
iointa/Gracks	408.1	Maximum: .3 cfm To be caulked, gas	sketed. w	eather	HTIDDEC OF OTH	mum: 1.2	cfm per sq.	t, of door ar	0 0.		1
Propped Celling Cavity	406.1	Vented: seal and in	rsulate o	eillna (no Y-har nothing	gs). Unve	nted, no cell	no air barrie	r seal and i	nsulate roof and alde walls.	-
/entilation	407.1										1
VAC Efficiency	407.1, 408.1	Supplied with read Minimum efficienci	89 - Hag	ting: T	witch for shut-c	off and/or	volume redu	ction when	ventilation is	not required.	1
IVAC Controls IVAC Ducts	407,1	Toobergies (carried W	Jubbaidie	manu	Bi Of Bufformatic	thermost	mt for anal -				1
TVAC DUCIS	410.1) Aur ducies, rimings, n	Decidenic	al agui	one tremo	חממים חונות	d Hada orade	e mechanic	ally attached	, sealed, insulated	-
Balancing	410.1	and installed in acc HVAC distribution					1.			7	-
iping Insulation	411.1	In accordance with	Table 4-	11							-
Vater Heaters	412.1	Automatic electric e performance require	storage w	Table					rater heaters	\$75,000 Btu/h shail meet 000, Oil >105,000: £, .78,	
wirruning Pools	412,1	Standby loss £ 1.30	la must h	Gas,	Oll >155,000: I	E. 78, Star	ndby loss s 1	.30+95/V ₇ .		, co, ca / 100,000, El ./8,	1
Spas										& pool heaters must	11.1.
lot Water Pipe	412.1	Piping heat loss is I tank.	imited to	the lev	els in Table 4-	11 for gire	ulating syste	ms and the	first 8' of pie	e from a etorane	N/A
Ater Fixtures	412.1										-
							at 80 pai. To	ilets meet 4	2CFR 6295(k). Public lavatory future	1
ghting	415.1	Ballasts shall have	Power Fa	ectors r	no less than .9	Ö.	La GLICAVITO,	gallon non	-circulating.		1
souled by Sleeks	. I basel				The second second second	-		~			1
required by Florida law RCHITECT:	, I nereby cert	ly that the system des	ilgn is in d	compli	ance with the F	lorida En	ergy Code.			Registration No	2
ECTRICAL SYSTEM	DESIGNER:		-							~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	
echanical system dei	SIGNER:						~ · · · · · · · · · · · · · · · · · · ·				
DINIBING SYSTEM DE	BIGNER:						~~~~				
mpliance with Chapt	or 4 was dem	prescripted by a Presc	nptive N	lessur	es methodolo	gy:			-		
tached Buildings <200 yboxes/sports stadium	SO R.		Conve	nlence	stores <5,000				Office had	dings <5,000 sq.ft.	
affic safety control towe	610		Restau	rants .	c5,000 sq.ft.		Ĭ	_		ildings <5,000 sq.ft.	
	and the second		Heren	eerore	<5,000 sq.n.		4		Storage b	f,pe 000,35 agnibili	ᆸ
sreby certily that the plan wida Energy Code EPPARED BY: Broby certily that this build	11/61			in com	1/21/05	the f	ompliance in a	coordance wi	ns govered by construction in th Section 553	this calculation indicates compile completed, this building will be 908, F.S.	lance with
MER AGENT:				ATE.	No. of Control	1 501		~			

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-5			CO	NVENIENCE 8	UILDING < 5,0	00 SF			
		MAXIMUM	ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		
	Cooling Equi	pment Capaci	ity ≥85,000 Btu	/n, Room Unit	s, PTACS			Capacity <8	5,000 Btu/h
EER:	8.9-9.0	EER: 9	1.1-10.0	EER: 1	0.1-11.0	EER: 1	1.1-UP	SEER:	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GLAREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
15	2.7	15	2.7	15	3.1	15	3.5	15	3.5
25	2.4	25	2.9	25	2.9	25	3.1	25	3.1
777.2	1 4072			35	2.4	35	2.7	35	2.7
azing:			,			45	2.1	45	2.1
	n Coefficient <=	0.87				And He	at Pump	And He	at Pump
						COP:	> = 3.0	HSPF:	> = 6.8
					1	55	3.9	55	3.9

Table 4C-6			RE	STAURANT B	UILDING < 5,00	00 SF			
		MAXIMU	M ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		
	Cooling Equ	Ipment Capac	Hy ≥85,000 Btu	n, Room Unit	s, PTACE			Capacity <6	5,000 Btu/h
EER:	8.9-9.0	EER:	9.1-10.0	EER: 1	D.1-11.0	EER: 1	1.1-UP	SEER:	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
30	1.0	30	1.2	30	1.4	30	1.6	30	1.6
35	0.8	35	1.0	35	1.2	35	1.4	35	1.4
		40	0.8	40	1.0	40	1.2	40	1.2
lazing:				45	0.8	45	1.0	45	1.0
olar Heat Gali	Coefficient <=	0.77 <u>or</u>	1	50	0.6	50	8.0	50	0.8
ouble Pane				Aug		And He	at Pump	And He	at Pump
						COP:	> = 3.0	HSPF:	>= 6.8
						65	1.8	65	1.8

Table 4C-7				RETAIL BUIL	DING < 5,000 S	F			
		MAXIMU	M ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING WISF		
	Cooling Equ	Ipment Capac	ity ≥65,000 Btu	/h, Room Unit	a, PTACs			Capacity <6	5,000 Btu/h
EEA:	9.9-9.0	EER: 9	0,1-10.0	EER: 1	0.1-11.0	EER:	11.1-UP	SEER:	10.0-UP
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
35	2.2	35	2.4	35	2.5	35	2.8	35	2.6
45	2.0	45	2.2	45	2.3	45	2.4	45	2.4
		55	2.0	55	2.1	55	2.2	55	2.2
lazing:	-		-			And He	at Pump	And He	at Pump
olar Heat Gair	Coefficient <=	0.87				COP:	> = 3.0	HSPF:	> = 6.B
					1	65	3.0	65	3.0

FORM 400C-97

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING; See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the from of the form.

Table 4C-8				OFFICE BUIL	DING < 5,000 S	IF.			
		MAXIMU	M ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		
	Cooling Equ	ipment Capec	ity ≥65,000 Btu	/h, Room Unit	s, PTACs			Capacity <6	5,000 Btu/h
EER:	8.9-9.0	EER: 9	9.1-10.0	EER: 1	0,1-11.0	EER: 1	1.1-UP	SEER:	10.0-UP
GLAREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
20	2.0	20	2.2	30	2.2	25	2.4	25	2.4
25	1.8	30	2.0	40	2.0	36	2.2	35	2.2
	-	35	1.8	45	1.8	46	2.0	45	2.0
lazing:						50	1.8	50	1.8
olar Heat Gali	Coefficient <=	0.61			1	And He	at Pump	And He	at Pump
						COP:	> = 3.0	H\$PF:	>= 6.8
					1	75	2.2	75	2.2

Table 4C-9				SCHOOL BUIL	DING < 5,000	8F			
		MAXIMUI	M ALLOWABLI	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		
	Cooling Equ	pment Capac	ity ≥65,000 Btu	/h, Room Unit	s, PTACs			Capacity <6	5,000 Btu/h
EER:	8.9-9.0	EER: S	9.1-10.0	EER: 1	0.1-11.0	EER:	11.1-UP	SEER:	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
20	1.6	20	1.8	20	2.0	20	2.2	20	2.2
25	1.4	25	1.6	25	1.8	25	2.0	25	2.0
		30	1.4	30	1.8	30	1.8	30	1.8
ilazing:	7	-		35	1,4	35	1.8	35	1.6
olar Heat Gair	Coefficient <=	0.87			***	40	1.2	40	1.2
						And He	at Pump	And He	at Pump
					l l	COP:	> = 3.0	HSPF:	>=6.8
					- 1	60	2.6	60	2.6

Table 4C-10				TORAGE BU	LDING < 5,000	SF		Avec	
		MAXIMU	M ALLOWABLE	E GLASS ARE	A % AND ALL	WABLE LIGH	TING W/SF		
	Cooling Equ	ipment Capac	ity ≥65,000 Btu	h, Room Unit	s, PTACs			Capacity <	35,000 Btu/h
EER: 8.9-9.0		EER:	9.1-10.0	EER: 1	0.1-11.0	EER: 11.1-UP		SEER:	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
5	0.6	5	0.74	5	0.85	5	0.85	5	0.85
		15	0.1	15	0.35	15	0.47	15	0.47
	<u> </u>		-	25	0.10	25	0.37	25	0.37
lazing:						And He	at Pump	And He	at Pump
olar Heat Gair	Coefficient <=	0.77 <u>or</u>				COP:	> = 3.0	HSPF:	>=6.8
sulated						40	1.25	40	1.25
nsulated						40	1.25	40	

PRESCRIPTIVE REQUIREMENTS LIST

CLIMATE ZONES 1 2 3

*All Basic Prescriptive Requirements, designated in the Code by ".1.ABCD" and summarized on the front of this form, must also be met.

FORM 400C-01 METHOD C

CHECK

Detached Commercial Buildings Less than 200 sq.ft.

Table 4C-1

Glass Area:

No limit.

Overhang:

Minimum 1 foot if not under another structure; or

No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.

Walls:

Minimum insulation level Frame walls - R-11.

Masonry walls - R-5.

Roofs/Cellings:

Minimum insulation level - R-19.

Floors:

Minimum insulation level - None.

Cooling System: Heating System: Code minimums as per section 407.1.ABCD.3. Code minimums as per section 408,1.ABCD.3.

Table 4C-2

Skyboxes or Sports Stadiums

Glass. Overhand: No limit with glazing Solar Heat Gain Coefficient of 0.48 or less.

None required.

Walls:

Minimum insulation level Frame walls - R-11.

Masonry walls - R-5.

Roots/Cellings:

Minimum insulation level - R-19. Minimum insulation level

Floors:

Frame floor - R-19. Concrete floor - None.

Cooling System:

Minimum equipment efficiency requirements Air cooled - 10.0 EER or 10.5 SEER.

Water cooled - 11.0 EER.

Heating System:

Code minimume as per section 408.1.ABCD.3.

Air Distribution:

A programmable setback shall be installed for in-season use;

At least one humidistat control per zone shall be installed for off-season use.

EXCEPTION: Installation of a central energy management system.

Lighting:

Total connected waitage shall not exceed 1.8 waits per square foot of conditioned space.

Traffic Safety Control Towers

Glass: No Ilmit

Overhang:

Minimum 1 foot if not under another structure; or

No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less. Minimum insulation level

Walls:

Frame walls - R-11. Masonry walls - FI-5. Minimum insulation level - R-19.

Roofs/Cellings: Floors:

Minimum insulation level - None.

Cooling System:

Code minimums as per section 407.1.ABCD.3. Code minimums as per section 408,1.ABCD,3.

Heating System: Lighting:

Total connected wattage shall not exceed 2.1 watts per square foot of conditioned space.

General Requirements for Building Packages <5,000 sq.ft.

Table 4C-4

Table 4C-3

FI COR

Slab-on-Grade Raised Wood

R-0 R-19

Raised Concrete

Insulation above Deck

R-7

Masonry WALL:

R-7 (exterior, adjacent and common)

Wood Frame Metal Frame

R-11 (exterior, adjacent and common) R-13 (exterior, adjacent and common)

ROOF:

R-19

Insulation in Attic or Dropped Celling Cavity

R-19

INFILTRATION:

Code minimums in section 406.1.ABCD.1

Code minimums in section 410.1.ABCD.2

DUCTS:

Code minimums in section 412.1.ABCD.3

DOMESTIC HOT WATER:

LIGHTING CONTROLS: Each space must have the lights divided into at least two "banks" -- each one with a manual On/Off switch; OR Each space must have one occupancy sensor (or other automatic control) to turn the lights on and off.

FORM 400C	-01	CH	energ Iapter	Y EFFIC 4 — Cor	IENCY CO	DE FOR Building	Compl	ING CON lance Me	ISTRUC thods			NORTH		
Limited and Sp			-		.1					C	Ilmate Zone	18 1 2/3		
Project Name: \ Address: 115	ILLAGE	SQUAR	2E - 7	ENANT	_ #1_	Zone:	O!!	-4'						
City, Zip Code:	90 WE	ST E	, 2	2055		Building			7) 7					
Builder: SIMA	DUE COI	UST	L 3.	2055				COLUI			0 - 100 /			
Owner: WEST			P			Jurisdict	ion No.:	55100	d AISIN	COL	DIVITY			
								LCIOU	<u> </u>					
WALLS			ROOF/CEIL	ME	BUILDING	FLOORS	N NC		THE REAL PROPERTY.					
TYPE	U AREA	TYPE		U AREA	TYPE	Tu	AREA	TYPE	DOOMB.	AREA	TYPE GLA	U AREA		
Wood frame		Single Asse		201 1680	Slab-on-gra Raised Woo		1680	Wood			Single, wall			
Metal frame . Insulation R-value	13 420	Other: Insulation F		0 1/0/	Raised Con	crate		Insulated	.40	21	Single, roof	.81 216		
Wilderston H-Adding 1		madiation F	4-Value 1-	1680	Insulation R	-value		Other			Double, roof			
	AIR CON	MINNES			SYSTEMS IN									
TYPE		CENCY		TONS	TYPE	MEA	TING SYST		BTU/H	TVPF	HOT WATE	R		
Unitary & Heat Pump <65,000 Btu/h	10.	O SEER		5	Central & He		6.8			Electric				
≥65,000 Btu/h		_ EER	IPLV		<65,000 B			ISPF 40	2500	2,1757070	stance	4		
Water cooled Evaporatively coole		EER	IPLV		Water coo	10.00		OP		Gas	cated Heat Pump			
PTAC		_ EER _ EER			Electric Resi	vely cooled		OP		Natu	ral			
Chiller	-	_ COP	IPLV		Gas/Oil (oirol		0	OP		LPG				
Gas heat pump Other:	_	_ COP				300,000 Btu/				HRU Other:		H		
	tal Lighting War					300,000 Btu/	h E	1						
	Conditioned Flo		254					NG CALCUL	ATION	DU	CTS R-value_	6		
7 (44)	- CONTINUED PR	OF ATOM	168	30	Wat	tts/sq.ft.	Attu	ched			Location _	ATTIC		
		PF	RESCRIPTI	VE MEASU	IRES (Must b	e met or ev	candad b	and houlded	\					
Components	Section	Require	ments			U III UX	OSECIOU D	dis Dulicin	ya.)			Check		
Operations Manual Windows & Doors	102.1	Operation	launam and	will be provid	ted to owner.							LINGER		
Joints/Cracks	406.1	To be of	tulked, cask	eted, weather	ndow erez; Max eratripped or ot	therwise seel	m per eq.fr	of door area				1		
Dropped Celling Cavity Reheat	406.1	Vented:	seal and ins	sulate ceiling	(no T-bar cellin	nga). Unvente	ed, no cellu	air barrier:	seal and in	sulate r	oof and side walls			
Ventilation	407,1	T men and the 1	I DOIGHENTING 16	ושוווטוע ושטווט	CESU.							-		
HVAC Efficiency	407.1, 408.1	I MANUAL PROPERTY.	II BITICISTICIST	s - Meating:	switch for shut- Tables 4-7, 4-8	4-9 Cooling	Tobles 4	2 4 4 4 5 4	ntilation is	not requ	fred.	1		
HVAC Controls HVAC Ducta	407,1	Deparate	e readily acc	assible manı	ual or automati	c thermoutat	for anch m	estorm				1		
TO DUCIA	410.1	Air ducts	, fittings, me	chanical equ	Ipment and ple	Minimum afficiencies – Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-8. Separate readily accessible manual or automatic thermostat for each system.								
Belancing Piping Insulation		I Brich Insta	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.											
"IDING IDMIIIDRAN I	410.1	HVAC di	stribution sy	stem(s) teste	me criteria of a	action 410 1	era shall be	mechanicali	y attached,	sealed,	insulated	~		
	411.1	HVAC di	stribution sy tance with T	stern(s) teste able 4-11.	me criteria of si ed and balance	ection 410.1.		•				L.		
Water Heaters		HVAC di In accord	stribution sy dance with T ic electric sto	retern(s) teste able 4-11.	me criteria of si ed and balance heaters <120 m	ection 410.1.	ag & oil fine	d abovemo wal				L.		
Water Heaters	411.1 412.1	HVAC di In accord Automati performa Standby	stribution sy dance with T ic electric sta nce requirem loss £ 1.304	retarios with instern(s) tester sobre 4-11. orage water innents in Table -114/V _T , Gas	me criteria of si ed and balance heaters <120 g 4-12. Electric :	ection 410.1. ad. allona and gas 120 gallons:	as & oil fire standby los	d storage wat s ≤.30+27/√ ₁ .	er heaters Gas >75,0	≤75,000 00, Oll >	Blu/h shall meet 105,000: É _t .76,	1		
Water Heaters	411.1	HVAC di In accord Automati performa Stancoy Spas & h	etribution sy dance with T ic electric stance requirem loss £ 1.304 realed pools	istem(s) tester able 4-11. orage water in nents in Table -114/V _T . Gas i must have o	heaters ≤120 g 4-12. Electric: , Oil >155,000:	ection 410.1. ad. allona and gas 120 gallons:	as & oil fire standby los	d storage wat s ≤.30+27/√ ₁ .	er heaters Gas >75,0	≤75,000 00, Oll >	Blu/h shall meet 105,000: É _t .76,	1 1 1		
Water Heaters Wimming Pools Spas Hot Water Pipe	411.1 412.1	HVAC di in accord Automati performai Stancoy Spas & h have a m	istribution sy dance with T ic electric sta ince requirem loss \(\frac{1.30}{0.000}\) realed pools inimum than	reaches with tratern(s) testern(s) testern(s) testern able 4-11. orage water the testern able to the test	me criteria of si ed and balance heaters ≤120 g e 4-12. Electric : , Oil >155,000: xxvers. Non-col xx of 76%.	ection 410.1. add. allona and gases 120 gallons: E.78, Stand	as & olifine etandby los by loss ≤ 1 ble must ha	d storage was s ≤.30+27/V ₁ . 30+95/V ₂ .	er heaters Gas >75,0 or. Gas spa	≤75,000 00, Oil >	Stu/h shail meet 105,000: Ét.78, neaters must	1		
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Water Heaters Swimming Pools Spas Sot Water Pipe required by Florida lav	411.1 412.1 412.1 412.1 412.1 415.1	MVAC dit In accord Automati performal Stantoby Spas & h have a m Piping he tank. Shower h maximum Ballasts s	interibution ay dance with T is electric at ince requirem loss \$ 1.30+ reacted pools in immum the reacted pools in immum the reacted water if in flow of .5 g shall have P.	reaction with transfer with the state of the	heaters ≤120 g 4-12. Electric: , Oll >155,000: 20vers. Non-colo yo of 76%. Svels in Table 4 It maximum of Leclosing valve, a no less than .	allons and grant policy allons and grant policy allons: E. 78, Stand mmercial pocal for circuit of 2.5 gpm at	as & oil fire standby los by loss < 1 ble must ha letting system 80 psi. Tol roulating, .6	d storage was s ≤ 30+27/√ ₁ . 30+95/√ ₂ . ve pump time	or heaters Gas >75,0 or. Gas spa	\$75,000 00, Oil > & pool I	Btu/h shail meet 105,000: É, .78, neaters must storage	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		
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Water Meaters Wirmming Pools Spas For Water Pipe required by Florida law RCMITECT: LECTRICAL SYSTEM DE	411.1 412.1 412.1 412.1 415.1 V, I hereby cert	MVAC di In accord Automati performal Stancey Spar & h have a m Piping he tank. Shower h maximum Ballasts s	interibution ay dance with T is electric at ince requirem loss \$ 1.30+ reacted pools in immum the reacted pools in immum the reacted water if in flow of .5 g shall have P.	reaction with transfer with the state of the	heaters ≤120 g 4-12. Electric: , Oll >155,000: 20vers. Non-colo yo of 76%. Svels in Table 4 It maximum of Leclosing valve, a no less than .	allons and grant policy allons and grant policy allons: E. 78, Stand mmercial pocal for circuit of 2.5 gpm at	as & oil fire standby los by loss < 1 ble must ha letting system 80 psi. Tol roulating, .6	d storage was s ≤ 30+27/√ ₁ . 30+95/√ ₂ . ve pump time	or heaters Gas >75,0 or. Gas spa	\$75,000 00, Oil > & pool I	Stu/h shall meet 105,000: E, 78, neaters must storage	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		
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Water Heaters Wirmming Pools Spas Sot Water Pipe required by Florids law RCHITECT: LECTRICAL SYSTEM GHTING SYSTEM DE ECHANICAL SYSTEM LUMBING SYSTEM D	411.1 412.1 412.1 412.1 412.1 415.1 DESIGNER: SIGNER: DESIGNER:	MVAC dit In accord Automati performal Stanctoy Spar & h have a m Piping he tank. Shower h maximum Ballasts s	set in account of the control of the	reaches with a reaches with a stem (s) tests water in the stem in Table 4-11. Orage water in the stem in Table 114/Vr. Gas must have a real efficiency alter to the is low restricted apm; or if self ower Factors on is in comp	heaters <120 g 4-12. Electric: , Oil > 155,000: >>>>>> Non-coi >>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>>	allona and gas- 120 gallons: E.78, Stand mmercial poc 4-11 for circul 01 2.5 gpm at .25 gplton cir 90.	as & oil fire standby los by loss < 1 ble must ha letting system 80 psi. Tol roulating, .6	d storage was s ≤ 30+27/√ ₁ . 30+95/√ ₂ . ve pump time	or heaters Gas >75,0 or. Gas spa	\$75,000 00, Oil > & pool I	Stu/h shall meet 105,000: E, 78, neaters must storage	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\		
Water Heaters Swimming Pools Spas Fot Water Pipe Insulation Veter Fixtures Ighting required by Florida law RCMITECT: LECTRICAL SYSTEM GHTING SYSTEM DE ECHANICAL SYSTEM LUMBING SYSTEM DI DOMPHENOS WITH Chap	411.1 412.1 412.1 412.1 412.1 415.1 DESIGNER: SIGNER: DESIGNER: SIGNER: TOESIGNER: TOESIGNER:	MVAC dit In accord Automati performal Stanctoy Spar & h have a m Piping he tank. Shower h maximum Ballasts s	set in account of the control of the	reaches with treatment of the company of the compan	me criteria of sied and balance heaters <120 g 4-12. Electric : , Oil > 155,000: 20vers. Non-cole y of 76%. Sivela in Table 4 d to maximum of l-closing valve, a no less than .	ection 410.1. dallons and gas 120 gallons: E. 78, Stand mmercial poc 4-11 for olroui 25 gam at 25 galton cli 90. Florida Ener	as & oil fire standby los by loss < 1 ble must ha letting system 80 psi. Tol roulating, .6	d storage was s ≤ 30+27/√ ₁ . 30+95/√ ₂ . ve pump time	or heaters Gas >75,0 or. Gas spa	\$75,000 00, Oil > & pool I	Stu/h shall meet 105,000: E, 78, neaters must storage	\(\sum_{1} \) \(\su		
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	FL	ORIDA ENER	GY	EFFICI	ENCY CO	DE FOR	BUILD	ING CO	NSTRU	CTION	d		
FORM 400C	100000		rt 43	— Con	nmercial E	Juilding	Compl	lance M	ethods	_	W4- 7		ORT
Project Name: \			71	ENAN'	T #2	Zone:		•			Ilmate Zone	98	1 2
Address: US.	-90 WE	ST	1,5	IOAN			Classific	ention:					
City, Zip Code:	LAKE CI	TY. FL	32	056			Permit P					_	
Builder: SIMG	VE CO	NST.				Permitti	na Office	COL	7541214	1 60	125 15V		
Owner: WES	TFIELD	GROUP				Jurisdict	ion No.:	ر کامار	J 141914	1 40	UNITY		
				-	BUILDING IN	FORMAYI	DN .						
TYPE T		ROOF/CE	LING			FLOORS			DOORS		GL/	88	
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Wood frame Metal frame	2 1000	Single Assembly		0.00	Raised Wood	d	876	Metal	.40	21	Single, wall Double, wall	8	113
Insulation R-value	3 1280	Insulation R-value	-		Raised Conc Insulation R-			Insulated		- 61	Single, roof		117
								Other			Double, roof	Ш	
0.00	AIR COND	MONER			BYSTEMS IN		TING SYS	ress					
Julitary & Heat Pump	具件的	GIENCY		TONS	TYPE		EFFIC		BTUM	TYPE	HOT WAT	ER	
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Water cooled		EERIPI	v		Water cools	7777		COP	-	Ded Gas	icated Heat Pump	2	
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hiller		_EER _COPIPL			Electric Resia					LPG	20.000		H
as heat pump		COP	. v		Gas/Oil (oirole <225,000/3	one)				HRU			
other:				_	2225,000/3	00,000 Btu/	h 6		_	Other: .		-	ŏ
IGHTING Tot	al Lighting Wat	tage 176	0										
	Conditioned Flor		76		Zad	Veq.ft.	11 (120)	ING CALCU	LATION	DU	ICTS R-value_	0	
		5	74		vvatte	vaq.n.	And	igned			Location .	AT	TIC
		PRESCRIP	TIVE	MEASU	RES (Must be	mat or av	candad h	e off building	1				
omponents	Section	requirements					ODECCO D	y an Dunan	ga.)				
perations Manual Indows & Doors	102.1	Operations manus	lilw 1	be provide	ed to owner.					_		$\overline{}$	Check
ointa/Cracks	406.1 406.1	Maximum: .3 cfm	opr su	1.ft. of wine	dow eres; Maxi	mum: 1.2 c	fm per eq.fr	. of door are	9.			+	-
ropped Celling Cavity	406.1	To be caulked, gas Vented: seal and is	aluer	te ceiling (retripped or other	erwise seal	ed.						~
ensat entilation	407,1	Vented: seal and in Electric resistance	rehe	at prohibit	ed.	a). Unvent	sa, no celli	ng air barrier	seal and	naulate ro	oof and aide walls		~
VAC Efficiency	409.1 407.1, 408.1	Supplied with read Minimum afficienci	ily ac	ceasible s	witch for shut-o	fi and/or vo	lume reduc	tion when ve	entilation is	not requi	had	_	4
VAC Controls	407.1								4-6.		iou.	_	-
VAC Ducts	410.1	Separate readily as Air ducts, fittings, n and installed in acc	nech	inical agul	at or automatic	thermostat	for each sy	rstern.				_	~
							era anali De	mechanical	ly attached	i, sealed,	insulated		
alancing ping insulation	410.1	MVAC distribution	SVata	m(s) tester	d and balanced	l.		-				_	
ater Heaters	411.1	In accordance with	Tabl	9 4-11.								_	-
	*12.1	Automatic electric e	mon	e in Table	eaters ≤120 ga	liona and ga	as & oil fire	d storage wa	ter heaters	\$75,000	Blu/h shall meet	+	
		Standby loss £ 1.30	4114	IV. Gan.	Oil >155 000 F	78 Stone	standby los	8≤.30+27/V ₇	. Gas >75,0	000, Öll >1	105,000: É, .78,		
1	412.1	Ahera or Harrian boo	ia mi	isi nave oo	Want Non-com	mercial pod	ole must ha	VØ DUMD tim	ar Gas an	R nool b	onto so mount	-	
	416.1											IN	J/A
Spas			_ 1-							oe from a	ptorpoo	T	
Spas It Water Pipe Julation	412.1		imite	d to the lev	AGIS IN 1 BD10 4-	11 for airaul	lating syste	me and the f	irst 8' of pl		atorage		1
Spas t Water Pipe ulation		Piping heat loss is it tank. Shower head water	flow	restricted	to maximum of	2 5 apm =1	PA ani Tal	laba 1 16					
Spas It Water Pipe Iuliation Iter Fixtures	412.1	Piping heat loss is I tank. Shower head water maximum flow of .6	flow	restricted or if self-	to maximum of	2.5 gpm at	PA ani Tal	laba 1 16				+	_
Spas of Water Pipe sulation ater Fixtures	412.1	Piping heat loss is I tank.	flow	restricted or if self-	to maximum of	2.5 gpm at	PA ani Tal	laba 1 16				6	_
wirrming Pools Spas St Water Pipe sulation after Fixtures phting squited by Fiorida law	412.1 412.1 415.1	Piping heat lose is it tank. Shower head water maximum flow of .5 Ballaats shall have	flow gpm Powe	restricted or if self- r Factors	to maximum of closing valve, .2 no less than .90	2.5 gpm at 25 gallon cli),	60 psi. Tol culating, .E	laba 1 16				6	
Spas It Water Pipe Indiation Iter Fixtures Inting Indiation Indiat	412.1 412.1 415.1	Piping heat lose is it tank. Shower head water maximum flow of .5 Ballaats shall have	flow gpm Powe	restricted or if self- r Factors	to maximum of closing valve, .2 no less than .90	2.5 gpm at 25 gallon cli),	60 psi. Tol culating, .E	laba 1 16				1	
Spas bit Water Pipe sulation after Fixtures sinting squired by Florida law CMITECT: ECTRICAL SYSTEM	412.1 412.1 415.1 (I hereby certif	Piping heat lose is it tank. Shower head water maximum flow of .5 Ballaats shall have	flow gpm Powe	restricted or if self- r Factors	to maximum of closing valve, .2 no less than .90	2.5 gpm at 25 gallon cli),	60 psi. Tol culating, .E	laba 1 16			lavatory fixture	1	
Epas It Water Pipe Inter Fixtures Inter Fixt	412.1 412.1 415.1 415.1 DESIGNER:	Piping heat lose is it tank. Shower head water maximum flow of .5 Ballaats shall have	flow gpm Powe	restricted or if self- r Factors	to maximum of closing valve, .2 no less than .90	2.5 gpm at 25 gallon cli),	60 psi. Tol culating, .E	laba 1 16			lavatory fixture	1	
t Water Pipe ulation iter Fixturea hting quired by Fiorida law CMITECT: CCTRICAL SYSTEM HTING SYSTEM DE: CHANICAL SYSTEM	412.1 415.1 415.1 DESIGNER: DESIGNER: DESIGNER:	Piping heat lose is it tank. Shower head water maximum flow of .5 Ballaats shall have	flow gpm Powe	restricted or if self- r Factors	to maximum of closing valve, .2 no less than .90	2.5 gpm at 25 gallon cli),	60 psi. Tol culating, .E	laba 1 16			lavatory fixture	1	
Epas It Water Pipe Inter Fixtures Inter Fix	412.1 412.1 415.1 United States of the state	Piping heat lose is i tank. Shower head water maximum flow of .5 Ballaats shall have y that the system des	flow gpm Powe	restricted ; or if self- or Factors in compli	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon di). lorida Ener	60 psi. Tol culating, .E	laba 1 16			lavatory fixture	1	
Spas It Water Pipe Interpolation Iter Fixtures Inting Squited by Fiorida law CMITECT: ECTRICAL SYSTEM INTING SYSTEM DES CHANICAL SYSTEM JMBING SYSTEM DE INDIANOS SYSTEM DE INDIANOS SYSTEM DE INDIANOS SYSTEM DE INDIANOS WITH Chapte	412.1 412.1 415.1 UP SIGNER: DESIGNER: DESIGNER: DESIGNER: DESIGNER: DESIGNER: DESIGNER:	Piping heat lose is i tank. Shower head water maximum flow of .5 Ballaats shall have y that the system des	flow gpm Powe	restricted ; or if self- or Factors in compli	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon di). lorida Ener	60 psi. Tol culating, .E	laba 1 16			lavatory fixture	1	
Spas of Water Pipe sulation after Fixtures sinting squired by Florida law CMITECT: ECTRICAL SYSTEM OF CHANICAL SYSTEM JMBING SYSTEM DE TOPILIANCE WITH CHAPT STORY OF THE CHAPT STORY OF	412.1 412.1 415.1 Unit hereby certification of the service of the	Piping heat loss is it tank. Shower head water maximum flow of .5 Balleats shall have by that the system design of	flow gpm Powe sign is	restricted ; or if self- ir Factors in compli	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon di). lorida Ener	60 psi. Tol culating, .E	laba 1 16	CFR 6295(circulating.	k). Public	Registration N	1	
Spas X Water Pipe suitation after Fixtures Inting Squired by Florida law CMITECT: ECTRICAL SYSTEM DE CHANICAL SYSTEM DE CHANICAL SYSTEM DE JMBING SYSTEM DE Impliance with Chapt Lached Buildings <200 hoxes/sports stadium	412.1 412.1 415.1 415.1 DESIGNER: EIGNER: DESIGNER: OBGINER: OBGINER: OF 4 was demo	Piping heat lose is it tank. Shower head water maximum flow of .5. Ballaats shall have by that the system design of the system design	flow gpm ppm elign is	restricted ; or if self- ir Factors in compil re Measus invenience staurants	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon di). lorida Ener	60 psi. Tol culating, .E	laba 1 16	Office but	k). Public	Registration N	1	
Spas It Water Pipe Interpolation Iter Fixtures Interpolation Iter	412.1 412.1 415.1 415.1 DESIGNER: DESIGNER: DESIGNER: DESIGNER: 0 DESIGNER:	Piping heat loss is it tank. Shower head water maximum flow of .5. Ballasts shall have by that the system designment of	flow gpm Power in the Control of the	restricted for if self- or Factors is in compliance re Measure nvenience staurants tail stores	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon ch). lorkda Ener gy: sq.ft.	60 psi. Tol culating, .E	laba 1 16	OFR 6295 birculating.	k). Public	Registration N	1	
Epas It Water Pipe ulation Iter Fixtures hting identification CHITECT: ECTRICAL SYSTEM HTING SYSTEM DES CHANICAL SYSTEM IMBING SYSTEM DES IMBING SYSTEM DE	412.1 412.1 415.1 415.1 DESIGNER: DESIGNER: DESIGNER: DESIGNER: 0 DESIGNER:	Piping heat loss is it tank. Shower head water maximum flow of .5. Ballasts shall have by that the system designment of	flow gpm Power in the Control of the	restricted for if self- or Factors is in compliance re Measure nvenience staurants tail stores	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon ch). Florida Ener gy: sq.ft.	80 psi. Toli culatingE	lets meet 42: gallon non-	OFFI 62950 biroulating.	k). Public ldings <5, ildings <5 ulldings <	Registration N 000 sq.ft. 5,000 sq.ft.	lo.	
A Water Pipe suitation after Fixtures the Fi	412.1 412.1 415.1 415.1 DESIGNER: DESIGNER: DESIGNER: OF 4 Was damo	Piping heat loss is I tank. Shower head water maximum flow of .5 Ballasts shall have by that the system deal of the system deal	flow gpm gpm Powe lign is Co Re Re	restricted or if self- or Factors in complia in complia re Measur invenience staurants tail stores in are in com	to maximum of closing valve, .2 no less than .90 ance with the F	2.5 gpm at 25 gallon chick. Ilorida Energy: eq.ft. Review the Fig.	80 pai. Toli culating. E	lets meet 42:	Office but School but Storage but a covered by	k). Public k). Public ldings <5. iiidings <5. ulldings <	Registration N	lo.	

CHAPTER 4 — Commercial	ODE FOR BUILDING CONSTRUCTION Building Compliance Methods
FORM 400C-01 Limited and Special Use Buildings	NORTH Climate Zones 1 2 3
Project Name: VILLAGE SQUARE TENANT #3	Zone:
Address: US-90 WEST	Building Classification:
City, Zip Code: LAKE CITY FL 32055	Building Permit No.:
Builder: SIMQUE CONST.	Permitting Office: COLUMBIA COUNTY
Owner: WESTFIELD GROUP	Jurisdiction No.:

WALLS ROOF/CEILING				BUILDING INFORM		011					-			
TYPE	1111	AREA	TYPE				no_			CRO		GL	A88	
PERSONAL PROPERTY OF THE PERSON OF THE PERSO	15		A STATE OF THE STA	U	AREA	TYPE	U	AREA	TYPE	TU	AREA	TYPE	IIII	AREA
Concrete (CBS)	115	200	Under Attic	451	1120	Slab-on-grade	1	1120	Wood			Single, wall	1	
Nood frame			Single Assembly			Raised Wood		11.90		10-		Continue of the last of the la	-	
vietal frame .	1131	1320	Other:		-		+		Metal	. 10	21	Double, wall	.87	149
naulation R-value	1			-		Raised Concrete			Insulated		and the second	Single, roof		
HOUNDING!! PI-VANUE			Insulation R-value		19	Insulation R-value		0	Other			Double, roof	1	

		o composaves			SYSTEMS INFORMATIO	N				
Unitary & He		AIR CONDITIONER EPPICIENCY			TYPE Central & Heat Pump	EFFICIENCY	BYUA			
<65,000 Bi ≥65,000 Bi Water cool Evaporative PTAC	tu/h led	0.0 SEER 	IPLV IPLV	3	<65,000 Btu/h ≥65,000 Btu/h Water cooled Evaporatively cooled	G.8 HSPF — COP — COP	37,500	Electric Resistance Dedicated Heat Pump Gas Natural		
Chiller Gas heat pun Other:	np	COP	IPLV	=	Electric Resistance Gas/Oil (circle one) <225,000/300,000 Btu/h ≥225,000/300,000 Btu/h		_	LPG HRU Other:		
LIGHTING		oned Floor Area	208 1120	-	Watts/sq.ft.	SIZING CAL	CULATION	DUCTS R-value C	TIC	

		PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)	
Components	Section	Requirements	
Operationa Manual	102.1	Operations manual will be provided to owner.	Check
Windows & Doors	408.1	Maximum: 3 cfm per sq.ft. of window area; Maximum: 1.2 cfm per sq.ft. of door area.	-
Jointa/Cracks	408.1	To be caulked, pasketed, weatherstripped or otherwise sealed.	-
Dropped Celling Cavity	406.1	Vented: seal and insulate resilies of Chiefwise sealed.	
Reheat	407,1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and aide walls. Electric resistance reheat prohibited.	-
Ventilation	409.1	Supplied with readily excessible suitable.	1
HVAC Efficiency	407.1, 408.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	1
HVAC Controls	407.1	Minimum efficiencies – Heating: Tablea 4-7, 4-8, 4-9. Cooling: Tablea 4-9, 4-4, 4-5, 4-4, 4-5, 4-6. 8-9. Separate readily accessible manual or automatic thermostat for each system.	~
HVAC Ducts	410.1	Air ducts fittings rescheding manual or automatic thermostat for each system.	V
	200000	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	
Balancing	410.1	MVAC distribution system(s) tested and balanced.	-
Piping Insulation	411.1	In accordance with Table 4-11.	-
Water Heaters	412.1		-
S/		Automatic electric storage water heaters ≤120 gallons and gas & oil fired atorage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30-27N ₇ . Gas >75,000, Oil >105,000: £, .76, Standby loss ≤ 1.30+114/V ₇ . Gas, Oil >155,000: £, .78, Standby loss ≤ 1.30+95/V ₇ .	
Swimming Pools L Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	~
Hot Water Pipe nsulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Veter Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 cpm at 80 per Tolleto mast 400ED cooks.	1
1-1-1		The state of the s	~
ighting	415.1	Ballaats shall have Power Factors no less than .90.	

If required by Florida law, I hereby of ARCHITECT:	entity that the ayate	em design is in compliance with the Florid	ia Energy Code.	Registration N	lo.
ELECTRICAL SYSTEM DESIGNER: LIGHTING SYSTEM DESIGNER: MECHANICAL SYSTEM DESIGNER PLUMBING SYSTEM DESIGNER:			***************************************		
Detached Buildings <200 sq ft. Skyboxes/sports stadiums Traffic safety control towers		Prescriptive Measures methodology: Convenience stores <5,000 eq.f. Restaurants <5,000 eq.ft. Retail stores <5,000 eq.ft.		Office buildings <5,000 sq.ft. School buildings <5,000 sq.ft. Storage buildings <5,000 sq.ft.	
I hereby cartily that the plans and specific Plorida Energy Code PREPARED BY: I hereby certify that this building is in some OWNER AGENT:	1//	DATE: //21/05	tria - ionoa chargy code. E	fications covered by this calculation indicates comp before construction is completed, this building will be see with Section 553.908, F.S.	pliance with

	F	LORIDA ENER	GY EFFICI	ENCY CO	DE FOR	BUILDIN	IG CON	STRUC	CTION	1. 1.000
FORM 400C Limited and Sp				_		- Compile	1100 1110	11000	Climate Zone:	NORTH
Project Name: \			77114117	44.4	Zone:				Cilinate Zone:	B 1 Z .
Address: US-G	an meses	POUAKE	TENANT			Classificat	las.			
City, Zip Code:	LAKE C	TY FL 32	2055							eschiolid tesches
Builder: 51M4	UF COM	IST	2033			Permit No				
Owner: WEST	FIELD	Canie			luni-dias	ng Onice:	COLUP	MBIA	COUNTY	
	FIELD	GIKOUP			Jurisdict					
WALLS	1	ROOF/CE	II (NG	BUILDING IN		NO	~~~	W 5/10 W		
TYPE		TYPE	U AREA	TYPE	LOORS	AREA T	YPÉ	DOMS	AREA TYPE GLAS	
Concrete (CBS) . [5 200	Under Attic .c	51 1120	Slab-on-grade	9		Vood	-	Single, wall	U AREA
Metal frame .		Other:	+	Raised Wood			fetal	040	21 Double, wall .	7 149
Insulation A-value		Insulation A-value	19	Insulation R-v	elue		haviated Other		Single, roof	_
) DOMBIO, 1001	
NO.DE	AIA CON	OMONER		SYSTEMS INF	DRMATIC	DN DNG SYSTEM	4			
TYPE Unitary & Heat Pump	上 原門	PICIENCY	TONS	TYPE		EFFICIEN		BTUAH	HOT WATER	
<65,000 Btu/h	10.0	SEER	3	Central & Hea					Electric	
≥65,000 Btu/h		EER IPI		<65,000 Btt		G.8 HS		17,500	Resistance	A
Water cooled	1	EER IPI	0.00	≥65,000 Btu Water cools		00		—	Dedicated Heat Pump	ī
Evaporatively cools		_EER		Evaporative		00		-	Gas	
PTAC	-	_ EER	2	Electric Resist					Natural	
Chiller Gas heat pump		_ COP IPL	.v	Gas/Oil (circle	one)				LPG	
Other:	_	_COP		<225,000/30	00,000 Btu/	hAFL	JE		HRU Other:	
LIGHT IN THE				≥225,000/30	00,000 Btu/	hE,			Otion.	
	tal Lighting Wa		180	1.9		SIZING	CALCUL	ATION	DUCTS R-value	6
Total (Conditioned Fix		20	Watts	/Ba.ft.	Attach	THE PROPERTY OF THE		Location _	
									LOCABON _Z	31110
Components	Section	Requirements	IIVE MEASUR	RES (Must be	met or ex	ceeded by a	l) bullding	s.)		
Operations Manual	102.1	Operations manua	I will be provide	od to cumor						Check
Windows & Doors	408.1	Maximum: .3 cfm g	opr sq.ft. of wind	dow area: Maxis	rum: 12 cl	len nor on ft of	I door ores			
lointa/Cracks Propped Celling Cavity	408.1	TO DE CEGINES, GAS	weather weather	etto pedditier	ruige seel	ard .	Carrie In the State of the Stat			1
Seheat	406.1	Vented: seal and in	rsulate ceiling (no Y-bar celling	s). Unvente	ed, no celling	air barrier: 8	eal and in	sulate roof and aide walls.	1
/entilation	409.1									1
IVAC Efficiency	407.1, 408.1	Supplied with read	ny accessions	witch for shut-of	and/or vo	lume reduction	n when ven	tilation is i	of required.	1
IVAC Controls	407.1	Minimum efficiencial Separate readily ac						6,		1
IVAC Ducta	410.1	pur ducies, ratings, n	rechanical aqui	note hog toema	denorth mis	4 11	en.			~
elancing						ora sriali be m	POTATIONIN	anaoned,	sealed, insulated	
iping Insulation	410.1	MVAC distribution a	watern(a) teater	d and balanced.			-			-
Vater Heaters	412.1	In accordance with	Table 4-11.							L
	412.1	performance require	norage water h	eaters 5120 gall	ons and ga	sa & oil fired at	torage water	r heaters	75,000 Blu/h shall meet	
									00, Oll >105,000: £, .78,	
wirruning Pools	412.1	Chera or LIGHTER DOO	is musi have co	Wart Non-com	nerdal pod	ols must have	Dump Nmac	One one	& pool heaters must	V
Spas ot Water Pipe	412.1									N/A
sulation	412.1	Piping heat loss is it tank.	imited to the lev	rels in Table 4-1	1 for olraul	ating systems	and the fire	st 8' of plo	from a storage	17/14
ater Fixtures	412.1									1
	2.00000	maximum flow of .5	gpm; or if salf-	nazimum of	2.5 gpm at	60 psi, Tollets	meet 42C	FR 6295(k). Public lavatory fixture	
ghting	415.1	Ballasts shall have i				cularing, .5 gs	Hon non-oli	culating.		4
-					-			-		1
equired by Florida law	, I hereby cent	ly that the system des	ign is in compli	ance with the FI	orida Ener	dy Code			De la la la	
	-					.,			Registration No.	
ECTRICAL SYSTEM BHTING SYSTEM DE	Designer: _			Wilder State Committee				******		
CHANICAL SYSTEM	DESIGNED:						-			
UMBING SYSTEM DE	ESIGNER:	· · · · · · · · · · · · · · · · · · ·			-					
mpliance with Chapt	or o was done	onstrated by a Presc								
tached Buildings <200 Poxes/sports stadium	acj n.	H	Convenience	stores <5,000	eq.ft.			Office build	lings <5,000 sq.ft.	
iffic safety control towe	ara .	· 7 🖁	Restaurants	<5.000 sq.ft.	and the second of			School buil	dings <5,000 sq.ft.	吕
A THE CONTROL BUSINESS OF STREET			Retail stores	<5,000 sq.n.		-0		Storage bu	lidings <5,000 sq.ft.	. H I
sereby cartily that the plan prida Energy Code	ne and appoint at	Sovered by the calcu	ulation are in com	npliance with the	Raview the Flor	ol plans and ap nda Energy Cod	encifications o	Clysted by I	his calculation indicates compile completed, this building will be in	

	E4	ORIDA ENERO	V EEEIOI	ENOV OO	BE FO	2 21111 2					
FORM 400C Limited and Sp	-01	CHAPTER	4 — Con	nmercial E	Building	g Compl	lance M	ethods		mate Zone	NORTH
Project Name: \	VILLAGE	SOUARE T	ENANT	#5	Zone:	with the same of t					
Address: US-	90 WES	ST	0.107		Building	Classific	cation:				
City, Zip Code:	LAKE C	TITY . FL	32055		Building	Permit P	Vo.:				
Builder: SIM		NST.	100000		Permitt	ng Office	COLL	MBIA	COL	BITY	
Owner: WES	TFIELD	GROUP			Jurisdic	tion No.:					
WALL		PAOE/Ser	INC	BUILDING IN		ION					
		TVPE ROOF/CEII	U AREA	TYPE	FLOORS	AREA	TYPE	DOORS	ABEATS	GLAS	
Concrete (CBS) . Wood frame		Under Attic . ¿	51 1120	Slab-on-grad	de	1120	Wood			YPE Single, wall	U AREA
		Single Assembly Other:	+	Raised Woo			Metal	. 40	21 10	ouble, wall .	87 149
Inaulation R-value		Insulation R-value	19	Insulation R			Other Other			logie, roof	
	AIR CON	OTTIONER		YSTEMS IN							
TYPE	EFF	CLENCY	TONS	TYPE	NEA	EFFIC		BTU/H	TVDE	HOT WATER	R
Unitary & Heat Pump <65,000 Btu/h	10.0	SEER	37,500	Central & He					Flactric		
≥65,000 Btu/h		_EERIPL		<65,000 Bt		6.8		37,500	Resista	ance	A
Water cooled		EER IPL	1000	Water cool			COP COP			ited Heat Pump	
Evaporatively cook	ed	_ EER		Evaporativ	7.7		OOP		Gas		_
PTAC Chiller	-	_ EER _ COP IPL		Electric Resis			COP		Natura LPG	ı	H
Gas heat pump		_ COP IPL'	· —	Gaa/Oil (circle <225,000/3		./L	. Eur		HRU		Ħ
Other:				2225,000/3	00,000 Ba	νh έ		_	Other:		. 🗖
	tal Lighting Wat			1.6	3/8g,ft.	SIZ	ING CALCU	LATION	DUC		9
		112	200				nched			Location 4	ATTIC
Components	Section	PRESCRIPT Requirements	IVE MEASUR	TES (Must be	met or e	xceeded b	y all bulldir	nga.)			
Operations Manual	102.1	Operations manual	will be provide	d to owner							Check
Windows & Doors	408.1	Maximum: .3 cfm p	er sq.ft. of wind	low area: Max	Imum 12	ofm par on fi	nd dans				V
oints/Cracks	408.1	TO DE CHUINES, DES	kwaa, waamer	alliboad or oth	ARWISA RAG	led					-
Propped Celling Cavity Reheat	406.1	Vented: seal and in	sulate ceiling (no T-bar cellin	gs). Unven	ted, no celli	ng air barrie	: seal and in	sulate root	and side walls.	15
/entilation	409.1	Electric realistance i Supplied with readil									V
IVAC Efficiency IVAC Controls	407.1, 408.1	The state of the s	- Troughting, th	HD198 4-/. A-H	A-9 COOM	L saider 'ne	2 4 4 4 5	entitation is	not require	d.	1
IVAC Ducta	407,1	Dohmista tasmin sc	Cessidie manu	al or automatic	thermoute	t for anch -					1
	410.1	Air ducts, fittings, m and installed in acco	ordance with the	pment and ple	num cham	bera shall be	mechanica	lly attached,	sealed, in:	sulated	
elancing	410.1	MVAC distribution s	ystem(s) tested	and balanced	CRON 410.1					·	1
tping Insulation Vater Heaters	411.1	In accordance with	Table 4-11.							-	1
eret Heatels	412.1	Automatic electric el performance requires Standay loss s 1.30						nier heaters	≤75,000 BI	tu/h shall meet 5,000: E. 76.	1
wimming Pools Spas	412.1	Spas & heated pool	s must have co	vers. Non-com	E. /H. SIGN	MMU 1000 C 1	20-0EA				-
ot Water Pipe	412.1	have a minimum that Piping heat lose is lit tank.									N/A
sulation later Fixtures	412.1										1
ghting	415.1	Shower head water maximum flow of .5 Ballasts shall have F	REALLY OF IT SHALLS	JUBING VRIVA	25 DAUGO A	it 60 psi. Tol drculating, .£	lets mest 42 gallon non-	CFR 6295() oirculating.	(). Public la	vatory fixture	~
-			-	A STREET OF THE PARTY OF THE PA							L
		fy that the system desi				rgy Code.				Registration No	3 .
ECTRICAL SYSTEM	DESIGNER: _										
ECHANICAL SYSTEM	DESIGNER:										
UMBING SYSTEM D	EBIGNER:										
mpilence with Chap	tar 4 was dame	onstrated by a Presci	nptive Messur	nethodolo	ogy:						
reached Buildings <20	O sq ft.		Convenience	stores <5,000				Office hull	dinas == ~	Y 6	_
yboxes/sports stadium affic safety control tow	ns rere		Restaurants	<5,000 sq.ft.	100	ŏ	_	School bui	dings <5,00 ildings <5,0	νυ sq.π, 200 sα ft	H
	W		Retail stores	<5,000 sq.ft.		D		Storage bu	ulidings <5,	000 sq.ft.	H
	4/1/	ins operated by the calculations with the Florida Energy		pliance/with the	the F	DING CHOILE	Code. Before	a covered by	this palculation	on indicates compile this building will be	ance with
WHER AGENT:	ung a in compilar	ice with the Florida Energy	y Code	/	BUIL						
-			DATE		1 440,000	ı.					

	F	LORIDA ENER	GY EFFICI	ENCY CO	DE FOR	RIIID	ING CO	METRIK	MON			
FORM 400C- Limited and Spe	01	CHAPTE	R 4 — Com	mercial E	Building	Compl	ance A	fethods		mate Zor		RTH 2 3
Project Name: V	ILLAGE	SOUAPE	TENANT	#6	Zone:	2012-0-	-					
Address: US-	90 WE	ST	I GIOCHOT		Building	Classific	ation:	*****	-			
City, Zip Code: L	AKE CI	TY .FL 3:	2055			Permit N					-	
Builder: SIMO	UE CO	NST.			Permittir			UMBIA	COL	NTY		
Owner: WEST	FIELD	GROUP			Jurisdict			011111111	200			
WALLS		BAARAR		BUILDING IN		ON .						
TYPE	AREA	TYPE ROOF/CE	U AREA	TYPE	FLOORS	AREA	TYPE	DOORS	AREA	TYPE GL	ASS	AREA
Concrete (CBS) . IIS	1 230		51 1288	Slab-on-grad	de	1288	Wood			Single, wall		AREA
Metal frame		Single Assembly Other:	++	Raised Woo Raised Cons	d		Metal Insulated	,40		Double, wall	.87	176
Insulation R-value		Insulation A-value		Insulation R	value		Other			Single, roof Double, roof	+	
				YSTEMS IN	EADMA TIC	SMI				A JAMPINA MAR NICHARA		
W088		DITIONER				TING SYST	EM			HOT WA	TER	
Unitary & Heat Pump	是代	PICIENCY	TONS	TYPE		EFFICI	ENCA	BTU/H		1191 118		
<65,000 Btu/h	10.0	SEER	3_	Central & He <65,000 B	at Pump tu/h	6.8	SPE	37,500	Electric	5.53.59769		
≥65,000 Btu/h		EERIPI	LV	≥65,000 B				0 U	Resist	tance ated Heat Pur		4
Water cooled Evaporatively coole		EER IPI EER	LV	Water cool			OP		Gas	FIRM LINES FULL	пÞ	
PTAC		_ EER		Evaporativ Electric Resis			Santa and the	-	Nature	al .		
Chiller		_COP IPI		Gas/Oil (circle			OP		LPG			
Gas heat pump Other:	_	_COP			00,000 Btu		FUE		HRU Other:			
				≥225,000/3	00,000 Bu/	hE	1		Other.			ш
	al Lighting Wa		080	1.6	0	SIZ	NG CALC	ULATION	DUC	TS R-value	6	
Total C	Conditioned Fi	DOL VLOR	288	Watt	a/aq.ft.	Atta	ched			Location	ATT	۲۱۲
		PRESCRIP	TIVE MEASUR	IES (Must be	mat or av	readed by	a off build	Mana 1				
Componente	Section	Requirements			, mai di da	Cooding D	an bund	anga.)			- 1	the str
Operations Manual Windows & Doors	102.1	Operations manus	al will be provide	d to owner.								heck
Joints/Cracks	408.1 408.1	Maximum: .3 cfm	per sq.ft. of wind	low area; Max	lmum: 1.2 c	m per eq.ft	of door a	rea.				-
Dropped Celling Cavity	406.1	To be caulked, gar Vented: seal and i	nsulate ceiling (no T-bar cellin	nerwise seal	ed. no collic	a ala bawi			,		1
Reheat	407,1	T MILE AND LAGISTICAL LOCAL	TOTIONED DE OTROPE	917.								1
Ventilation HVAC Efficiency	409.1 407.1, 408.1	Supplied with read	lily accessible s	witch for shut-	off and/or vo	lume reduc	tion when	ventilation is	not require	ed.		
HVAC Controls	407.1	Minimum efficience Separate readily a	iss - Heating: T	abies 4-7. 4-8.	4-9 Coolin	Tables A	3 A-A A-6	5, 4-8.				
HVAC Ducts	410.1	Air duats, fittings, r	nechanical equi	eld bos toema	num chamb	Are aball be	stem.	Ally affected	****	- leted		-
Dalanda		I AING INDICATION IN BICA	COLUMNICA MILLI III	is crustis of so	LOUGO ATO 1	OTH STILL DO	Tracountaria	any anaoneo,	398100, II	uania/led	١,	_
Belancing Piping Insulation	410.1	HVAC distribution In accordance with	system(s) tested	and balance	d.						_	_
Water Heaters	412.1			nature (120 m	Mana and a	4 6	• • • • • • • • • • • • • • • • • • • •					1
Const. Contractors		Automatic electric	CHANGING III I MOND	4-12. Electric >	120 gallons:	standby los	E < 30127	V. Gan - 75 M	≲75,000 B	stu/h shall mei	Dt	
Swirruning Pools	440.4	1 0-411-009 10-00 2 1.0	CTIINYT, OUS,	UII > 155.000	E. 78 Stand	inu logg < 1	3U-0EV/				L	
L Spas	412.1	Spas & heated poo have a minimum th	s must have co	wers. Non-con	nmercial pod	ole must ha	ve pump ti	тег. Сва вра	& pool he	aters must		
lot Water Pipe	412.1	Piping heat loss is	milital amcibuch	Of 78%							N	I/A
nsulation		was tru										
Vater Fixtures	412.1	Shower head water	flow restricted	to maximum o	1 2.5 gpm at	60 pai, Tol	lets meet	2CFR 6295()). Public I	avatory fixture	, + -	_
ighting	415.1	maximum flow of .5 Ballasts shall have	Bhu! Our 2014	ciosing valve	.25 gallon cl	rculating, .8	gallon no	n-circulating.				_
											L	_
required by Florida law RCHITECT:	, I hereby cen	dly that the system de	sign is in compli	ance with the	Florida Ener	rgy Code.				Registration	No.	_
LECTRICAL SYSTEM	DESIGNER:											
GHTING SYSTEM DE	SIGNER:											
ECHANICAL SYSTEM	DESIGNER:											_
COMBING SYSTEM DI	BIGNER:											_
ompilance with Chapt	er 4 was don	constrated by a Pres	criptive Messu	ros methodol	ogy:				-		-	
erached Buildings <200	ag fi		Convenience	stores <5,000				Office built	dings -6 n	100 er 4		
kyboxes/sports stadium raffic safety control tow	lå are		Restaurants	<5,000 sq.R.		Ĭ		School bui				
The second second second			Retail stores							5,000 sq.ft.		H
hereby certily that the pla lorida Energy Code	na and apecifici	forth covered by the gale	culation are in con	npliance with the	Baula	w of place c-	d annulf	-				
REPARED BY:	11/1	0/1		.//	_ the Fig	unua energy	Loge. Bein	ona covered by e construction is	hotolomon	inon indicates co	mpliance v	with
hereby certify that this but	ling is in corrella	incredith the Flexion	DATE:	1/21/05	101 601	inpliance in a	coordance v	with Section 553.	908, F.S.			
WNER AGENT:	-	Prod and	Salar and Salar		BUILD	NING OFFICE	AL:					
WHEN FUENT:	The state of the s		DATE		100000000000000000000000000000000000000							- 1

	F	LORIDA EN	ERGY EFF	CIENCY C	DDE FOR	BUILD	ING CONST	RUCTIO	ON	
FORM 400C		CHAP	rer 4 — C	ommercial	Bullding	Compl	lance Metho	ds		NORTI
Limited and 9;									Climate Zone	
Project Name:	VILLAGE	SQUARE	TENAN	JT #7	Zone:					
Address: US	90 WE	ST				Classific				
City, Zip Code:	LAKE C	ITY , FL	32055			Permit I				
Builder: SIMO Owner: WEST		GROUP				ng Office	: COLUMB	A COL	UNTY	
- Wildi. 00631	FIELD	GROOF			Jurisdict	ion No.;				
WALL				BUILDING		ON				
	U AREA	TYPE	CEILING U ARE	A TYPE	FLOORS	AREA	000	-	GLA!	
Concrete (CBS) - Wood frame		Under Attic Single Assembly	0.05 123	2 Slab-on-gra	ade	J232	Wood	U ARE	Single, wall	U ARE
Metal frame . I	13 1340	Other:		Raised Wo	od		Metal .	37 21	Double, wall .	87 167
naulation R-value		Insulation A-value	1191	Insulation F	-vaine		Other		Single, roof	
				SYSTEMS I	FORMATIC	ON		100 - 3150		
FYPE	户户	OTTIONER ICIENCY	TONE			TING SYS	Secretaria de la companya del companya del companya de la companya		HOT WATE	R
Juliary & Heat Pump <65,000 Btu/h		SEER	. 3	Central & H		EFFIC		U/H TYP		
265,000 Btu/h		_ SEER	IPLV	- <65,000 i		6.81		500	lesistance	D.
Water cooled	-		IPLV	- ≥65,000 E Water ook	77.00		DOP	— D	edicated Heat Pump	
Evaporatively cook	ed	_ EER _ EER	_		vely cooled		DOP _	Gas	latural	
hiller		_ COP	IPLV	- Electric Res Gas/Oil (oiro			COP _		PG	H
as heat pump	_	COP			300,000 Btu	/h	FUE	HRL		200
Other:				≥225,000/	300,000 Btu/	h 6		Othe	or	. 🗆
	tal Lighting Wa		2080		7	SIZ	NG CALCULATIO	N I	DUCTS R-value	Co
Total	Conditioned Fix		232	Wat	ts/aq.ft.	100	iched [7	Location _	
									Location	
omponents	Section	PRESC	RIPTIVE MEAS	SUMES (Must b	e met or ex	ceeded b	all buildings.)			
perationa Manual	102.1	Requirements Operations ma	nual will be pro-	uided to owner						Check
/Indows & Doors	406.1	Maximum: .3 c	Im per sa.ft. of v	window erem: Mm	zimum: 12 c	fm per og fi	of door area			-
oints/Cracks ropped Celling Cavity	408.1	L TO DE CEUREU,	Basketed, Wed	merninoped or of	horwige seek	ord				1
sheat	406.1	Vented: seal a	nd insulate ceitir nce reheat proh	ng (no T-bar celli	ngs). Unvent	ed, no cellis	ng air barrier: seal	and insulati	e roof and aide walls.	1
entilation	409.1	Supplied with r	eadily accessibl	a switch for shut	off and/or vo	lumo en di u				L
VAC Efficiency VAC Controls	407.1, 408.1							on is not re	quired.	~
VAC Ducts	407,1	Dohorara 1980i	IY BICCOSSIDIO IME	femolius or automati	c thermostut	for analy as				15
						era shall be	mechanically atta	ched, seale	ed, insulated	
alancing	410.1	MVAC distribut	on system(s) te	and halance	d.					1
ping Insulation ater Heaters	411.1	in accordance	with Table 4-11.							1
a-or rioutora	412.1	performance rec	ric storage wats	or heaters ≤120 g	allona and ga	as & oll fire	d storage water he	aters \$75,0	00 Blu/h shall meet	
		Standby lose &	1.30+114/Vr. G	an. Oil >155 000:	F. 78 Stand	BORNODY 108	8 S.30+27/VT. Gas:	>75,000, OI	i >105,000: É, .78,	1
virrming Pools Spas	412.1	Chan or Linguish	pools must have	oovers. Non-co	mmercial poc	ole must ha	ve pump timer. Ga	8 808 & BO	ol heaters must	1
t Water Pipe	412.1									N/A
ulation							ma and the first 8'			1
ater Fixtures	412.1	Shower head w	ater flow restrict	ed to maximum (of 2.5 gpm at	80 psi, Tol	lets meet 42CFR 6	295(k). Pul	olic lavatory fixture	
ihting	415.1	Ballasts shall he				culating, .5	gallon non-circula	ting.	MALINE	1
		Dandaro Brigh Tig	IVO POWOT PACIO	. nam see on en	30.					1
equired by Florida lav	, I hereby cerd	ly that the system	design is in con	npliance with the	Florida Ener	Ry Code				
CHITECT: ECTRICAL SYSTEM						g, 200g.			Registration No	i.
HTING SYSTEM DE	Signer: _		~							
CHANICAL SYSTEM	DESIGNER:				-					
MBING SYSTEM D	EBIGNER:									
npliance with Chap	or 4 was dome	natrated by a Pr	ascriptive Mea	Suma mathed	DOLL!					
aoned Buildings <200	osq ft.	0		nce stores <5,00				LUCKET TO MODELLE TO THE TOTAL THE T		rediction and a second
boxes/sports stadiun	16		Restaurar	1ts <5,000 sq.R.	o aq.n.	H	Office	buildings	<5,000 sq.ft.	
fic safety control tow	- A		Retail stor	M.pe 000,2> sen.		1	Store	oi buildings aa building	s <5,000 sq.ft.	무
reby certily that the pla	ns and specifical	ons sovered by the	calculation are in	compliance with the	7-					
	11/4	//	/ July 1	With the	the Flo				iculation indicates compli	ance with
PARED BY:	alog is in complian	te with the Florida E	DATE	1/21/05		ibianca itt at	cordance with Eaction	553.208, F.	.9.	
and adultal tolds this DOW										
HER AGENT:	832	O G	DATE	//	BUILD	ang officia	W			COLUMN W

	F	LORIDA EN	IERO	àV I	EFFICI	ENCY	co	DE FO)R	BUILD	ING C	ONST	RU	CTION			
FORM 400C		CHAI	TEF	14	— Con	nmerc	lal E	Bulldir	ng	Compl	lance i	Vietho	ds		•		0071
Limited and Sp		illdings												C	Ilmate Zo		ORTH
Project Name: \	ILLAGE	SQUAR	E	TE	ENAR	JT #	8	Zone:		*****							
Address: US - City, Zip Code:	90 WE	ST		0					_	Classific							
Builder: SIMG	LAKE CO	NIST	3	20	55		-			Permit N	-		_				
Owner: WEST	FIELD	GROUP		+			-	_	-	on No.:	CO	WM	BI	A CC	UNTY		
		-11-0-51															
WALC		BÓC	F/CEN	INC		BUILDIN		FORMA FLOOR:		N							
		TYPE Under Attic	LUZER	U	AREA	TYPE		The state of the s	u I	AREA	TYPE	DOOR	13	AREA	TYPE	ASS	LAREA
Wood frame		Single Assemb	y	\vdash		Slab-or Raised	Woo	de l	+	1232	Wood		40	21	Single, wall Double, wall		1 1 1 1 1 1 1 1 1
Metal frame .		Other: Insulation R-va	110	4	19	Raised	Conc	cata	7		Insulated		100		Single, rool	. 87	390
									_		Other				Double, roof		
	AIR CON	DITIONER				SYSTEM	S IN			NO SYST	EM						
Unitary & Heat Pump		CIENCY			TONS	TYPE	0 14-			EFFICI		97	U/H	TYPE	HOT WA	IEM	
<65,000 Btu/h	10.0	SEER			3	<65,0		at Pump lu/h		6.8	SPF	37,5	000	Electric			-
≥65,000 Btu/h Water cooled		EER	IPL			≥65,0					OP	_		nesi	stance cated Heat Put	מת	H
Evaporatively cools		_ EER	11-6	•		Water Evapo		ed coole	d	6		_	_	Gas			
PTAC Chiller	-	eer cop		ļ		Electric	Resin	tance	-			_		Natu LPG	1.0-24.11		
Gas heat pump		COP	IPL	v		G88/Oil <225		s one) 100,000 E	le r/h	A	E) IC			HRU			
Other:			_					00,000 B						Other:		_	
170 Par	tal Lighting Wa		20	28	0		1.	7	T	SIZI	NG CALC	ULATIO	IN	DU	ICTS R-value	G	
Total (Conditioned Fig	por Area	12	32		-	Watt	s/sq.ft.		Alta	ched				Location		TIC
		PRES	CRIPT	IVE	MEASU	RES (Mu	at be	met or	exc	seded by	all bulle	Hoon)	11-22/42				
Components Operations Manual	Section 102.1	Requiremen	its								un bunc	arrigio-j					Check
Windows & Doors	408.1	Operations of Maximum: .S	cim o	Will I	of win	d to own	May	lessons 4 /									b-
Jointa/Cracks Dropped Celling Cavity	408.1	I TO DE CEUINO	u, gas	Ketec	ı, weamer	BITIDDAG (ar oth	ARWING BE	aglas	4			_			-	1
Reheat	408.1 407.1	Electric resig	and in	sulat	e ceiling (no T-bar	cetting	gs). Unve	nte	d, no cellin	g air barri	er: seal	and i	insulate ro	of and side wa	lls.	-
Ventilation HVAC Efficiency	409.1	Supplied with	readil	y acc	s eldicae	witch for s	shut-c	off and/or	volu	ime reduc	tion when	ventiet	on le	not regul	and .	-	~
HVAC Controls	407.1, 408.1	Minimum effi	ALM I POIN		TOMUTE. I	4DIHB 8-/	A-H	4-9 (300	diam'r.	Tables 4	2 4 4 4 1	5, 4-8,	JI 10	not rough	160.		1
HVAC Ducts	410.1	AIF GUOTE, TITE	ngs, m	BC18	nicel equi	oment an	ri nia	num cha	aden	or each sy ra shall be	stem.	nally atta	Ahar	l soul-d			~
Belancing	410.1								.1.				C110C	, season,	mediated		-
Piping Insulation	411.1	MVAC distrib	e with	Table	4-11				_								-
Water Heaters	412.1	Automatic ele	ctric si	torag	e water b	eatera ≤1	20 ga	llona and	gas	& oil fired	storage v	water he	a ters	\$75.000	Btu/h shall med		1
		Standby loss											>75,0	000, Oll >1	Btu/h shall mei 105,000: £, .78,	`	
Swimming Pools	412.1	Obes of LIGHTE	a book	a mu	81 have or	Wars. Nor	1-CON	mercial i	pool	y loss s 1. e must hav	/8 DUMD 8	mer Ga	S BA	a & nool b	antern munt	+	1
ot Water Pipe	412.1															1	N/A
naulation Vater Fixtures		Piping heat to tank.															
THE POINT I NAME OF	412.1	maximum flow	water	flow I	restricted	to maxim	um of	2.5 gpm	mt 6	O psi, Toll	ets meet	AZCFR 6	295(k). Public	lavatory fixture	+	-
ighting	415.1	maximum flov Ballaats shall							circ	ulating, .5	gallon no	n-oircula	ting.				_
raculand by Electric bur	. I barel								_								_
required by Florida law	r, i nereby cero	ny that the ayate	m desi	gn is	in compli	ance with	the F	lorida E	nerg	y Code.					Registration	No.	
LECTRICAL SYSTEM	DESIGNER: _														~~~		
GHTING SYSTEM DE ECHANICAL SYSTEM	SIGNER:			_									_				
LUMBING SYSTEM DE	EBIGNER:								*****								
ompliance with Chapt	ter 4 was dent	onstrated by a	Presci	dptiv	e Mesau	oa math	adolo	MA.	_						-	-	
armoned Brillqlude <500	ag n		ni i senilari		nvenience							0=		141			
syboxes/sports stadium affic safety control tow	15 979			Res	elaurants	<5.000 80	ı.R.	3		ă	_	Saho	ol bi	ildings <5, uildings <5	.000 sq.ft.		
	1	_	117		aerote lin				227	4		Stora	ge b	ulldings	5,000 sq.ft.		5
hereby certily Inal the plat lorida Energy Code	ns and specifical	that powered by th	9 GBICU	lation	are in con	nplianos wi	th y/e		view	of plans and	apecificati	ons cover	ed by	this calcula	allon indicates cor	nnllanc	
REPARED BY	pp	Tol	_		DATE:	1/211	65			da Energy C oliance In ac					d, this building will	be insp	ecied
vereby certify real this build	ang is in compilar	es with the Florida	Energy	Cod	e /												
TOTAL PROPERTY !		W.			DATE												

FORM 400C-01

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-5		CONVENIENCE BUILDING < 5,000 SF									
		MAXIMU	ALLOWABLE	E GLASS ARE	A % AND ALLO	OWABLE LIGH	TING W/SF				
	Cooling Equ	pment Capac	ity ≥85,000 Btu	/h, Room Unit	s, PTACS			Capacity <6	6,000 Btu/h		
EER:	8.9-9.0	EER: 8	0.1-10.0	EER: 1	0.1-11.0	EER:	1.1-UP	SEER:	10.0-UP		
GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF		
15	2.7	15	2.7	15	3.1	15	3.5	15	3.5		
25	2.4	25	2.9	25	2.9	25	3.1	25	3,1		
				35	2.4	35	2.7	35	2.7		
lazing:				-		45	2.1	45	2.1		
	Coefficient <=	0.87			1	And He	at Pump	And He	at Pump		
					1	COP:	> = 3.0	HSPF:	>= 6.8		
					- 1	55	3.9	55	3.9		

Table 4C-6			RE	STAURANT B	UILDING < 5,00	X SF			
		MAXIMU	M ALLOWABLI	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		
	Cooling Equ	Ipment Capac	Hy ≥85,000 Btu	n, Room Unit	a, PTACs			Capacity <6	5,000 Btu/h
EER:	8.9-9.0	EER:	9.1-10.0	EER: 1	D.1-11.0	EER: 1	1.1-UP	SEER:	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/\$F	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
30	1.0	30	1.2	30	1.4	30	1.6	30	1.6
35	8.0	35	1,0	35	1.2	35	1.4	35	1.4
		40	0.8	40	1.0	40	1.2	40	1.2
lazing:	-			45	0.8	45	1.0	45	1.0
olar Heat Gali	Coefficient <=	0.77 or		50	0.6	50	8.0	50	0.8
ouble Pane				A	Taken and a second	And He	at Pump	And He	at Pump
						COP:	> = 3.0	HSPF:	>= 6.8
						65	1.8	65	1.8

Table 4C-7			1	RETAIL BUIL	DING < 5,000 S	F			
		MAXIMU	M ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING WISF		
	Cooling Equ	ipment Capac	lty ≥65,000 Btu	/h, Room Unit	s, PTACs			Capacity <6	5,000 Btu/h
EEA:	3.9-9.0	EER: 9	9,1-10.0	EER: 1	0.1-11.0	EER:	11.1-UP	SEER:	10.0-UP
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF
35	2.2	35	2.4	35	2.5	35	2.8	35	2.6
45	2.0	45	2.2	45	2.3	45	2.4	45	2.4
Artenor		55	2.0	55	2.1	55	2.2	55	2.2
azing:	-	•				And He	at Pump	And Had	at Pump
olar Heat Gair	Coefficient <=	0.87			I	COP:	> = 3,0	HSPF:	> = 6.8
					1	65	3.0	65	3.0

1

FORM 400C-97

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-8				OFFICE BUIL	DING < 5,000 S	F			
		MAXIMU	M ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		
	Cooling Equ	ipment Capac	lty ≥65,000 Btu	/h, Room Unit	s, PTACS			Capacity <	5,000 Btu/h
EER:	8.9-9.0	EER: 9	0.1-10.0	EER: 1	0.1-11.0	EER:	11.1-UP	SEER:	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
20	2.0	20	2.2	30	2.2	25	2.4	25	2.4
25	1.8	30	2.0	40	2.0	36	2.2	35	2.2
-	-	35	1.8	45	1.8	45	2.0	45	2.0
lazing:						50	1.8	50	1.8
olar Heat Gali	n Coefficient <=	0.61			1	And He	at Pump	And He	at Pump
					1	COP:	> = 3.0	H\$PF:	>= 6.8
					1	75	2.2	75	2.2

Table 4C-9				SCHOOL BUIL	DING < 5,000	SF			71.1
		MAXIMUI	M ALLOWABLE	E GLASS ARE	A % AND ALLO	WABLE LIGH	TING W/SF		- Comment
	Cooling Equ	ipment Capac	ity ≥65,000 Btu	/h, Room Unit	s, PTACs			Capacity <	5,000 Btu/h
EER: 8.9-9.0 EER: 9.1-10.0 EER: 10.1-1						EER:	11.1-UP	- International	10.0-UP
GL AREA	LIGHTING W/8F	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
20	1.6	20	1.8	20	2.0	20	2.2	20	2.2
25	1.4	25	1.6	25	1.8	25	2.0	25	2.0
		30	1.4	30	1.6	30	1.8	30	1.8
lazing:				35	1.4	35	1.8	35	1.6
olar Heat Gair	Coefficient <=	0.87				40	1.2	40	1.2
						And He	at Pump	And He	at Pump
					ĺ	COP:	> = 3.0	HSPF:	>= 6.8
					- 1	60	2.6	60	2.6

Table 4C-10				STORAGE BU	LDING < 5,000	SF			
		MAXIMU	M ALLOWABL	E GLASS ARE	A % AND ALL	WABLE LIGH	ITING W/SF		
	Cooling Equ		ity ≥65,000 Btu					Capacity <	35,000 Btu/h
	8.9-9.0	EER: 0	9.1-10.0	EER: 1	0.1-11.0	EER:	11.1-UP	1 manual	10.0-UP
GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF	GL AREA	LIGHTING W/SF
5	0.6	5	0.74	5	0.85	5	0.85	5	0.85
		15	0.1	15	0.35	15	0.47	15	0.47
		-		25	0.10	25	0.37	25	0.37
lazing:						And He	at Pump	And He	at Pump
	Coefficient <=(0.77 <u>or</u>				COP:	> = 3.0		>=6.8
sulated					ł	40	1.25	40	1.25
							The state of the s		

Table 4C-1

Table 4C-2

CHECK

PRESCRIPTIVE REQUIREMENTS LIST*

CLIMATE ZONES 1 2 3

*All Basic Prescriptive Requirements, designated in the Code by ".1.ABCD" and summarized on the front of this form, must also be met.

FORM 400C-01 METHOD C Detached Commercial Buildings Less than 200 sq.ft. Glass Area: Overhang: Walls:

No limit

Minimum 1 foot if not under another structure: or

No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.

Minimum insulation level Frame walls - R-11.

Masonry walls - R-5.

Minimum insulation level - R-19. Roofs/Cellings: Minimum insulation level - None. Floors:

Code minimums as per section 407.1.ABCD.3. Cooling System: Code minimums as per section 408,1,ABCD.3. Heating System:

Johny ut

ttadiuma

Ilmit with glazing Solar Heat Gain Coefficient of 0.48 or less.

ne required.

ilmum insulation level Frame walls - R-11. Assonry walls - R-5. mum insulation level - R-19. num insulation level

rame floor - R-19. Concrete floor - None.

Cooling System: Minimum equipment efficiency requirements

Air cooled - 10.0 EER or 10.5 SEER.

Water cooled - 11.0 EER.

Code minimums as per section 408.1.ABCD.3. Heating System:

Air Distribution: A programmable setback shall be installed for in-season use;

At least one humidistat control per zone shall be installed for off-season use.

EXCEPTION: Installation of a central energy management system.

Lighting:

Total connected wattage shall not exceed 1.8 watts per square foot of conditioned space.

Traffic Safety Control Towers

Glass: No Ilmit.

Overhang:

Minimum 1 foot if not under another structure; or

No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.

Walls: Minimum insulation level Frame walls - R-11.

Masonry walls - R-5. Minimum insulation level - R-19.

Roofs/Cellings: Minimum insulation level - None. Floors:

Cooling System: Code minimums as per section 407.1.ABCD.3. **Heating System:** Code minimums as per section 408.1.ABCD.3.

Lighting: Total connected wattage shall not exceed 2.1 watts per square foot of conditioned space.

General Requirements for Building Packages <5,000 sq.ft.

Table 4C-4

Table 4C-3

FLOOR: Slab-on-Grade

R-0 Raised Wood R-19 Raised Concrete R-7

Masonry WALL: R-7 (exterior, adjacent and common)

Wood Frame R-11 (exterior, adjacent and common) Metal Frame R-13 (exterior, adjacent and common)

ROOF: R-19 Insulation above Deck Insulation in Attic or Dropped Celling Cavity R-19

INFILTRATION: Code minimums in section 406.1.ABCD.1

DUCTS: Code minimums in section 410.1.ABCD.2 DOMESTIC HOT WATER: Code minimums in section 412.1,ABCD.3

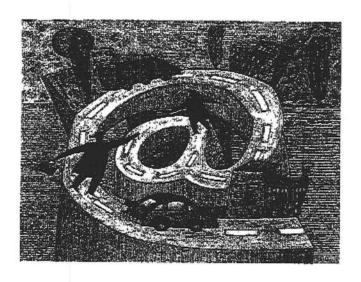
LIGHTING CONTROLS: Each space must have the lights divided into at least two "banks" -- each one with a manual On/Off switch; OR Each space must have one occupancy sensor (or other automatic control) to turn the lights on and off.

22713

FAX

FLORIDA DEPARTMENT OF TRANSPORTATION

LAKE CITY MAINTENANCE SUNCOM (386) 862-7180 PHONE (386) 961-7180 FAX (386) 961-7183



FACISIMILE TRANSMITTAL

DATE: 7-07-65
TO: Mr J. Kerce
ATTN: Dept Director
FROM: Dd- Cray F-D.O.T Inspector
FROM: Dd- Cray F-D.O.T Inspector SUBJECT: Final Inspection on project
COMMENTS: Competed to D.O.T Standards

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION

DRIVEWAY CONNECTION PERMIT FOR ALL CATEGORIES

850-040-18 SYSTEMS PLANNING 04/03 Page 1 of 3

	PART 1: PERMIT INFORMATION
APPLICATION NUMBER: 04-a-292-00	23
Permit Category: D	Access Classification: 11
Project: Village Square / 30' Asph E/L	D/W W 50' / 35' tutn Radil.
Permittee: Westfield Group,LLLP/ Cha	arlie Sparks
Section/Mile Post: 29010 / 7.129+-	State Road: S.R.10
Section/Mile Post: 29010 / 7.219+-	State Road: S.R.10
	PART 2: PERMITTEE INFORMATION
- 11 - Nomes 111 - 15 - 14 Company	N Obadia Sanda
	P/ Charlie Sparks
	566
City, State, Zip: Lake City ,FL. 32056	
Telephone: (386)755-5110	
Engineer/Consultant/or Project Manager	Bailey Bishop & Lane, Inc.
Engineer responsible for construction in	spection: Ann M. Newland
Mailing Address: P.O. Box 3717	NAME P.É,#
34	17
E. 17. 20.0 10.00	FAX, Mobile Phone, etc. (386)755-7771
	PART 3: PERMIT APPROVAL
The above application has been review	ed and is hereby approved subject to all Provisions as attached.
Permit Number: 04-A-292-0023	
Departs	ment of Transportation
Signature: New 7.	Mile: Permits Coordinator
,	
Department Representative's Printed No	ame / Neil E. Miles, Coordinator
,	
Temporary Permit O YES N	(If temporary, this permit is only valid for 6 months) NO
-	(If temporary, this permit is only valid for 6 months)

850-040-18 SYSTEMS PLANNING 04/03 Page 2 of 3

PART 4:	GENERAL	PROVISIONS
-		L MONIDIAMS

Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.

(386)961-7180 , Attention: Neil E. Miles Permit Coordinator

by of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection

mply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.

comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.

All work performed in the Department's right of way shall be done in accordance with the most current Department istandards, specifications and the permit provisions.

The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.

Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.

- 8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
- Medians may be added and median openings may be changed by the Department as part of a
 Construction Project or Safety Project. The provision for a median might change the operation of the connection to
 be for right turns only.
- All conditions in <u>NOTICE OF INTENT WILL APPLY</u> unless specifically changed by the Department.
- 11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
- 12. Transportation Control Features and Devices in the State Right of Way. Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
- 13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any heirs, assigns and successors in interest that may occur by reason of this facility design, construction, this provision for damages arising from the sole negligence of the Department.
- 14. The Permittee shall be responsible for determining and notify all other users of the right of way.
- Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

850-040-18 SYSTEMS PLANNING 04/03

Page 3 of 3

PART 5: SPECIAL PROVISIONS

CONFORMING CONNECTIONS:

YES

O NO as is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of

- The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
- All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL & SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PERMIT SHALL BE ACCORDING TO THE MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT

PART 6: APPEAL PROCEDURES

You may request an administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes. If you disagree with the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may request a formal administrative hearing pursuant to Section 120.57(1), Florida Statutes. If you agree with the facts stated in the Notice, you may request an informal administrative hearing pursuant to

Clerk of Agency Proceedings Department of Transportation Haydon Burns Building 605 Suwannee Street, M.S. 58 Tallahassee, Florida 32399-0458

The written request for an administrative hearing must conform to the requirements of either Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and must be received by the Clerk of Agency Proceedings by 5:00 P.M., no later than 21 days after you received the Notice. The written request for an administrative hearing should include a copy of the Notice, and must be legible, on 8 ½ by 11 inch white

- 1. Your name, address, telephone number, and Department identifying number on the Notice, if known, and name, address,
- 2. An explanation of how you are affected by the action described in the Notice.
- 3. A statement of how and when you received the Notice,
- 4. A statement of all disputed issues of material fact. If there are none, you must so indicate.
- 5. A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle you to relief; and

A format hearing will be held if there are disputed issued of material fact. If a formal hearing is held, this matter will be referred to the Division of Administrative Hearings, where you may present witnesses and evidence and cross examine other witnesses before an administrative law Administrative nearings, where you may present with easing will be held, in which case you will have the right to provide the Department with any written documentation or legal arguments which you wish the Department to consider.

Mediation, pursuant to Section 120.573, Florida Statutes, will be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

If a written request for an administrative hearing is not timely received you will have waived your right to have the intended action reviewed pursuant to Chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

LORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH GOVERNOR

JOSE ABREU. SECRETARY



PERMITTEE:Charlie Sparks/ Permit No: 04-A-292-0023 State Rd:10 / Section: 29010 /MP;7.196+-7.219 / PERMIT CAT: D PROJ DESCRIPTION:PRO: 30' W ASPH D/W W 50'-30' RADII.

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLYED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

- All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded 1. XXX and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
- Z. XXX Permittee shall restore wildflowers disturbed during permitted construction with new seed to be (amount and & method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
- The Permittee will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) 3. XXX hours in advance of starting excavation within the area of any signalized intersection.
- 4. XXX The Permittee can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
- Existing utilities may be located within the construction area. Prior to permit approval, permittee shall locate and 5. XXX notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permittee shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permittee shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permittee shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
- No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump 6. XXX islands must be located at least twelve (12) feet from right-of-way line.
- Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be 7. XXX restricted or prohibited.
- The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any 8. XXX type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
- All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on 9. XXX Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
- Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector. 10. XXX
- A pre-construction review of the construction planned under the permit shall be mandatory. The 11. XXX Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
- If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway 12. XXX then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.

DRIVEWAY/CONNECTION APPLICATION FOR ALL CATEGORIES

850-040-15 SYSTEMS PLANNING 04/03

/		C	OFFICE USE ONLY	
Application t	Number: 04619	292 <u>=</u> 0023	Received By	Dale Cray FDOT STAFF (TYPE OR PRINT)
Category: _	D		Date:	7-27-04
Section/Mile	Post: 7.196	& 7.219	State Road:	SR. 10
Section/Mile	Post: 290109		State Road:	SR. 10
Complete Transporte For help w Or vis You n Or cal	ition. ith this form contact your lit this form contact your lit our website at http://www.nay.also.email - driveways	may not apply to you) a ocal Maintenance or Dis w11.myflorida.com/ones	ind attach all necessary documen	are required to submit with your application. Its and submit it to the Department of son and phone number in your area. Its away Permits.
Please print or				
APPLICANT	;		·@	
Check one: O Owner	O Lesses	ontract to Purchase		
	stfield Group LTD- LL		41	
	, , , , , , , , , , , , , , , , , , , ,	rlie Sparks		
If the Applicant	is a Company or Organiza			
Address: P.O	. Box 3566			
City, State: La	ake City, FL			
Zip: 32056	Phone:	(386) 755-5110	Fa	×: (386) 755-6449
Email: charlis	@charliesparks.co			
LAND OWNE	R:(if not applicant)			
Name;		_		
if the Applicant i	is a Company or Organiza	tion, Name:		
Address:				
City, State:				
Zip:	Phone;		Fax	
Email;				
			*	

850-040-15 SYSTEMS PLANNING . 04/03

1	mization must be provided with the Application		r:	
Name: balley, bish	nop & Lane, Inc			
Company Namese See Abo) y e			
Address: P.O. Box 3	3717			
City, State: Lake City				
Zip: 32056-3717 Ph	hone: (386)752-5640	Fax:	(386)755-7771	
Email:			(000),03 ///1	
	stance from nearest intersecting public street (su	ch as, 500 feet sout	h of Main St.)	
Chack here if you are requesting a				
check here if you are requesting a				
Chack here if you are requesting a new driveway tempor	rary driveway			
Check here if you are requesting a new driveway O tempor new driveway O tempor new driveway O tempor No O Yes, if yes - pleas	rary driveway	eway O safety	upgrede	
Check here if you are requesting a new driveway tempore constitution of the property owner own or have the property owner ow	rary driveway	eway O safety	upgrade within the property?	
Chack here if you are requesting a new driveway O tempor Does the property owner own or ha No O Yes, if yes - pleas Are there other existing or dedicate No O Yes, if yes - list the	rary driveway	eway O safety	upgrade within the property?	
Check here if you are requesting a new driveway	rary driveway	eway O safety ements bordering or existing access poi	upgrade within the property? nts.	
Check here if you are requesting a new driveway O tempor	rary driveway	eway O safety ements bordering or existing access poi	upgrade within the property? nts.	
Check here if you are requesting a new driveway	rary driveway	eway O safety ements bordering or existing access poi	upgrade within the property? nts.	

850-040-15 SYSTEMS PLANNING 04/03

Business (Name and Type) Square Footage Purpose P	ype N/A Trovide an estimate of the daily traffic volume anticipate of required to complete this section). Pally Traffic Estimate = 1 (Q (Use you used the ITE Trip Generation Report, provide the interest of the section of the s	21,696 what is the type (s d for the entire prop s the latest institute	4.	apartment, tow	nhouse) and n	Number of unit Number	r of Units plex, or quad-plex
if you are requesting a residential development access, what is the type (single family, apartment, townhouse) and number of units? N/A Number of units N/A Number of units? Number of units. Number of units. Number of units? Number of units. Number of units? Number of units	N / A rovide an estimate of the daily traffic volume anticipate of required to complete this section). Pally Traffic Estimate = 1 to 2 (Use you used the ITE Trip Generation Report, provide the interpretation Report, provide the interpretation Report, provide the interpretation Report.	what is the type (s d for the entire prop the latest institute	4.	d out. (An individ	dual single fan	Number	s? r of Units
if you are requesting a residential development access, what is the type (single family, apartment, townhouse) and number of units? N/A	N / A rovide an estimate of the daily traffic volume anticipate of required to complete this section). Pally Traffic Estimate = 1 to 2 (Use you used the ITE Trip Generation Report, provide the interpretation Report, provide the interpretation Report, provide the interpretation Report.	d for the entire prop a the latest institute and use code, inde	perty at buil	d out. (An individ	dual single fan	Number	r of Units plex, or quad-plex
N/A Number of Units Occurred to complete this section). Daily Traffic Estimate = Le QT (Use the latest Institute of Transportation Engineers (ITE) Irin Generation Report) You used the ITE Trip Generation Report, provide the land use code, independent variable, and reference pee number. E Land USS Code Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application. Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application. Check With the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application. Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application. Plants should be \$11 \times 17 (seals 1 * X 50') Vote: No plants larger than 24 * X 50' will be accepted I proposed access design I) Proposed acce	N / A rovide an estimate of the daily traffic volume anticipate of required to complete this section). Pally Traffic Estimate = 1 to 2 (Use you used the ITE Trip Generation Report, provide the interpretation Report, provide the interpretation Report, provide the interpretation Report.	d for the entire prop a the latest institute and use code, inde	perty at buil	d out. (An individ	dual single fan	Number	r of Units plex, or quad-plex
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range signature	cant Name (Printed): Charlin Sporks						
	cant's signature.			2010 (J#3			

DE.1,107.40

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDavid POST OFFICE BOX 1326 LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDavid POST OFFICE BOX 1328 LAKE CITY, FL 32056-1328

File No. 03-931

Property Appraiser's Parcel Identification No. 25-35-16-02585-006

Inst:2004010499 Date:05/07/2004 Time:13:11
Doc Stamp-Deed: 1107.40
DC,P.DeWitt Cason,Columbia County B:1014 F:1886

The second secon

WARRANTY DEED

THIS INDENTURE, made this 6th day of May 2004, BETWEEN HELEN B. REAL, unmarried, whose post office address is Post Office Box 2041, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantor*, and WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantee*.

WITNESSETH:

That said Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, its successors and assigns forever, the lands situate, lying and being in Columbia County, Florida described as follows:

SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

And said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

(First Witness)

Terry McDavid Printed Name

(Second Witness)

Myrtle Ann McElroy

Printed Name

Seal (SEAL)

Inst:2004010488 Date:05/07/2004 Time:13:11

Doc Stamp-Deed : 1107.40

DC,P. DeWitt Cason, Columbia County B:1014 P:1887

STATE OF FLORIDA COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th day of May 2004, by HELEN B. REAL, unmarried. She is personally known to me and did not take an cath.

My Commission Expires:

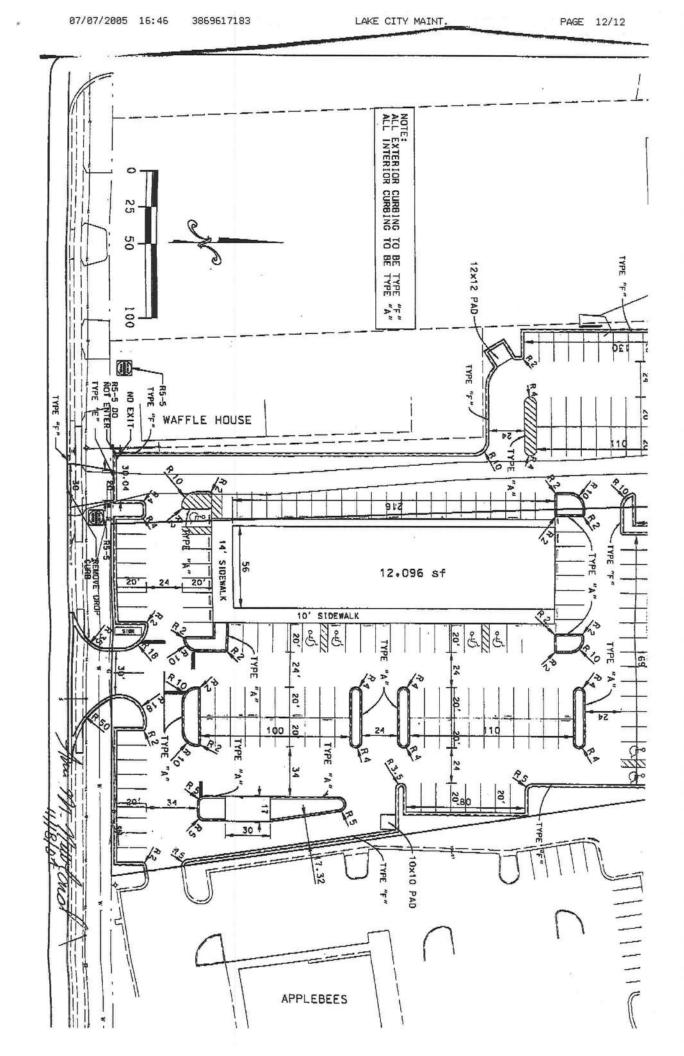
SCHEDULE "A"

Commence at the intersection of the East line of Brockside, a subdivision as recorded in Plat Book 3 at Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E along the Mortherly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet to the Point Of Beginning; thence N 03°02'38"E, 856.99 feet; thence N 84°51'35"W, 274.49 feet to the East Line of said Brockside; thence N 03°06'05"E, along said East Line, 518.67 feet to the North line of the Southeast 1/4; thence N 87°20'07"E, along said North Line 863.64 feet; thence S 03°37'43"E, 470.56 feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'14"E, 562.63 feet; thence N 86°10'01"E, 145.72 feet; thence S 03°37'14"E, 562.63 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'54"E, 222.17 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'15"W, 144.93 feet; thence N 84°52'29"B, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence S 84°52'29"B, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence S 84°52'31"E, 212.81 feet; thence S 03°38'27"E, 105.97 feet; thence S 84°52'31"E, 212.81 feet; thence S 03°38'27"E, 105.97 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet; thence N 84°51'35"W, along said Northerly right of way 240.04 feet to the Northerly right of Beginning. Columbia County, Florida.

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

COMMENCE at the intersection of the East Line of Brockside, a subdivision as recorded in Plat Book 3, Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E, along the Northerly right of way of U.S. Highway 90 (State Road 84°50'38"B, 134.32 feet; thence N 03°02'36"E, 750.72 feet; thence S 05°07'44"E, 349.98 feet; thence S 84°52'40"E, 310.91 feet; thence S 05°05'44"W, 350.16 feet; thence N 84°50'38"W, 311.12 feet to the POINT OF BEGINNING.

Inst:2004010499 Date:05/07/2004 Time:13:11
Doc Stamp-Deed ; 1107.40
____DC,P.DeWitt Cason,Columbia County B:1014 P:1888





OGGUPANGY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection
This Certificate of Occupancy is issued to the below named permit holder for the building

and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-3S-16-02585-006 Building permit No. 000022713

Use Classification COMM. SHOPPING CTR Fire: .00

Permit Holder DAVID SIMQUE

Waste: .00

Total: .00



Location: 2941 W US HWY.SUITE 111(MOE'S)

Owner of Building WESTFIELD GROUP

Date: 07/11/2005

Building Inspector

POST IN A CONSPICUOUS PLACE (Business Places Only)

Village Square Blog. #1

- 1. Moes Suite # 101
- 2. Moon Timo Suite # 103
- 3. The Lamplighter Shoppe Suite # 105 \$ 107
- 4. Deamond Mails Suile # 109
- 5. Sweet Dreams Lingerie Suite # 111

Suite numbers 113, 115 & 117 have not been leased out yet.



LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

taviisonesemesii (me siiisi)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

> Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

John D. Kerce

FROM:

Carlton Tunsil, Assistant Fire Chief

State Fire Inspector License #48544

DATE:

8/3/05

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at Village Square located at 2941 Hwy 90 West. Lake City, FL. 32055 all unites of This facility meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544



LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

> Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Robert Mann

FROM:

Carlton Tunsil, Assistant Fire Chief

State Fire Inspector License #48544

DATE:

7/8/05

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at Moe,s Southwest Grill located at 2941 Suite 101 Lake City, FL. 32055 This Business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief



FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Dustin Crews

FROM:

Nathiel L. Williams

State Fire Inspector License #113360

DATE:

July 21, 2005

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at Moontime Ice Cream, located at 2941 W. US Hwy 90, Suite 102 Lake City, FL. This business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Nathiel L. Williams, Sr.



FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson Fire Chief **Inspection Division**

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Gayle & Greg Lienemann

FROM:

Frank E. Armijo, Captain

State Fire Inspector License #112877

DATE:

August 1, 2005

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at The Lamplighter Shoppe, located at 2941 W. US 90 #107, Lake City, FL. This Business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544

Frank E. Armijo, Captain



FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson Fire Chief **Inspection Division**

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Nails

FROM:

Frank E. Armijo, Captain

State Fire Inspector License #112877

DATE:

August 1, 2005

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at 2941 W. Hwy. 90, #109 located at Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544

Frank E. Armijo, Captain



FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson Fire Chief

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Amanda R. Johnson

FROM:

Frank E. Armijo, Captain

State Fire Inspector License #112877

DATE:

August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Sweet Dreams Lingerie, located at 2941 W. US Hwy 90, Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

> Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544

Frank E. Armijo, Captain



FΔX

LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

To: John Kerce	FROM:	Copt. Frank Armin
FAX: 758-2160	FAX;	719-5460
PHONE:	PHONE:	
SUBJECT: Ince Inspection	DATE:	24722; 2005 Ansust 1, 200
COMMENTS: That You Fre	Von	1/e/11
	7	

NUMBER OF PAGES (INCLUDING COVER SHEET):



COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-3S-16-02585-006

Building permit No. 000022713

Fire:

Use Classification COMM. SHOPPING CTR

Permit Holder DAVID SIMQUE

Owner of Building WESTFIELD GROUP

00.

Total:

Waste:

Location: 2941 W US HWY 90, LAKE CITY

Date: 08/04/2005

Building Inspector

POST IN A CONSPICUOUS PLACE (Business Places Only)

District No. 1 - Ronald Williams District No. 2 - Dewey Weaver District No. 3 - George Skinner District No. 4 - Jennifer Flinn District No. 5 - Elizabeth Porter



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

August 4, 2005

David Simque PO Box 2962 Lake City, FL 32056

RE: Village Square

Dear Mr. Simque,

For suites 113, 115 & 117 both the Building Department and the Fire Department will need to re-inspect, when they are leased, before the Certificate of Occupancy will be issued.

John Kerce

Building & Zoning Coordinator

John D. Kerce

BOARD MEETS FIRST THURSDAY AT 7:00 P.M.
AND THIRD THURSDAY AT 7:00 P.M.

Village Square Blog. #1

- 1. Moes Suite # 101
- 2. Moon Timo Suite # 103
 - 3. The Lamplighter Shoppe Suite # 105 ; 107
- 4. Deamond Mails Suite # 109
- 5. Sweet Dreams Lingerie Suite # 111

Suite numbers 1/3, 1/5 & 1/7 have not been leased out yet.



LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

> Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

John D. Kerce

FROM:

Carlton Tunsil, Assistant Fire Chief

State Fire Inspector License #48544

DATE:

8/3/05

SUBJECT: Fire Safety Inspection

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> Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544



LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Robert Mann

FROM:

Carlton Tunsil, Assistant Fire Chief

State Fire Inspector License #48544

DATE:

7/8/05

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at Moe,s Southwest Grill located at 2941 Suite 101 Lake City, FL. 32055 This Business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544



FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Dustin Crews

FROM:

Nathiel L. Williams

State Fire Inspector License #113360

DATE:

July 21, 2005

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at Moontime Ice Cream, located at 2941 W. US Hwy 90, Suite 102 Lake City, FL. This business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Nathiel L. Williams, Sr.



LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

- Culta 101 Laka Cita El 22051

225 NW Main Blvd., Suite 101, Lake City, FL 32055 Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson Fire Chief **Inspection Division**

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Gayle & Greg Lienemann

FROM:

Frank E. Armijo, Captain

State Fire Inspector License #112877

DATE:

August 1, 2005

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at The Lamplighter Shoppe, located at 2941 W. US 90 #107, Lake City, FL. This Business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544

Frank E. Armijo, Captain



FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Nails

FROM:

Frank E. Armijo, Captain

State Fire Inspector License #112877

DATE:

August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at 2941 W. Hwy. 90, #109 located at Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

> Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544

Frank E. Armijo, Captain



LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil Assistant Fire Chief

> Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:

Amanda R. Johnson

FROM:

Frank E. Armijo, Captain

State Fire Inspector License #112877

DATE:

August 1, 2005

SUBJECT:

Fire Safety Inspection

A fire safety inspection was performed today at Sweet Dreams Lingerie, located at 2941 W. US Hwy 90, Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief State Fire Inspector License #48544

Frank E. Armijo, Captain



FAY

LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.п.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

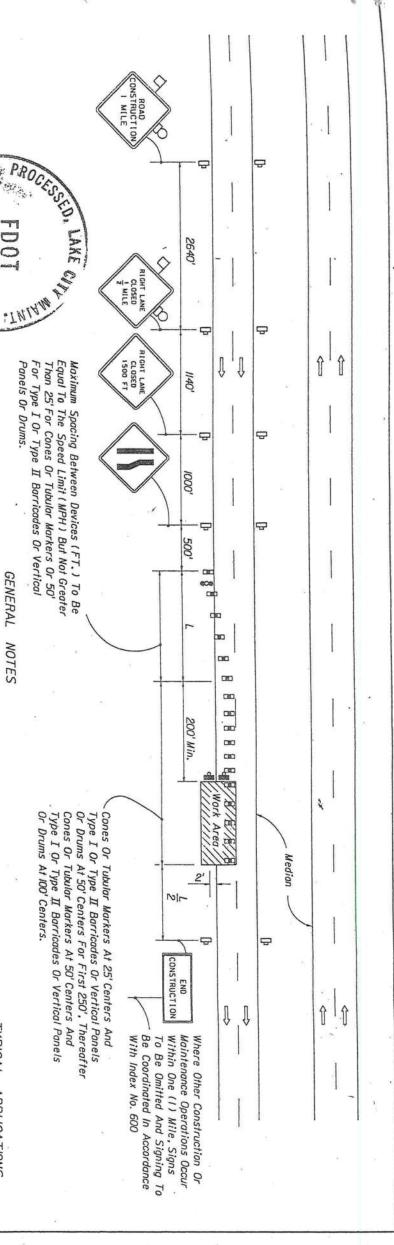
Carlton A. Tunsil Assistant Fire Chief

Frank E. Armijo Captain

Nathiel L. Williams, Sr. Driver/Engineer

TO:	John Kerce	FROM:	Cept. Fr	wk Ami
FAX:	758-2160	FAX:	719-546	0
PHONE:		PHONE:		
SUBJECT:	Tre Inspection	DATE:	July 22; 2005	Agust 1,20
COMMENTS:	That you	En you	14/11.	- J*22 /2 -
				

NUMBER OF PAGES (INCLUDING COVER SHEET):



EPMITS DER

Work operations shall be confined to one traffic lane, leaving the adjacent lane open to traffic.

All vehicles, equipment, workers and their activities are restricted at all times to one side of the pavement.

 The first two warning signs, each side, shall have a 18" x 18" (min.) orange flag and a Type B light attached and operating at all times.

Work Area

SYMBOLS

 \Diamond

Sign With IB" x IB" (Min.) Orange Flag And Type B Light

- 4. All signs shall be post mounted if the closure time exceeds
- On undivided highways the median signs as shown are to be omitted.
- 6. When work is performed in the median lane on divided highways the barricading plan is inverted and left lane closed and lane reduction signs substituted for the right lane closed and lane reduction signs.

The same applies to undivided highways with the following exceptions: (a) Work shall be confined within one median lane. (b) Additional barricades, cones, or drums shall be placed along the centerline abutting the work area and across the trailing end of the work area.

When work on undivided highways occurs across the centerline so as to encroach on both median lanes, the inverted plan is applied to the approach of both roadways.

8 9

Advance Warning Arrow Panel

Work Zone Sign

Vertical Panel Or Drum (With Flashing Light) Type I, Type II Or Type III Barricade Or May Be Used During Daylight Only. At Night Only). Tubular Markers Panel Or Drum (With Steady Burning Light Type I Or Type II Barricade Or Vertical

7. Signs and traffic control devices are to be modified in accordance with INERMITTENT WORK STOPPAGE details (sheet 2 of 2) when no work is being performed and the highway is open to traffic.

NOTES

8. L (min.)= Length of taper in feet: = WS for speeds \geq 45 mph = WS for speeds \leq 40 mph

W = Width of lateral transition
S = Posted speed limit (MPH). Width of lateral transition in feet

9 Arrows denote direction of traffic only and do not reflect pavement markings.

- 0 Longitudinal dimensions are to be adjusted to fit field conditions. See Index No. 600.
- 11. When work is being performed on a multilane undivided roadway the signs normally mounted in the median (as shown) shall be omitted.
- When a side road intersects the highway on which work is being performed, additional traffic control devices shall be erected in accordance with other applicable TCZ Indexes.

12

13. For general TCZ requirements and additional information refer to Index No. 600.

TYPICAL APPLICATIONS

Guardrail Work Bridge Repair Utility Work Pavement Repair Pavement Resurfacing

CONDITIONS

WORKERS OR THEIR ACTIVITIES ENCROACH ON THE LANE ADJACENT PAVEMENT AREA 2' OUTSIDE THE EDGE OF TO EITHER SHOULDER AND THE WHERE ANY VEHICLE, EQUIPMENT,

TRAFFIC CONTROL THROUGH WORK ZONES MULTIL ANE . DIVIDED AND UNDIVIDED . RURA		STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION ROAD DESIGN	100
	*	MULTILANE, DIVIDED AND UNDIVIDED & RURA	1

Coal good by COUN : 12/87 NO 87 NG/XNW | 12/81 EXCEEDING ONE DAYLIGHT PERIOD Approved By 1 of 2 613

£

SERMITS DEPT NOV 24 2014

SHEET INDEX

Cover Sheet

General Notes & Typical Section

Site Layout Overall Site Layout

0 0 4

11 12 13 7-9 10

Utility Details

Details

Utility Layout Pond Layout

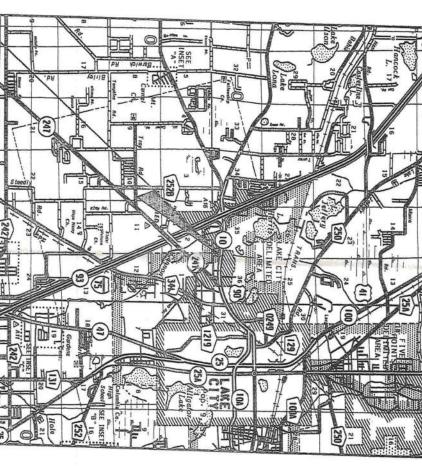
Grading Plan

PROJECT LOCATION

Wetland Creation Sheet

Connection Detail

Maintenance of Traffic Erosion Control Plan Pavement Markings





MONITORING WELL

GROUND CONTOUR

MANHOLE

0

BACKFLOW PREVENTER

X 0

BACKFLOW PREVENTER

* O.

FIRE HYDRANT

WATER VALVE

FIRE HYDRANT WATER VALVE

LIGHT STANDARD POWER POLE

0 00

POWER POLE

IRON PIPE FOUND

CONCRETE MONUMENT FOUND

CONCRETE MONUMENT SET

PROPOSED

RON PIPE SET

EXISTING

LEGEND

TRAFFIC LIGHT CABINET

SINGLE POST SIGN

BENCH MARK

WATER METER

SOIL BORING LOCATION

SEWER

TAP

TREE

D.O.T. MARKER FOUND

CABLE T.V. BOX TELEPHONE BOX

> E (3) 3

HANDICAP PARKING

FLOW ARROW

FINISH ELEVATION

DITCH BLOCK GROUND CONTOUR

 \Diamond

25-0

SYMBOLS & ABBREVIATIONS

CLEANDUT RADIUS UNDERGROUND OVERHEAD TELEPHONE UNDERGROUND E OVERHEAD ELECTRIC ELECTRIC STORM SEWER SANITARY SEWER BASE LINE CENTER LINE PROPERTY LINE TELEPHONE ELECTRIC W CC 至 C F BITUMINOUS COATED CORRUGATED
METAL PIPE CORRUGATED METAL ARC PIPE CORRUGATED METAL PIPE REINFORCED CONCRETE ELLIPTICAL PIPE REINFORCED CONCRETE PIPE OVERHEAD CABLE UNDERGROUND CABLE WATER LINE GAS MANHOLE IRON PIPE LINEAR FEET

PLANS PREPARED FOR:

WESTFIELD GROUP, L'TD. C/O CHARLIE SPARKS P.O. BOX 3566

LAKE CITY, FLORIDA 32056

(904) 755-5110

FIBER OPTIC CA

POLYETHYLENE PIPE

JOB NO. 030821 wes DATE

05/04/04 SHEET NO.

REVISIONS

08/06/2004 - REVISED ISLAND IN REAR 8/26/2004 - STORMMATER BASIN REVISIONS 09/3/2004 WETLAND CREATION REVISION 09/22/04 - REVISED OVERFLOW STRUCTURE

COVER SHEET



BAILEY BISHOP & LANE, INC. P. O. BOX 3717 LAKE CITY, FL 32056-3717 PH. (386) 752-5640 FAX (386) 755-7771 Eng. Lic. 7362 Survey Lic. LB-0006685

NOTE: SUBGRADE SHALL BE COMPACTED TO 100% OF MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM T-99.

SEE GRADING PLAN FOR ELEVATIONS

STABILZE DISTURBED AREAS

"Type S Structural Course 0.10 Gal/ SY Prime Coat 6"Limerock Base Course

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE IN INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR WITH INTENDED IN THE PLANS, THE CONTRACTOR WITH THE WORK.

THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SUWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT. FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.

3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.

4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A GERRENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.

5. THE SITE IS LOCATED IN SECTION 35. TOWNSHIP 3 SOUTH. RANGE 16 EAST. COLUMBIA

6. CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE DWNER HAS ACCEPTED OPERATION AND MAINTENANCE. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH CHAPTER 408-4 F.A.C. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1

ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND OUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS, FOR THE MIXTURE THOUSE FOR THE MIXTURE THOUSE. FOR THE MIXTURE THOUSE FOR THE MIXTURE THE MIXTURE THE MIXTURE OF TO POUNDS OF APRIL THOUGH AUGUST, THE MIX SHALL CONSIST OF TO PER ACRE OF WINTER RYE. FOR THE MONTHS OF POUNDS PER ACRE OF MIXTURE OF MILLET.

10. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. DNLY AS NOTED IN THE PLANS.

12. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY WATER AND WASTEWATER UTILITY STANDARDS. 11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.

14. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COLUMBIA COUNTY LAND
DEVELOPMENT REGULATIONS.
16. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS
PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO
COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED
TO MANHOLE CORING. WET TAPS. PAVEMENT REPAIRS AND DIRECTIONAL BORING.

16. THE DRIVEWAY CONNECTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA CONSTRUCTON OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE ROADWAY AND TRAFFIC DESIGN STANDARDS (CURRENT EDITION). CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

17. THE TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CURRENT EDITION) AND THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS (CURRENT EDITION). ACCORDING TO STATE INDEXES 17302 & 17346. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC LEAD-FREE PAINT.

19. THE CONTRACTOR SHALL OBTAIN THREE DENSITY TESTS ACCORDING TO THE FOOT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION (CURRENT EDITION). LIMEROCK SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T 180. A COPY OF THE TESTS SHALL BE SUBMITTED TO FOOT BEFORE STARTING ANY PAVING OPERATIONS. 18. MAINTENANCE OF TRAFFIC SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS 600 & 625.

20. ALL AREAS OISTURBED WITHIN FOOT RIGHT-OF-WAY SHALL BE RESODDED WITH CERTIFIED COASTAL BERMUDA GRASS SOD. ALL SOD SHALL BE INSTALLED TO FOOT SATISFACTION

STABILZE DISTURBED AREAS

722. ALL AREAS OF THE STATE RIGHT-OF-WAY W PROPOSED FINISHED GRADE SLOPE OF 1:4 OF STEEP SERTIFIED COASTAL BERMADDA GRASS OR AN FOOT AP PROVISIONS SHALL BE MET A MINIMUM OF 24 HOURS CONCRETE FOUR THAT IS APPROVED UNDER THE FOOT THE ATTACHED PERMIT COVER LETTER AND/OR APPROVEN THE ATTACHED PERMIT COVER LETTER AND/OR APPROVENCE OF THE PROVISION FOR ADDITIONAL RESTORATION PROVISIONS. WITHIN THE LIMITS OF CONSTRUCTION WITH PROVED ALTERNATIVE GRASS SOD. THIS IN ADVANCE OF ANY PLANNED PAYING OR ACCESS OR DRAINAGE PERMIT, REFER TO VED SITE PLAN OR PLAN NOTES ON RAY! IONS AND OTHER SODDING

24. ALL PERMITTED AND PROPOSED WORK/CONSTRUCTION UPON STATE FOOT RIGHT-OF-WAY SHALL CONFORM TO THE STATE OF FLORIDA'S MOST CURRENT ROADWAY AND TRAFFIC DESIGN STANDARDS MANUAL AND THE STATE FOOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE APPROVED PERMIT PROVISIONS. COVER LETTER AND GENERAL AND

THE

76. ABOVEGROUND POSTED SIGNS AND SIGN BRACKET ATTA. THE FINAL DRIVEWAY CONSTRUCTION IN ACCORDANCE L CONFORM TO FOOT INDEX NO. 11860 AND ICHMENTS SHALL BE INSTALLED PRIOR TO WITH FOOT INDEXES 11860 AND 17302.

27. FAILURE TO ABIDE BY THE ATTACHED GENERAL. SPECIAL ATTACHED COVER LETTER (A LEGAL PART OF THE PERMIT.) SHALL OR ALL FOOT APPROVED PERMITTED ACTIVITIES UNTIL SUCH TIME BEEN CORRECTED TO FDOT SATISFACTION. PERMIT PROVISIONS AS WELL BE REASON TO SUSPEND ANY THAT THE SITUATION HAS AS

28. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES. INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.

JECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T.
OR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE
(CURRENT EDITION) UNLESS OTHERWISE NOTED.

AVIVEWAYS
ABOVE RESTORATION
INSPECTION BY
O PROJECT.

CONTACT THE LOCAL STATE OF FLORIDA OVER TIS APPROVED PERMIT; A 1110N OF SAID ACCESS PERMIT FOR CONSTRUCTION MEETING WITH ALL FRIDAY, 7:00 A.M. TO 5:00 RUCTION CONTRACTOR'S PART TO MISTRUCTION MEETING SHALL BE

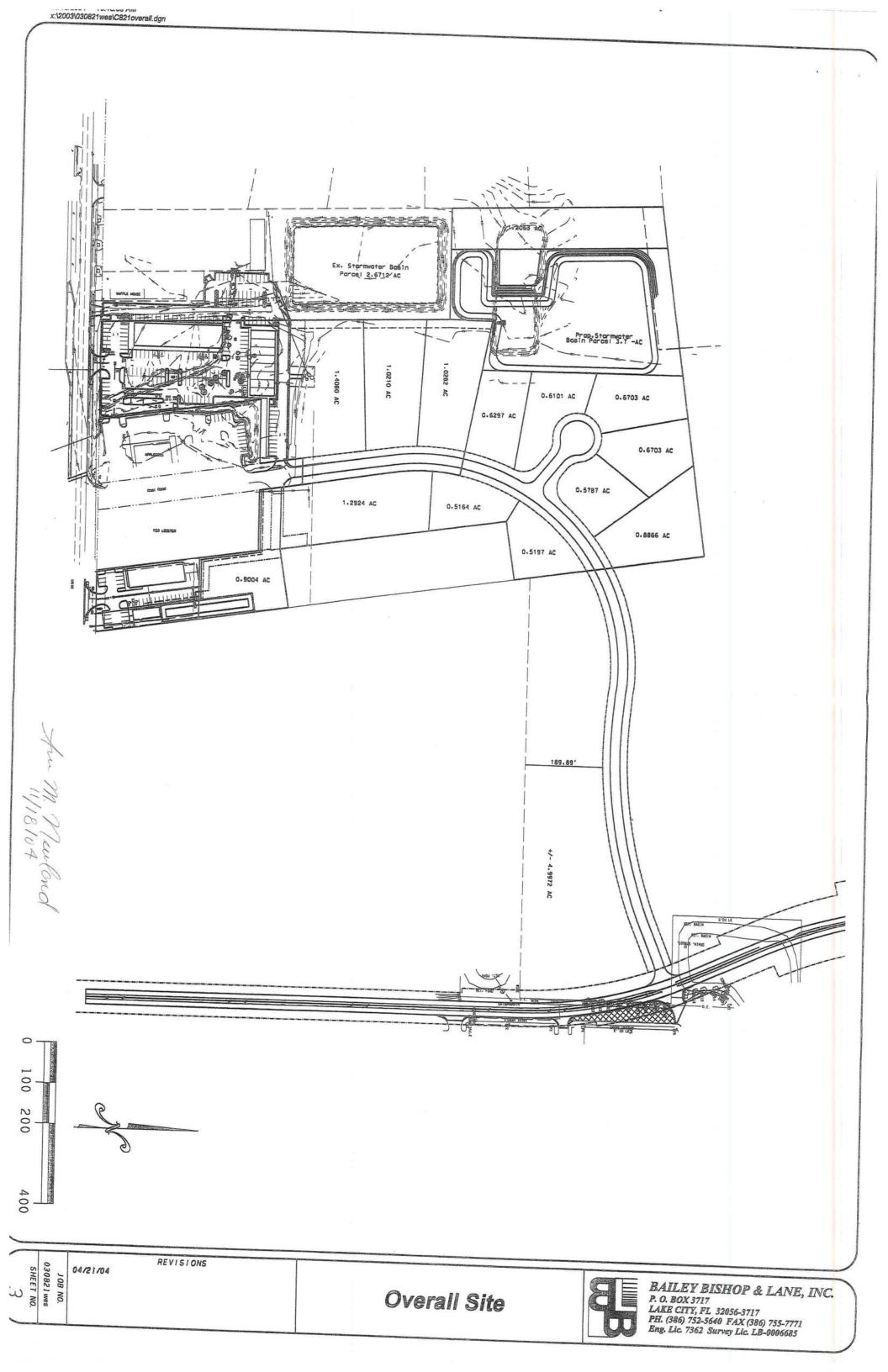
APPROVED FORT INAGE CONNECTION HAS BEEN PERMITTED APPROVED FOOT SITE PLAN AND PHYSICAL DRAINAGE CONFOCT STRUCTURES; THEN AND PHYSICAL BRAINAGE CONFOCT STRUCTURES; THE ACTUAL ENTRY SHALL BE WITH NO MORE THAN MAXIMUM OF 0.500 OF AN INCH OWE MAKE ADVANCE PREPARATIONS TO HAVE THE FOOT PERMITOR FOR ANY REPRESENTATIVE OF INFECTIOR BE APPROVED OR REQUIRED PAVEMENT MARKINGS SHALL BE CHERMOPLASTIC MATERIALS IN ACCORDANCE WITH FOOT PAVEMENT MARKINGS.

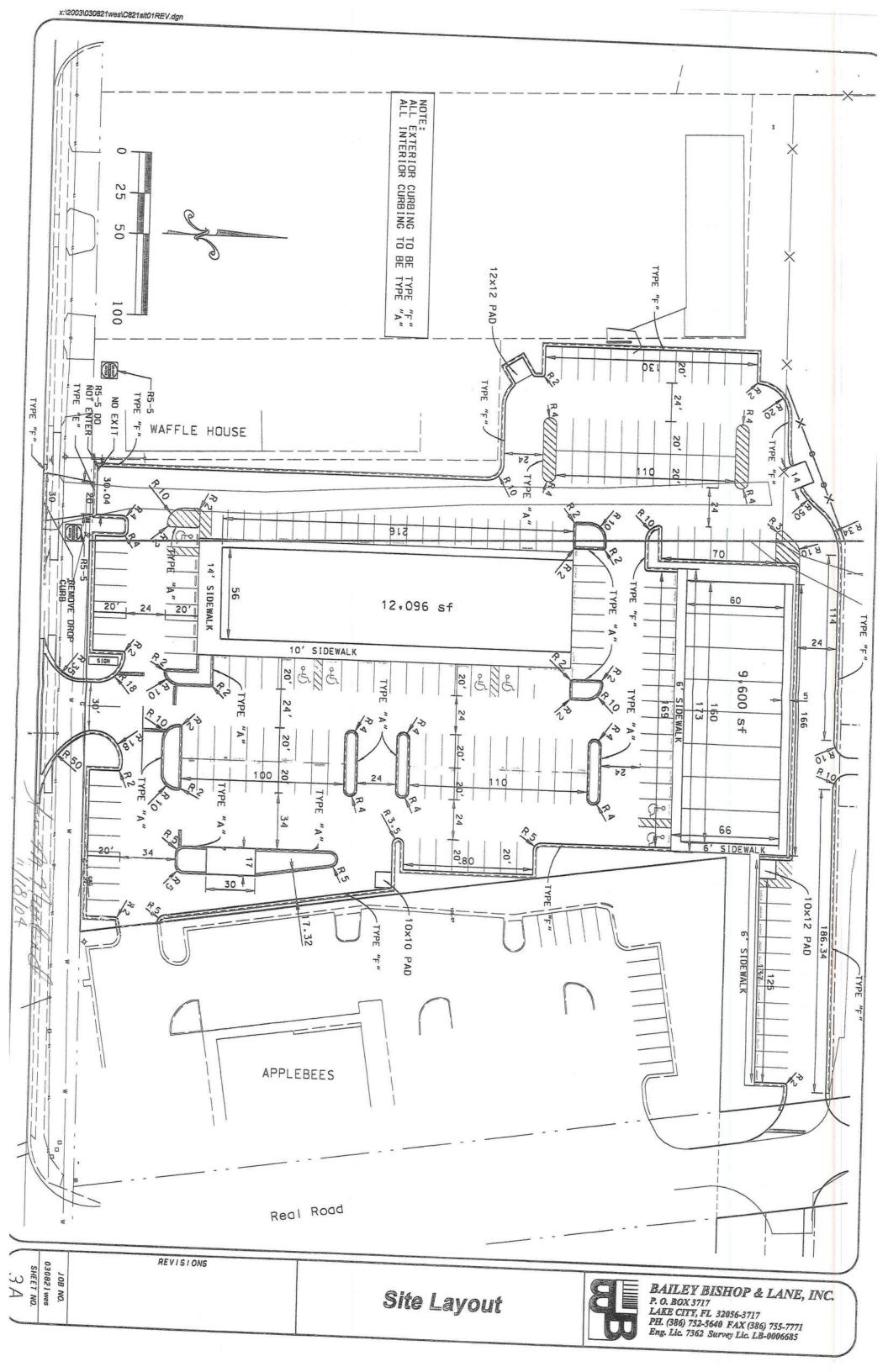
19. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER NETT F.A.C. FOR THE STORMMATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND BELIMEATED RELATIVE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE MAPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. SUBMIT THE SURVEY TO

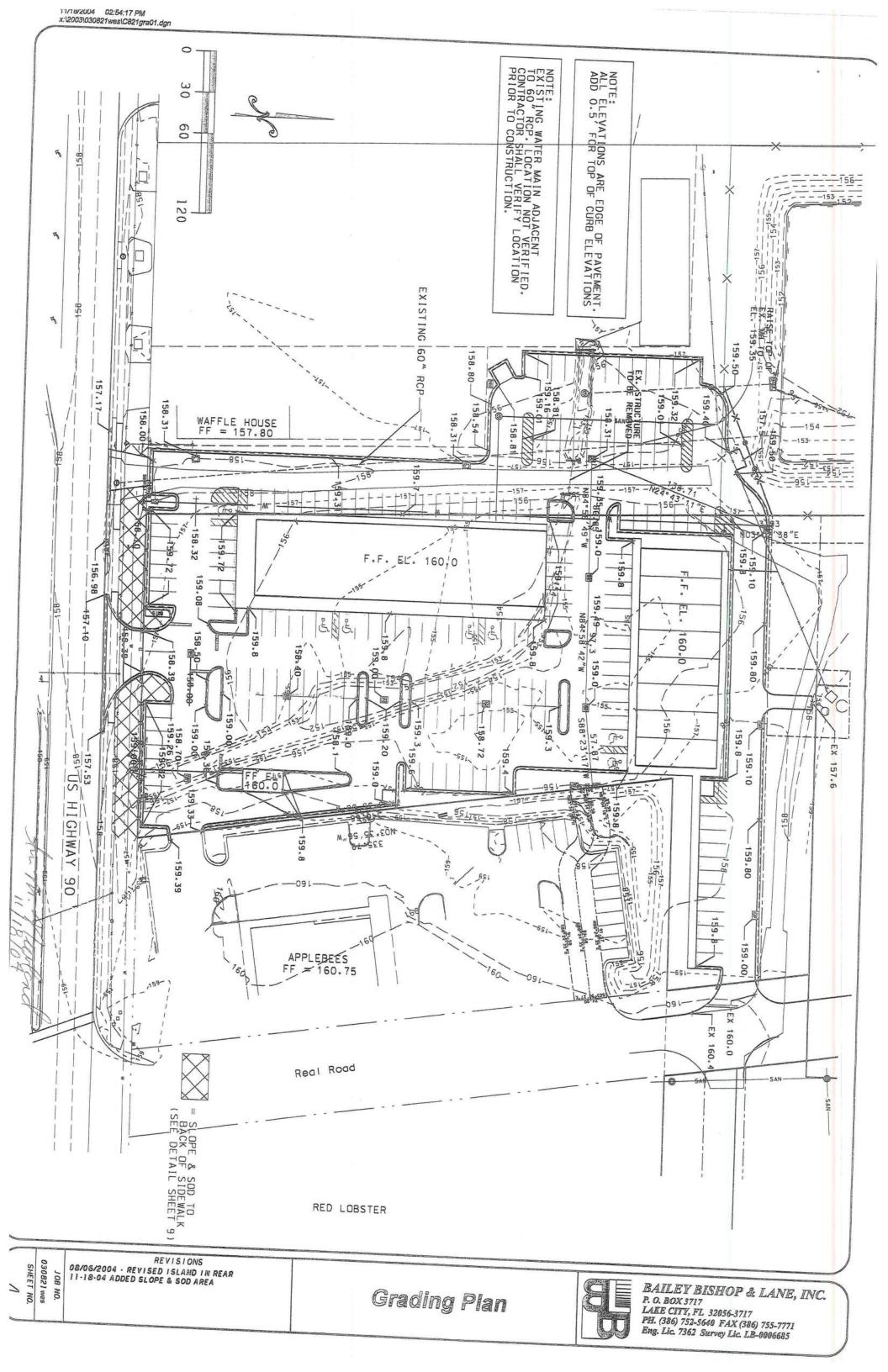
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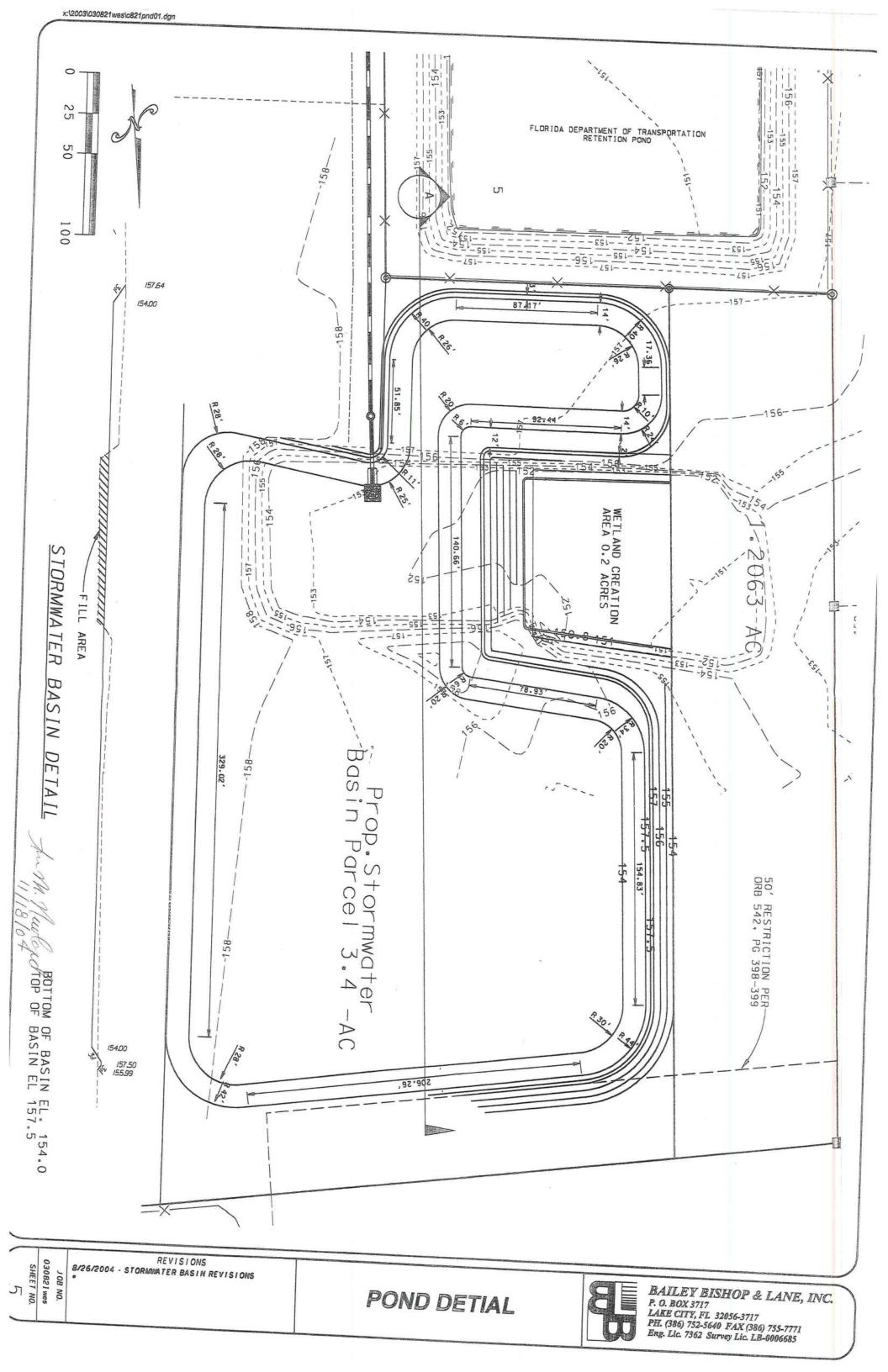
General Notes & Typical Section

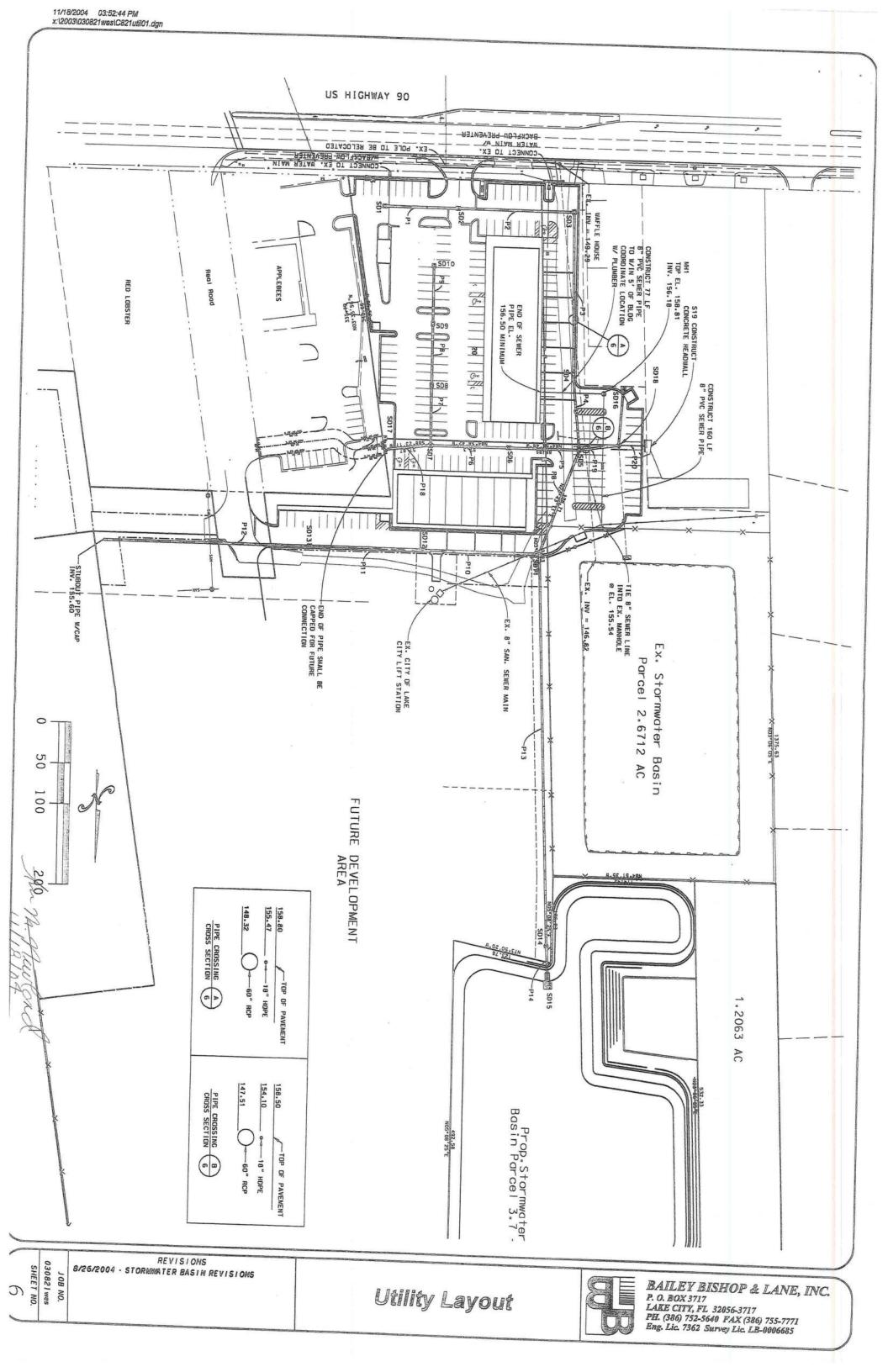












TYPE D INLET AND GRATE DETAIL

See Index No. 201, Sh. 4 & 5 For Reinf. Mad. For Depths 13' To 15'

Recommended Maximum Pipe Size:
3'-!" Wall-24" Pipe
4'-!" Wall-36" Pipe PLAN

2" CI. Grate SECTION 2" CI. ex 201 #4 Bars @ 12" Ctrs. 12 3'-1" 8"

24"

8" | Varies - 15' Max.

NOTICE: Steel Grates Are Required On Inlets With Traversable Slats And On Inlets where Bicycle Traffic Is Anticipated. Straight Bars 2"x 書" Reficuline Bars 14" x 書" Bands 12" x 4" Approx. Weight 180 Lbs.

Expansion joint, preformed joint filler and joint seal are required between curbs and concrete pavement only, see diagram right. 2'-113" 14 Spaces @25"
15 Bars @ 3"
Band 4'-45"

Note: For use adjacent to concrete or flexible pavement, concrete shown.

2" Exp. Joint And Preformed Joint Filler

Concrete Pavement

Jaint Seal

LOCATION

LENGTH

NOTES

STORM PIPE SUMMARY

Same Slope As Adjacent Pavement

1. For curb, gutter and curb and gutter provide $\frac{1}{8}^n - \frac{1}{4}^n$ contraction joints at 10' centers (max.). Contraction joints adjacent to concrete powement on tangents and flot curves are to match the pavement joints, with intermediate joints not to exceed 10' centers. Curb, gutter and curb & gutter expansion joints shall be located in accordance with Section 520 of the standard specifications.

GENERAL NOTES

TYPE F 2'-0" 1'-0"

6" 6"

7 1 Std. 8 Min. *

Pip.

P20	P19	PIB	P17	P16	P15	P14	P13	P12	P17	PIO	- Pd	B4	P7	P6	P5	P4	P3	P2	P1	NUMBER
60"RCP	18"HDPE						36"HDPE	24"HDPE	30"HDPE	36"HDPE	18"HDPE	18"HDPE	18"HDPE	24"HDPE	24"HDPE		18"HDPE	18"HDPE	18"HDPE	DE:
SD - 18 TO HEADWALL	SD - 5 TO SD - 18	SD - 7 TO STUBOUT	SD - 18 TO SD - 19	SD - 17 TO SD - 18	1	SD - 14 TO SD - 15	SD - 11 TO SD - 14	SD - 13 TO STUBOUT	SD - 12 TO SD - 13	SD - 11 TO SD - 12	SD - 9 TO SD - 10	1	SD - 7 TO SD - 8	SD - 6 TO SD - 7	SD - 5 TO SD - 6	SD - 4 TO SD - 5	SD- 3 TO SD - 4	SD- 2 TO SD - 3	SD-1 TO SD-2	LOCATIO

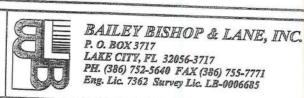
	149.00							
	149.84	154.10	153.00	153.00	128.65		HE ADWAL I	S19
53.50 TOP ELEVATION I	153.50				130.00	The second of th	TYPE "J" JUNCTION BOX	818
53.50 TOP ELEVATION I	153.50				130.00	BY APPLEAGE, S POND	"C" DBI W/ TRAV. SLOT	S17
		154.00			186 00	BY WAFFI F HOUSE	"C" DBI W/ TRAV. SLOT	S16
	154.10	154.10			100.00		36" MES	S15
	155.50	155.50			150.00		JUNCTION BOX	S14
	155.25	155.25			129.10		Type "D" Inlet	S13
	154.50	154.50			150 10		Type "D" Inlet	S12
	155.90	155.90			04.00.10		Type "D" Inlet	S11
	155.79	155.79			150.00		Type "D" Inlet	S10
	155.68	155.68			15000		Type "C" Inlet	9
	155.57	155.57			150.00		Type "D" Inlet	88
	155.43	155.43			150.00		Type "C" Inlet	S7
	154.70	154. 70	134,70		150 00		Type "C" Inlet	98
	155.47	155.47	05 436		15B 24		SMART BOX	55
	155.81	155.81			157.97		Type "D" Inlet	54
	156.05	156.05			959 39		Type "D" Inlet	S3
	156.20				150 00		Type "C" Inlet	S2
	TUD	Z	IN	IN	158 70		Type "C" Inlet	S1
		INVERTS	1.	T	TOP ELEV.	LOCATION	DESCRIPTION	NUMBER
								TRICTURE
				UMMARY	STORM STRUCTURE SUMMARY	STORM		

	SECTION A-A		155,30	12" ELBDW W/ 10, 20" HOLE IN CAP	TOP OF STRUCTURE
STRUCTURE SD-5 DETAIL SMART BOX		154.70		18" PE PIPE	158.31
	>	6,	HOLE IN CAP		>
18" PE PIPE				PIPE	PIPE

u m	
8	REVISIONS 8/26/2004 - STORMMATER BASIN REVISIONS
0	09/22/04 REVISED SD-5
1	1-18-04 UPDATED INVERTS TO SIS

JOB NO. 030821 was SHEET NO.

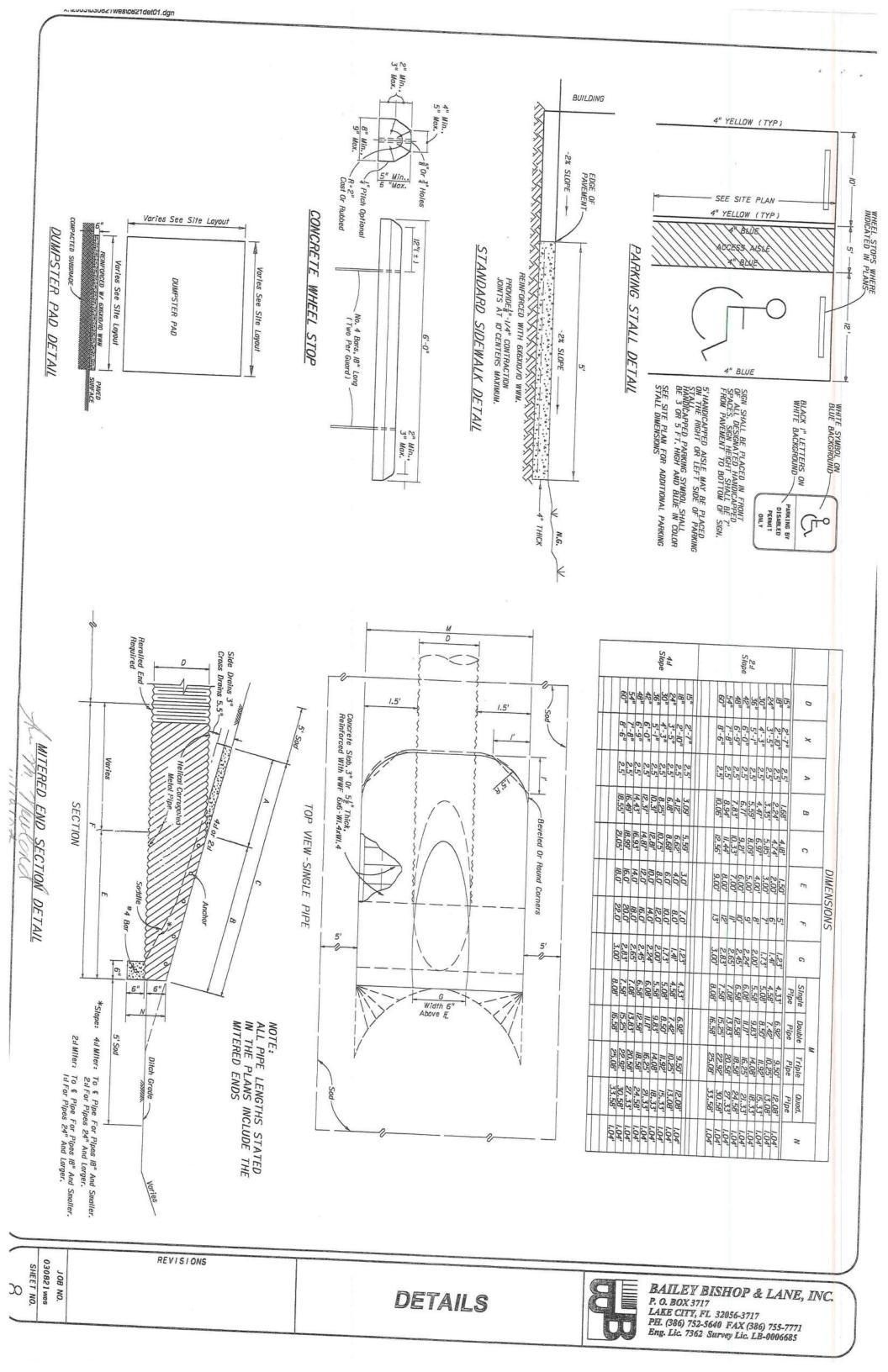




ELEVATION OF

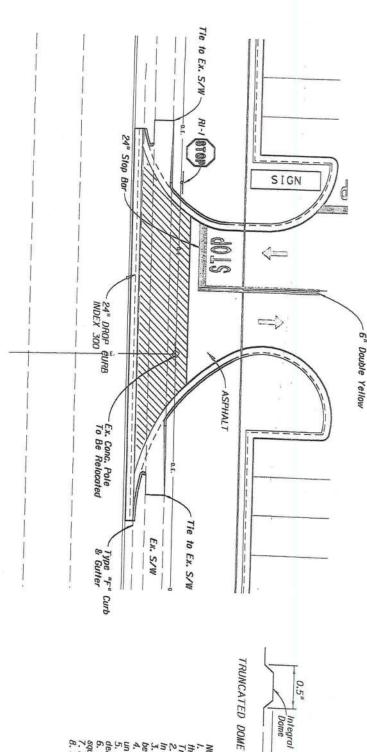
SLOT

NOTES



SLOPE & SOD TO BACK OF SIDEWALK DETAIL

2% SLOPE



1. TYPE "F" CURB AND GUTTER, F.D.O.T. INDEX 300
2. DROP CURB AND GUTTER, F.D.O.T. INDEX 300
3. A.D.A. SIDEWALK RAMP, F.D.O.T. INDEX 304
4. MITERED ENDS, F.D.O.T. INDEX 273
5. SINGLE POST SIGNS (STOP RI-1), F.D.O.T. INDEX IT302
6. 24" WHITE STOP BAR, F.D.O.T. INDEX IT346
7. 6" DOUBLE YELLOW LANE SEPARATION, F.D.O.T. INDEX IT346

REFER TO THE FOLLOWING FDOT INDEXES FOR INFORMATION AND DETAILS:

2. ALL CEMENT CONCRETE SHALL BE FROM AN APPROVED AND CERTIFIED F.D.O.T. BATCH PLANT, WITH ALL CONCRETE MATERIALS HAVING A MINIMUM COMPRESSIVE STRENGTH CURRE- OUT OF 3000 P.S.I. OR GREATER AT 28 DAYS. IF CEMENT CONCRETE IS PLANNED FOR HATCHED AREA, THE MINIMUM MEASURED THICKNESS SHALL BE 6 INCHES OR GREATER, UNLESS OTHERWISE SPECIFIED BY APPROVED PERMIT. CEMENT CONCRETE A.D.A. RAMPS MUST CONFORM TO THE STATE'S MOST CURRENT INDEXES. I. F.D.O.T. TYPE "F" CURB & GUTTER, INCLUDING RADII AND DROP CURB SHALL BE POURED IN ONE CONTINUOUS PIECE.

3. F.D.O.T. APPROVED (3 FOOT WIDE) LIGHTED BARRYCADES MUST BE USED WHENEVER THE CURB AND GUTTER IS LEFT OPEN OVER-NIGHT WITHIN STATE F.D.O.T. RIGHT-OF-WAY AND SHALL BE ON SITE BEFORE ANY WORK CAN COMMENCE. ANY DROP-OFFS MUST BE 2 INCHES OR LESS, EARTH OR LIMEROCK MATERIAL SHALL BE PLACED DOWN A MINIMUM OF 10 FEET WIDE FROM EDGE-OF-PAVEMENT OUTWARD TO MEET THE ABOVE REQUIREMENT.

4. REFER TO THE F.D.O.T. 2000 ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX MANUAL AND THE MOST CURRENT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION MANUAL FOR ADDITIONAL INFORMATION.

Detectable Warning Material Concrete Landing 0.02 Max. Slope

SIDEWALK CURB RAMP

DRIVEWAY PIT DROP CURB WRB & GUTTER Std.

REVISIONS

NOTES:

All Sidewalk Curb Ramps shall have Detectable Warning Surface that extend the full width of the Ramp and in the direction of Travel 24° from the Back of Curb.

On Ramps perpendicular with Curb Line. Dame Pattern shall be in-Line with Direction of Travel.

On Ramps Intersecting Curbs on a Radius, Dame Pattern shall be in-Line with Direction of Travel (To the Extent Practical) be in-Line with Direction of Travel (To the Extent Practical).

A. The ramp detectable warning surface shall be complete and uniform in color and texture.

5. 90% of the individual truncated dames must comply with the

0 0 0

0 0 0

0 0 0

0 Q 0

Shall be In-Line with direction of travel

See Detail

PLAN VIEW

No two adjacent domes may be non-compliant. Surface may not deviate more than O.1" from a true

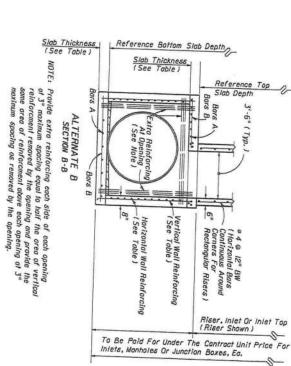
plane.

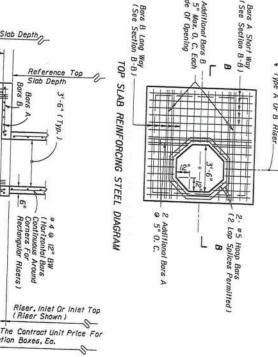
e may be no more than 4 non-complying domes in any I foot of surface.

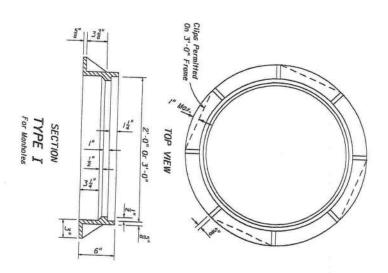
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J OB NO. 030821 was

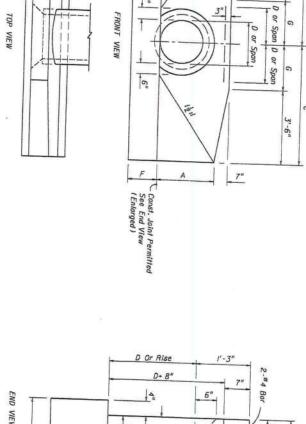
GENERAL NOTES

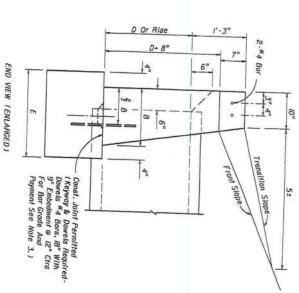




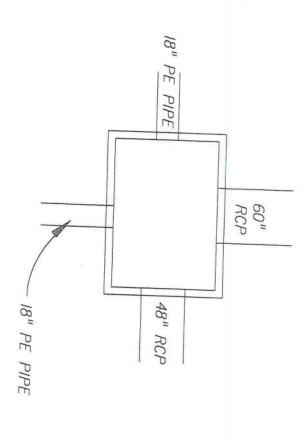


ENDWALL DIMENSIONS (EXCLUSIVE OF MULTIPLE PIPE SPACING)





STRUCTURE SD18



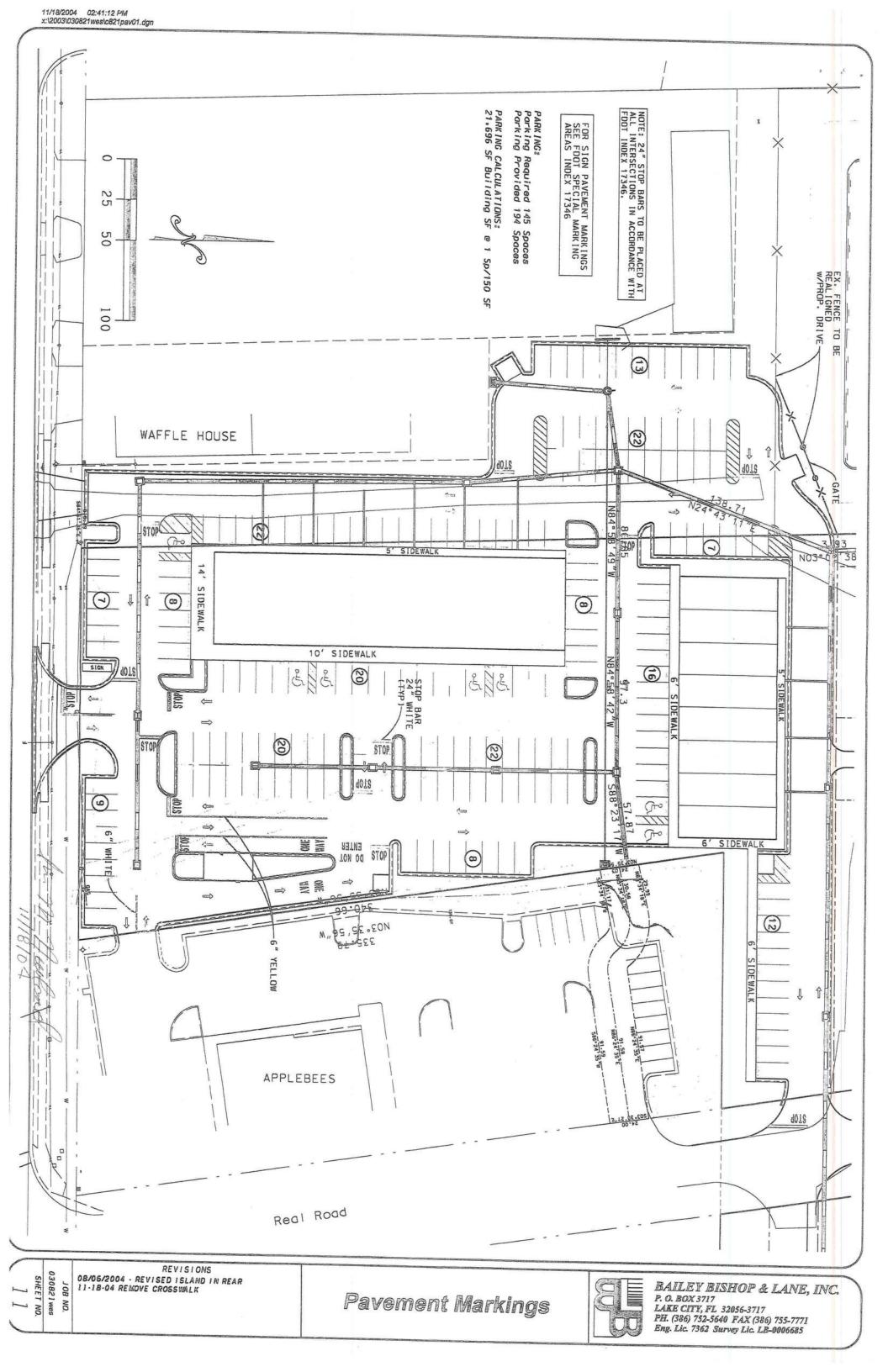
JOB NO.
030821 wes
SHEET NO.

REVISIONS

11/22/04 REVISED S-18 DETAIL PER DOT

Utility Details





7

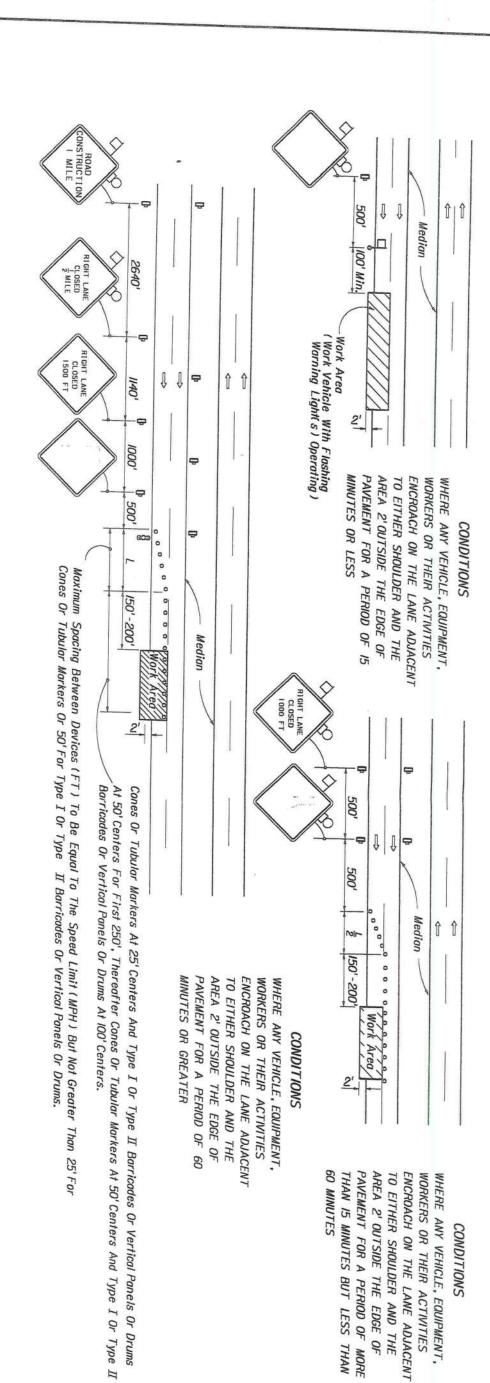
Flagger

-

Work Zone Sign

800

Advance Warning Arrow Panel



GENERAL NOTES

Work operations shall be confined to one traffic lane, leaving the adjacent lane open to traffic.

N

Work Area

SYMBOLS

♦

Flag And Type B Light

Sign With 18"x 18" (Min.) Orange

0

Or Cone Or Tubular Marker Or Drum

Type I Or Type II Barricade Or Vertical Panel

All vehicles, equipment, workers, and their activities are restricted at all times to one side of the pavement.

The first two warning signs, each side, shall have an I8"x I8" (min.) orange flag and a Type B light attached and operating at all times.

Mesh signs may be used for (Daylight Only) operations. Type B Lights and Orange Flags are not required.

On undivided highways the median signs as shown are to be amitted.

6. When work on undivided highways occurs across the centerline so as to encroach on both median lanes, the inverted plan is applied to the approach of both roadways. When work is performed in the median lane on divided highways the barricading plan is inverted and left lane closed and lane reduction signs substituted for the right lane closed and lane reduction signs. The same applies to undivided highways with the following exceptions:
(a) Work shall be confined within one median lane. (b) Additional barricades, cones, or drums shall be placed along the centerline abutting the work area and across the trailing end of the work area.

The RIGHT (LEFT) LANE CLOSED signs are to be removed or fully covered when no work is being performed and the highway is open to traffic.

B. L (min.)=Length of taper in feet:
= WS for speeds ≥ 45 mph
= WS² for speeds ≤ 40 mph

Arrows denote direction of traffic only and do not reflect pavement markings.

Longitudinal dimensions are to be adjusted to fit field conditions. See Index No. 600.

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9.

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This TCZ plan does not apply when work is being performed the middle or inside lane(s) of a six or more lane highway. See Indexes Nos. 616 and 617.

For general TCZ requirements and additional information, refer to Index No. 600. entone

4.

13.

12.

Where:
W=Width of lateral transition in feet S=Posted speed limit (MPH).

When work is being performed on a multilane undivided roadway the signs normally mounted in the median (35 shown) shall be

When a side road intersects the highway on which work is being performed additional traffic control devices shall be erected in accordance with other applicable TCZ Indexes.

TYPICAL APPLICATIONS

Guardrail Work Utility Work Pavement Coring And Straight Edging Bridge Repair Pavement Repair Pavement Resurfacing

REVISIONS

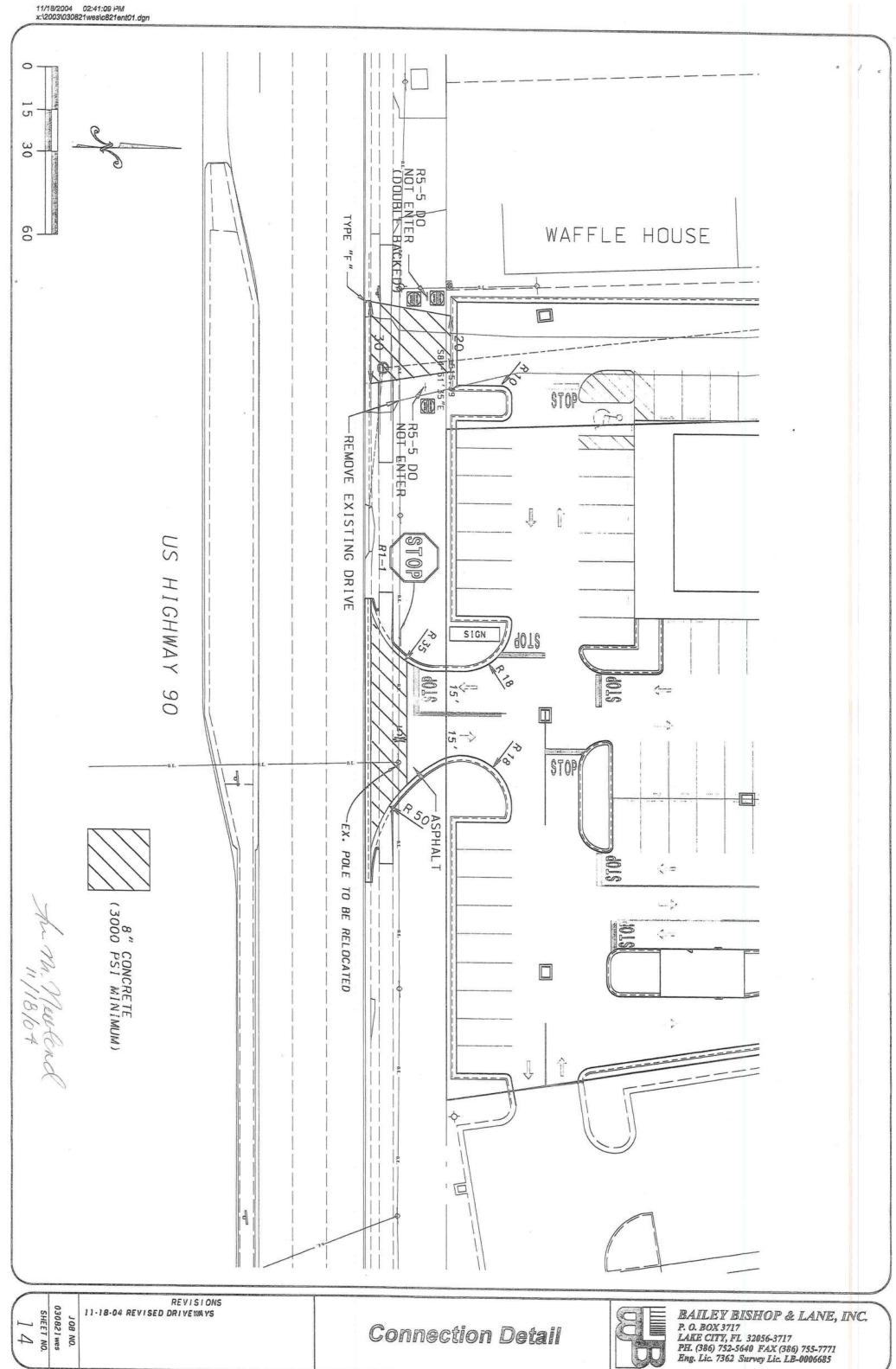
MAINTENANCE OF TRAFFIC



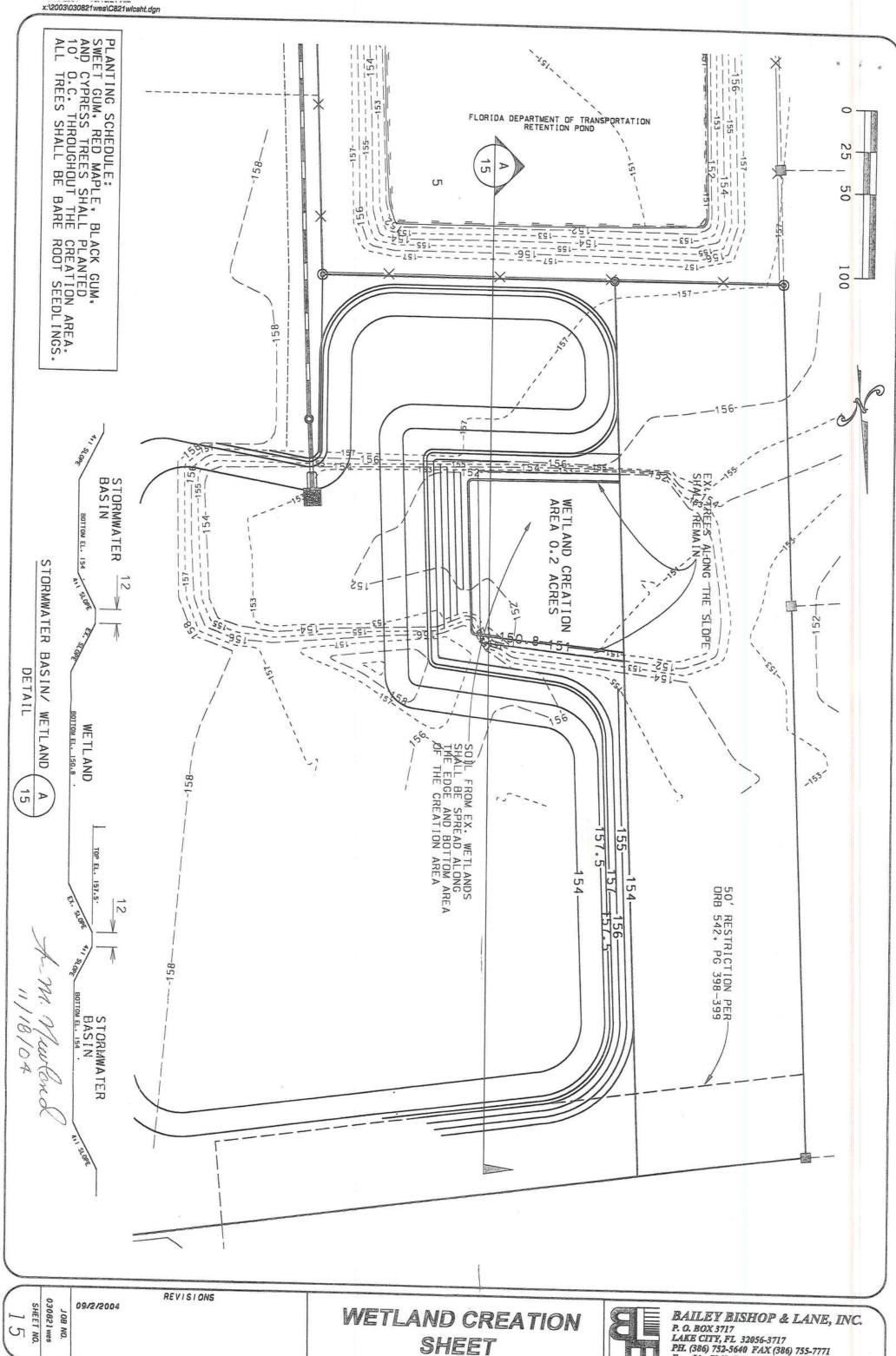
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030821 wes SHEET NO.

JOB NO.

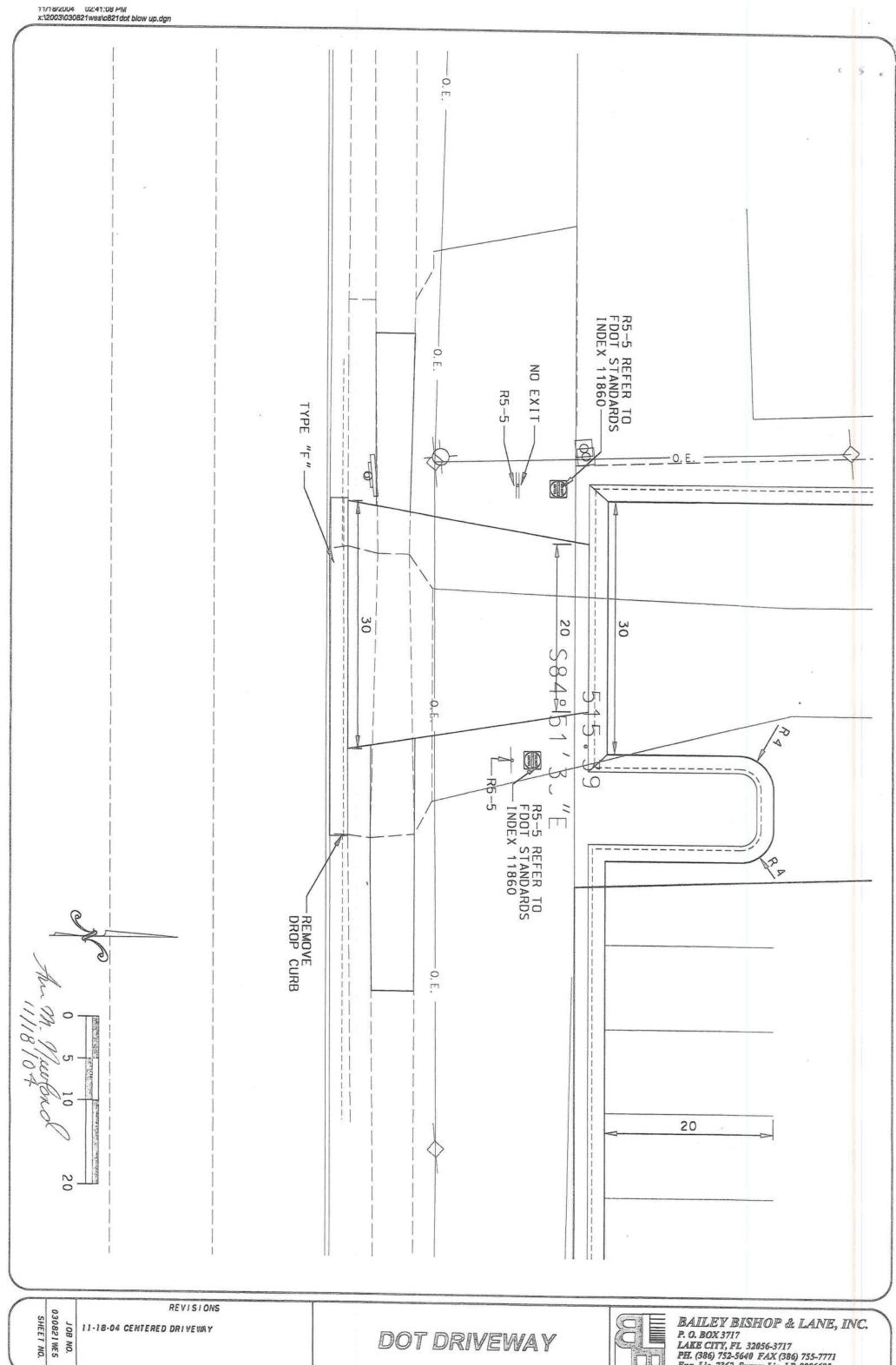


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