

DATE 01/20/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022713

APPLICANT DAVID SIMQUE PHONE 386.719.7262
ADDRESS 2941 W US HIGHWAY 90 LAKE CITY FL 32055
OWNER WESTFIELD GROUP PHONE 386.755.0757
ADDRESS 2941 W US HIGHWAY 90 LAKE CITY FL 32055
CONTRACTOR DAVID SIMQUE PHONE 386.719.7262
LOCATION OF PROPERTY HIGHWAY 90 BETWEEN WAFFLE HOUSE & APPLEBEES ON
THE NORTH SIDE.

TYPE DEVELOPMENT COMM. SHOPPING CTR ESTIMATED COST OF CONSTRUCTION 1 Million
HEATED FLOOR AREA 12096.00 TOTAL AREA 13826.00 HEIGHT 27.00 STORIES 1
FOUNDATION CONC WALLS STEEL ROOF PITCH 4'12 FLOOR CONC
LAND USE & ZONING COMMERCIAL MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 20.00 REAR 15.00 SIDE .00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 35-3S-16-02585-006 SUBDIVISION VILLAGE SQUARE
LOT _____ BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 10.00

Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number CBC056158 Applicant/Owner/Contractor [Signature]
FDOT APPROVED X-04-0327 BLK BLK JDK N
Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: SDP 04-6

1 FT ABOVE RD

Check # or Cash 1038

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by _____ Foundation _____ date/app. by _____ Monolithic _____ date/app. by _____
Under slab rough-in plumbing _____ date/app. by _____ Slab _____ date/app. by _____ Sheathing/Nailing _____ date/app. by _____
Framing _____ date/app. by _____ Rough-in plumbing above slab and below wood floor _____ date/app. by _____
Electrical rough-in _____ date/app. by _____ Heat & Air Duct _____ date/app. by _____ Peri. beam (Lintel) _____ date/app. by _____
Permanent power _____ date/app. by _____ C.O. Final _____ date/app. by _____ Culvert _____ date/app. by _____
M/H tie downs, blocking, electricity and plumbing _____ date/app. by _____ Pool _____ date/app. by _____
Reconnection _____ date/app. by _____ Pump pole _____ date/app. by _____ Utility Pole _____ date/app. by _____
M/H Pole _____ date/app. by _____ Travel Trailer _____ date/app. by _____ Re-roof _____ date/app. by _____

BUILDING PERMIT FEE \$ 5000.00 CERTIFICATION FEE \$ 69.13 SURCHARGE FEE \$ 69.13
MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ _____ WASTE FEE \$ _____
FLOOD ZONE DEVELOPMENT FEE \$ _____ CULVERT FEE \$ _____ TOTAL FEE 5,188.26
INSPECTORS OFFICE [Signature] CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0412-25 Date Received 12/8/04 By JW Permit # 22710
 Application Approved by - Zoning Official BLK Date 12/12/04 Plans Examiner _____ Date _____
 Flood Zone X Development Permit N/A Zoning CG Land Use Plan Map Category Com
 Comments SOP 04-6

Applicants Name David J. Simanek Phone 386-719-7262
 Address P.O. Box 2962 Lake City, FL 32056
 Owners Name Westfield Group Phone 386-255-0757
 911 Address 2941 W. US Highway 90 Lake City, FL 32055
 Contractors Name Simanek Construction Phone 386-755-7787
 Address P.O. Box 2962 Lake City, FL 32056
 Fee Simple Owner Name & Address Westfield Group
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address Bailey, Bishop, & Lane 484 SW Commerce Dr.
 Mortgage Lenders Name & Address Mercantile Bank - Lake City 32025
 Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
 Property ID Number 35-35-16-02585-006 Estimated Cost of Construction 1000,000.00
 Subdivision Name Village Square Shopping Mall Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions Highway 90 between Waffle House and Applebee's on North side

Type of Construction Metal Building Number of Existing Dwellings on Property None
 Total Acreage 0.00 Lot Size _____ Do you need a Foot Culvert Permit or Culvert Waiver or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 70 Side 40 Side 100 Rear 90
 Total Building Height 24 Number of Stories 1 Heated Floor Area 13,000 Roof Pitch 12/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

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Owner Builder or Agent (Including Contractor) _____

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 6th day of Dec. 2004.
 Personally known ✓ or Produced Identification _____

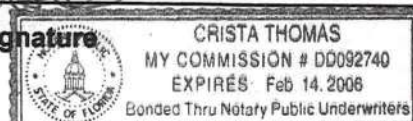
Contractor Signature _____

Contractors License Number _____

Competency Card Number _____

NOTARY STAMP/SEAL

Notary Signature _____



cert. copy 4.50

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst: 2004028144 Date: 12/17/2004 Time: 16:39
mk DC, P. DeWitt Cason, Columbia County B: 1033 P: 1502

PERMIT NO. _____

TAX FOLIO NOS.: 35-38-16-02585-006

NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property:

SEE SCHEDULE "A" ATTACHED HERETO
FOR LEGAL DESCRIPTION

2. General description of improvement: Construction of a retail shopping center.

3. Owner information:

a. Name and address: WESTFIELD GROUP, LLLP a Florida Limited Liability Partnership, Post Office Box 3566, Lake City, Florida 32056.

b. Interest in property: Fee Simple

c. Name and address of fee simple title holder (if other than Owner):

4. Contractor: SIMQUE CONSTRUCTION, Post Office Box 2962, Lake City, Florida 32056.

5. Surety

a. Name and address: None

6. Lender: MERCANTILE BANK, 187 SW Baya Drive, Lake City, Florida 32025.

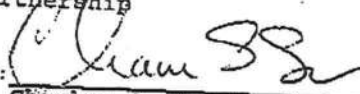
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes: None

8. In addition to himself, Owner designates ROBERT W. TURBEVILLE, Sr. Vice President of MERCANTILE BANK, 187 SW Baya Drive, Lake City, Florida 32025, to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified).
December 17, 2005.

WESTFIELD GROUP, LLLP, a Florida
Limited Liability Limited
Partnership

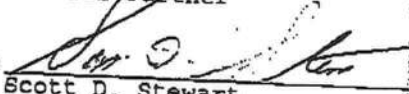
By:


Charles S. Sparks
General Partner

Inst:2004028144 Date:12/17/2004 Time:16:38

DC, P. DeWitt Cason, Columbia County B:1033 P:1503

By:

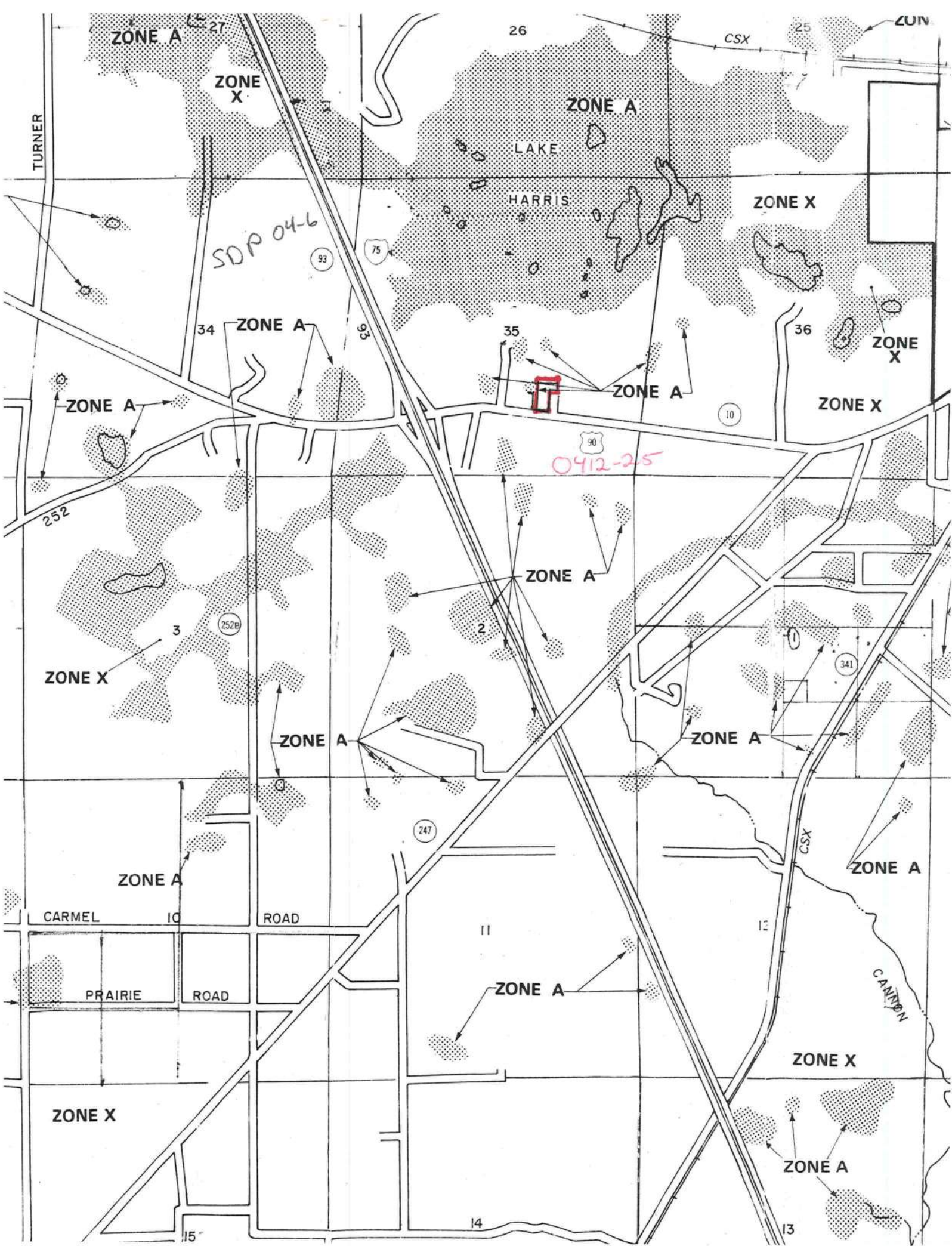

Scott D. Stewart
General Partner

The foregoing instrument was acknowledged before me this 17th day of December 2004, by CHARLES S. SPARKS and SCOTT D. STEWART, General Partners of WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, on behalf of the partnership. They are personally known to me and did not take an oath.


Notary Public

My commission expires:





COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: November 4, 2004

ENHANCED 9-1-1 ADDRESS:

2941 W US HIGHWAY 90 (LAKE CITY, FL 32055)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: _____

PROPERTY APPRAISER MAP SHEET NUMBER: 69C

PROPERTY APPRAISER PARCEL NUMBER: 35-3S-16-02585-006

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: (PROPOSED 12,096 SF BUILDING LOCATION ON PARCEL)

Address Issued By: _____

Columbia County 9-1-1 Addressing Department

**COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED**

New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525
(exp. 10/31/2005)

This form is completed by the licensed Pest Control Company.

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.

Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

22713

Section 1: General Information (Treating Company Information)

Company Name: Aspen Pest Control, Inc.
Company Address: 301 NW Cole Terrace City Lake City State FL Zip 32055
Company Business License No. JB103476 Company Phone No. 386-755-3611
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name: David S. Angus, Inc. Company Phone No. _____

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) 2141 W US Hwy 90
Lake City, FL 32055

Type of Construction (More than one box may be checked) ☒ Slab ☐ Basement ☐ Crawl ☐ Other Monolithic Slab
Approximate Depth of Footing: Outside 0 Inside 0 Type of Fill Gravel

Section 4: Treatment Information

Date(s) of Treatment(s) 1-31-05
Brand Name of Product(s) Used Surround
EPA Registration No. 70907-7-53443
Approximate Final Mix Solution % 0.5%
Approximate Size of Treatment Area: Sq. ft. 12100 Linear ft. 0 Linear ft. of Masonry Voids 0
Approximate Total Gallons of Solution Applied 17010
Was treatment completed on exterior? ☐ Yes ☒ No
Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____

Comments _____

Name of Applicator(s) Steve Brannon Certification No. (if required by State law) JF104376

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature [Signature] Date 1-31-05

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)

Form **NPCA-99-B** may still be used form **HUD-NPCA-99-B** (04/2003)

Reorder Product #2581 • From Crown Graphics, Inc. • 1-800-252-4011

New Construction Subterranean Termite Soil Treatment Record

OMB Approval No. 2502-0525
(exp. 10/31/2005)

This form is completed by the licensed Pest Control Company.

Public reporting burden for this collection of information is estimated to average 15 minutes per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. This information is mandatory and is required to obtain benefits. HUD may not collect this information, and you are not required to complete this form, unless it displays a currently valid OMB control number.
Section 24 CFR 200.926d(b)(3) requires that the sites for HUD insured structures must be free of termite hazards. This information collection requires the builder to certify that an authorized Pest Control company performed all required treatment for termites, and that the builder guarantees the treated area against infestation for one year. Builders, pest control companies, mortgage lenders, homebuyers, and HUD as a record of treatment for specific homes will use the information collected. The information is not considered confidential.

This report is submitted for informational purposes to the builder on proposed (new) construction cases when soil treatment for prevention of subterranean termite infestation is specified by the builder, architect, or required by the lender, architect, FHA, or VA.

All contracts for services are between the Pest Control Operator and builder, unless stated otherwise.

22713

Section 1: General Information (Treating Company Information)

Company Name: Aspen Pest Control, Inc.
Company Address: 301 NW Cole Terrace City Lake City State FL Zip 32055
Company Business License No. JB109476 Company Phone No. 386-755-3611
FHA/VA Case No. (if any) _____

Section 2: Builder Information

Company Name: DAVID STIMQUE Company Phone No. _____

Section 3: Property Information

Location of Structure(s) Treated (Street Address or Legal Description, City, State and Zip) 29411 W. HWY 90 LAKE CITY
DOL. COUNTY FLOR.
Type of Construction (More than one box may be checked) ☐ Slab ☐ Basement ☐ Crawl ☐ Other _____
Approximate Depth of Footing: Outside _____ Inside _____ Type of Fill DIRT

Section 4: Treatment Information

Date(s) of Treatment(s) 4-28-05
Brand Name of Product(s) Used SURRENDER
EPA Registration No. 70907-7-53383
Approximate Final Mix Solution % .5 %
Approximate Size of Treatment Area: Sq. ft. 731 Linear ft. 130 Linear ft. of Masonry Voids 0
Approximate Total Gallons of Solution Applied 100
Was treatment completed on exterior? ☐ Yes ☒ No
Service Agreement Available? ☒ Yes ☐ No

Note: Some state laws require service agreements to be issued. This form does not preempt state law.

Attachments (List) _____
Comments _____

Name of Applicator(s) J. Harroff Certification No. (if required by State law) JF104376

The applicator has used a product in accordance with the product label and state requirements. All treatment materials and methods used comply with state and federal regulations.

Authorized Signature James A Harroff Date 4-28-05

Warning: HUD will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties. (18 U.S.C. 1001, 1010, 1012; 31 U.S.C. 3729, 3802)
Form **NPCA-99-B** may still be used form HUD-NPCA-99-B (04/2003)

TEMPORARY

TEMPERARY OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-3S-16-02585-006

Building permit No. 000022713

Use Classification COMM. SHOPPING CTR

Fire: .00

Permit Holder DAVID SIMQUE

Waste: .00

Owner of Building WESTFIELD GROUP

Total: .00

Location: 2941 W US HWY.SUITE 111(MOE'S)

Date: 07/11/2005



Henry Lee Charles
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-3S-16-02585-006

Building permit No. 000022713

Use Classification COMM. SHOPPING CTR

Fire: .00

Permit Holder DAVID SIMQUE

Waste: .00

Owner of Building WESTFIELD GROUP

Total: .00

Location: 2941 W US HWY 90, LAKE CITY

Date: 08/04/2005

John Kuce

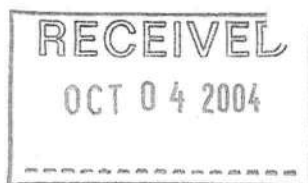
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)





logged



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

GENERAL PERMIT

PERMITTEE:

WESTFIELD GROUP LLLP.
POST OFFICE BOX 3566
LAKE CITY, FL 32056

PERMIT NUMBER: ERP01-0351M

DATE ISSUED: 09/30/2004

DATE EXPIRES: 09/30/2007

COUNTY: COLUMBIA

TRS: S35/T3S/R16E

PROJECT: VILLAGE SQUARE SHOPPING CENTER

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

CHARLES S. SPARKS
WESTFIELD GROUP LLLP.
POST OFFICE BOX 3566
LAKE CITY, FL 32056

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

Previous permit application was withdrawn by the applicant. Modification consists of construction and operation of a surfacewater management system serving 13.62 acres of impervious surface on a total project area of 19.25 acres in a manner consistent with the application package submitted by Bailey Bishop & Lane, Inc. certified on September 22, 2004.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right

to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

Standard Conditions for All General Permits:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities

authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.
6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.
9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.
11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.
13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit

is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in chapter 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988), which is incorporated by reference, unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the specifications in chapter 6 of the Florida Land Development Manual: A Guide to Sound Land and Water Management (Florida Department of Environmental Regulation 1988). The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed

dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;
 - b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;
 - c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
 - d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
 - e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
 - f. Existing water elevation(s) and the date determined; and
 - g. Elevation and location of benchmark(s) for the survey.
24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.
25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.
26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit

does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

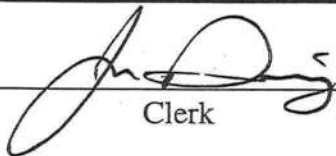
WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by  Date Approved 9/30/04
District Staff

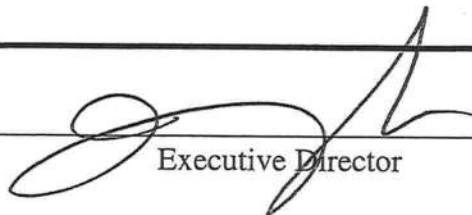
Permit No.: ERP01-0351M

Project: VILLAGE SQUARE SHOPPING CENTER

Page 8 of 8



Clerk



Executive Director



Florida Department of Transportation

JEB BUSH
GOVERNOR

JOSE ABREU
SECRETARY

FDOT- Lake City Maintenance
Permits Department
Post Office Box 1415
Lake City, Fl. 32056-1415

Date: 11-24-04

Bailey, Bishop & Lane, Inc.
Ms. Ann Newland, P.E.
P.O.B. 3717
Lake City, Fl. 32056-1415



**RE: Approved FDOT Access Connection Permit
State Access Permit No: 04-A-292-0023**

Access Permit Category: D
State Section No: 29010
Mile Post Location: 7.219 +-

Ms. Newland:

This cover letter acknowledges your request on behalf of your client, Mr. Sparks who represents Westfield Group, LTD in making proposed new Access Connection and Roadway Improvements to State Highway No. 10 in West Lake City, Florida. As Westfield Group, LLLP's engineering agent, you are hereby notified that permission is hereby granted by the Florida Department of Transportation in making the following related permitted improvements and/or modifications according to FDOT Specifications and approved Permit Provisions. Special Note: A section of the property being developed under this permit has had a Stipulated Final Court Judgment (Parcel 108), Case Number 97-09-CA, Division CV-B. A copy of this Court Judgment is attached as a part of this permit and explains the stipulations in out.

Access Connection Details

Proposed for construction on State Highway No. 10 at or about FDOT Mile Post 7.129 is a single, 2 lane thirty-foot wide (30'), Right In/Right Out Only, Radius Return Concrete and Asphalt Access Connection. The new proposed connection shall be considered a Class D, Commercial Access Connection and as such may not exceed the maximum total average vehicular trips allowed under this approved permit. The new driveway shall be constructed as an urban radius return concrete/asphalt connection with a fifty-foot right in and a thirty-five foot right out turn movement radii with Type F concrete curb & gutter turn radii. The required Drop Curb shall be twenty-four inches in width, all per FDOT Index No. 300, Sheet 1 of 1. The new concrete connection shall have an additional five foot wide concrete travel surface beyond the back of the sidewalk area of the connection, with a finished surface asphalt course of a minimum two inches in compacted thickness from the concrete edge to the FDOT Right-of-way line, refer to Sheet No. 14 for detail of same.

Driveway Subgrade and Limerock Base Requirements

The new FDOT Permit approved connection, due to it's having both concrete and asphalt surface courses shall require 2 types of subgrade specifications. The proposed asphalt section shall require a minimum twelve inch compacted and stabilized earth base with a tested and passing minimum density of 95% with an LBR of 40.

The required Limerock Base Course for the final asphalt section shall require a minimum compacted thickness of eight (8") inches in depth, with a tested and passing minimum density of 98%. Three (3) density tests shall be made of both the subgrade and limerock base courses with proof of passing requirements to the Lake City Maintenance, Permits Office a minimum of 24 hours before any concrete pours can be commenced.

Concrete Requirements

Those areas requiring concrete under this approved FDOT Permit (Slab, Turn Radii & Type "F" C & G) shall be constructed to a minimum depth of six inches thick and shall extend to a point of (5') five feet beyond the back of the existing sidewalk area. Be aware that all concrete materials utilized upon FDOT Right-of-Way shall meet or exceed a minimum cure-out of 3000 p.s.i., with Certified FDOT Type I Concrete being required. Concrete tickets for each truck delivery to the site shall be provided to on-site FDOT Inspector and shall provide the type, class, cure-out strength and total Cubic Yards to FDOT Permits Personnel on-site at the time of all concrete pours with the required evidence to same. **Fibered concrete shall not be allowed to be utilized under this approved access permit. Both turn radii shall be constructed with FDOT Type "F" Curb & Gutter as well as the twenty-four inch wide Drop Curb Design. All concrete structures permitted herein shall be constructed in one Monolithic pour.** The two required A.D.A. Ramps shall be poured at this same time and is hereby required as a provision of this permit. **All straight line Type F curb and gutter construction shall be with metal forms only. Tactile A.D.A. Early Warning Pattern of Truncated Dome Design only shall be used and must be constructed to the State/Federal Government Design Requirements. Both Thermoplastic and Pre-Formed Plastic Material Section Type Method can be utilized, Rubber Stamping Mats are not allowed. All A.D.A. Ramps and Early Warning construction shall be completed to the State of Florida, FDOT's most current specifications and shall be constructed while the FDOT Inspector is on-site. Refer to Sheet No. 9 of the approved site plans for additional Plan Notes required under this permit.**

A.D.A. Requirements

The Permittee shall meet or exceed the minimum FDOT requirements for A.D.A., Early Warning Detection of the type prescribed by the approved permit. Rubber Mats cannot be used only prefabricated plastic material type are allowed. The Permittee shall notify the local Lake City Maintenance, Permits Office of the type and material planned to be used a minimum of 48 hours before the A.D.A. Ramps are poured. Refer to Plan Sheet No. 9 Sidewalk Curb Ramp for detail. **This is a Mandatory Condition of the permit.**

Existing Concrete Driveway & Restoration Requirements

The existing drop curb, concrete connection shall be removed in it's entirety with all new FDOT Standard concrete Type F, FDOT Curb & Gutter and Standard Sidewalk shall be repoured to FDOT Standards. New earth fill and a complete coverage of Coastal Bermuda Grass Sod shall be required through the pre-existing areas of the old connection. Due to FDOT having an existing legal easement to a Stormwater Pond the Permittee has agreed as a provision of this permit to construct a flat emergency concrete entry slab as shown on Sheet No. 16 (revised.) This new non-typical concrete slab shall be poured to a minimum depth of eight inches with steel mesh wire required within. A minimum cure-out requirement of 3000 p.s.i. shall be required for concrete strength. **Note all existing connections shall be removed and have had complete R/W Restoration as called for above and in the approved plans before any commencement of construction can begin at the new connection sites.**

Testing

The proposed earth subgrade base course shall be compacted to a passing maximum density of 98%, with three (3) density tests made. Proof of passing density shall be forwarded to the local FDOT Permits Inspector a minimum of 48 hours in advance of any planned paving commencement. The Permittee, and/or his/her General Contractor shall contact the FDOT Permits Office for location for all tests sites. No concrete pours or paving can be started without proof of passing density tests.

Pavement Striping and Signage Requirements

Per the approved permit and site plan the completed concrete/asphalt surface course shall have as a minimum a single, White Thermoplastic STOP BAR as well as a minimum of thirty (30') L.F. of Yellow, double six (6") wide, Thermoplastic Lane Separation Striping all per FDOT Index No. 17346. All new Thermoplastic Striping shall conform to the State FDOT Indexes 17302, 17346 and /or 11860. **All thermoplastic marking materials shall be "Certified Lead Free" Materials.** A single Series 600, R1-1 aboveground STOP SIGN shall be required to be constructed at each access point per the approved site plan. The new access point on SR-25-A shall also have two "Right Turn Only" aboveground signs. All aboveground signs proposed to be constructed upon FDOT Right-of way shall be constructed per approved site plan and per FDOT Index No. 17302, Sheet 1 of 1 and Index 11860. All metal posts on FDOT shall be aluminum two inch or greater in diameter and set at a minimum height of 7 feet from EOP grade with brackets per FDOT Index No. 11860.

Note: All aboveground signs that are required under this approved permit shall be in place and have received a passing inspection before final driveways completion. The areas receiving pavement markings, (STOP BAR/LANE STRIPING) shall receive a chemical pre-treatment before the final thermoplastic materials are placed down. Note: FDOT Inspector must be on site for this phase of the project with the responsibility for scheduling this phase of the project being the Permittee or his/her General Contractor or Engineer Manager. The Permittee or his/her contractor shall set up a mutually agreeable time for this inspection. The new connection shall not be utilized at any time before the FDOT Permits Office has made their final permitted site inspection with notice of passing project inspection being forwarded by written letter to the Permittee from the permitting FDOT agency.

Roadway, Ditch/Slope Area, Grass Sodding Requirements & R/W Restoration

All areas of either ditch line as well as any front and back slopes or Grass Utility Strips any disturbed earthen areas on either side of the new connection permitted shall require a complete coverage of Certified Coastal Bermuda Grass Sod. All other areas outside this particular area shall require a complete coverage of hulled Bermuda grass and millet seed with copious amounts of Straw Mulch covering all. All areas upon FDOT R/W shall be made clean and acceptable by final inspection by FDOT Personnel.

Notice of Final Approved Plans Interpretation

The Local Permits Office having jurisdiction over the approved permit shall have final determination over all approved plan & construction concepts and method details that could affect the FDOT Right-of-Way Property.

Notice of Pre-Construction Meeting (Mandatory)

The Permittee and his/her construction supervisor(s) shall meet a minimum of 48 hours in advance of activation of this permit, so that all parties will have an opportunity to read in detail this attached cover letter, review its plans and be provided the opportunity to ask any questions he or she may have in regards to this permit. It shall be the Permittee's responsibility to contact the local Permits Office no later than 48 hours in advance of the planned activation/construction commencement date, so that this provision can be completed satisfactory to all parties involved. **BE AWARE: THIS IS A MANDATORY PERMIT PROVISION!! FAILURE TO COMPLETE THIS SPECIAL PROVISION SHALL BE REASON FOR SUSPENSION OF THE APPROVED PERMIT!**

Grass Sod Requirement Details

Due to the difference in the elevation grades from the back of existing sidewalk and the finished paved surface of the project the permittee shall add earth fill and a complete coverage of Coastal Bermuda Grass sod between these areas across the entire length of the project front. Refer to the engineer's Slope & Sod Detail shown on Plan Sheet No. 9. All slopes, shoulders, ditches, and other disturbed areas within the limits of the proposed paved turnout radii, shall be completely grass sodded with Certified Coastal Bermuda grass.

Note: all grass shall be installed, watered and inspected for evidence of growth, before any paving can commence under this permit. Failure to complete this provision can be reason for temporary suspension of this permit. NOTICE: ALL R/W RESTORATION AND REQUIRED GRASS SOD SHALL BE PLACED DOWN AND INSPECTED BEFORE ANY ASPHALT/CONCRETE PAVING CAN COMMENCE UNDER THIS APPROVED PERMIT.

Real Family Judgments/ Parcel No. 108

The Final Court Judgments requires FDOT to allow use of 430 feet for parking on the existing easement road area. No permanent improvements shall be allowed under this judgment, however the Department shall agree to paved parking improvements within this area with stipulations. In case of emergency the Department retains its rights under law to make and take any and all actions required to protect the general public and its roadway corridors within its legal easement in regards to these paved parking areas as may be mandated to the Department by the Laws of the State of Florida. The Permittee understands that this is a legal permit provision and has agreed to this stipulation as part of the final approval agreement for permitting.

Permit Agreement on NW Corner of FDOT Stormwater Easement & Pond Areas.

A request from the Permittee for use of a small section of property owned by FDOT to allow a paved section of roadway for the use by Westfield Group LLLP. By verbal notification from the District II, Permits Office to Lake City Maintenance, Permits Office it has been conveyed that the Legal Office of District II has reviewed said request for use by Westfield Group LLLP (Charles Sparks, Rep.) for the use of a section of the FDOT's Easement/Property for use to construct an east/west roadway across said property. The Department has agreed to this use, but retains it rights under law to recover said property if deemed necessary at any time in the future. This section is not included in the Court Judgments and as such is on a temporary loan for use by the Permittee and may be reclaimed at any time if required by FDOT. Any paved roadway improvements are to be constructed with the understanding of this permit stipulation.

Notice of Minimum FDOT Construction Requirements

All construction shall be to the most current F.D.O.T. Roadway and Traffic Design Standards and F.D.O.T. Standard Specifications for Road and Bridge Construction. All construction shall be per approved permit, cover letter, special provisions, and signed and sealed site plans and shall conform to all current F.D.O.T. Specifications and Inspections. No work can commence on F.D.O.T. right- of- way before the approved Maintenance of Traffic Plan is in place. The FDOT Permits Staff shall have final say as to any conflicts of interest that may occur, before, during or after the construction phase.

Save Harmless Clause

Please refer to the approved permit, cover Letter and site plan drawings and if attached addendum for Access type, location and construction details. **Refer to the approved connection permit for additional**

General and Special Provisions that could alter construction design plans as shown on the attached site plan. A copy of the approved site plan and the permit itself shall be on site at all times. Construction on the Department of Transportation's Right-of-Way shall meet all of the Department's Standard Construction Specifications and Safety Criteria. This Permit is issued with the understanding that a Department approved contractor shall perform all construction in accordance with F.D.O.T. Specifications and that all costs of construction shall be borne by the applicant.

Page 5 of 5
Cover Letter
Permit No. 04-A-292-0023 / Village Square

It is also understood and agreed that the rights and privileges herein set out, are granted only to the extent of the State's Right, Title and Interest in the land to be entered upon and used by the holder, and the holder will at all times, assume all risk of and indemnify, defend, and save harmless the State of Florida and the Department from and against any and all loss, damage, cost or expense arising in any manner on account of the exercise or attempted exercise by said holder of the aforesaid rights and privileges.

Also, please request your Engineer or Representative to contact our Permits Coordinator, Neil E. Miles, at P.O. Box 1415, Lake City, FL 32056-1415, Phone Number (904) 961-7193 or if no answer 961-7180, a minimum of 48 hours prior to your planned commencement date.

Sincerely,

Neil E. Miles
Access Permits Engineer
Lake City Maintenance

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**

850-040-18
SYSTEMS PLANNING
04/03
Page 1 of 3

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 04-a-292-0023

Permit Category: D Access Classification: 11

Project: Village Square / 30' Asph E/L D/W W 50' / 35' turn Radii.

Permittee: Westfield Group, LLLP/ Charlie Sparks

Section/Mile Post: 29010 / 7.129+- State Road: S.R.10

Section/Mile Post: 29010 / 7.219+- State Road: S.R.10

PART 2: PERMITTEE INFORMATION

Permittee Name: Westfield Group LLLP/ Charlie Sparks

Permittee Mailing Address: P.O. Box 3566

City, State, Zip: Lake City, FL 32056

Telephone: (386)755-5110

Engineer/Consultant/or Project Manager: Bailey Bishop & Lane, Inc.

Engineer responsible for construction inspection: Ann M. Newland
NAME P.E. #

Mailing Address: P.O. Box 3717

City, State, Zip: Lake City, FL 32056-3717

Telephone: (386)752-5640 FAX, Mobile Phone, etc. (386)755-7771

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 04-A-292-0023

Department of Transportation

Signature: Neil E. Miles Title: Permits Coordinator

Department Representative's Printed Name Neil E. Miles, Coordinator

Temporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)

Special provisions attached ☒ YES ☐ NO

Date of Issuance: NOV 24 2004

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.
Phone: (386)961-7180 , Attention: Neil E. Miles Permit Coordinator
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

PART 5: SPECIAL PROVISIONS

NON-CONFORMING CONNECTIONS: ☒ YES ☐ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL & SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PERMIT SHALL BE ACCORDING TO THE MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT THE TIME OF ACTUAL CONSTRUCTION AND PERMIT ACTIVATION.

PART 6: APPEAL PROCEDURES

You may request an administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes. If you disagree with the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may request a formal administrative hearing pursuant to Section 120.57(1), Florida Statutes. If you agree with the facts stated in the Notice, you may request an informal administrative hearing pursuant to Section 120.57(2), Florida Statutes. You must send the written request to:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The written request for an administrative hearing must conform to the requirements of either Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and must be received by the Clerk of Agency Proceedings by 5:00 P.M., no later than 21 days after you received the Notice. The written request for an administrative hearing should include a copy of the Notice, and must be legible, on 8 ½ by 11 inch white paper, and contain:

1. Your name, address, telephone number, and Department identifying number on the Notice, if known, and name, address, and telephone number of your representative, if any;
2. An explanation of how you are affected by the action described in the Notice.
3. A statement of how and when you received the Notice.
4. A statement of all disputed issues of material fact. If there are none, you must so indicate.
5. A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle you to relief; and
6. A demand for relief.

A formal hearing will be held if there are disputed issues of material fact. If a formal hearing is held, this matter will be referred to the Division of Administrative Hearings, where you may present witnesses and evidence and cross examine other witnesses before an administrative law judge. If there are no disputed issues of material fact, an informal hearing will be held, in which case you will have the right to provide the Department with any written documentation or legal arguments which you wish the Department to consider.

Mediation, pursuant to Section 120.573, Florida Statutes, will be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

If a written request for an administrative hearing is not timely received you will have waived your right to have the intended action reviewed pursuant to Chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

FLORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH
GOVERNOR

JOSE ABREU,
SECRETARY



PERMITTEE: Charlie Sparks / Permit No: 04-A-292-0023

State Rd: 10 / Section: 29010 / MP: 7.196+-7.219 / PERMIT CAT: D

PROJ DESCRIPTION: PRO: 30' W ASPH D/W W 50'-30' RADII.

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLIED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

1. XXX All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded and / or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
2. XXX Permittee shall restore wildflowers disturbed during permitted construction with new seed to be (amount and method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
3. XXX The Permittee will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) hours in advance of starting excavation within the area of any signalized intersection.
4. XXX The Permittee can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
5. XXX Existing utilities may be located within the construction area. Prior to permit approval, permittee shall locate and notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permittee shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permittee shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permittee shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
6. XXX No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump islands must be located at least twelve (12) feet from right-of-way line.
7. XXX Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. XXX The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. XXX All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. XXX Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. XXX A pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. XXX If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES

850-040-15
SYSTEMS PLANNING
04/03

OFFICE USE ONLY

Application Number: 04-A-292-0023

Category: D

Section/Mile Post: 7.196 & 7.219

Section/Mile Post: 29010

Received By: Dale Cray

Date: 7-27-04 FDOT STAFF (TYPE OR PRINT)

State Road: SR. 10

State Road: SR. 10

Instructions - To Applicant

- Contact the Department of Transportation to determine what plans and other documents you are required to submit with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at <http://www11.myflorida.com/onestopperpermitting/> for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☐ Lessee ☒ Contract to Purchase

Name: Westfield Group LTD, LLP.

Responsible Officer or Person: Charlie Sparks

If the Applicant is a Company or Organization, Name: _____

Address: P.O. Box 3566

City, State: Lake City, FL

Zip: 32056 Phone: (386) 755-5110

Fax: (386) 755-6449

Email: charlie@charliesparks.co

LAND OWNER:(if not applicant)

Name: _____

If the Applicant is a Company or Organization, Name: _____

Address: _____

City, State: _____

Zip: _____ Phone: _____

Email: _____ Fax: _____

AUTHORIZED REPRESENTATIVE: If specified by Applicant to handle, represent, sign, and file the application -
NOTE: A notarized letter of authorization must be provided with the Application

Name: Bailey, Bishop & Lane, Inc

Company Name: See Above

Address: P.O. Box 3717

City, State: Lake City

Zip: 32056-3717 Phone: (386)752-5640 Fax: (386)755-7771

Email: _____

Address of property to be served by permit (if known):
200 feet west of Real Road

If address is not known, provide distance from nearest intersecting public street (such as, 500 feet south of Main St.)

Check here if you are requesting a

☒ new driveway ☐ temporary driveway ☐ modification to existing driveway ☐ safety upgrade

Does the property owner own or have any interests in any adjacent property?

☒ No ☐ Yes, if yes - please describe:

Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property?

☒ No ☐ Yes, if yes - list them on your plans and indicate the proposed and existing access points.

Local Government Development Review or Approval Information:

Local Government Contact: Mr. Kerce, Columbia Co Building Director

Name: _____

Government Agency: Columbia Building Office

Phone #: (386)785-1008

If you are requesting commercial or industrial access, please indicate the types and number of businesses and provide the floor area square footage of each. Use additional sheets if necessary.

Business (Name and Type)	Square Footage	Business (Name and Type)	Square Footage
1. Village Square	21,696	3.	
2.		4.	

If you are requesting a residential development access, what is the type (single family, apartment, townhouse) and number of units?

Type	Number of Units
N / A	

Provide an estimate of the daily traffic volume anticipated for the entire property at build out. (An individual single family home, duplex, or quad-plex is not required to complete this section).

Daily Traffic Estimate = 1627 (Use the latest Institute of Transportation Engineers (ITE) Trip Generation Report)

If you used the ITE Trip Generation Report, provide the land use code, independent variable, and reference page number.

ITE Land Use Code	Independent Variable	ITE Report page number reference

Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application.

- | | |
|---|---|
| <p>Plans should be 11" x 17" (scale 1" = 50')</p> <p>Note: No plans larger than 24" x 36" will be accepted</p> <ul style="list-style-type: none">a) Highway and driveway plan profileb) Drainage plan showing impact to the highway right-of-wayc) Map and letters detailing utility locations before and after Development in and along the right of wayd) Subdivision, zoning, or development planse) Property map indicating other access, bordering roads and streets | <ul style="list-style-type: none">f) Proposed access designg) Parcel and ownership maps including easements (Boundary Survey)h) Signing and striping plansi) Traffic Control/Maintenance of Traffic planj) Proof of liability insurancek) Traffic Impact Studyl) Cross section of roadway every 100' if exclusive turn lanes are required |
|---|---|

Important Notices to Applicant Before Signing Application

The Department Reserves The Right To Change Traffic Features And Devices In Right Of Way At Any Time

Proposed traffic control features and devices in the right of way, such as median openings and other traffic control devices, are not part of the connection(s) to be authorized by a connection permit. The Department reserves the right to change these features and devices in the future in order to promote safety in the right of way or efficient traffic operations on the highway. Expenditure by the applicant of monies for installation or maintenance of such features or devices shall not create any interest in the maintenance of such features or devices.

Significant Changes In Property Use Must Undergo Further Review

If an access permit is issued to you it will state the terms and conditions for its use. Significant changes in the use as defined in Section 335.182(3), Florida Statutes, of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

All Information I Give Is Accurate

I certify that I am familiar with the information contained in this application and that to the best of my knowledge and belief, such information is true, complete and accurate.

Starting Work On The Driveway Connection After I Get My Permit Means I Accept All the Conditions In My Permit

I will not begin work on the connection until I receive my Permit and I understand all the conditions of the Permit. When I begin work on the connection, I am accepting all conditions listed in my Permit.

Applicant Name (Printed): Charlie Sparks

Applicant's signature: Charlie Sparks Date 7-15-04

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
PERMIT ADDENDUM
NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES
FROM
PERMIT RELATED CONSTRUCTION PROJECTS

MAINTENANCE
DISTRICT TWO
11/03

To be completed by Department

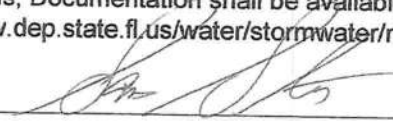
Associated Permit No.(s): _____

To be completed by Permittee

Description of work to be performed DEVELOPMENT OF A 21700SF RETAIL SHOPPING CENTER WITH A 1.88 ACRE STORMWATER BASIN ALONG US9D NEXT TO APPLEBEE'S REST.

Total Disturbed Area Documents Required Prior to Construction	
<input type="checkbox"/> Calculations of Disturbed Earth (Must Submit Copy to Department)	
<input checked="" type="radio"/> Over 1 Acre (Documents Available to Department Upon Request) <input checked="" type="checkbox"/> Generic Permit For Stormwater Discharge from Large and Small Construction Activities <input checked="" type="checkbox"/> Notice of Intent(NOI) to use Generic Permit for Stormwater Discharge from Large and Small Construction Activities <input checked="" type="checkbox"/> Stormwater Pollution Prevention Plan (SWPPP)	<input type="radio"/> Under 1 Acre (Documents Available to Department Upon Request) <input type="checkbox"/> An Erosion Control Plan
Required Upon Commencement of Construction(Must Submit Copy to Department)	
<input type="checkbox"/> Notice of Termination (NOT) of Generic Permit Coverage	<input type="checkbox"/> Notification of Completion

I certify that I understand the terms and conditions of the National Pollution Discharge Elimination System (NPDES) Generic Permit that authorizes the storm water discharges associated with activities from the construction site. I also understand that the Generic Permit requires erosion and sediment control inspections, Documentation shall be available to the Department upon request. Information may be found at <http://www.dep.state.fl.us/water/stormwater/npdes/index.htm>.

Signature:  Date: 11/22/04
Name and Title: Scott Stewart Trustee, Wesfeild Group

1. This addendum shall be completed for all activities that disturb soils within or adjacent to the Right-of-Way.
2. If this addendum is signed by a representative of the applicant, a letter of authorization from the permittee must be attached.
3. The above documents are in addition to documents required from associated permits.

RA.1500
DE.1,107.40

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 03-931

Property Appraiser's
Parcel Identification No.
35-3S-16-02585-006

Inst:2004010499 Date:05/07/2004 Time:13:11

Doc Stamp-Deed : 1107.40

ML DC, P. DeWitt Cason, Columbia County B:1014 P:1886

WARRANTY DEED

THIS INDENTURE, made this 6th day of May 2004, BETWEEN HELEN B. REAL, unmarried, whose post office address is Post Office Box 2041, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantor*, and WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantee*.

W I T N E S S E T H:

That said Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, its successors and assigns forever, the lands situate, lying and being in Columbia County, Florida described as follows:


SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION

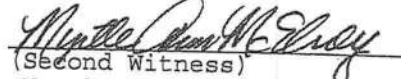
SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

And said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand
and seal the day and year first above written.

Signed, sealed and delivered
in our presence:


(First Witness)
Terry McDavid
Printed Name



(Second Witness)
Myrtle Ann McElroy
Printed Name

Helen B Real (SEAL)
Helen B. Real

Inst:2004010499 Date:05/07/2004 Time:13:11
Doc Stamp-Deed : 1107.40
DC,P.Dewitt Cason,Columbia County B:1014 P:1887

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th
day of May 2004, by HELEN B. REAL, unmarried. She is personally
known to me and did not take an oath.


Notary Public
My Commission Expires: _____



SCHEDULE "A"

Commence at the intersection of the East line of Brookside, a subdivision as recorded in Plat Book 3 at Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E along the Northerly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet to the POINT OF BEGINNING; thence N 03°02'38"E, 856.99 feet; thence N 84°51'35"W, 274.49 feet to the East Line of said Brookside; thence N 03°06'05"E, along said East Line, 518.67 feet to the North line of the Southeast 1/4; thence N 87°20'07"E, along said North Line 863.64 feet; thence S 03°37'43"E, 470.56 feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'14"E, 562.63 feet; thence N 86°10'01"E, 145.72 feet; thence S 03°36'54"E, 222.17 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'15"W, 144.93 feet; thence N 84°47'28"W, 150.00 feet; thence N 03°38'27"W, 106.07 feet; thence S 84°52'29"E, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence N 84°53'48"W, 290.00 feet; thence S 05°08'43"W, 149.92 feet; thence S 84°52'31"E, 212.81 feet; thence S 03°38'27"E, 105.97 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet to the Northerly right of way of U.S. Highway 90 (State Road No. 10); thence N 84°51'35"W, along said Northerly right of way 240.04 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

COMMENCE at the intersection of the East Line of Brookside, a subdivision as recorded in Plat Book 3, Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E, along the Northerly right of way of U.S. Highway 90 (State Road 10), 275.03 feet; thence N 03°02'36"E, 750.72 feet; thence S 84°50'38"E, 134.32 feet to the POINT OF BEGINNING; thence N 05°07'44"E, 349.98 feet; thence S 84°52'40"E, 310.91 feet; thence S 05°05'44"W, 350.16 feet; thence N 84°50'38"W, 311.12 feet to the POINT OF BEGINNING.

Inst:2004010499 Date:05/07/2004 Time:13:11

Doc Stamp-Deed : 1107.40

DC, P. DeWitt Cason, Columbia County B:1014 P:1888

RDC. 15.00
Doc. 1.70

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 03-931

Property Appraiser's
Parcel Identification No.
35-3S-16-02585-006

Inst: 2004010500 Date: 05/07/2004 Time: 13:11
Doc Stamp-Deed : 0.70
2004 DC, P. DeWitt Cason, Columbia County B: 1014 P: 1889

QUITCLAIM DEED

THIS QUITCLAIM DEED, made this 6th day of May 2004, between D.B. ESPENSHIP, III, who does not reside on the property described herein, whose post office address is Post Office Box 1102, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the first part, and WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the second part.

WITNESSETH, that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has remised, released and quitclaimed, and by these presents does remise, release and quitclaim unto the said party of the second part all the right, title and interest claim and demand which the said party of the first part have in and to the following described lot, piece, or parcel of land, situate lying and being in the County of Columbia, State of Florida, to-wit:


SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION


N.B.: Neither the Grantor nor any member of his family live or reside on the property described herein or any land adjacent thereto or claim any part thereof or any land adjacent thereto as their homestead.

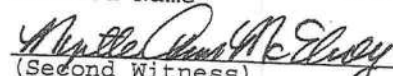
TO HAVE AND TO HOLD the same, together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of said party of the first part, either in law or equity, to the only proper use, benefit and behoof of said party of the second part.

IN WITNESS WHEREOF, the said party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:


(First Witness)
Terry McDavid
Printed Name


D. B. Espenship, III (SEAL)


(Second Witness)
Myrtle Ann McElroy
Printed Name

Inst:2004010500 Date:05/07/2004 Time:13:11
Doc Stamp-Deed : 0.70
DC,P.DeWitt Cason,Columbia County B:1014 P:1890

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th day of May 2004, by D. B. ESPENSHIP, III. He is personally known to me and did not take an oath.


Notary Public
My Commission Expires



SCHEDULE "A"

Commence at the intersection of the East line of Brookside, a subdivision as recorded in Plat Book 3 at Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E along the Northerly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet to the POINT OF BEGINNING; thence N 03°02'38"E, 856.99 feet; thence N 84°51'35"W, 274.49 feet to the East Line of said Brookside; thence N 03°06'05"E, along said East Line, 518.67 feet to the North line of the Southeast 1/4; thence N 87°20'07"E, along said North Line 863.64 feet; thence S 03°37'43"E, 470.56 feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'14"E, 562.63 feet; thence N 86°10'01"E, 145.72 feet; thence S 03°36'54"E, 222.17 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'15"W, 144.93 feet; thence N 84°47'28"W, 150.00 feet; thence N 03°38'27"W, 106.07 feet; thence S 84°52'29"E, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence N 84°53'48"W, 290.00 feet; thence S 05°08'43"W, 149.92 feet; thence S 84°52'31"E, 212.81 feet; thence S 03°38'27"E, 105.97 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet to the Northerly right of way of U.S. Highway 90 (State Road No. 10); thence N 84°51'35"W, along said Northerly right of way 240.04 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

COMMENCE at the intersection of the East Line of Brookside, a subdivision as recorded in Plat Book 3, Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E, along the Northerly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet; thence N 03°02'36"E, 750.72 feet; thence S 84°50'38"E, 134.32 feet to the POINT OF BEGINNING; thence N 05°07'44"E, 349.98 feet; thence S 84°52'40"E, 310.91 feet; thence S 05°05'44"W, 350.16 feet; thence N 84°50'38"W, 311.12 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

Inst:2004010500 Date:05/07/2004 Time:13:11
Doc Stamp-Deed : 0.70

DC, P. DeWitt Cason, Columbia County B:1014 P:1891

Rec. 10.50

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:2004010501 Date:05/07/2004 Time:13:11
MK DC, P. DeWitt Cason, Columbia County B:1014 P:1892

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328


File No. 03-931

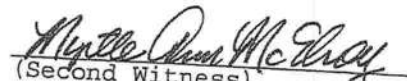
ASSIGNMENT


PATRICK LEE REAL, Successor Trustee of the Exemption Equivalent Trust created under the Last Will and Testament and Codicil thereto, of Hubert E. Real, deceased, and HELEN B. REAL, unmarried, individually, whose address is Post Office Box 2041, Lake City, Florida 32056, parties of the first part, hereby assign to WESTFIELD GROUP, LLLP, a Florida Limited Liability Partnership, whose address is Post Office Box 3566, party of the second part, all of the right, title and interest of the parties of the first part in and to the Easements described in Schedule "A" attached hereto, together with all of the right, title and interest of the parties of the first part in and to those Easements.


IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals this 6th day of May 2004.

Signed, sealed and delivered
in our presence:


(First Witness)
Terry McDavid
Printed Name


(Second Witness)
Myrtle Ann McElroy
Printed Name

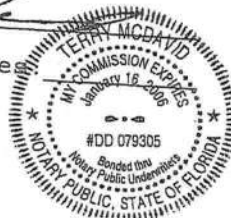
 (SEAL)
Patrick Lee Real
Successor Trustee of the
Exemption Equivalent Trust

 (SEAL)
Helen B. Real

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th day of May 2004, by PATRICK LEE REAL, Successor Trustee of the Exemption Equivalent Trust created under the Last Will and Testament and Codicil thereto, of Hubert E. Real, deceased, and by HELEN B. REAL, unmarried. They are personally known to me and did not take an oath.


Notary Public
My Commission Expires



THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Inst:2004010502 Date:05/07/2004 Time:13:11

YMK DC,P.DeWitt Cason,Columbia County B:1014 P:1894

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328


File No. 03-931

ASSIGNMENT

PATRICK LEE REAL, Successor Trustee of the Exemption Equivalent Trust created under the Last Will and Testament and Codicil thereto, of Hubert E. Real, deceased, and HELEN B. REAL, unmarried, individually, whose address is Post Office Box 2041, Lake City, Florida 32056, parties of the first part, hereby assign to WESTFIELD GROUP, LLLP, a Florida Limited Liability Partnership, whose address is Post Office Box 3566, party of the second part, all of the right, title and interest of the Grantor under that certain Easement dated July 12, 1984 by and between Hubert E. Real and his wife, Helen B. Real, as Grantors and W. Floyd Messer, as Grantee, recorded in Official Records Book 542, Page 406 of the public records of Columbia County, Florida, including, but not limited to, the right to determine the width and location of any easement granted therein.

IN WITNESS WHEREOF, the parties of the first part have hereunto set their hands and seals this 6th day of May 2004.


Signed, sealed and delivered
in our presence:


(First Witness)

Terry McDavid
Printed Name


(Second Witness)

Myrtle Ann McElroy
Printed Name

 (SEAL)
Patrick Lee Real
Successor Trustee of the
Exemption Equivalent Trust

 (SEAL)
Helen B. Real

Jul-31-01 10:54A

FROM: PAUL V SMITH

PHY. 21. 7/20/01 9:49AM P.01
PHONE NO. : 9047527933IN THE CIRCUIT COURT, FOURTH
JUDICIAL CIRCUIT, IN AND FOR
~~DEKALB~~ ^{Columbia} COUNTY, FLORIDA.CASE NO: 97-02-CA
DIVISION: CV-BSTATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION,

Petitioner,

vs.

PATRICK LEE REAL, ET. AL.,

Defendants.

STIPULATED FINAL JUDGMENT
(Parcel 106)

THIS CAUSE having come on upon Joint Motion for the entry of a Stipulated Final Judgment made by the Petitioner and the Defendants set forth hereinbelow, and it appearing to the Court that the parties were authorized to enter into such Motion, and the Court finding that the compensation to be paid by the Petitioner is full, just and reasonable for all parties concerned, and the Court being fully advised in the premises, it is now, therefore,

ADJUDGED that Defendants, PATRICK LEE REAL and HELEN B. REAL, are the owners of Parcel 106; and it is further

ORDERED AND ADJUDGED that Defendants PATRICK LEE REAL and HELEN B. REAL, do have and recover of and from the Petitioner the sum of FOUR HUNDRED TWENTY-FIVE THOUSAND AND NO/DOLLARS (\$425,000.00) as full payment for the property taken designated as Parcel 106 and for all damages of any nature whatsoever; and it is further

COPY
449 Bailey
7557771Ashley Martin
706 782 7681

Jul-31-01 10:54A

FROM: PAUL V SMITH

P.02
PHONE NO. : 9047527933

ORDERED that Defendants have a non-monetary benefit of TWENTY-FIVE THOUSAND AND NO/100 (\$25,000.00) DOLLARS; and it is further

ORDERED AND ADJUDGED that Paul V. Smith, Attorney for Defendants, PATRICK LEE REAL and HELEN B. REAL, shall receive from the Petitioner the sum of SIXTY-FIVE THOUSAND THREE HUNDRED SEVEN AND NO/100 (\$65,307.00) DOLLARS in attorney fees for representation of the landowners \$57,057.00 of which is for securing a monetary benefit of \$172,900.00, and \$8,250.00 of which is for securing a non-monetary benefit of \$25,000.00; and it is further

ADJUDGED that on March 6, 1997, the Petitioner deposited the sum of TWO HUNDRED FIFTY-TWO THOUSAND ONE HUNDRED NO/100 DOLLARS (\$252,100.00) into the Registry of this Court as the Petitioner's good faith estimate of value, which sum has been withdrawn by the Defendants; and it is further

ORDERED AND DIRECTED that the Clerk, upon additional deposit of the sum of TWO HUNDRED THIRTY-EIGHT THOUSAND TWO HUNDRED SEVEN AND NO/100 (\$238,207.00) DOLLARS by the Petitioner and without further order of the court, shall pay forthwith to Paul V. Smith, Post Office Box 1792, Lake City, Florida 32056, the sum of \$238,207.00 for disbursement to the proper parties; and it is further

ORDERED that Defendants shall have the option to discharge surface water into Petitioner's detention/retention facility located on Parcel 103 by increasing the size of the facility at Defendants' cost on Defendants' land at which time Defendants will assume the responsibility of maintaining the hydrological function of the facility, and if Defendants elect such option all engineering plans for alterations to the detention/retention facility must be approved by Petitioner; and it is further

JUL-31-01 10:55A

FROM : PAUL V SMITH


PHONE NO. : 9047527933 P.05

MOTION

The parties, by and through their undersigned counsel, respectfully move for the entry of the foregoing Stipulated Final Judgment.


MARY J. DORMAN, ESQUIRE
Florida Bar No. 917222
Mail Station 2009
Post Office Box 1089
1901 South Marion Street
Lake City, Florida 32056-1089
(904) 961-7530

Dated: 12/4/97


PAUL V. SMITH, ESQUIRE
Florida Bar No. 515910
Post Office Box 1792
Lake City, Florida 32056
(904) 752-7192

Dated: 12/2/97


PATRICK LEE REAL
4373 Seminole Street
Starke, Florida 32091

Dated: 11-28-97



JAN-26-2004 14:52

DOT RIGHT OF WAY

904 961 7527 P.01

**Florida Department of Transportation**JEB BUSH
GOVERNOR

Property Management/Division of Right of Way
1109 South Marion Avenue/Mail Station 2020
Lake City, Florida 32025-5874
386-961-7478 SC881-7478
FAX 386-961-7527
(yvonne.macdonald@dot.state.fl.us)

RE
RY*Yvonne Macdonald*

January 26, 2004

Mr. Charlie Sparks
Daniel Crapps Agency, Inc.
2806 US Hwy 90 West
Lake City, Florida 32055

RE: DRAINAGE POND MODIFICATION ALONG NORTH SIDE OF SR10
(US90) NEAR REAL ROAD IN LAKE CITY

Item	:2083961
Section	:29010-2551
FAP	:NA
County	:Columbia
SR	:10 (US90)
Parcels	:108, 111

Dear Mr. Sparks:

After our meeting with your engineer and FDOT staff last Thursday, I spoke with our General Counsel, Ken Davis, about the possible ways to accomplish your proposal. We offer the following:

1. The Stipulated Final Judgment dated December 11, 1997, provides that Patrick Real may discharge surface water into the retention facility by enlarging the pond according to FDOT specifications and assuming maintenance responsibilities for it.
2. FDOT would require a permanent easement over the newly created pond area that would allow the Department to discharge water into that same area and also grant access to maintain the facility should you/your client fail to perform.
3. As you already know, plans must be approved by FDOT Drainage and the Suwannee River Water Management District. At the same time, the water management permit will need to be transferred to the new managing agency. This can be accomplished without conveyance of any underlying fee ownership of the land.
4. On approval of the plans and execution of the easement document, Maintenance would issue a permit authorizing modification of the pond and outlining maintenance responsibilities.

JAN-26-2004 14:53

DOT RIGHT OF WAY

904 961 7527 P.02

Charlie Sparks
January 26, 2004
Drainage Pond Modification - US90 - Lake City
Page 2

The above addresses the pond site. As to that portion of parcel 108 that fronts along US90, the Stipulated Final Judgment grants Mr. Real the right to use 430' for parking only. Constructing a building on any portion of this parcel would require that you purchase or lease the property at fair market value. FDOT would need an easement for the underground drainage, pipe and you/your client would be responsible for relocating it.

As I mentioned, I will meet with Ken Davis again to be sure I have not overlooked any other possibilities. Call or e-mail if you require any additional information. It was a pleasure to see you again.

Sincerely,

Yvonne MacDonald

Yvonne MacDonald
Deputy District Right of Way Manager, Operations.
District 2

WFOA - LOOK AT THIS!
I OVERLOOKED this
detail -
CS



BAILEY BISHOP & LANE, INC.

Engineers

Surveyors

Planners

Village Square

Ann M. Newland, P.E., P.E.

Florida Reg. No. 59818

Date: September 3, 2004

Ann M. Newland

Eng. Lic. 7362

Survey Lic. LB-0006685

P. O. Box 3717

Lake City, FL 32056-3717

Ph. (386) 752-5640

FAX (386) 755-7771

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET – RAI 2 REVISED
SHEET 1 OF 7
September 3, 2004

PROJECT NAME VILLAGE SQUARE
LOCATION LAKE CITY

TOTAL NUMBER OF BASINS 1
TWP 3S RNG 16E SEC 35

AREAS	ACREAGE	PERCENT PROJECT AREA
TOTAL PROJECT AREA	19.64	100.00%
DEVELOPED (NEW) IMPERVIOUS AREA	12.88	65.58%
EXISTING (OLD) IMPERVIOUS AREA	0.0	0%
TOTAL PROJECT IMPERVIOUS AREA	12.88	65.58%
UNDEVELOPED (GREEN SPACE) AREA	4.79	24.39%
BASINS / SURFACEWATER SYSTEM	2.38	10.03%
OTHER:	0.0	0%

SURFACEWATER MANAGEMENT SYSTEM DESCRIPTION:

- ☐ 1. TOTAL RETENTION WITH NO OFFSITE DISCHARGE
☒ 2. RETENTION OF POST-DEVELOPED LESS PRE-DEVELOPED DISCHARGE
☐ 3. DRY DETENTION OF POST-DEVELOPED DISCHARGE
☐ 4. WET DETENTION OF POST-DEVELOPED DISCHARGE
☐ 5. SYSTEM COMPRISED ENTIRELY OF GRASS SWALES
☐ 6. OTHER (Specify)

INDICATE INITIAL (1st) AND SECONDARY (2nd) RECEIVING WATER
BODIES/DRAINAGE SYSTEMS FOR EACH RETENTION/DETENTION SYSTEM IN
PROJECT:

1st WATER BODY: Ex. drainage ditch OPERATOR _____
2nd WATER BODY: Lake Harris OPERATOR _____

IS FIRST WATER BODY: NATURAL () OR MAN-MADE (X)?

	PRE-DEVELOPED DATA	POST-DEVELOPED DATA
RATIONAL COEFFICIENT	0.30	0.77
SCS CURVE NUMBER		
TIME OF CONCENTRATION		

STORAGE FACILITY DATA:

AREA CONTRIBUTING TO THE STORAGE FACILITY 19.64 (acres)
PERMEABILITY RATE OF STORAGE AREA 0.5 (in/hr)

Source: (Please provide supporting documentation) FIELD INSPECTION (SEE REPORT)
CONTROL STRUCTURE DESCRIPTION: 0.8' CONC. WEIR @ 155.3

ATTACHED ARE 7 PAGES OF SUPPORTING CALCULATIONS WHICH ARE DATED
September 3, 2004 AND NUMBERED SHEETS 2 THROUGH 7.

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET – RAI 2 REVISED
SHEET 2 OF 7
September 3, 2004

PROJECT DESCRIPTION:

The developer's propose a master stormwater management system for the 19.64-acres they currently own/control. The first phase of the project consists of Village Square Commercial Center located along US Highway 90 between Applebee's and Waffle House. The second phase of the project is a proposed commercial subdivision and the extension of Real Road; however, this is just a proposed layout and may change in the future. Additionally, the developers would like to include runoff from Applebee's and the Tire Kingdom/Papa John's sites into the master stormwater basin. Westfield Group owns the property behind the Tire Kingdom/Papa John's site and are negotiating with Applebee's to connect their system and fill in their existing stormwater basin. Initially, neither Applebee's or the Tire Kingdom/Papa John's sites will be connected though.

The future development area will consist of a 12-lot commercial subdivision along with the extension of Real Road. Each lot is calculated at 70% maximum impervious. Columbia County will designing the Real Road extension to extend from the existing edge of pavement to Bascom Norris Drive just north of Wal-Mart; however, the runoff from the section within the project limits of this project have been incorporated into the proposed retention basin.

The predevelopment drainage area includes the Applebee's and Tire Kingdom sites and the portion of the area of the developer's property that currently drains to the existing drainage system that runs underneath the Cypress Inn parking area. The predeveloped drainage area is approximately 12.04-acres while the post-developed drainage area is approximately 20.74-acres.

There has been some discussion regarding the design percolation rate. Based upon a telephone conversation with Leroy Marshall on Thursday, August 26, 2004 and a meeting between Leory and Bailey Bishop & Lane on Friday, August 27th, Leroy ran the SRWMD's mounding program and determined that using a vertical unsaturated infiltration rate of 9.5 feet/day (half of what Cal-Tech Testing had recommended – as a safety factor of 2) the maximum stage in the stormwater basin would be 157.3 for the 100-year 10-day storm event. Based upon Leroy's calculations, if we use a rate of zero the maximum stage is 156.80 for the 100-year 4 and 8-hour storm events compared to your stage of 157.00 for the 100-year 24-hour event. We know that we will have some vertical percolation in the system; therefore it was agreed upon during Friday's meeting that we would use a rate of 1 foot per day. The maximum stage in the basin will be 157.1 for the 100-year 4, 8, and 24-hour storm events. The revised top of the bank around the basin will be a minimum of 157.50 feet.

A mitigation area of 0.20-acres is required for impacts to the existing 0.20-acre wetland/ditch, a ratio of one to one as indicated by David Still. The mitigation area will be within a portion of the existing borrow pit as noted on sheet 15 of the construction plans.

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET – RAI 2 REVISED
SHEET 3 OF 7
September 3, 2004

PROJECT DATA

PRE-DEVELOPMENT RATIONAL COEFFICIENT

	COEFF.	FT2	ACRES
PROJECT AREA		524600.00	12.04
EXISTING IMPERVIOUS	0.95	0.00	0.00
GREEN AREA	0.30	524600.00	12.04
OTHER (1)	0.00	0.00	0.00
OTHER (2)	0.00	0.00	0.00

Cpre 0.30

POST-DEVELOPMENT RATIONAL COEFFICIENT

	COEFF.	FT2	ACRES
PROJECT AREA (area owned by developers)		855716.82	19.64
DRAINAGE AREA		903311.09	20.74
EXISTING IMPERVIOUS	0.95	0.00	0.00
VILLAGE SQUARE	0.95	133000.00	3.05
APPLEBEES	0.95	48226.87	1.11
PAPA JOHNS/TIRE KINGDOM	0.95	46939.81	1.08
FUTURE DEV. AREA	0.95	332844.57	7.64
REAL ROAD EXTENSION	0.00	32053.00	0.74
STORMWATER BASIN	1.00	105973.72	2.43
GREEN AREA	0.30	204273.12	4.69

Cpost 0.78

WATER QUALITY CALCULATIONS

	AC-FT	FT3
RUNOFF FROM TWO INCHES OF RAIN	2.54	110554
HALF INCH OF RUNOFF FROM SITE	0.82	35655

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET – RAI 2 REVISED
SHEET 4 OF 7
September 3, 2004

BAILEY BISHOP & LANE, INC.
SRWMD 10-YEAR "CRITICAL" STORM

POND DATA:

TOP ELEV (FT) = 157.5
BOT ELEV (FT) = 154.0

TOP LENGTH (FT) = 58.6
TOP WIDTH (FT) = 60.2

SS (H:1)= 3.0

OUTFLOW DATA:

SOIL- K(FT/HR) = 0.042
ORIFICE- DIA (IN) = 4.5
WEIR- C = 3.0

<---1 FT/DAY

L (FT) = 0.80

INVERT ELEV (FT) = 999.0
INVERT ELEV (FT) = 155.3

RESULTS - FLOOD HYDROGRAPH ROUTING:
RETEN VOL (CF) = 114967

10 YEAR (HOUR)	POST (CFS)	PRE (CFS)	OUTFLOW (CFS)	OK	WATER HT (FEET)	OK	DISCHARGE VOL (CF)
1	105.4	38.6	0.8	YES	155.8	YES	1058
2	74.3	27.3	1.7	YES	156.1	YES	5395
4	36.8	13.5	2.8	YES	156.4	YES	15184
8	34.6	12.7	2.4	YES	156.3	YES	29907
24	10.8	4.0	2.8	YES	156.4	YES	92850

HYDROGRAPH DATA:

AREA (ACRES) = 19.64
C PRE = 0.30
C POST = 0.78
P (1 HOUR) = 3.05
P (2 HOUR) = 3.70
P (4 HOUR) = 4.40
P (8 HOUR) = 5.12
P (24 HOUR) = 6.72

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET - RAI 2 REVISED
SHEET 5 OF 7
September 3, 2004

ELEV (FT)	WID (FT)	LEN (FT)	A (FT^2)	VOL (CF)	T VOL (CF)	PERC RATE (CFS)	PIPE RATE (CFS)	WEIR RATE (CFS)	SURFACE DISCHARGE (CFS)	TOTAL DISCHARGE (CFS)	DT=0.1 HR 2SIDT+O (CFS)	DT=0.5 HR 2SIDT+O (CFS)	ELEV (FT)	DISCHARGEDISCHARGE (CFS)	TOTAL SURFACE (CFS)
154.00	NA	NA	83699.07	0.00	0.00	0.97	0.00	0.00	0.00	0.97	-1.00E+50	-1.00E+50	154.00	0.97	0.97
154.10	NA	NA	84441.56	8398.60	8398.60	0.98	0.00	0.00	0.00	0.98	47.64	10.31	154.10	0.98	0.00
154.20	NA	NA	85184.04	8472.77	16871.37	0.99	0.00	0.00	0.00	0.99	94.72	19.73	154.20	0.99	0.00
154.30	NA	NA	85926.53	8546.95	25418.31	0.99	0.00	0.00	0.00	0.99	142.21	29.24	154.30	0.99	0.00
154.40	NA	NA	86669.02	8621.12	34039.44	1.00	0.00	0.00	0.00	1.00	190.11	38.82	154.40	1.00	0.00
154.50	NA	NA	87411.51	8695.30	42734.73	1.01	0.00	0.00	0.00	1.01	238.43	48.49	154.50	1.01	0.00
154.60	NA	NA	88154.00	8769.47	51504.20	1.02	0.00	0.00	0.00	1.02	287.15	58.25	154.60	1.02	0.00
154.70	NA	NA	88896.49	8843.65	60347.85	1.03	0.00	0.00	0.00	1.03	336.29	68.08	154.70	1.03	0.00
154.80	NA	NA	89638.97	8917.82	69265.67	1.04	0.00	0.00	0.00	1.04	385.85	78.00	154.80	1.04	0.00
154.90	NA	NA	90381.46	8992.00	78257.66	1.05	0.00	0.00	0.00	1.05	435.81	88.00	154.90	1.05	0.00
155.00	NA	NA	91123.95	9066.17	87323.84	1.05	0.00	0.00	0.00	1.05	486.19	98.08	155.00	1.05	0.00
155.10	NA	NA	91866.44	9140.34	96464.18	1.06	0.00	0.00	0.00	1.06	536.98	108.25	155.10	1.06	0.00
155.20	NA	NA	92608.93	9214.52	105678.70	1.07	0.00	0.00	0.00	1.07	588.18	118.49	155.20	1.07	0.00
155.30	NA	NA	93351.42	9288.69	114967.39	1.08	0.00	0.00	0.00	1.08	639.79	128.82	155.30	1.08	0.00
155.40	NA	NA	94093.90	9362.87	124330.26	1.09	0.00	0.00	0.00	1.09	691.89	139.31	155.40	1.09	0.00
155.50	NA	NA	94836.39	9437.04	133767.31	1.10	0.00	0.21	0.21	1.31	744.46	149.94	155.50	1.16	0.08
155.60	NA	NA	95578.88	9511.22	143278.53	1.11	0.00	0.39	0.39	1.50	797.49	160.70	155.60	1.31	0.21
155.70	NA	NA	96321.37	9585.39	152863.92	1.11	0.00	0.61	0.61	1.72	850.97	171.57	155.70	1.50	0.39
155.80	NA	NA	97063.86	9659.57	162523.49	1.12	0.00	0.85	0.85	1.97	904.88	182.55	155.80	1.72	0.61
155.90	NA	NA	97806.35	9733.74	172257.23	1.13	0.00	1.12	1.12	2.25	959.23	193.64	155.90	1.97	0.85
156.00	NA	NA	98548.83	9807.92	182065.15	1.14	0.00	1.41	1.41	2.55	1014.02	204.84	156.00	2.25	1.12
156.10	NA	NA	99291.32	9882.09	191947.24	1.15	0.00	1.72	1.72	2.87	1069.24	216.14	156.10	2.55	1.41
156.20	NA	NA	100033.81	9956.27	201903.51	1.16	0.00	2.05	2.05	3.21	1124.89	227.54	156.20	2.87	1.72
156.30	NA	NA	100776.30	10030.44	211933.95	1.17	0.00	2.40	2.40	3.57	1180.98	239.05	156.30	3.21	2.05
156.40	NA	NA	101518.79	10104.62	222038.57	1.17	0.00	2.77	2.77	3.94	1237.49	250.65	156.40	3.57	2.40
156.50	NA	NA	102261.28	10178.79	232217.36	1.18	0.00	3.15	3.15	4.34	1294.43	262.36	156.50	3.94	2.77
156.60	NA	NA	103003.76	10252.97	242470.33	1.19	0.00	3.56	3.56	4.75	1351.81	274.16	156.60	4.34	3.15
156.70	NA	NA	103746.25	10327.14	252797.47	1.20	0.00	3.98	3.98	5.18	1409.61	286.06	156.70	4.75	3.56
156.80	NA	NA	104488.74	10401.32	263198.78	1.21	0.00	4.41	4.41	5.62	1467.83	298.06	156.80	5.18	3.98
156.90	NA	NA	105231.23	10475.49	273674.27	1.22	0.00	4.86	4.86	6.08	1526.49	310.16	156.90	5.62	4.41
157.00	NA	NA	105973.72	10549.67	284223.94	1.23	0.00	5.32	5.32	6.55	1585.57	322.35	157.00	6.08	4.86
157.10	NA	NA	106716.21	10623.84	294847.78	1.24	0.00	5.80	5.80	7.03	1645.07	334.64	157.10	6.55	5.32
157.20	NA	NA	107458.69	10698.01	305545.80	1.24	0.00	6.29	6.29	7.53	1705.01	347.02	157.20	7.03	5.80
157.30	NA	NA	108201.18	10772.19	316317.98	1.25	0.00	6.79	6.79	8.04	1765.36	359.50	157.30	7.53	6.29
157.40	NA	NA	108943.67	10846.36	327164.35	1.26	0.00	7.30	7.30	8.56	1826.14	372.08	157.40	8.04	6.79
157.50	NA	NA	109686.16	10920.54	338084.89	1.27	0.00	7.83	7.83	9.10	1887.35	384.75	157.50	8.56	7.30
															7.83

WQ REQ'D
----->
VOLUME

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET - RAI 2 REVISED
SHEET 6 OF 7
September 3, 2004

BAILEY BISHOP & LANE, INC.
SRWMD 100-YEAR "CRITICAL" STORM

POND DATA:

TOP ELEV (FT) = 157.5
BOT ELEV (FT) = 154.0

TOP LENGTH (FT) = 58.6
TOP WIDTH (FT) = 60.2

SS (H:1)= 3.0

~~OUTFLOW DATA:~~

SOIL- K(FT/HR) = 0.042
ORIFICE- DIA (IN) = 4.5
WEIR- C = 3.0

<---1 FT/DAY

L (FT) = 0.80

INVERT ELEV (FT) = 999.0
INVERT ELEV (FT) = 155.3

RESULTS - FLOOD HYDROGRAPH ROUTING:
RETEN VOL (CF) = 114967

100 YEAR (HOUR)	POST (CFS)	PRE (CFS)	OUTFLOW (CFS)	OK	WATER HT (FEET)	OK	DISCHARGE VOL (CF)
1	145.2	53.2	3.2	YES	156.5	YES	4311
2	102.5	37.6	4.4	YES	156.8	YES	15720
4	50.8	18.6	5.8	YES	157.1	YES	35302
8	49.7	18.2	5.8	YES	157.1	YES	78168
24	15.8	5.8	5.3	YES	157.0	YES	222567

HYDROGRAPH DATA:

AREA (ACRES) = 19.64
C PRE = 0.30
C POST = 0.78
P (1 HOUR) = 4.20
P (2 HOUR) = 5.10
P (4 HOUR) = 6.08
P (8 HOUR) = 7.36
P (24 HOUR) = 9.84

SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET – RAI 2 REVISED
SHEET 7 OF 7
September 3, 2004

ELEV (FT)	WID (FT)	LEN (FT)	A (FT²)	VOL (CF)	T VOL (CF)	PERC RATE (CFS)	PIPE RATE (CFS)	WEIR RATE (CFS)	SURFACE DISCHARGE (CFS)	TOTAL DISCHARGE (CFS)	DT=0.1 HR 2S/DT+O (CFS)	DT=0.5 HR 2S/DT+O (CFS)	ELEV (FT)	DISCHARGE (CFS)	TOTAL SURFACE DISCHARGE (CFS)
154.00	NA	NA	83699.07	0.00	0.00	0.97	0.00	0.00	0.00	0.97	-1.00E+50	-1.00E+50	154.00	0.97	0.00
154.10	NA	NA	84441.56	8398.60	8398.60	0.98	0.00	0.00	0.00	0.98	47.64	10.31	154.10	0.98	0.00
154.20	NA	NA	85184.04	8472.77	16871.37	0.99	0.00	0.00	0.00	0.99	94.72	19.73	154.20	0.99	0.00
154.30	NA	NA	85926.53	8546.95	25418.31	0.99	0.00	0.00	0.00	0.99	142.21	29.24	154.30	0.99	0.00
154.40	NA	NA	86669.02	8621.12	34039.44	1.00	0.00	0.00	0.00	1.00	190.11	38.82	154.40	1.00	0.00
154.50	NA	NA	87411.51	8695.30	42734.73	1.01	0.00	0.00	0.00	1.01	238.43	48.49	154.50	1.01	0.00
154.60	NA	NA	88154.00	8769.47	51504.20	1.02	0.00	0.00	0.00	1.02	287.15	58.25	154.60	1.02	0.00
154.70	NA	NA	88896.49	8843.65	60347.85	1.03	0.00	0.00	0.00	1.03	336.29	68.08	154.70	1.03	0.00
154.80	NA	NA	89638.97	8917.82	69265.67	1.04	0.00	0.00	0.00	1.04	385.85	78.00	154.80	1.04	0.00
154.90	NA	NA	90381.46	8992.00	78257.66	1.05	0.00	0.00	0.00	1.05	435.81	88.00	154.90	1.05	0.00
155.00	NA	NA	91123.95	9066.17	87323.84	1.05	0.00	0.00	0.00	1.05	486.19	98.08	155.00	1.05	0.00
155.10	NA	NA	91866.44	9140.34	96464.18	1.06	0.00	0.00	0.00	1.06	536.98	108.25	155.10	1.06	0.00
155.20	NA	NA	92608.93	9214.52	105678.70	1.07	0.00	0.00	0.00	1.07	588.18	118.49	155.20	1.07	0.00
155.30	NA	NA	93351.42	9288.69	114967.39	1.08	0.00	0.00	0.00	1.08	639.79	128.82	155.30	1.08	0.00
155.40	NA	NA	94093.90	9362.87	124330.26	1.09	0.00	0.08	0.08	1.16	691.89	139.31	155.40	1.16	0.08
155.50	NA	NA	94836.39	9437.04	133767.31	1.10	0.00	0.21	0.21	1.31	744.46	149.94	155.50	1.31	0.21
155.60	NA	NA	95578.88	9511.22	143278.53	1.11	0.00	0.39	0.39	1.50	797.49	160.70	155.60	1.50	0.39
155.70	NA	NA	96321.37	9585.39	152863.92	1.11	0.00	0.61	0.61	1.72	850.97	171.57	155.70	1.72	0.61
155.80	NA	NA	97063.86	9659.57	162523.49	1.12	0.00	0.85	0.85	1.97	904.88	182.55	155.80	1.97	0.85
155.90	NA	NA	97806.35	9733.74	172257.23	1.13	0.00	1.12	1.12	2.25	959.23	193.64	155.90	2.25	1.12
156.00	NA	NA	98548.83	9807.92	182065.15	1.14	0.00	1.41	1.41	2.55	1014.02	204.84	156.00	2.55	1.41
156.10	NA	NA	99291.32	9882.09	191947.24	1.15	0.00	1.72	1.72	2.87	1069.24	216.14	156.10	2.87	1.72
156.20	NA	NA	100033.81	9956.27	201903.51	1.16	0.00	2.05	2.05	3.21	1124.89	227.54	156.20	3.21	2.05
156.30	NA	NA	100776.30	10030.44	211933.95	1.17	0.00	2.40	2.40	3.57	1180.98	239.05	156.30	3.57	2.40
156.40	NA	NA	101518.79	10104.62	222038.57	1.17	0.00	2.77	2.77	3.94	1237.49	250.65	156.40	3.94	2.77
156.50	NA	NA	102261.28	10178.79	232217.36	1.18	0.00	3.15	3.15	4.34	1294.43	262.36	156.50	4.34	3.15
156.60	NA	NA	103003.76	10252.97	242470.33	1.19	0.00	3.56	3.56	4.75	1351.81	274.16	156.60	4.75	3.56
156.70	NA	NA	103746.25	10327.14	252797.47	1.20	0.00	3.98	3.98	5.18	1409.61	286.06	156.70	5.18	3.98
156.80	NA	NA	104488.74	10401.32	263198.78	1.21	0.00	4.41	4.41	5.62	1467.83	298.06	156.80	5.62	4.41
156.90	NA	NA	105231.23	10475.49	273674.27	1.22	0.00	4.86	4.86	6.08	1526.49	310.16	156.90	6.08	4.86
157.00	NA	NA	105973.72	10549.67	284223.94	1.23	0.00	5.32	5.32	6.55	1585.57	322.35	157.00	6.55	5.32
157.10	NA	NA	106716.21	10623.84	294847.78	1.24	0.00	5.80	5.80	7.03	1645.07	334.64	157.10	7.03	5.80
157.20	NA	NA	107458.69	10698.01	305545.80	1.24	0.00	6.29	6.29	7.53	1705.01	347.02	157.20	7.53	6.29
157.30	NA	NA	108201.18	10772.19	316317.98	1.25	0.00	6.79	6.79	8.04	1765.36	359.50	157.30	8.04	6.79
157.40	NA	NA	108943.67	10846.36	327164.35	1.26	0.00	7.30	7.30	8.56	1826.14	372.08	157.40	8.56	7.30
157.50	NA	NA	109686.16	10920.54	338084.89	1.27	0.00	7.83	7.83	9.10	1887.35	384.75	157.50	9.10	7.83

WQ REQ'D
----->
VOLUME



BAILEY BISHOP & LANE, INC.

Engineers

Surveyors

Planners

**VILLAGE SQUARE
RETAIL CENTER
TRIP GENERATION REPORT**



Ann M. Newland, P.E.

Date: July 14, 2004

P. O. Box 3717

Lake City, FL 32056-3717

Ph. (386) 752-5640

FAX (386) 755-7771

SUMMARY OF TRIP GENERATION CALCULATIONS

1-Feb-00

PROJECT DESCRIPTION:

LAND USE DESCRIPTION:

LAND USE VARIABLE:

VILLAGE SQUARE

RETAIL CENTER

40 VARIABLE DESCRIPTION

	AVERAGE RATE	ADJUSTMENT FACTOR	DRIVEWAY VOLUME
AVERAGE WEEKDAY 2-WAY VOLUME	40.67	1.00	1627
7-9 AM PEAK HOUR ENTER	0.00	1.00	0
7-9 AM PEAK HOUR EXIT	0.00	1.00	0
7-9 AM PEAK HOUR TOTAL	0.00	1.00	0
4-6 PM PEAK HOUR ENTER	1.11	1.00	45
4-6 PM PEAK HOUR EXIT	1.48	1.00	59
4-6 PM PEAK HOUR TOTAL	2.59	1.00	104
AM GENERATOR PEAK HOUR ENTER	3.08	1.00	123
AM GENERATOR PEAK HOUR EXIT	3.33	1.00	133
AM GENERATOR PEAK HOUR TOTAL	6.41	1.00	256
PM GENERATOR PEAK HOUR ENTER	2.81	1.00	112
PM GENERATOR PEAK HOUR EXIT	2.12	1.00	85
PM GENERATOR PEAK HOUR TOTAL	4.93	1.00	197
SATURDAY 2-WAY VOLUME	42.04	1.00	1682
PEAK HOUR ENTER	0.00	1.00	0
PEAK HOUR EXIT	0.00	1.00	0
PEAK HOUR TOTAL	0.00	1.00	0
SUNDAY 2-WAY VOLUME	20.43	1.00	817
PEAK HOUR ENTER	0.00	1.00	0
PEAK HOUR EXIT	0.00	1.00	0
PEAK HOUR TOTAL	0.00	1.00	0

Note: A zero rate indicates no rate data available

Source: Institute of Transportation Engineers, Trip Generation, 6th Edition, 1997

#22713 - PERMITTED

DOCUMENTS RECEIVED BY JLW

TO: JDK
HD
RTJ

DATE 1-25-05

APPLICATION # Village Square
CONTRACTOR Simone, David

BLUEPRINTS

ENVIRONMENTAL HEALTH SIGNED SITE PLAN

NOC

WELL LETTER

LICENSURE DOCUMENTS

PROOF OF OWNERSHIP – DEED, ETC.

911 ADDRESS FORM

ONE FOOT RISE LETTER (SEALED)

MANUAL J FORM

ENERGY CODE

FIREPLACE SPECS

DOOR SPECS

WINDOW SPECS

GARAGE DOOR SPECS

SHINGLES/ROOF SPECS

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION
CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE - TENANT #1</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.: <u>22713</u>
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.: <u>221000</u>

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.16	300	Under Attic	.20	1680	Slab-on-grade	—	1680	Wood	—	—
Wood frame	—	—	Single Assembly	—	—	Raised Wood	—	—	Metal	.40	21
Metal frame	.13	1420	Other	—	—	Raised Concrete	—	—	Insulated	—	—
Insulation R-value	—	—	Insulation R-value	30	1680	Insulation R-value	—	—	Other	—	—

SYSTEMS INFORMATION											
AIR CONDITIONER				HEATING SYSTEM				HOT WATER			
TYPE	EFFICIENCY	TONS		TYPE	EFFICIENCY	BTU/H		TYPE			
Unitary & Heat Pump				Central & Heat Pump				Electric			
<65,000 Btu/h	10.0 SEER	5		<65,000 Btu/h	6.8 HSPF	62500		Resistance		<input checked="" type="checkbox"/>	
≥65,000 Btu/h	— EER	— IPLV		≥65,000 Btu/h	— COP	—		Dedicated Heat Pump		<input type="checkbox"/>	
Water cooled	— EER	— IPLV		Water cooled	— COP	—		Gas			
Evaporatively cooled	— EER	—		Evaporatively cooled	— COP	—		Natural		<input type="checkbox"/>	
PTAC	— EER	—		Electric Resistance	— COP	—		LPG		<input type="checkbox"/>	
Chiller	— COP	— IPLV		Gas/Oil (circle one)	—	—		HRU		<input type="checkbox"/>	
Gas heat pump	— COP	—		<225,000/300,000 Btu/h	— AFUE	—		Other		<input type="checkbox"/>	
Other:	—	—		≥225,000/300,000 Btu/h	— E ₁	—					
LIGHTING				SIZING CALCULATION				DUCTS			
Total Lighting Wattage		2560		Attached		<input type="checkbox"/>		R-value		6	
Total Conditioned Floor Area		1680		Watts/sq. ft.		1.4		Location		ATTIC	

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	408.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	408.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	408.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V ₁ . Gas >75,000, Oil >105,000: E ₁ .78, Standby loss ≤ 1.30+114/V ₁ . Gas, Oil >155,000: E ₁ .78, Standby loss ≤ 1.30+95/V ₁ .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION
CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: VILLAGE SQUARE	TENANT #2	Zone:
Address: US-90 WEST		Building Classification:
City, Zip Code: LAKE CITY, FL 32056		Building Permit No.:
Builder: SIMQUE CONST.		Permitting Office: COLUMBIA COUNTY
Owner: WESTFIELD GROUP		Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	160	Under Attic	.051	896	Slab-on-grade		896	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.48	21
Metal frame	.13	1250	Other:			Raised Concrete			Insulated		
Insulation R-value			Insulation R-value			Insulation R-value			Other		

SYSTEMS INFORMATION											
AIR CONDITIONER				HEATING SYSTEM				HOT WATER			
TYPE	EFFICIENCY	TONS		TYPE	EFFICIENCY	BTU/H		TYPE			
Unitary & Heat Pump	10.0 SEER	3		Central & Heat Pump	6.8 HSPF	37,500		Electric			
<65,000 Btu/h	— EER	— IPLV		<65,000 Btu/h	— COP	—		Resistance		<input checked="" type="checkbox"/>	
≥65,000 Btu/h	— EER	— IPLV		≥65,000 Btu/h	— COP	—		Dedicated Heat Pump		<input type="checkbox"/>	
Water cooled	— EER	— IPLV		Water cooled	— COP	—		Gas			
Evaporatively cooled	— EER	—		Evaporatively cooled	— COP	—		Natural		<input type="checkbox"/>	
PTAC	— EER	—		Electric Resistance	— COP	—		LPG		<input type="checkbox"/>	
Chiller	— COP	— IPLV		Gas/Oil (circle one)	— AFUE	—		HRU		<input type="checkbox"/>	
Gas heat pump	— COP	—		<225,000/300,000 Btu/h	— E ₁	—		Other:		<input type="checkbox"/>	
Other:	—	—		≥225,000/300,000 Btu/h	—	—					
LIGHTING				SIZING CALCULATION				DUCTS			
Total Lighting Wattage		1760		Attached		<input type="checkbox"/>		R-value		6	
Total Conditioned Floor Area		896		Watts/sq. ft.		2.0		Location		ATTIC	

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	406.1	Maximum: .3 cfm per sq.ft. of window area; Maximum: 1.2 cfm per sq.ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	408.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balance	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _t . Gas >75,000, Oil >105,000: E _t .78, Standby loss ≤ 1.30+114/V _t . Gas, Oil >155,000: E _t .78, Standby loss ≤ 1.30+95/V _t .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 6' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: 7/21/05 DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____

DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #3</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	200	Under Attic	.051	1120	Slab-on-grade		1120	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.20	21
Metal frame	.13	1320	Other:			Raised Concrete			Insulated		
Insulation R-value		11	Insulation R-value		19	Insulation R-value		0	Other		

SYSTEMS INFORMATION																
AIR CONDITIONER						HEATING SYSTEM			HOT WATER							
TYPE	EFFICIENCY	TONS				TYPE	EFFICIENCY	BTU/H	TYPE							
Unitary & Heat Pump						Central & Heat Pump			Electric							
<65,000 Btu/h	10.0 SEER	3				<65,000 Btu/h	6.8 HSPF	37,500	Resistance							
≥65,000 Btu/h	EER	IPLV				≥65,000 Btu/h	COP		Dedicated Heat Pump							
Water cooled	EER	IPLV				Water cooled	COP		Gas							
Evaporatively cooled	EER					Evaporatively cooled	COP		Natural							
PTAC	EER					Electric Resistance	COP		LPG							
Chiller	COP	IPLV				Gas/Oil (circle one)			HRU							
Gas heat pump	COP					<225,000/300,000 Btu/h	AFUE		Other:							
Other:						≥225,000/300,000 Btu/h	E _t									
LIGHTING						SIZING CALCULATION			DUCTS							
Total Lighting Wattage						Attached			R-value							
Total Conditioned Floor Area									Location							

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	✓
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	✓
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	✓
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	✓
Reheat	407.1	Electric resistance reheat prohibited.	✓
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	✓
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	✓
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	✓
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	✓
Balancing	410.1	HVAC distribution system(s) tested and balanced.	✓
Piping Insulation	411.1	In accordance with Table 4-11.	✓
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _t . Gas >75,000, Oil >105,000: E _t .78. Standby loss ≤ 1.30+114/V _t . Gas, Oil >155,000: E _t .78. Standby loss ≤ 1.30+95/V _t .	✓
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	✓
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	✓
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	✓

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____
ELECTRICAL SYSTEM DESIGNER: _____
LIGHTING SYSTEM DESIGNER: _____
MECHANICAL SYSTEM DESIGNER: _____
PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05
I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.208, F.S.

BUILDING OFFICIAL: _____

DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

NORTH

Limited and Special Use Buildings

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE</u>	Tenant # <u>4</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:	
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:	
Builder: <u>SIMQUE CONST</u>	Permitting Office: <u>COLUMBIA COUNTY</u>	
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:	

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	200	Under Attic	.051	1120	Slab-on-grade			Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.049	21
Metal frame	.13	1320	Other:			Raised Concrete			Insulated		
Insulation R-value			Insulation R-value	19		Insulation R-value			Other		

SYSTEMS INFORMATION														
AIR CONDITIONER						HEATING SYSTEM			HOT WATER					
TYPE	EFFICIENCY	TONS				TYPE	EFFICIENCY	BTU/H	TYPE					
Unitary & Heat Pump	10.0 SEER	3				Central & Heat Pump	6.8 HSPF	37,500	Electric					
<65,000 Btu/h	— EER	— IPLV				<65,000 Btu/h	— COP	—	Resistance		<input checked="" type="checkbox"/>			
≥65,000 Btu/h	— EER	— IPLV				Water cooled	— COP	—	Dedicated Heat Pump		<input type="checkbox"/>			
Water cooled	— EER	—				Evaporatively cooled	— COP	—	Gas					
Evaporatively cooled	— EER	—				Electric Resistance	— COP	—	Natural		<input type="checkbox"/>			
PTAC	— EER	—				Gas/Oil (circle one)	—	—	LPG		<input type="checkbox"/>			
Chiller	— COP	— IPLV				<225,000/300,000 Btu/h	— AFUE	—	HRU		<input type="checkbox"/>			
Gas heat pump	— COP	—				≥225,000/300,000 Btu/h	— E ₁	—	Other:		<input type="checkbox"/>			
Other:	—	—												
LIGHTING						SIZING CALCULATION			DUCTS					
Total Lighting Wattage						Attached <input type="checkbox"/>			R-value <u>6</u>					
Total Conditioned Floor Area						Watts/sq. ft.			Location <u>ATTIC</u>					

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	408.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	408.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	408.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _T . Gas >75,000, Oil >105,000: E ₁ . 78. Standby loss ≤ 1.30+114/V _T . Gas, Oil >155,000: E ₁ . 78. Standby loss ≤ 1.30+95/V _T .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spas & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 6' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____

DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #5</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.16	200	Under Attic	.051	1120	Slab-on-grade		1120	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.40	21
Metal frame	.13	1320	Other:			Raised Concrete			Insulated		
Insulation R-value		11	Insulation R-value		19	Insulation R-value			Other		

SYSTEMS INFORMATION											
AIR CONDITIONER						HEATING SYSTEM					
TYPE	EFFICIENCY	TONS				TYPE	EFFICIENCY	BTU/H			
Unitary & Heat Pump						Central & Heat Pump					
<65,000 Btu/h	10.0 SEER	37,500				<65,000 Btu/h	6.8 HSPF	37,500			
≥65,000 Btu/h	EER	IPLV				≥65,000 Btu/h	COP				
Water cooled	EER	IPLV				Water cooled	COP				
Evaporatively cooled	EER					Evaporatively cooled	COP				
PTAC	EER					Electric Resistance	COP				
Chiller	COP	IPLV				Gas/Oil (circle one)					
Gas heat pump	COP					<225,000/300,000 Btu/h	AFUE				
Other:						≥225,000/300,000 Btu/h	E ₁				
LIGHTING						DUCTS					
Total Lighting Wattage			2080			SIZING CALCULATION			R-value		
Total Conditioned Floor Area			1120			Attached			Location		
									ATTIC		

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	✓
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	✓
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	✓
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	✓
Reheat	407.1	Electric resistance reheat prohibited.	✓
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	✓
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	✓
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	✓
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	✓
Balancing	410.1	HVAC distribution system(s) tested and balanced.	✓
Piping Insulation	411.1	In accordance with Table 4-11.	✓
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ . 78. Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ . 78. Standby loss ≤ 1.30+95/V _r .	✓
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	✓
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 6' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	✓
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	✓

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____
 ELECTRICAL SYSTEM DESIGNER: _____
 LIGHTING SYSTEM DESIGNER: _____
 MECHANICAL SYSTEM DESIGNER: _____
 PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05
 I hereby certify that this building is in compliance with the Florida Energy Code

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #6</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.151	230	Under Attic	.051	1288	Slab-on-grade		1288	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.40	42
Metal frame			Other:			Raised Concrete			Insulated		
Insulation R-value			Insulation R-value			Insulation R-value			Other		

SYSTEMS INFORMATION																	
AIR CONDITIONER						HEATING SYSTEM				HOT WATER							
TYPE	EFFICIENCY		TONS			TYPE	EFFICIENCY		BTU/H	TYPE							
Unitary & Heat Pump	10.0 SEER		3			Central & Heat Pump	6.8 HSPF		37,500	Electric							
<65,000 Btu/h	EER		IPLV			<65,000 Btu/h	COP			Resistance	<input checked="" type="checkbox"/>						
≥65,000 Btu/h	EER		IPLV			≥65,000 Btu/h	COP			Dedicated Heat Pump	<input type="checkbox"/>						
Water cooled	EER		IPLV			Water cooled	COP			Gas							
Evaporatively cooled	EER		IPLV			Evaporatively cooled	COP			Natural	<input type="checkbox"/>						
PTAC	EER		IPLV			Electric Resistance	COP			LPG	<input type="checkbox"/>						
Chiller	COP		IPLV			Gas/Oil (circle one)	AFUE			HRU	<input type="checkbox"/>						
Gas heat pump	COP		IPLV			<225,000/300,000 Btu/h	E ₁			Other:	<input type="checkbox"/>						
Other:						≥225,000/300,000 Btu/h											
LIGHTING						SIZING CALCULATION				DUCTS							
Total Lighting Wattage = 2080						Attached <input type="checkbox"/>				R-value 6							
Total Conditioned Floor Area = 1288						Watts/sq. ft.				Location ATTIC							

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	408.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000: E ₁ . 78. Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ . 78. Standby loss ≤ 1.30+95/V _r .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft. <input type="checkbox"/>	Convenience stores <5,000 sq. ft. <input type="checkbox"/>	Office buildings <5,000 sq. ft. <input type="checkbox"/>
Skyboxes/sports stadiums <input type="checkbox"/>	Restaurants <5,000 sq. ft. <input type="checkbox"/>	School buildings <5,000 sq. ft. <input type="checkbox"/>
Traffic safety control towers <input type="checkbox"/>	Retail stores <5,000 sq. ft. <input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft. <input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/2/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #7</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	220	Under Attic	0.05	1232	Slab-on-grade		1232	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.87	21
Metal frame	.13	1340	Other:			Raised Concrete			Insulated		
Insulation R-value			Insulation R-value	19		Insulation R-value			Other		

SYSTEMS INFORMATION														
AIR CONDITIONER						HEATING SYSTEM				HOT WATER				
TYPE	EFFICIENCY	TONS				TYPE	EFFICIENCY	BTU/H						
Unitary & Heat Pump						Central & Heat Pump								
<65,000 Btu/h	10.0 SEER	3				<65,000 Btu/h	6.8 HSPF	37,500						
≥65,000 Btu/h	EER	IPLV				≥65,000 Btu/h	COP							
Water cooled	EER	IPLV				Water cooled	COP							
Evaporatively cooled	EER					Evaporatively cooled	COP							
PTAC	EER					Electric Resistance	COP							
Chiller	COP	IPLV				Gas/Oil (circle one)								
Gas heat pump	COP					<225,000/300,000 Btu/h	AFUE							
Other:						≥225,000/300,000 Btu/h	E ₁							
LIGHTING						SIZING CALCULATION				DUCTS				
Total Lighting Wattage = <u>2080</u>						Attached <input type="checkbox"/>				R-value <u>G</u>				
Total Conditioned Floor Area = <u>1232</u>						Watts/sq. ft.				Location <u>ATTIC</u>				

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	408.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	408.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	408.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	408.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ , .78. Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ , .78. Standby loss ≤ 1.30+95/V _r .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____
 ELECTRICAL SYSTEM DESIGNER: _____
 LIGHTING SYSTEM DESIGNER: _____
 MECHANICAL SYSTEM DESIGNER: _____
 PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft. <input type="checkbox"/>	Convenience stores <5,000 sq. ft. <input type="checkbox"/>	Office buildings <5,000 sq. ft. <input type="checkbox"/>
Skyboxes/sports stadiums <input type="checkbox"/>	Restaurants <5,000 sq. ft. <input type="checkbox"/>	School buildings <5,000 sq. ft. <input type="checkbox"/>
Traffic safety control towers <input type="checkbox"/>	Retail stores <5,000 sq. ft. <input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft. <input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05
 I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #8</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION														
WALLS			ROOF/CEILING			FLOORS			DOORS			GLASS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	220	Under Attic			Slab-on-grade		1232	Wood					
Wood frame			Single Assembly			Raised Wood			Metal	.40	21	Double, wall	.87	396
Metal frame	.13	1340	Other:			Raised Concrete			Insulated			Single, roof		
Insulation R-value		11	Insulation R-value		19	Insulation R-value			Other			Double, roof		

SYSTEMS INFORMATION													
AIR CONDITIONER					HEATING SYSTEM								
TYPE	EFFICIENCY	TONS			TYPE	EFFICIENCY	BTU/H						
Unitary & Heat Pump					Central & Heat Pump								
<65,000 Btu/h	10.0 SEER	3			<65,000 Btu/h	6.8 HSPF	37,500						
≥65,000 Btu/h	EER	IPLV			≥65,000 Btu/h	COP							
Water cooled	EER	IPLV			Water cooled	COP							
Evaporatively cooled	EER				Evaporatively cooled	COP							
PTAC	EER				Electric Resistance	COP							
Chiller	COP	IPLV			Gas/Oil (circle one)								
Gas heat pump	COP				<225,000/300,000 Btu/h	AFUE							
Other:					≥225,000/300,000 Btu/h	E ₁							
LIGHTING					DUCTS								
Total Lighting Wattage = 2080					R-value = 6								
Total Conditioned Floor Area = 1232					Location = ATTIC								
					SIZING CALCULATION								
					Attached <input type="checkbox"/>								

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	✓
Windows & Doors	408.1	Maximum: .3 cfm per sq.ft. of window area; Maximum: 1.2 cfm per sq.ft. of door area.	✓
Joints/Cracks	408.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	✓
Dropped Ceiling Cavity	408.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	✓
Reheat	407.1	Electric resistance reheat prohibited.	✓
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	✓
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	✓
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	✓
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	✓
Balancing	410.1	HVAC distribution system(s) tested and balanced.	✓
Piping Insulation	411.1	In accordance with Table 4-11.	✓
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ .78, Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ .78, Standby loss ≤ 1.30+95/V _r .	✓
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spas & pool heaters must have a minimum thermal efficiency of 78%.	N/A
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	✓
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	✓
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	✓

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft. <input type="checkbox"/>	Convenience stores <5,000 sq. ft. <input type="checkbox"/>	Office buildings <5,000 sq. ft. <input type="checkbox"/>
Skyboxes/sports stadiums <input type="checkbox"/>	Restaurants <5,000 sq. ft. <input type="checkbox"/>	School buildings <5,000 sq. ft. <input type="checkbox"/>
Traffic safety control towers <input type="checkbox"/>	Retail stores <5,000 sq. ft. <input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft. <input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FORM 400C-01

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-5 CONVENIENCE BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 85,000$ Btu/h, Room Units, PTACs								Capacity < 85,000 Btu/h	
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
15	2.7	15	2.7	15	3.1	15	3.5	15	3.5
25	2.4	25	2.9	25	2.9	25	3.1	25	3.1
				35	2.4	35	2.7	35	2.7
						45	2.1	45	2.1
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						55	3.9	55	3.9

Glazing:

Solar Heat Gain Coefficient ≤ 0.87

Table 4C-6 RESTAURANT BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 85,000$ Btu/h, Room Units, PTACs								Capacity < 85,000 Btu/h	
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
30	1.0	30	1.2	30	1.4	30	1.6	30	1.6
35	0.8	35	1.0	35	1.2	35	1.4	35	1.4
		40	0.8	40	1.0	40	1.2	40	1.2
				45	0.8	45	1.0	45	1.0
				50	0.8	50	0.8	50	0.8
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						65	1.8	65	1.8

Glazing:

Solar Heat Gain Coefficient ≤ 0.77 or

Double Pane

Table 4C-7 RETAIL BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 85,000$ Btu/h, Room Units, PTACs								Capacity < 85,000 Btu/h	
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
35	2.2	35	2.4	35	2.5	35	2.8	35	2.8
45	2.0	45	2.2	45	2.3	45	2.4	45	2.4
		55	2.0	55	2.1	55	2.2	55	2.2
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						65	3.0	65	3.0

Glazing:

Solar Heat Gain Coefficient ≤ 0.87

FORM 400C-97

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-8 OFFICE BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 65,000$ Btu/h, Room Units, PTACs							Capacity < 65,000 Btu/h		
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
20	2.0	20	2.2	30	2.2	25	2.4	25	2.4
25	1.8	30	2.0	40	2.0	35	2.2	35	2.2
		35	1.8	45	1.8	45	2.0	45	2.0
						50	1.8	50	1.8
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						75	2.2	75	2.2

Glazing:

Solar Heat Gain Coefficient ≤ 0.61

Table 4C-9 SCHOOL BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 65,000$ Btu/h, Room Units, PTACs							Capacity < 65,000 Btu/h		
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
20	1.6	20	1.8	20	2.0	20	2.2	20	2.2
25	1.4	25	1.6	25	1.8	25	2.0	25	2.0
		30	1.4	30	1.6	30	1.8	30	1.8
				35	1.4	35	1.6	35	1.6
						40	1.2	40	1.2
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						60	2.6	60	2.6

Glazing:

Solar Heat Gain Coefficient ≤ 0.87

Table 4C-10 STORAGE BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 65,000$ Btu/h, Room Units, PTACs							Capacity < 65,000 Btu/h		
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
5	0.6	5	0.74	5	0.85	5	0.85	5	0.85
		15	0.1	15	0.35	15	0.47	15	0.47
				25	0.10	25	0.37	25	0.37
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						40	1.25	40	1.25

Glazing:

Solar Heat Gain Coefficient ≤ 0.77 gr

Insulated

PRESCRIPTIVE REQUIREMENTS LIST*

CLIMATE ZONES 1 2 3

*All Basic Prescriptive Requirements, designated in the Code by ".1.ABCD" and summarized on the front of this form, must also be met.

FORM 400C-01
METHOD C

CHECK

Detached Commercial Buildings Less than 200 sq.ft.

Table 4C-1

Glass Area: No limit.
Overhang: Minimum 1 foot if not under another structure; or
No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.
Walls: Minimum insulation level
Frame walls - R-11.
Masonry walls - R-5.
Roofs/Ceilings: Minimum insulation level - R-19.
Floors: Minimum insulation level - None.
Cooling System: Code minimums as per section 407.1.ABCD.3.
Heating System: Code minimums as per section 408.1.ABCD.3.

Skyboxes or Sports Stadiums

Table 4C-2

Glass: No limit with glazing Solar Heat Gain Coefficient of 0.48 or less.
Overhang: None required.
Walls: Minimum insulation level
Frame walls - R-11.
Masonry walls - R-5.
Roofs/Ceilings: Minimum insulation level - R-19.
Floors: Minimum insulation level
Frame floor - R-19.
Concrete floor - None.
Cooling System: Minimum equipment efficiency requirements
Air cooled - 10.0 EER or 10.5 SEER.
Water cooled - 11.0 EER.
Heating System: Code minimums as per section 408.1.ABCD.3.
Air Distribution: A programmable setback shall be installed for in-season use;
At least one humidistat control per zone shall be installed for off-season use.
EXCEPTION: Installation of a central energy management system.
Lighting: Total connected wattage shall not exceed 1.8 watts per square foot of conditioned space.

Traffic Safety Control Towers

Table 4C-3

Glass: No limit.
Overhang: Minimum 1 foot if not under another structure; or
No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.
Walls: Minimum insulation level
Frame walls - R-11.
Masonry walls - R-5.
Roofs/Ceilings: Minimum insulation level - R-19.
Floors: Minimum insulation level - None.
Cooling System: Code minimums as per section 407.1.ABCD.3.
Heating System: Code minimums as per section 408.1.ABCD.3.
Lighting: Total connected wattage shall not exceed 2.1 watts per square foot of conditioned space.

General Requirements for Building Packages <5,000 sq.ft.

Table 4C-4

FLOOR: Slab-on-Grade R-0
Raised Wood R-19
Raised Concrete R-7
WALL: Masonry R-7 (exterior, adjacent and common)
Wood Frame R-11 (exterior, adjacent and common)
Metal Frame R-13 (exterior, adjacent and common)
ROOF: Insulation above Deck R-19
Insulation in Attic or Dropped Ceiling Cavity R-19
INFILTRATION: Code minimums in section 406.1.ABCD.1
DUCTS: Code minimums in section 410.1.ABCD.2
DOMESTIC HOT WATER: Code minimums in section 412.1.ABCD.3
LIGHTING CONTROLS: Each space must have the lights divided into at least two "banks" — each one with a manual On/Off switch;
OR Each space must have one occupancy sensor (or other automatic control) to turn the lights on and off.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE - TENANT #1</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.: <u>22713</u>
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.: <u>221000</u>

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.16	300	Under Attic	.20	1680	Slab-on-grade	—	1680	Wood	—	—
Wood frame	—	—	Single Assembly	—	—	Raised Wood	—	—	Metal	.40	21
Metal frame	.13	120	Other:	—	—	Raised Concrete	—	—	Insulated	—	—
Insulation R-value	—	—	Insulation R-value	30	1680	Insulation R-value	—	—	Other	—	—

SYSTEMS INFORMATION											
AIR CONDITIONER				HEATING SYSTEM				HOT WATER			
TYPE	EFFICIENCY	TONS		TYPE	EFFICIENCY	BTU/H		TYPE			
Unitary & Heat Pump				Central & Heat Pump				Electric			
<65,000 Btu/h	10.0 SEER	5		<65,000 Btu/h	6.8 HSPF	62500		Resistance		<input checked="" type="checkbox"/>	
≥65,000 Btu/h	— EER	— IPLV	—	≥65,000 Btu/h	— COP	—		Dedicated Heat Pump		<input type="checkbox"/>	
Water cooled	— EER	— IPLV	—	Water cooled	— COP	—		Gas			
Evaporatively cooled	— EER	—	—	Evaporatively cooled	— COP	—		Natural		<input type="checkbox"/>	
PTAC	— EER	—	—	Electric Resistance	— COP	—		LPG		<input type="checkbox"/>	
Chiller	— COP	— IPLV	—	Gas/Oil (circle one)	—	—		HRU		<input type="checkbox"/>	
Gas heat pump	— COP	—	—	<225,000/300,000 Btu/h	— AFUE	—		Other:		<input type="checkbox"/>	
Other:	—	—	—	≥225,000/300,000 Btu/h	— E ₁	—					
LIGHTING				SIZING CALCULATION				DUCTS			
Total Lighting Wattage		2560	1.4	Attached		<input type="checkbox"/>		R-value		6	
Total Conditioned Floor Area		1680	Watts/sq. ft.					Location		ATTIC	

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _t . Gas >75,000, Oil >105,000: E ₁ , 78, Standby loss ≤ 1.30+114/V _t . Gas, Oil >155,000: E ₁ , 78, Standby loss ≤ 1.30+95/V _t .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spas & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE</u>	TENANT #2	Zone:
Address: <u>US-90 WEST</u>	Building Classification:	
City, Zip Code: <u>LAKE CITY, FL 32056</u>	Building Permit No.:	
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>	
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:	

BUILDING INFORMATION														
WALLS			ROOF/CEILING			FLOORS			DOORS			GLASS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	160	Under Attic	.051	896	Slab-on-grade		896	Wood			Single, wall		
Wood frame			Single Assembly			Raised Wood			Metal	.40	21	Double, wall	.57	113
Metal frame	.13	1250	Other:			Raised Concrete			Insulated			Single, roof		
Insulation R-value			Insulation R-value			Insulation R-value			Other			Double, roof		

SYSTEMS INFORMATION											
AIR CONDITIONER				HEATING SYSTEM				HOT WATER			
TYPE	EFFICIENCY	TONS		TYPE	EFFICIENCY	BTU/H		TYPE			
Unitary & Heat Pump				Central & Heat Pump				Electric			
<65,000 Btu/h	10.0 SEER	3		<65,000 Btu/h	6.8 HSPF	37,500		Resistance		<input checked="" type="checkbox"/>	
≥65,000 Btu/h	EER	IPLV		≥65,000 Btu/h	COP			Dedicated Heat Pump		<input type="checkbox"/>	
Water cooled	EER	IPLV		Water cooled	COP			Gas			
Evaporatively cooled	EER			Evaporatively cooled	COP			Natural		<input type="checkbox"/>	
PTAC	EER			Electric Resistance	COP			LPG		<input type="checkbox"/>	
Chiller	COP	IPLV		Gas/Oil (circle one)				HRU		<input type="checkbox"/>	
Gas heat pump	COP			<225,000/300,000 Btu/h	AFUE			Other:		<input type="checkbox"/>	
Other:				≥225,000/300,000 Btu/h	E ₁						
LIGHTING				SIZING CALCULATION				DUCTS			
Total Lighting Wattage = 1760				Attached <input type="checkbox"/>				R-value 6			
Total Conditioned Floor Area = 896				Watts/sq. ft. 2.0				Location ATTIC			

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _t . Gas >75,000, Oil >105,000: E ₁ , 78. Standby loss ≤ 1.30+114/V _t . Gas, Oil >155,000: E ₁ , 78. Standby loss ≤ 1.30+95/V _t .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spas & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____	Registration No. _____
ELECTRICAL SYSTEM DESIGNER: _____	
LIGHTING SYSTEM DESIGNER: _____	
MECHANICAL SYSTEM DESIGNER: _____	
PLUMBING SYSTEM DESIGNER: _____	

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.008, F.S.

BUILDING OFFICIAL: _____

DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #3</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	200	Under Attic	.051	1120	Slab-on-grade		1120	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.40	21
Metal frame	.13	1320	Other:			Raised Concrete			Insulated		
Insulation R-value		11	Insulation R-value		19	Insulation R-value		0	Other		

SYSTEMS INFORMATION											
AIR CONDITIONER				HEATING SYSTEM				HOT WATER			
TYPE	EFFICIENCY	TONS		TYPE	EFFICIENCY	BTU/H		TYPE			
Unitary & Heat Pump				Central & Heat Pump				Electric			
<65,000 Btu/h	10.0 SEER	3		<65,000 Btu/h	6.8 HSPF	37,500		Resistance		<input checked="" type="checkbox"/>	
≥65,000 Btu/h	EER	IPLV		≥65,000 Btu/h	COP			Dedicated Heat Pump		<input type="checkbox"/>	
Water cooled	EER	IPLV		Water cooled	COP			Gas			
Evaporatively cooled	EER			Evaporatively cooled	COP			Natural		<input type="checkbox"/>	
PTAC	EER			Electric Resistance	COP			LPG		<input type="checkbox"/>	
Chiller	COP	IPLV		Gas/Oil (circle one)				HRU		<input type="checkbox"/>	
Gas heat pump	COP			<225,000/300,000 Btu/h	AFUE			Other:		<input type="checkbox"/>	
Other:				≥225,000/300,000 Btu/h	E ₁						
LIGHTING				SIZING CALCULATION				DUCTS			
Total Lighting Wattage		2080		Attached		<input type="checkbox"/>		R-value		6	
Total Conditioned Floor Area		1120		Watts/sq. ft.		1.9		Location		ATTIC	

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	408.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	408.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	408.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ . 78, Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ . 78, Standby loss ≤ 1.30+95/V _r .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 6' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.008, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #4</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	200	Under Attic	.051	1120	Slab-on-grade		1120	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.049	21
Metal frame	.113	1320	Other:			Raised Concrete			Insulated		
Insulation R-value			Insulation R-value	19		Insulation R-value			Other		

SYSTEMS INFORMATION											
AIR CONDITIONER				HEATING SYSTEM				HOT WATER			
TYPE	EFFICIENCY	TONS		TYPE	EFFICIENCY	BTU/H		TYPE			
Unitary & Heat Pump				Central & Heat Pump				Electric			
<65,000 Btu/h	10.0 SEER	3		<65,000 Btu/h	6.8 HSPF	37,500		Resistance			
≥65,000 Btu/h	EER	IPLV		≥65,000 Btu/h	COP			Dedicated Heat Pump			
Water cooled	EER	IPLV		Water cooled	COP			Gas			
Evaporatively cooled	EER			Evaporatively cooled	COP			Natural			
PTAC	EER			Electric Resistance	COP			LPG			
Chiller	COP	IPLV		Gas/Oil (circle one)				HRU			
Gas heat pump	COP			<225,000/300,000 Btu/h	AFUE			Other:			
Other:				≥225,000/300,000 Btu/h	E ₁						
LIGHTING				SIZING CALCULATION				DUCTS			
Total Lighting Wattage = <u>2080</u>				Attached <input type="checkbox"/>				R-value <u>6</u>			
Total Conditioned Floor Area = <u>1120</u>				Watts/sq. ft. <u>1.9</u>				Location <u>ATTIC</u>			

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	✓
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	✓
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	✓
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	✓
Reheat	407.1	Electric resistance reheat prohibited.	✓
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	✓
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	✓
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	✓
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	✓
Balancing	410.1	HVAC distribution system(s) tested and balanced.	✓
Piping Insulation	411.1	In accordance with Table 4-11.	✓
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ , 78, Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ , 78, Standby loss ≤ 1.30+95/V _r .	✓
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	✓
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 6' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	✓
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	✓

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____
ELECTRICAL SYSTEM DESIGNER: _____
LIGHTING SYSTEM DESIGNER: _____
MECHANICAL SYSTEM DESIGNER: _____
PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft. <input type="checkbox"/>	Convenience stores <5,000 sq. ft. <input type="checkbox"/>	Office buildings <5,000 sq. ft. <input type="checkbox"/>
Skyboxes/sports stadiums <input type="checkbox"/>	Restaurants <5,000 sq. ft. <input type="checkbox"/>	School buildings <5,000 sq. ft. <input type="checkbox"/>
Traffic safety control towers <input type="checkbox"/>	Retail stores <5,000 sq. ft. <input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft. <input type="checkbox"/>

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 4/21/05
I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.208, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #5</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	200	Under Attic	.051	1120	Slab-on-grade		1120	Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.40	21
Metal frame	.13	1320	Other:			Raised Concrete			Insulated		
Insulation R-value		11	Insulation R-value		19	Insulation R-value			Other		

SYSTEMS INFORMATION											
AIR CONDITIONER						HEATING SYSTEM					
TYPE	EFFICIENCY		TONS			TYPE	EFFICIENCY		BTU/H		TYPE
Unitary & Heat Pump						Central & Heat Pump					Electric
<65,000 Btu/h	10.0	SEER	37,500			<65,000 Btu/h	6.8	HSPF	37,500		Resistance
≥65,000 Btu/h		EER				≥65,000 Btu/h		COP			Dedicated Heat Pump
Water cooled		EER				Water cooled		COP			Gas
Evaporatively cooled		EER				Evaporatively cooled		COP			Natural
PTAC		EER				Electric Resistance		COP			LPG
Chiller		COP				Gas/Oil (circle one)					HRU
Gas heat pump		COP				<225,000/300,000 Btu/h		AFUE			Other:
Other:						≥225,000/300,000 Btu/h		E ₁			
LIGHTING						DUCTS					
Total Lighting Wattage			2080			SIZING CALCULATION			R-value		
Total Conditioned Floor Area			1120			Attached			Location		

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	✓
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	✓
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	✓
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	✓
Reheat	407.1	Electric resistance reheat prohibited.	✓
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	✓
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	✓
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	✓
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	✓
Balancing	410.1	HVAC distribution system(s) tested and balanced.	✓
Piping Insulation	411.1	In accordance with Table 4-11.	✓
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ .78, Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ .78, Standby loss ≤ 1.30+95/V _r .	✓
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 76%.	✓
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	✓
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	✓

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____	Registration No. _____
ELECTRICAL SYSTEM DESIGNER: _____	
LIGHTING SYSTEM DESIGNER: _____	
MECHANICAL SYSTEM DESIGNER: _____	
PLUMBING SYSTEM DESIGNER: _____	

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____

DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

NORTH

Limited and Special Use Buildings

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #6</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION											
WALLS			ROOF/CEILING			FLOORS			DOORS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.151	230	Under Attic	.051	1288	Slab-on-grade			Wood		
Wood frame			Single Assembly			Raised Wood			Metal	.40	42
Metal frame			Other:			Raised Concrete			Insulated		
Insulation R-value			Insulation R-value			Insulation R-value			Other		

SYSTEMS INFORMATION																	
AIR CONDITIONER						HEATING SYSTEM			HOT WATER								
TYPE	EFFICIENCY		TONS			TYPE	EFFICIENCY		BTU/H	TYPE							
Unitary & Heat Pump	10.0 SEER		3			Central & Heat Pump	6.8 HSPF		37,500	Electric							
<65,000 Btu/h	— EER		— IPLV			<65,000 Btu/h	— COP			Resistance	<input checked="" type="checkbox"/>						
≥65,000 Btu/h	— EER		— IPLV			Water cooled	— COP			Dedicated Heat Pump	<input type="checkbox"/>						
Water cooled	— EER		— IPLV			Evaporatively cooled	— COP			Gas							
Evaporatively cooled	— EER		— IPLV			Electric Resistance	— COP			Natural	<input type="checkbox"/>						
PTAC	— EER		— IPLV			Gas/Oil (circle one)	— AFUE			LPG	<input type="checkbox"/>						
Chiller	— COP		— IPLV			<225,000/300,000 Btu/h	— E ₁			HRU	<input type="checkbox"/>						
Gas heat pump	— COP		— IPLV			≥225,000/300,000 Btu/h	— E ₁			Other:	<input type="checkbox"/>						
Other:	—		—				—										
LIGHTING						SIZING CALCULATION			DUCTS								
Total Lighting Wattage = <u>2080</u>						Attached <input type="checkbox"/>			R-value <u>6</u>								
Total Conditioned Floor Area = <u>1288</u>						Watts/sq. ft.			Location <u>ATTIC</u>								

PRESCRIPTIVE MEASURES (Must be met or exceeded by all buildings.)			
Components	Section	Requirements	Check
Operations Manual	102.1	Operations manual will be provided to owner.	<input checked="" type="checkbox"/>
Windows & Doors	406.1	Maximum: .3 cfm per sq. ft. of window area; Maximum: 1.2 cfm per sq. ft. of door area.	<input checked="" type="checkbox"/>
Joints/Cracks	406.1	To be caulked, gasketed, weatherstripped or otherwise sealed.	<input checked="" type="checkbox"/>
Dropped Ceiling Cavity	406.1	Vented: seal and insulate ceiling (no T-bar ceilings). Unvented, no ceiling air barrier: seal and insulate roof and side walls.	<input checked="" type="checkbox"/>
Reheat	407.1	Electric resistance reheat prohibited.	<input checked="" type="checkbox"/>
Ventilation	409.1	Supplied with readily accessible switch for shut-off and/or volume reduction when ventilation is not required.	<input checked="" type="checkbox"/>
HVAC Efficiency	407.1, 408.1	Minimum efficiencies — Heating: Tables 4-7, 4-8, 4-9. Cooling: Tables 4-3, 4-4, 4-5, 4-6.	<input checked="" type="checkbox"/>
HVAC Controls	407.1	Separate readily accessible manual or automatic thermostat for each system.	<input checked="" type="checkbox"/>
HVAC Ducts	410.1	Air ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of section 410.1.	<input checked="" type="checkbox"/>
Balancing	410.1	HVAC distribution system(s) tested and balanced.	<input checked="" type="checkbox"/>
Piping Insulation	411.1	In accordance with Table 4-11.	<input checked="" type="checkbox"/>
Water Heaters	412.1	Automatic electric storage water heaters ≤120 gallons and gas & oil fired storage water heaters ≤75,000 Btu/h shall meet performance requirements in Table 4-12. Electric >120 gallons: standby loss ≤.30+27/V _r . Gas >75,000, Oil >105,000: E ₁ . 78, Standby loss ≤ 1.30+114/V _r . Gas, Oil >155,000: E ₁ . 78, Standby loss ≤ 1.30+95/V _r .	<input checked="" type="checkbox"/>
Swimming Pools & Spas	412.1	Spas & heated pools must have covers. Non-commercial pools must have pump timer. Gas spas & pool heaters must have a minimum thermal efficiency of 76%.	<input checked="" type="checkbox"/>
Hot Water Pipe Insulation	412.1	Piping heat loss is limited to the levels in Table 4-11 for circulating systems and the first 8' of pipe from a storage tank.	N/A
Water Fixtures	412.1	Shower head water flow restricted to maximum of 2.5 gpm at 80 psi. Toilets meet 42CFR 6295(k). Public lavatory fixture maximum flow of .5 gpm; or if self-closing valve, .25 gallon circulating, .5 gallon non-circulating.	<input checked="" type="checkbox"/>
Lighting	415.1	Ballasts shall have Power Factors no less than .90.	<input checked="" type="checkbox"/>

If required by Florida law, I hereby certify that the system design is in compliance with the Florida Energy Code.

ARCHITECT: _____ Registration No. _____

ELECTRICAL SYSTEM DESIGNER: _____

LIGHTING SYSTEM DESIGNER: _____

MECHANICAL SYSTEM DESIGNER: _____

PLUMBING SYSTEM DESIGNER: _____

Compliance with Chapter 4 was demonstrated by a Prescriptive Measures methodology:

Detached Buildings <200 sq. ft.	<input type="checkbox"/>	Convenience stores <5,000 sq. ft.	<input type="checkbox"/>	Office buildings <5,000 sq. ft.	<input type="checkbox"/>
Skyboxes/sports stadiums	<input type="checkbox"/>	Restaurants <5,000 sq. ft.	<input type="checkbox"/>	School buildings <5,000 sq. ft.	<input type="checkbox"/>
Traffic safety control towers	<input type="checkbox"/>	Retail stores <5,000 sq. ft.	<input checked="" type="checkbox"/>	Storage buildings <5,000 sq. ft.	<input type="checkbox"/>

I hereby certify that the plans and specifications prepared by the calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature] DATE: 1/21/05

I hereby certify that this building is in compliance with the Florida Energy Code.

OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.

BUILDING OFFICIAL: _____ DATE: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #7</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION														
WALLS			ROOF/CEILING			FLOORS			DOORS			GLASS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.151	220	Under Attic	0.251	1232	Slab-on-grade		1232	Wood			Single, wall		
Wood frame			Single Assembly			Raised Wood			Metal	.87	21	Double, wall	.87	167
Metal frame	.13	1340	Other:			Raised Concrete			Insulated			Single, roof		
Insulation R-value			Insulation R-value	19		Insulation R-value			Other			Double, roof		

SYSTEMS INFORMATION													
AIR CONDITIONER					HEATING SYSTEM								
TYPE	EFFICIENCY	TONS			TYPE	EFFICIENCY	BTU/H						
Unitary & Heat Pump	10.0 SEER	3			Central & Heat Pump	6.8 HSPF	37,500						
<65,000 Btu/h	EER	IPLV			<65,000 Btu/h	COP							
≥65,000 Btu/h	EER	IPLV			Water cooled	COP							
Water cooled	EER				Evaporatively cooled	COP							
Evaporatively cooled	EER				Electric Resistance	COP							
PTAC	EER				Gas/Oil (circle one)								
Chiller	COP	IPLV			<225,000/300,000 Btu/h	AFUE							
Gas heat pump	COP				≥225,000/300,000 Btu/h	E ₁							
Other:													
LIGHTING					DUCTS								
Total Lighting Wattage = <u>2080</u>					R-value <u>6</u>								
Total Conditioned Floor Area = <u>1232</u>					Location <u>ATTIC</u>								

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION CHAPTER 4 — Commercial Building Compliance Methods

FORM 400C-01

Limited and Special Use Buildings

NORTH

Climate Zones 1 2 3

Project Name: <u>VILLAGE SQUARE TENANT #8</u>	Zone:
Address: <u>US-90 WEST</u>	Building Classification:
City, Zip Code: <u>LAKE CITY, FL 32055</u>	Building Permit No.:
Builder: <u>SIMQUE CONST.</u>	Permitting Office: <u>COLUMBIA COUNTY</u>
Owner: <u>WESTFIELD GROUP</u>	Jurisdiction No.:

BUILDING INFORMATION														
WALLS			ROOF/CEILING			FLOORS			DOORS			GLASS		
TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA	TYPE	U	AREA
Concrete (CBS)	.15	220	Under Attic			Slab-on-grade		1232	Wood					
Wood frame			Single Assembly			Raised Wood			Metal	.40	21	Double, wall	.87	396
Metal frame	.13	1340	Other:			Raised Concrete			Insulated			Single, roof		
Insulation R-value		11	Insulation R-value		19	Insulation R-value			Other			Double, roof		

SYSTEMS INFORMATION													
AIR CONDITIONER					HEATING SYSTEM								
TYPE	EFFICIENCY	TONS			TYPE	EFFICIENCY	BTU/H						
Unitary & Heat Pump					Central & Heat Pump								
<65,000 Btu/h	10.0 SEER	3			<65,000 Btu/h	6.8 HSPF	37,500						
≥65,000 Btu/h	EER	IPLV			≥65,000 Btu/h	COP							
Water cooled	EER	IPLV			Water cooled	COP							
Evaporatively cooled	EER				Evaporatively cooled	COP							
PTAC	EER				Electric Resistance	COP							
Chiller	COP	IPLV			Gas/Oil (circle one)								
Gas heat pump	COP				<225,000/300,000 Btu/h	AFUE							
Other:					≥225,000/300,000 Btu/h	E _t							
LIGHTING					DUCTS								
Total Lighting Wattage = 2080					R-value = 6								
Total Conditioned Floor Area = 1232					Location = ATTIC								

FORM 400C-01

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-5 CONVENIENCE BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 85,000$ Btu/h, Room Units, PTACs								Capacity < 85,000 Btu/h	
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
15	2.7	15	2.7	15	3.1	15	3.5	15	3.5
25	2.4	25	2.9	25	2.9	25	3.1	25	3.1
				35	2.4	35	2.7	35	2.7
						45	2.1	45	2.1
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						55	3.9	55	3.9

Glazing:

Solar Heat Gain Coefficient ≤ 0.87

Table 4C-6 RESTAURANT BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 85,000$ Btu/h, Room Units, PTACs								Capacity < 85,000 Btu/h	
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
30	1.0	30	1.2	30	1.4	30	1.6	30	1.6
35	0.8	35	1.0	35	1.2	35	1.4	35	1.4
		40	0.8	40	1.0	40	1.2	40	1.2
				45	0.8	45	1.0	45	1.0
				50	0.8	50	0.8	50	0.8
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						65	1.8	65	1.8

Glazing:

Solar Heat Gain Coefficient ≤ 0.77 or

Double Pane

Table 4C-7 RETAIL BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity $\geq 85,000$ Btu/h, Room Units, PTACs								Capacity < 85,000 Btu/h	
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
35	2.2	35	2.4	35	2.5	35	2.8	35	2.8
45	2.0	45	2.2	45	2.3	45	2.4	45	2.4
		55	2.0	55	2.1	55	2.2	55	2.2
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						65	3.0	65	3.0

Glazing:

Solar Heat Gain Coefficient ≤ 0.87

FORM 400C-07

CLIMATE ZONES 1 2 3

HVAC, GLASS AREA, AND LIGHTING: See Chart below. Select and circle the desired combination of glass-to-wall area percentage (GL AREA %) and lighting level (W/SF) based on the type of HVAC system and efficiency. Report the levels installed on the front of the form.

Table 4C-8 OFFICE BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity ≥ 65,000 Btu/h, Room Units, PTACs							Capacity < 65,000 Btu/h		
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
20	2.0	20	2.2	30	2.2	25	2.4	25	2.4
25	1.8	30	2.0	40	2.0	35	2.2	35	2.2
		35	1.8	45	1.8	45	2.0	45	2.0
						50	1.8	50	1.8
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						75	2.2	75	2.2

Glazing:

Solar Heat Gain Coefficient ≤ 0.81

Table 4C-9 SCHOOL BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity ≥ 65,000 Btu/h, Room Units, PTACs							Capacity < 65,000 Btu/h		
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
20	1.6	20	1.8	20	2.0	20	2.2	20	2.2
25	1.4	25	1.6	25	1.8	25	2.0	25	2.0
		30	1.4	30	1.6	30	1.8	30	1.8
				35	1.4	35	1.6	35	1.6
						40	1.2	40	1.2
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						60	2.6	60	2.6

Glazing:

Solar Heat Gain Coefficient ≤ 0.87

Table 4C-10 STORAGE BUILDING < 5,000 SF									
MAXIMUM ALLOWABLE GLASS AREA % AND ALLOWABLE LIGHTING W/SF									
Cooling Equipment Capacity ≥ 65,000 Btu/h, Room Units, PTACs							Capacity < 65,000 Btu/h		
EER: 8.9-9.0		EER: 9.1-10.0		EER: 10.1-11.0		EER: 11.1-UP		SEER: 10.0-UP	
GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF	GL AREA %	LIGHTING W/SF
5	0.6	5	0.74	5	0.85	5	0.85	5	0.85
		15	0.1	15	0.35	15	0.47	15	0.47
				25	0.10	25	0.37	25	0.37
						And Heat Pump		And Heat Pump	
						COP: ≥ 3.0		HSPF: ≥ 6.8	
						40	1.25	40	1.25

Glazing:

Solar Heat Gain Coefficient ≤ 0.77 or

Insulated

PRESCRIPTIVE REQUIREMENTS LIST*

CLIMATE ZONES 1 2 3

*All Basic Prescriptive Requirements, designated in the Code by ".1.ABCD" and summarized on the front of this form, must also be met.

FORM 400C-01
METHOD C

CHECK

Detached Commercial Buildings Less than 200 sq.ft.

Table 4C-1

Glass Area: No limit.
Overhang: Minimum 1 foot if not under another structure; or
No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.
Walls: Minimum insulation level
Frame walls - R-11.
Masonry walls - R-5.
Roofs/Ceilings: Minimum insulation level - R-19.
Floors: Minimum insulation level - None.
Cooling System: Code minimums as per section 407.1.ABCD.3.
Heating System: Code minimums as per section 408.1.ABCD.3.

Stadiums

Table 4C-2

Limit with glazing Solar Heat Gain Coefficient of 0.48 or less.
None required.
Minimum insulation level
Frame walls - R-11.
Masonry walls - R-5.
Minimum insulation level - R-19.
Minimum insulation level
Frame floor - R-19.
Concrete floor - None.
Cooling System: Minimum equipment efficiency requirements
Air cooled - 10.0 EER or 10.5 SEER.
Water cooled - 11.0 EER.
Heating System: Code minimums as per section 408.1.ABCD.3.
Air Distribution: A programmable setback shall be installed for in-season use;
At least one humidistat control per zone shall be installed for off-season use.
EXCEPTION: Installation of a central energy management system.
Lighting: Total connected wattage shall not exceed 1.8 watts per square foot of conditioned space.

Traffic Safety Control Towers

Table 4C-3

Glass: No limit.
Overhang: Minimum 1 foot if not under another structure; or
No overhang with a glazing Solar Heat Gain Coefficient of 0.48 or less.
Walls: Minimum insulation level
Frame walls - R-11.
Masonry walls - R-5.
Roofs/Ceilings: Minimum insulation level - R-19.
Floors: Minimum insulation level - None.
Cooling System: Code minimums as per section 407.1.ABCD.3.
Heating System: Code minimums as per section 408.1.ABCD.3.
Lighting: Total connected wattage shall not exceed 2.1 watts per square foot of conditioned space.

General Requirements for Building Packages <5,000 sq.ft.

Table 4C-4

FLOOR: Slab-on-Grade R-0
Raised Wood R-19
Raised Concrete R-7
WALL: Masonry R-7 (exterior, adjacent and common)
Wood Frame R-11 (exterior, adjacent and common)
Metal Frame R-13 (exterior, adjacent and common)
ROOF: Insulation above Deck R-19
Insulation In Attic or Dropped Ceiling Cavity R-19
INFILTRATION: Code minimums in section 406.1.ABCD.1
DUCTS: Code minimums in section 410.1.ABCD.2
DOMESTIC HOT WATER: Code minimums in section 412.1.ABCD.3
LIGHTING CONTROLS: Each space must have the lights divided into at least two "banks" — each one with a manual On/Off switch;
OR Each space must have one occupancy sensor (or other automatic control) to turn the lights on and off.

22713

FAX**MEMORANDUM****MEMORANDUM**

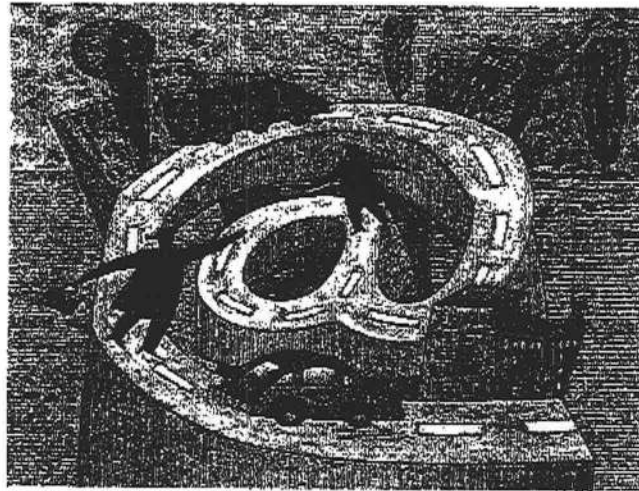
FLORIDA DEPARTMENT OF TRANSPORTATION

LAKE CITY MAINTENANCE

SUNCOM (386) 862-7180

PHONE (386) 961-7180

FAX (386) 961-7183

FACSIMILE TRANSMITTAL

DATE: 7-07-05

TO: Mr. J. Kerce

ATTN: Dept Director

FROM: Dale Cray F.D.O.T Inspector

SUBJECT: Final Inspection on project

COMMENTS: Completed to D.O.T standards

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
FOR ALL CATEGORIES**850-040-18
SYSTEMS PLANNING
04/03
Page 1 of 3**PART 1: PERMIT INFORMATION**APPLICATION NUMBER: 04-a-292-0023Permit Category: D Access Classification: 11Project: Village Square / 30' Asph E/L D/W W 50' / 35' turn Radil.Permittee: Westfield Group,LLLP/ Charlie SparksSection/Mile Post: 29010 / 7.129+- State Road: S.R.10Section/Mile Post: 29010 / 7.219+- State Road: S.R.10**PART 2: PERMITTEE INFORMATION**Permittee Name: Westfield Group LLLP/ Charlie SparksPermittee Mailing Address: P.O. Box 3566City, State, Zip: Lake City, FL 32056Telephone: (386)755-5110Engineer/Consultant/or Project Manager: Bailey Bishop & Lane, Inc.Engineer responsible for construction inspection: Ann M. Newland
NAME P.E.#Mailing Address: P.O. Box 3717City, State, Zip: Lake City, FL 32056-3717Telephone: (386)752-5640 FAX, Mobile Phone, etc. (386)755-7771**PART 3: PERMIT APPROVAL**

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 04-A-292-0023

Department of Transportation

Signature: Neil E. Miles Title: Permits CoordinatorDepartment Representative's Printed Name Neil E. Miles, CoordinatorTemporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)Special provisions attached ☒ YES ☐ NODate of Issuance: NOV 24 2004

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-98.007(6).

See following pages for General and Special Provisions

PART 4: GENERAL PROVISIONS

Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.
(386)961-7180, Attention: Neil E. Miles Permit Coordinator

A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.

Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.

Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.

All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.

The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.

Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.

8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

PART 5: SPECIAL PROVISIONS**CONFORMING CONNECTIONS:**☒ YES ☐ NO

This is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

- The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
- All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

REFER TO APPROVED ACCESS PERMIT, GENERAL & SPECIAL PROVISION SHEET AND THE LEGAL ATTACHED COVER LETTER FOR OFFICIAL DRIVEWAY CONSTRUCTION AND SAFETY SPECIFICATION, AND FDOT APPROVED SITE-PLAN FOR ANY ADDITIONAL INFORMATION NEEDED TO COMPLETE DRIVEWAYS. ALL WORK APPROVED HEREIN UNDER THIS PERMIT SHALL BE ACCORDING TO THE MOST CURRENT ROADWAY AND CONSTRUCTION SPECIFICATION AT THE TIME OF ACTUAL CONSTRUCTION AND PERMIT ACTIVATION.

PART 6: APPEAL PROCEDURES

You may request an administrative hearing pursuant to Sections 120.569 and 120.57, Florida Statutes. If you disagree with the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may request a formal administrative hearing pursuant to Section 120.57(1), Florida Statutes. If you agree with the facts stated in the Notice, you may request an informal administrative hearing pursuant to Section 120.57(2), Florida Statutes. You must send the written request to:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 56
Tallahassee, Florida 32399-0458

The written request for an administrative hearing must conform to the requirements of either Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and must be received by the Clerk of Agency Proceedings by 5:00 P.M., no later than 21 days after you received the Notice. The written request for an administrative hearing should include a copy of the Notice, and must be legible, on 8 1/2 by 11 inch white paper, and contain:

- Your name, address, telephone number, and Department identifying number on the Notice, if known, and name, address, and telephone number of your representative, if any;
- An explanation of how you are affected by the action described in the Notice.
- A statement of how and when you received the Notice.
- A statement of all disputed issues of material fact. If there are none, you must so indicate.
- A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle you to relief; and
- A demand for relief.

A formal hearing will be held if there are disputed issues of material fact. If a formal hearing is held, this matter will be referred to the Division of Administrative Hearings, where you may present witnesses and evidence and cross examine other witnesses before an administrative law judge. If there are no disputed issues of material fact, an informal hearing will be held, in which case you will have the right to provide the Department with any written documentation or legal arguments which you wish the Department to consider.

Mediation, pursuant to Section 120.573, Florida Statutes, will be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

If a written request for an administrative hearing is not timely received you will have waived your right to have the intended action reviewed pursuant to Chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

FLORIDA DEPARTMENT OF TRANSPORTATION

JEB BUSH
GOVERNOR

JOSE ABREU,
SECRETARY



PERMITTEE: Charlie Sparks / Permit No: 04-A-292-0023

State Rd: 10 / Section: 29010 / MP: 7.196+-7.219 / PERMIT CAT: D

PROJ DESCRIPTION: PRO: 30' W ASPH D/W W 50'-30' RADII.

Asst. Maintenance Engineer or Permits Coordinator Approval

NEIL E. MILES, PERMITS COORDINATOR

THE FOLLOWING ARE ADDITIONAL SPECIAL PERMIT PROVISIONS THAT ARE A LEGAL PART OF THIS PERMIT & DO APPLY TO THE ABOVE REFERENCED PERMIT, IF SO MARKED MUST BE COMPLIED WITH IN ADDITIONAL TO THE GENERAL PROVISIONS.

1. ~~XXX~~ All portions of the FDOT right-of-way disturbed during construction under this permit shall be mulched seeded and /or 2 feet of grass sod placed adjacent to the driving lane, or as called for under the approved permit & per FDOT specifications.
2. ~~XXX~~ Permittee shall restore wildflowers disturbed during permitted construction with new seed to be (amount and method) determined by Mr. Dick Bush, District Landscaping Engineer. Seed shall be delivered to Lake City Maintenance, Permits Office before commencement of permitted placement.
3. ~~XXX~~ The Permittee will contact the appropriate city, county, state government agency; a minimum of forty-eight (48) hours in advance of starting excavation within the area of any signalized intersection.
4. ~~XXX~~ The Permittee can be required to physically relocate (move), as so indicated under this permit at a future date, due to proposed future or on-going FDOT roadway construction planned within the limits of the permitted area.
5. ~~XXX~~ Existing utilities may be located within the construction area. Prior to permit approval, permittee shall locate and notify all utilities within the proposed limits of construction and or permitted area and obtain detailed information from the utility owners as to possible conflicts between utilities and permit tee's work. Permittee shall be responsible for pre & post permit coordination, and all adjustments and shall be solely responsible for resolving any conflicts of utilities, either before or during or after the final permitting. The Permittee shall be solely responsible for any and all damages to existing utilities and/or damage to third parties caused by interference with or damage to existing utilities. The Permittee shall show positive proof that all utility owners with existing interest in the area permitted, have been previously contacted in advance of final permit approval.
6. ~~XXX~~ No business is to be done on FDOT right-of-ways, if vehicles are to be serviced on roadside with pumps, Pump islands must be located at least twelve (12) feet from right-of-way line.
7. ~~XXX~~ Driveway permits are granted to permit access to abutting property only. Parking on right-of-way may be restricted or prohibited.
8. ~~XXX~~ The erection of signs on or overhanging the right-of-way of state roads is not permitted. The connection of any type of subsurface drainage to FDOT storm drains or ditches is prohibited unless by permit or as shown in the general or special provisions of the referenced permit.
9. ~~XXX~~ All Construction and/or Maintenance on the Department's right-of-way shall conform to Federal Manual on Uniform Traffic Control Devices (MUTCD), the Department's most current manual of the Roadway and Traffic Design Standards Specifications for Road and Bridge Construction.
10. ~~XXX~~ Pre and Final Inspections are required by FDOT Permits Office and the assigned inspector.
11. ~~XXX~~ A pre-construction review of the construction planned under the permit shall be mandatory. The Permit tee shall make contact with the Lake City, Permits Office at (904) 961-7180 or 961-7193, a minimum of 48 hours in advance of the Permit tee's planned start date so as to arrange a mutually time to meet. Failure by the Permit tee to meet this requirement can be reason for revocation of the approved permit.
12. ~~XXX~~ If proposed permitted work limits are within a State Roadway Construction Area that is proposed or underway then the permit tee shall schedule commencement date and all planned work under this permit with the State FDOT's contract representative in charge of on-site project operational responsibilities.

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY/CONNECTION APPLICATION
FOR ALL CATEGORIES**850-040-15
SYSTEMS PLANNING
04/03**OFFICE USE ONLY**

Application Number: <u>046829230023</u>	Received By: <u>Dale Cray</u> <small>DOT STAFF (TYPE OR PRINT)</small>
Category: <u>D</u>	Date: <u>7-27-04</u>
Section/Mile Post: <u>7.196 & 7.219</u>	State Road: <u>SR. 10</u>
Section/Mile Post: <u>290109</u>	State Road: <u>SR. 10</u>

Instructions - To Applicant

- Contact the Department of Transportation to determine what plans and other documents you are required to submit with your application.
- Complete this form (some questions may not apply to you) and attach all necessary documents and submit it to the Department of Transportation.
- For help with this form contact your local Maintenance or District Office.
 - Or visit our website at <http://www11.myflorida.com/onestoppermitting/> for the contact person and phone number in your area.
 - You may also email - driveways@dot.state.fl.us
 - Or call your District or local Florida Department of Transportation Office and ask for Driveway Permits.

Please print or type

APPLICANT:

Check one:

☐ Owner ☐ Lessee ☒ Contract to PurchaseName: Westfield Group LTD. LLCResponsible Officer or Person: Charlie Sparks

If the Applicant is a Company or Organization, Name: _____

Address: P.O. Box 3586City, State: Lake City, FLZip: 32056 Phone: (386) 755-5110 Fax: (386) 755-6449Email: charlie@charliesparks.co**LAND OWNER: (if not applicant)**

Name: _____

If the Applicant is a Company or Organization, Name: _____

Address: _____

City, State: _____

Zip: _____ Phone: _____ Fax: _____

Email: _____

AUTHORIZED REPRESENTATIVE: If specified by Applicant to handle, represent, sign, and file the application -
NOTE: A notarized letter of authorization must be provided with the Application

Name: Bailey, Bishop & Lane, Inc

Company Name: See Above

Address: P.O. Box 3717

City, State: Lake City

Zip: 32056-3717 Phone: (386)752-5640

Fax: (386)755-7771

Email: _____

Address of property to be served by permit (if known):
200 feet west of Real Road

If address is not known, provide distance from nearest intersecting public street (such as, 500 feet south of Main St.)

Check here if you are requesting a

☒ new driveway ☐ temporary driveway ☐ modification to existing driveway ☐ safety upgrade

Does the property owner own or have any interests in any adjacent property?

☒ No ☐ Yes, if yes - please describe:

Are there other existing or dedicated public streets, roads, highways or access easements bordering or within the property?

☒ No ☐ Yes, if yes - list them on your plans and indicate the proposed and existing access points.

Local Government Development Review or Approval Information:

Local Government Contact: Mr. Kerce, Columbia Co Building Director

Name: _____

Government Agency: Columbia Building Office

Phone #: (386)785-1008

85D-040-15
SYSTEMS PLANNING
04/03

If you are requesting commercial or industrial access, please indicate the types and number of businesses and provide the floor area square footage of each. Use additional sheets if necessary.

Business (Name and Type)	Square Footage	Business (Name and Type)	Square Footage
1. Village Square	21,696	3.	
2.		4.	

If you are requesting a residential development access, what is the type (single family, apartment, townhouse) and number of units?

Type	Number of Units
N/A	

Provide an estimate of the daily traffic volume anticipated for the entire property at build out. (An individual single family home, duplex, or quad-plex is not required to complete this section).

Daily Traffic Estimate = 16,271 (Use the latest Institute of Transportation Engineers (ITE) Trip Generation Report)

If you used the ITE Trip Generation Report, provide the land use code, independent variable, and reference page number.

ITE Land Use Code	Independent Variable	ITE Report page number reference

Check with the Florida DOT Office where you will return this form to determine which of the following documents are required to complete the review of your application.

Plans should be 11" x 17" (scale 1" = 50')

Note: No plans larger than 24" x 36" will be accepted

- a) Highway and driveway plan profile
- b) Drainage plan showing impact to the highway right-of-way
- c) Map and letters detailing utility locations before and after Development in and along the right of way
- d) Subdivision, zoning, or development plans
- e) Property map indicating other access, bordering roads and streets

- f) Proposed access design
- g) Parcel and ownership maps including easements (Boundary Survey)
- h) Signing and striping plans
- i) Traffic Control/Maintenance of Traffic plan
- j) Proof of liability insurance
- k) Traffic Impact Study
- l) Cross section of roadway every 100' if exclusive turn lanes are required

Important Notices to Applicant Before Signing Application

The Department Reserves The Right To Change Traffic Features And Devices In Right Of Way At Any Time
Proposed traffic control features and devices in the right of way, such as median openings and other traffic control devices, are not part of the connection(s) to be authorized by a connection permit. The Department reserves the right to change these features and devices in the future in order to promote safety in the right of way or efficient traffic operations on the highway. Expenditure by the applicant of monies for installation or maintenance of such features or devices shall not create any interest in the maintenance of such features or devices.

Significant Changes in Property Use Must Undergo Further Review

If an access permit is issued to you it will state the terms and conditions for its use. Significant changes in the use as defined in Section 335.182(3), Florida Statutes, of the permitted access not consistent with the terms and conditions listed on the permit may be considered a violation of the permit.

All Information I Give Is Accurate

I certify that I am familiar with the information contained in this application and that to the best of my knowledge and belief, such information is true, complete and accurate.

Starting Work On The Driveway Connection After I Get My Permit Means I Accept All the Conditions In My Permit

I will not begin work on the connection until I receive my Permit and I understand all the conditions of the Permit. When I begin work on the connection, I am accepting all conditions listed in my Permit.

Applicant Name (Printed): Charlie Sparks

Applicant's signature: Charlie Sparks

Date

7-15-04

RDC.1566
DE.1107.40

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 03-931

Property Appraiser's
Parcel Identification No.
35-3S-16-02585-006

Inst:2004010499 Date:05/07/2004 Time:13:11

Doc Stamp-Deed : 1107.40

DC, P. DeWitt Cason, Columbia County B:1014 P:1885

WARRANTY DEED

THIS INDENTURE, made this 6th day of May 2004, BETWEEN HELEN B. REAL, unmarried, whose post office address is Post Office Box 2041, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantor*, and WESTFIELD GROUP, LLLP, a Florida Limited Liability Limited Partnership, whose post office address is Post Office Box 3566, Lake City, Florida 32056, of the County of Columbia, State of Florida, Grantee*.

W I T N E S S E T H:

That said Grantor, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, its successors and assigns forever, the lands situate, lying and being in Columbia County, Florida described as follows:


SEE SCHEDULE "A" ATTACHED HERETO FOR LEGAL DESCRIPTION

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

And said Grantor does hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

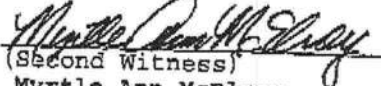
IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand
and seal the day and year first above written.

Signed, sealed and delivered
in our presence:


(First Witness)

Terry McDavid

Printed Name


(Second Witness)

Myrtle Ann McElroy

Printed Name

 (SEAL)
Helen B. Real


Inst: 2004010499 Date: 05/07/2004 Time: 13:11

Doc Stamp-Deed : 1107.40

DC, P. DeWitt Cason, Columbia County B:1014 P:1887

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 6th
day of May 2004, by HELEN B. REAL, unmarried. She is personally
known to me and did not take an oath.


Notary Public

My Commission Expires:



SCHEDULE "A"

Commence at the intersection of the East line of Brookside, a subdivision as recorded in Plat Book 3 at Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E along the Northerly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet to the POINT OF BEGINNING; thence N 03°02'38"E, 856.99 feet; thence N 84°51'35"W, 274.49 feet to the East Line of said Brookside; thence N 03°06'05"E, along said East Line, 518.67 feet to the North line of the Southeast 1/4; thence N 87°20'07"E, along said North Line 863.64 feet; thence S 03°37'43"E, 470.56 feet; thence S 86°24'46"W, 145.67 feet; thence S 03°37'14"E, 562.63 feet; thence N 86°10'01"E, 145.72 feet; thence S 03°36'54"E, 222.17 feet; thence N 84°51'00"W, 149.98 feet; thence N 03°36'15"W, 144.93 feet; thence N 84°47'28"W, 150.00 feet; thence N 03°38'27"W, 106.07 feet; thence S 84°52'29"E, 12.62 feet; thence N 05°06'09"E, 150.03 feet; thence N 84°53'48"W, 290.00 feet; thence S 05°08'43"W, 149.92 feet; thence S 84°52'31"E, 212.81 feet; thence S 03°38'27"E, 105.97 feet; thence N 84°47'26"W, 156.62 feet; thence S 03°35'56"E, 400.33 feet to the Northerly right of way of U.S. Highway 90 (State Road No. 10); thence N 84°51'35"W, along said Northerly right of way 240.04 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

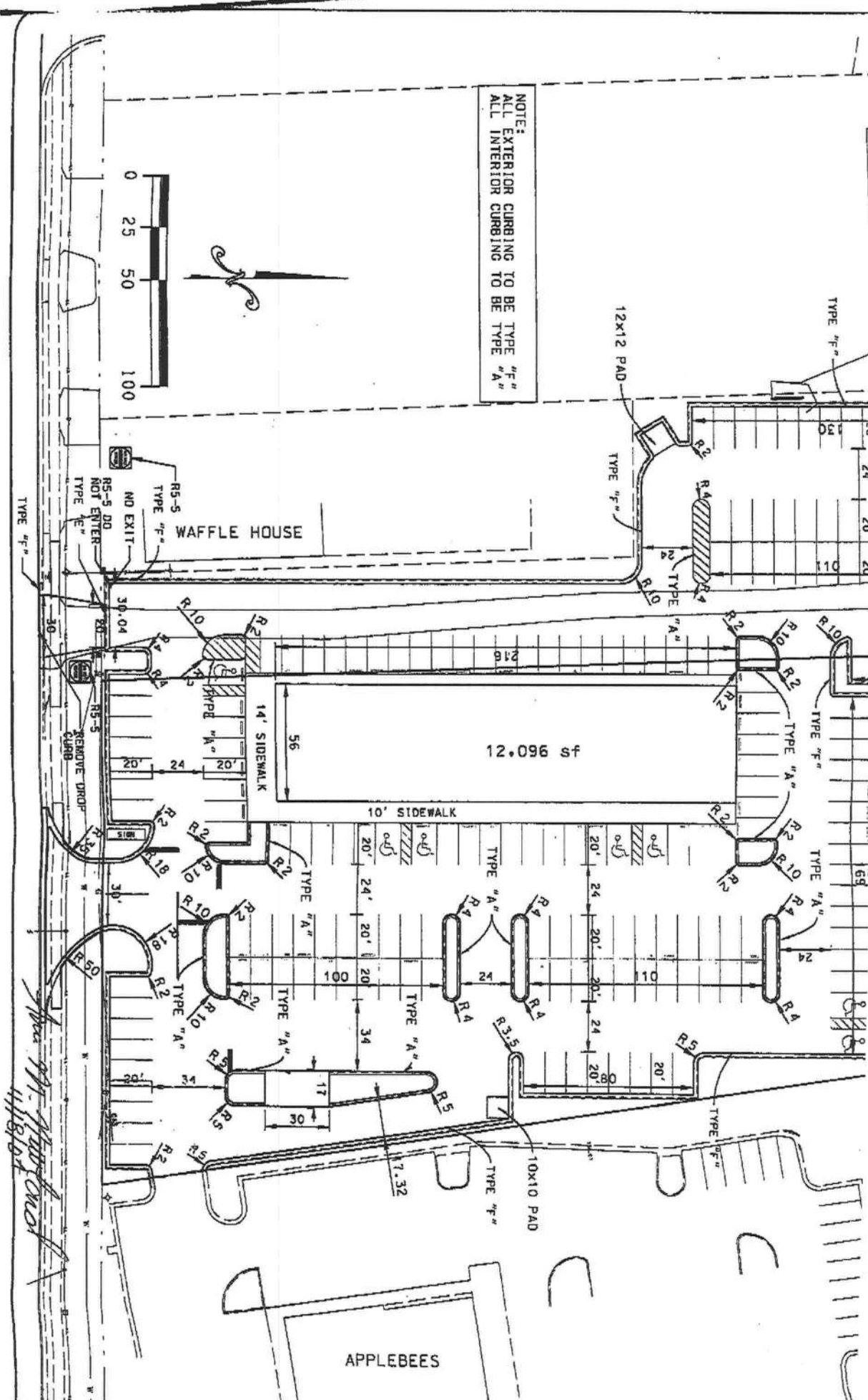
LESS AND EXCEPT THE FOLLOWING DESCRIBED PARCEL:

COMMENCE at the intersection of the East Line of Brookside, a subdivision as recorded in Plat Book 3, Page 45 of the public records of Columbia County, Florida and run thence S 84°51'35"E, along the Northerly right of way of U.S. Highway 90 (State Road No. 10), 275.03 feet; thence N 03°02'36"E, 750.72 feet; thence S 84°50'38"E, 134.32 feet to the POINT OF BEGINNING; thence N 05°07'44"E, 349.98 feet; thence S 84°52'40"E, 310.91 feet; thence S 05°05'44"W, 350.16 feet; thence N 84°50'38"W, 311.12 feet to the POINT OF BEGINNING.

Inst:2004010499 Date:05/07/2004 Time:13:11

Doc Stamp-Deed : 1107.40

DC, P. DeWitt Cason, Columbia County B:1016 P:1888



TEMPORARY

TEMPERARY OF COLUMBIA COUNTY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-3S-16-02585-006

Building permit No. 000022713

Use Classification COMM. SHOPPING CTR

Fire: .00

Permit Holder DAVID SIMQUE

Waste: .00

Owner of Building WESTFIELD GROUP

Total: .00

Location: 2941 W US HWY.SUITE 111(MOE'S)

Date: 07/11/2005



Henry John Charles Jensen
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

Village Square Bldg. #1

1. Moss Suite # 101
2. Moon Time Suite # 103
3. The Lamplighter Shoppe Suite # 105 & 107
4. Diamond Nails Suite # 109
5. Sweet Dreams Lingerie Suite # 111

Suite numbers 113, 115 & 117
have not been leased out yet.



Alphonso Wilson
Fire Chief

LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: John D. Kerce

FROM: Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

DATE: 8/3/05

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Village Square located at 2941 Hwy 90 West. Lake City, FL. 32055 all unites of This facility meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544



LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

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alwilson@se.rr.com (Fire Chief)

Alphonso Wilson
Fire Chief

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Robert Mann

FROM: Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

DATE: 7/8/05

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Moe,s Southwest Grill located at 2941 Suite 101 Lake City, FL. 32055 This Business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544



LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055
Phone: 386-752-3312 Fax: 386-758-5424
e-mail: lcfd@se.rr.com
alwilson@se.rr.com (Fire Chief)

Alphonso Wilson
Fire Chief

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

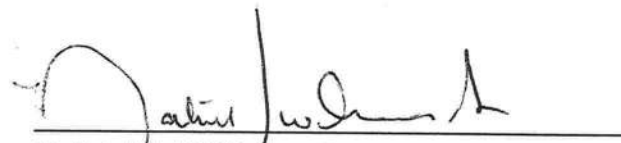
TO: Dustin Crews

FROM: Nathiel L. Williams
State Fire Inspector License #113360

DATE: July 21, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Moontime Ice Cream, located at 2941 W. US Hwy 90, Suite 102 Lake City, FL. This business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.



Nathiel L. Williams, Sr.
State Fire Inspector License #113360



LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson
Fire Chief

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Gayle & Greg Lienemann

FROM: Frank E. Armijo, Captain
State Fire Inspector License #112877

DATE: August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at The Lamplighter Shoppe, located at 2941 W. US 90 #107, Lake City, FL. This Business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

Frank E. Armijo, Captain
State Fire Inspector License #112877



Alphonso Wilson
Fire Chief

LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Nails

FROM: Frank E. Armijo, Captain
State Fire Inspector License #112877

DATE: August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at 2941 W. Hwy. 90, #109 located at Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

Frank E. Armijo, Captain
State Fire Inspector License #112877



LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson
Fire Chief

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Amanda R. Johnson

FROM: Frank E. Armijo, Captain
State Fire Inspector License #112877

DATE: August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Sweet Dreams Lingerie, located at 2941 W. US Hwy 90, Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

Frank E. Armijo, Captain
State Fire Inspector License #112877



Alphonso Wilson
Fire Chief

LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

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alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

FAX

TO:

John Kerue

FROM:

Capt. Frank Armijo

FAX:

758-2160

FAX:

719-5460

PHONE:

PHONE:

SUBJECT:

Fire Inspection

DATE:

~~July 22, 2005~~

August 1, 2005

COMMENTS:

Thank you for your help.

NUMBER OF PAGES (INCLUDING COVER SHEET):

4

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 35-3S-16-02585-006

Building permit No. 000022713

Use Classification COMM. SHOPPING CTR

Fire: .00

Permit Holder DAVID SIMQUE

Waste: .00

Owner of Building WESTFIELD GROUP

Total: .00

Location: 2941 W US HWY 90, LAKE CITY

Date: 08/04/2005

John Kence

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



District No. 1 - Ronald Williams
District No. 2 - Dewey Weaver
District No. 3 - George Skinner
District No. 4 - Jennifer Flinn
District No. 5 - Elizabeth Porter

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY



August 4, 2005

David Simque
PO Box 2962
Lake City, FL 32056

RE: Village Square

Dear Mr. Simque,

For suites 113, 115 & 117 both the Building Department and the Fire Department will need to re-inspect, when they are leased, before the Certificate of Occupancy will be issued.

A handwritten signature in cursive script that reads "John D. Kerce".

John Kerce
Building & Zoning Coordinator

BOARD MEETS FIRST THURSDAY AT 7:00 P.M.
AND THIRD THURSDAY AT 7:00 P.M.

Village Square Bldg. #1

1. Moss Suite # 101
2. Moon Tans Suite # 103
3. The Lamplighter Shoppe Suite # 105 & 107
4. Diamond Nails Suite # 109
5. Sweet Dreams Lingerie Suite # 111

Suite numbers 113, 115 & 117
have not been leased out yet.



Alphonso Wilson
Fire Chief

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225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: John D. Kerce

FROM: Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

DATE: 8/3/05

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Village Square located at 2941 Hwy 90 West. Lake City, FL. 32055 all unites of This facility meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544



Alphonso Wilson
Fire Chief

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e-mail: lcfd@se.rr.com

alwilson@se.rr.com (Fire Chief)

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Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Robert Mann

FROM: Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

DATE: 7/8/05

SUBJECT: Fire Safety Inspection

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Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544



Alphonso Wilson
Fire Chief

LAKE CITY / COLUMBIA COUNTY

FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055
Phone: 386-752-3312 Fax: 386-758-5424
e-mail: lcfd@se.rr.com
alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Dustin Crews

FROM: Nathiel L. Williams
State Fire Inspector License #113360

DATE: July 21, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Moontime Ice Cream, located at 2941 W. US Hwy 90, Suite 102 Lake City, FL. This business meets all requirements of Chapter 12 of the Florida Fire Prevention Code, 2003 Edition. No violations were noted. I recommend approval.

Nathiel L. Williams, Sr.
State Fire Inspector License #113360



LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcf@se.rr.com

alwilson@se.rr.com (Fire Chief)

Alphonso Wilson
Fire Chief

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Gayle & Greg Lienemann

FROM: Frank E. Armijo, Captain
State Fire Inspector License #112877

DATE: August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at The Lamplighter Shoppe, located at 2941 W. US 90 #107, Lake City, FL. This Business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

Frank E. Armijo, Captain
State Fire Inspector License #112877



Alphonso Wilson
Fire Chief

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Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Nails

FROM: Frank E. Armijo, Captain
State Fire Inspector License #112877

DATE: August 1, 2005

SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at 2941 W. Hwy. 90, #109 located at Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

Frank E. Armijo, Captain
State Fire Inspector License #112877



Alphonso Wilson
Fire Chief

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Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

TO: Amanda R. Johnson
FROM: Frank E. Armijo, Captain
State Fire Inspector License #112877
DATE: August 1, 2005
SUBJECT: Fire Safety Inspection

A fire safety inspection was performed today at Sweet Dreams Lingerie, located at 2941 W. US Hwy 90, Lake City, FL. This business meets all requirements of Chapter 38 of the Florida Fire Prevention Code, 2005 Edition. No violations were noted. I recommend approval.

Carlton Tunsil, Assistant Fire Chief
State Fire Inspector License #48544

Frank E. Armijo, Captain
State Fire Inspector License #112877



Alphonso Wilson
Fire Chief

LAKE CITY / COLUMBIA COUNTY FIRE - RESCUE

225 NW Main Blvd., Suite 101, Lake City, FL 32055

Phone: 386-752-3312 Fax: 386-758-5424

e-mail: lcf@se.rr.com

alwilson@se.rr.com (Fire Chief)

Inspection Division

Firesafety Inspectors

Carlton A. Tunsil
Assistant Fire Chief

Frank E. Armijo
Captain

Nathiel L. Williams, Sr.
Driver/Engineer

FAX

TO:

John Kerue

FROM:

Capt. Frank Armijo

FAX:

758-2160

FAX:

719-5460

PHONE:

PHONE:

SUBJECT:

Fire Inspection

DATE:

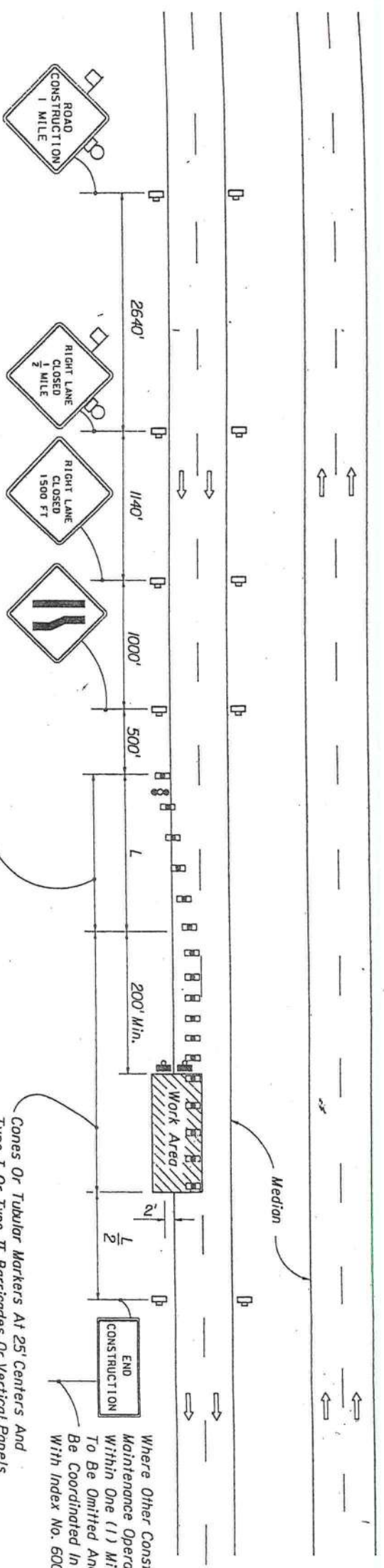
~~2005-08-22~~*August 1, 2005*

COMMENTS:

Thank you for your help.

NUMBER OF PAGES (INCLUDING COVER SHEET):

4



SYMBOLS

- Sign with 18" x 18" (Min.) Orange Flag And Type B Light
- Type I Or Type II Barricade Or Vertical Panel Or Drum (With Steady Burning Light At Night Only). Tubular Markers May Be Used During Daylight Only.
- Type I, Type II Or Type III Barricade Or Vertical Panel Or Drum (With Flashing Light)
- Work Zone Sign
- Advance Warning Arrow Panel

GENERAL NOTES

- Work operations shall be confined to one traffic lane, leaving the adjacent lane open to traffic.
 - All vehicles, equipment, workers and their activities are restricted at all times to one side of the pavement.
 - The first two warning signs, each side, shall have a 18" x 18" (min.) orange flag and a Type B light attached and operating at all times.
 - All signs shall be post mounted if the closure time exceeds 12 hours.
 - On undivided highways the median signs as shown are to be omitted.
 - When work is performed in the median lane on divided highways the barricading plan is inverted and left lane closed and lane reduction signs substituted for the right lane closed and lane reduction signs.
- The same applies to undivided highways with the following exceptions:
(a) Work shall be confined within one median lane. (b) Additional barricades, cones, or drums shall be placed along the centerline abutting the work area and across the trailing end of the work area.
- When work on undivided highways occurs across the centerline so as to encroach on both median lanes, the inverted plan is applied to the approach of both roadways.
7. Signs and traffic control devices are to be modified in accordance with INTERMITTENT WORK STOPPAGE details (sheet 2 of 2) when no work is being performed and the highway is open to traffic.

Cones Or Tubular Markers At 25' Centers And Type I Or Type II Barricades Or Vertical Panels Or Drums At 50' Centers For First 250', Thereafter Cones Or Tubular Markers At 50' Centers And Type I Or Type II Barricades Or Vertical Panels Or Drums At 100' Centers.

Where Other Construction Or Maintenance Operations Occur Within One (1) Mile, Signs To Be Omitted And Signing To Be Coordinated In Accordance With Index No. 600

TYPICAL APPLICATIONS

- Pavement Resurfacing
- Pavement Repair
- Utility Work
- Bridge Repair
- Guardrail Work

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH ON THE LANE ADJACENT TO EITHER SHOULDER AND THE AREA \geq OUTSIDE THE EDGE OF PAVEMENT

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION			
TRAFFIC CONTROL THROUGH WORK ZONES			
MULTILANE, DIVIDED AND UNDIVIDED • RURAL			
NIGHT OPERATIONS OR OPERATIONS EXCEEDING ONE DAYLIGHT PERIOD			
Designed By	Checked By	Approved By	Drawn No.
HSB/ABR	HSB/ABR	HSB/ABR	94
Drawn By	Checked By	Approved By	Drawn No.
HSB/ABR	HSB/ABR	HSB/ABR	1 OF 2
F.H.B.A. Approved			613



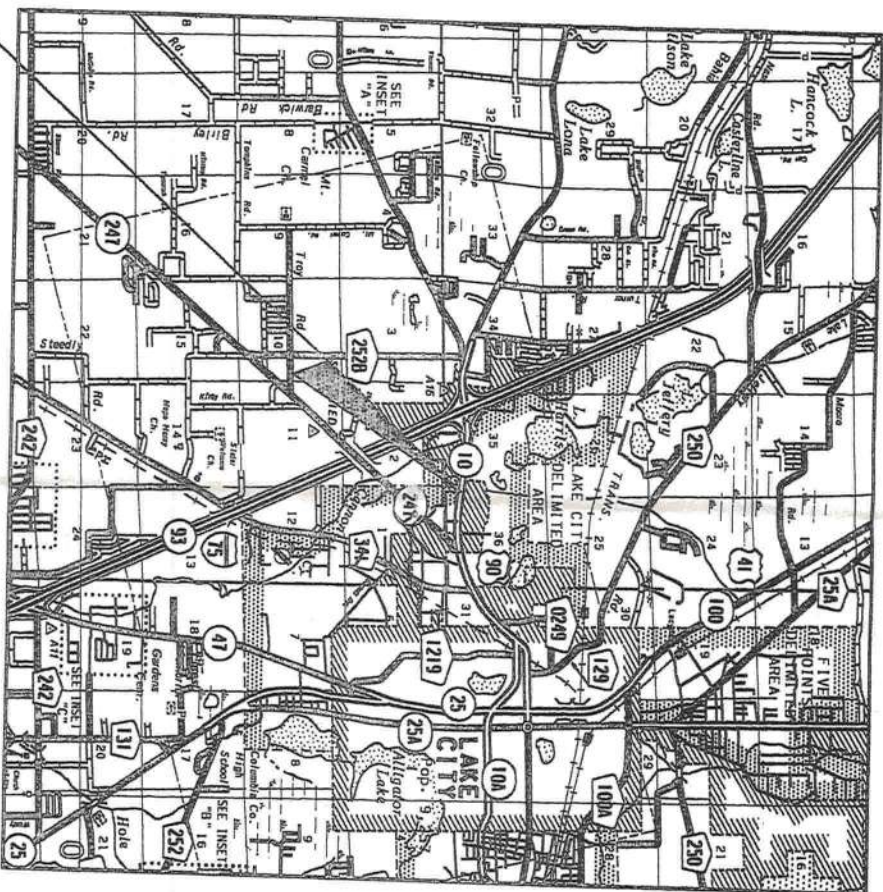
Village Square Lake City, FL

48 HOURS BEFORE YOU
CALL SUNSHINE
1-800-432-4770
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SHEET INDEX

- Cover Sheet 1
- General Notes & Typical Section 2
- Overall Site Layout 3
- Site Layout 3A
- Grading Plan 4
- Pond Layout 5
- Utility Layout 6
- Details 7-9
- Utility Details 10
- Pavement Markings 11
- Erosion Control Plan 12
- Maintenance of Traffic 13
- Connection Detail 14
- Wetland Creation Sheet 15

PROJECT LOCATION



PLANS PREPARED FOR:

WESTFIELD GROUP, LTD.

C/O CHARLIE SPARKS

P.O. BOX 3566

LAKE CITY, FLORIDA 32056

(904) 755-5110

for Mr. H. H. H. H.

11/18/04

FDOT Submittal

EXISTING

LEGEND

PROPOSED

CONCRETE MONUMENT FOUND	CONCRETE MONUMENT SET
IRON PIPE FOUND	IRON PIPE SET
LIGHT STANDARD	LIGHT STANDARD
POWER POLE	POWER POLE
WATER VALVE	WATER VALVE
FIRE HYDRANT	FIRE HYDRANT
BACKFLOW PREVENTER	BACKFLOW PREVENTER
CLEANOUT	CLEANOUT
MANHOLE	MANHOLE
GROUND CONTOUR	GROUND CONTOUR
WELL	DITCH BLOCK
MONITORING WELL	FINISH ELEVATION
ELECTRIC BOX	FLOW ARROW
TELEPHONE BOX	HANDICAP PARKING
CABLE T.V. BOX	MITTERED END
D.O.T. MARKER FOUND	TREE
CONCRETE	SEWER TAP
SOIL BORING LOCATION	WATER METER
SINGLE POST SIGN	BENCH MARK
BENCH MARK	
TRAFFIC LIGHT CABINET	

SYMBOLS & ABBREVIATIONS

PROPERTY LINE	LINEAR FEET
CENTER LINE	IRON PIPE
BASE LINE	MANHOLE
SANITARY SEWER	GAS
STORM SEWER	UNDERGROUND CABLE
ELECTRIC	OVERHEAD CABLE
OVERHEAD ELECTRIC	WATER LINE
UNDERGROUND ELECTRIC	REINFORCED CONCRETE PIPE
OVERHEAD TELEPHONE	REINFORCED CONCRETE ELLIPTICAL PIPE
UNDERGROUND TELEPHONE	CORRUGATED METAL PIPE
RADIUS	CORRUGATED METAL ARC PIPE
CLEANOUT	BITUMINOUS COATED CORRUGATED METAL PIPE
BENCH MARK	BENCH MARK
F.O.C. FIBER OPTIC CABLE	POLYETHYLENE PIPE

COVER SHEET



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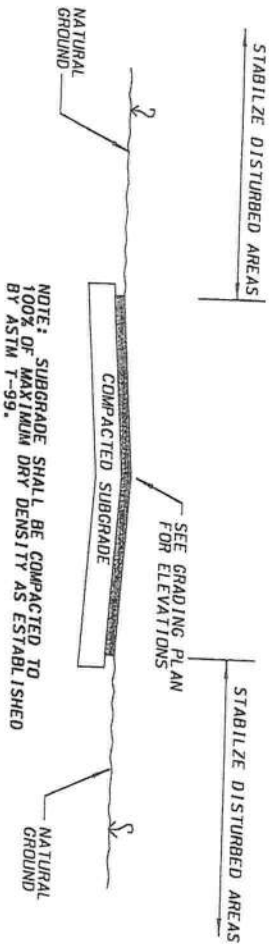
REVISIONS

- 08/06/2004 - REVISED ISLAND IN REAR
- 8/26/2004 - STORMWATER BASIN REVISIONS
- 09/3/2004 WETLAND CREATION REVISION
- 09/22/04 - REVISED OVERFLOW STRUCTURE

JOB NO. 030821 was
DATE 05/04/04
SHEET NO. 7

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL BE IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. THE SITE IS LOCATED IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.
6. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
7. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH CHAPTER 40B-4 F.A.C.
8. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STABLED SOD.
9. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS: FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
10. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED. ONLY AS NOTED IN THE PLANS.
11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION.
12. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY WATER AND WASTEWATER UTILITY STANDARDS.
13. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
14. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS.
15. PRIOR TO BIDDING, THE CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
16. THE DRIVEWAY CONNECTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE (CURRENT EDITION).
17. THE TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE (CURRENT EDITION), ACCORDING TO STATE INDEXES 17302 & 17346. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC LEAD-FREE PAINT.
18. MAINTENANCE OF TRAFFIC SHALL BE PERFORMED IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS 600 & 625.
19. THE CONTRACTOR SHALL OBTAIN THREE DENSITY TESTS ACCORDING TO THE FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION). LIME ROCK SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T 180. A COPY OF THE TESTS SHALL BE SUBMITTED TO FDOT BEFORE STARTING ANY PAVING OPERATIONS.
20. ALL AREAS DISTURBED WITHIN FOOT RIGHT-OF-WAY SHALL BE RESODDED WITH "CERTIFIED COASTAL BERBERIA GRASS SOD". ALL SOD SHALL BE INSTALLED TO FOOT SATISFACTION BEFORE PAVING MAY COMMENCE.



NOTE: SUBGRADE SHALL BE COMPACTED TO 90% OF MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM T-99.

1.5" Type S Structural Course
0.10" Cold Sy Prime Coat
6" Limerock Base Course

21. ALL FDOT RIGHT-OF-WAY RESTORATION, GRASS SOD PLACEMENT AND/OR SEEDING & STRAW MULCH REQUIRED UNDER THIS APPROVED STATE ACCESS PERMIT SHALL BE COMPLETED IN PLACE AND HAVE BEEN REVEALED UNDER THIS APPROVED STATE ACCESS PERMIT. THE CONTRACTOR SHALL HAVE RECEIVED TWO WATERINGS AND ALSO HAVE RECEIVED A PASSING INSPECTION FOR PERMIT COMPLETION. FOR THIS ITEM BEFORE ANY TYPE OF ASPHALT PAVING OR CONCRETE DRIVEWAYS CAN BE CONSTRUCTED, THE CONTRACTOR SHALL PROVIDE A PASSING INSPECTION FOR PERMIT COMPLETION. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT.
22. ALL AREAS OF THE STATE RIGHT-OF-WAY WITHIN THE LIMITS OF CONSTRUCTION WITH A PROPOSED FINISHED GRADE SLOPE OF 1:4 OR STEEPER SHALL BE COMPLETELY COVERED WITH A CERTIFIED COASTAL BERBERIA GRASS SOD OR AN FDOT APPROVED ALTERNATIVE GRASS SOD. THIS CONCRETE POUR THAT IS APPROVED UNDER THE FDOT ACCESS OR DRAINAGE PERMIT, REFER TO THE ATTACHED PERMIT FOR COVER LETTER AND/OR APPROVED SITE PLAN OR PLAN NOTES ON R/W RESTORATION FOR ADDITIONAL RESTORATION PROVISIONS AND OTHER SODDING SPECIFICATIONS.
23. THE PERMITTEE OR LEGAL REPRESENTATIVE SHALL CONTACT THE LOCAL STATE OF FLORIDA FDOT MAINTENANCE PERMITS OFFICE HAVING JURISDICTION OVER THIS APPROVED PERMIT. A MINIMUM OF 48 HOURS IN ADVANCE OF THE PLANNED CONSTRUCTION OF SAID ACCESS PERMIT FOR THE EXPLICIT PURPOSE OF SETTING UP THE MANDATORY PRE-CONSTRUCTION MEETING WITH ALL PARTIES INVOLVED IN THE CONSTRUCTION OF THIS PROJECT. CONSTRUCTION SHALL BE MADE BY CALLING 386-961-7180 OR 7193 OR 7148 TUESDAY THROUGH FRIDAY, 7:00 A.M. TO 5:00 P.M. FAILURE TO COMPLY WITH THE PERMITTEE'S OR HIS GENERAL CONSTRUCTION CONTRACTOR'S PART TO MAKE ADVANCE CONTACT FOR A MUTUALLY AGREED TO PRE-CONSTRUCTION MEETING SHALL BE REASON FOR SUSPENSION OF THE APPROVED FDOT ACCESS PERMIT.
24. ALL PERMITTED AND PROPOSED WORK/CONSTRUCTION UPON STATE FDOT RIGHT-OF-WAY SHALL CONFORM TO THE STATE OF FLORIDA'S MOST CURRENT ROADWAY AND TRAFFIC DESIGN AND BRIDGE STANDARDS (CURRENT EDITION) AND THE STATE FDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE SPECIAL PERMIT PROVISIONS. COVER LETTER AND GENERAL AND SPECIAL PERMIT PROVISIONS.
25. IF DRAINAGE CONNECTION HAS BEEN PERMITTED AND IS REQUIRED AS A PROVISION OF THE FDOT STRUCTURE(S), THEN THE FDOT ENTRY SHALL BE MADE BY SMOOTH CORE METHOD ONLY, WITH NO MORE THAN MAXIMUM OF 0.500 OF AN INCH OVERBORE ALLOWED. THE PERMITTEE SHALL MAKE ADVANCE PREPARATIONS TO ENSURE THE FDOT PERMITS INSPECTOR ON SITE AT THE TIME OF COMMENCEMENT OF ENTRY TO ENSURE WATER TIGHT SEAL IS MADE TO FDOT STANDARDS. NEITHER THE PERMITTEE NOR ANY REPRESENTATIVE OF THE PERMITTEE SHALL CONDUCT THIS PHASE OF THE PROJECT WITHOUT A FDOT INSPECTOR BEING ON SITE. ALL PERMITTED AND APPROVED OR REQUIRED PAVEMENT MARKINGS SHALL BE CONSTRUCTED WITH LEAD-FREE, THERMOPLASTIC MATERIALS IN ACCORDANCE WITH FDOT INDEX NO. 17346 UNDER SPECIAL PAVEMENT MARKINGS.
26. ALL PERMITTED ABOVEGROUND SIGNAGE SHALL CONFORM TO FDOT INDEX NO. 11860 AND 17302. ABOVEGROUND POSTED SIGNS AND SIGN BRACKET ATTACHMENTS SHALL BE INSTALLED PRIOR TO THE FINAL DRIVEWAY CONSTRUCTION IN ACCORDANCE WITH FDOT INDEXES 11860 AND 17302.
27. FAILURE TO ABIDE BY THE ATTACHED GENERAL, SPECIAL PERMIT PROVISIONS AS WELL AS THE ATTACHED COVER LETTER (A LEGAL PART OF THE PERMIT) SHALL BE REASON TO SUSPEND ANY OR ALL FDOT APPROVED PERMITTED ACTIVITIES UNTIL SUCH TIME THAT THE SITUATION HAS BEEN CORRECTED TO FDOT SATISFACTION.
28. CONTRACTOR SHALL PROVIDE ACTUAL, INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.
29. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. SUBMIT THE SURVEY TO THE ENGINEER ON REPRODUCIBLE 20LB. VELLUM.
30. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. DESIGN STANDARDS (CURRENT EDITION) UNLESS OTHERWISE NOTED.

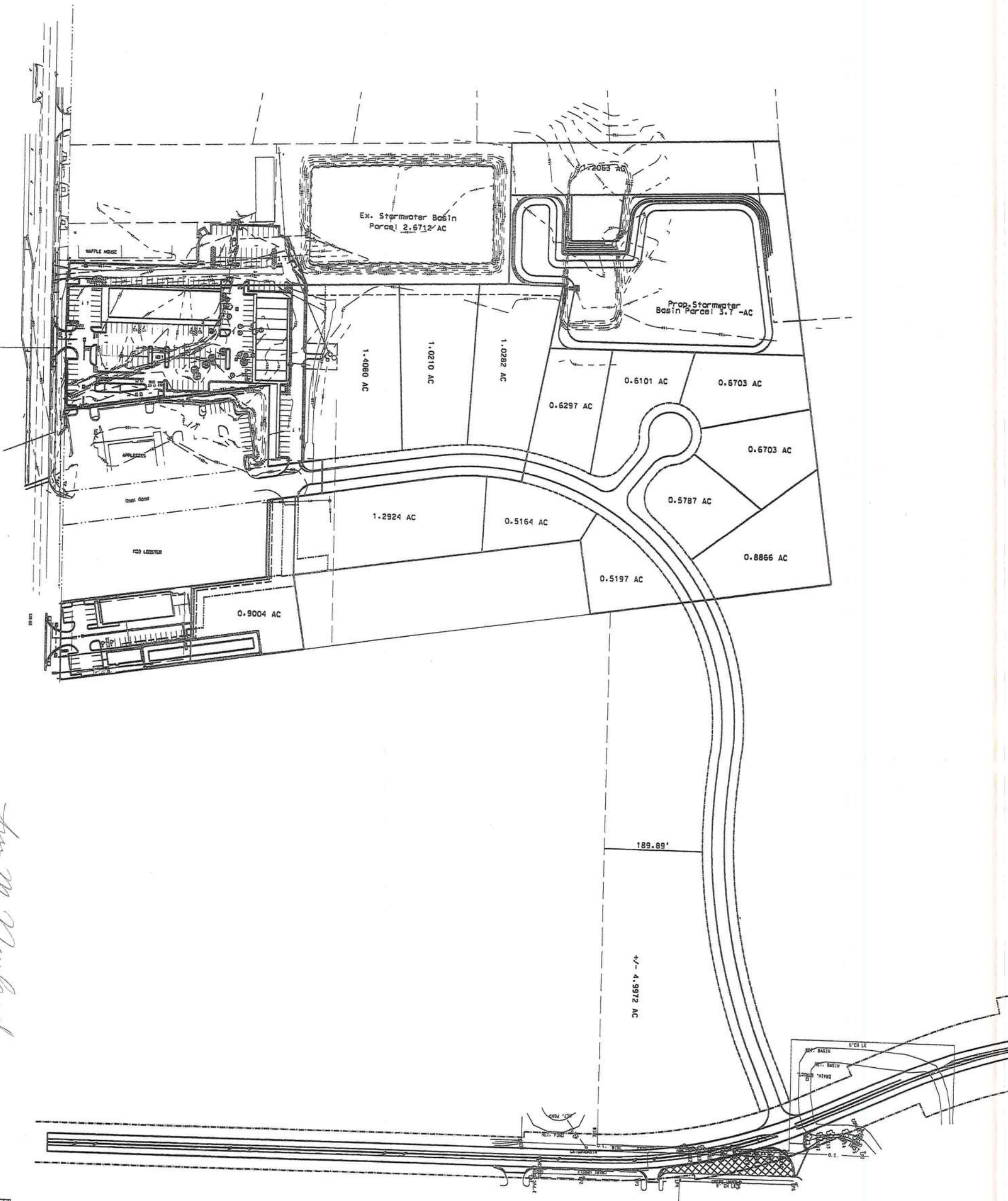
General Notes & Typical Section



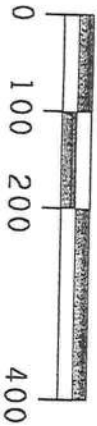
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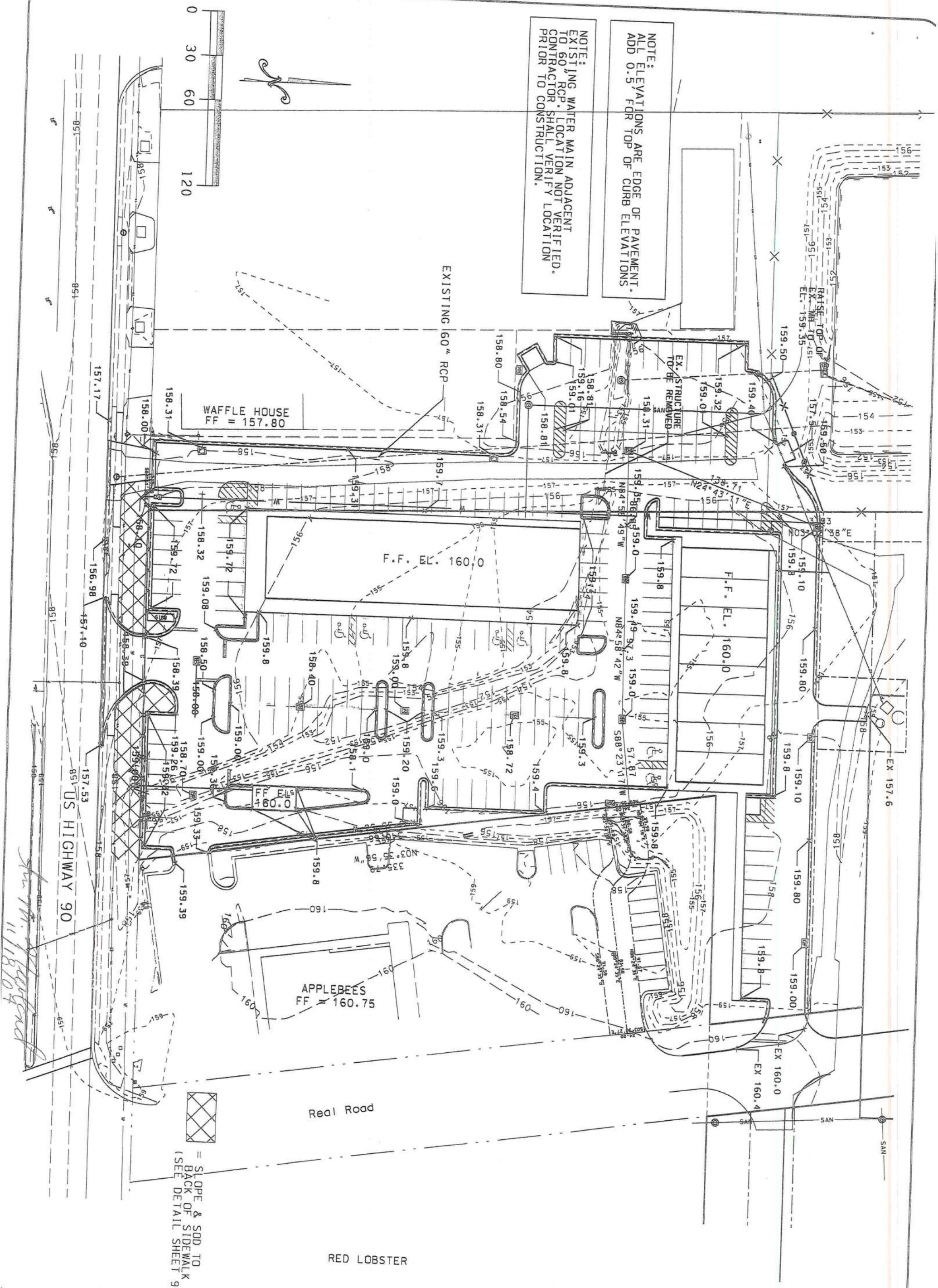
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JOB NO.
030821
SHEET NO.



for M. Crawford
11/18/04





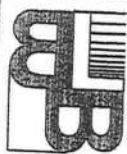


FLORIDA DEPARTMENT OF TRANSPORTATION
RETENTION POND

50' RESTRICTION PER
ORB 542, PG 398-399

Prop. Stormwater
Basin Parcel 3.4-AC

POND DETIAL



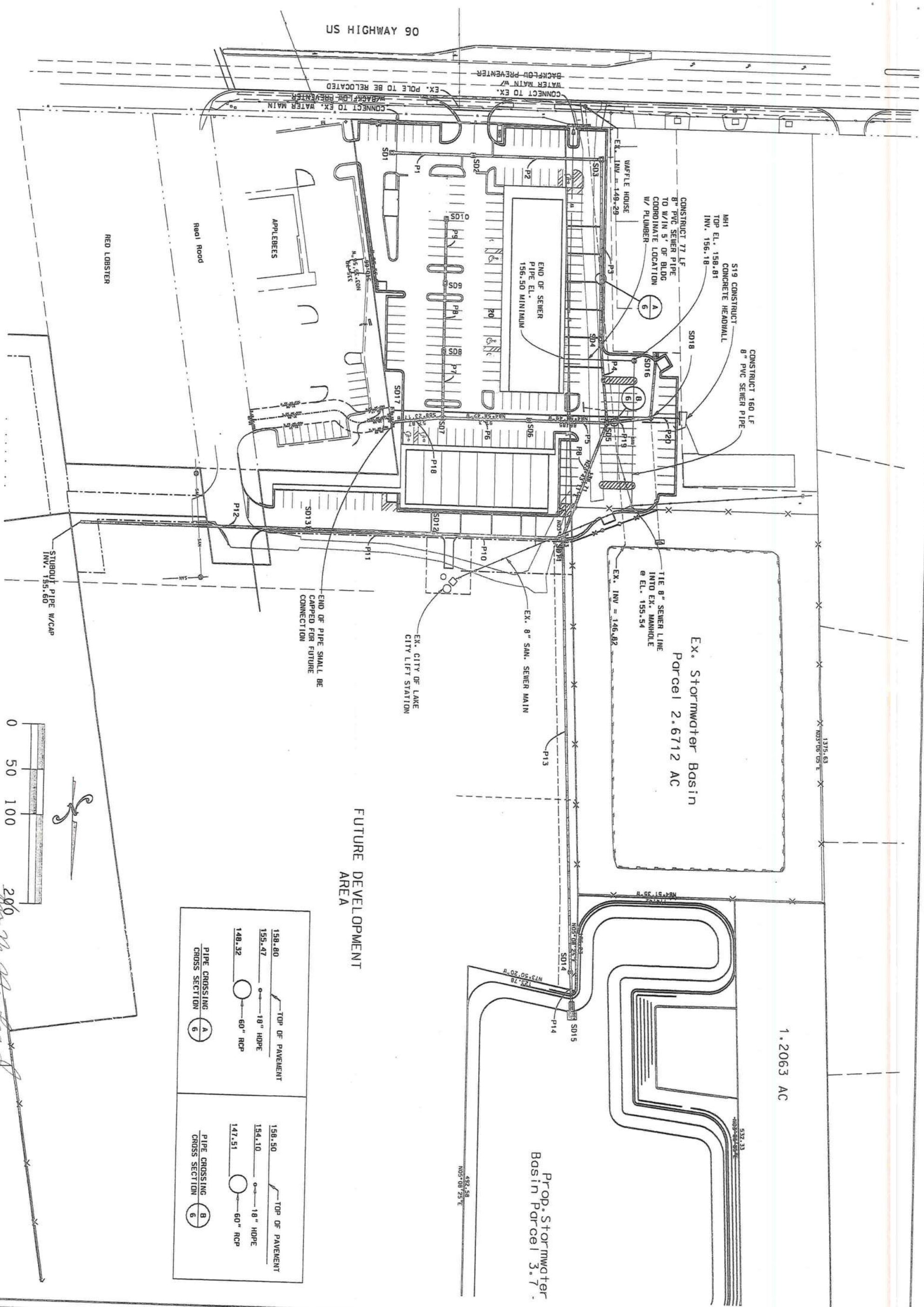
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REVISIONS

8/26/2004 - STORMWATER BASIN REVISIONS

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5



FUTURE DEVELOPMENT
AREA

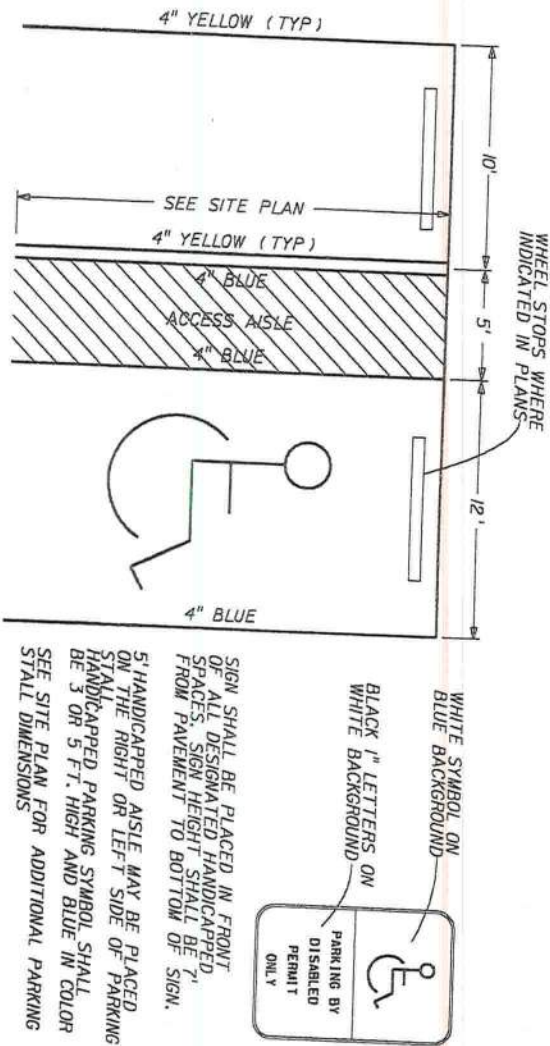
Ex. Stormwater Basin
Parcel 2.6712 AC

1.2063 AC

Prop. Stormwater
Basin Parcel 3.7.

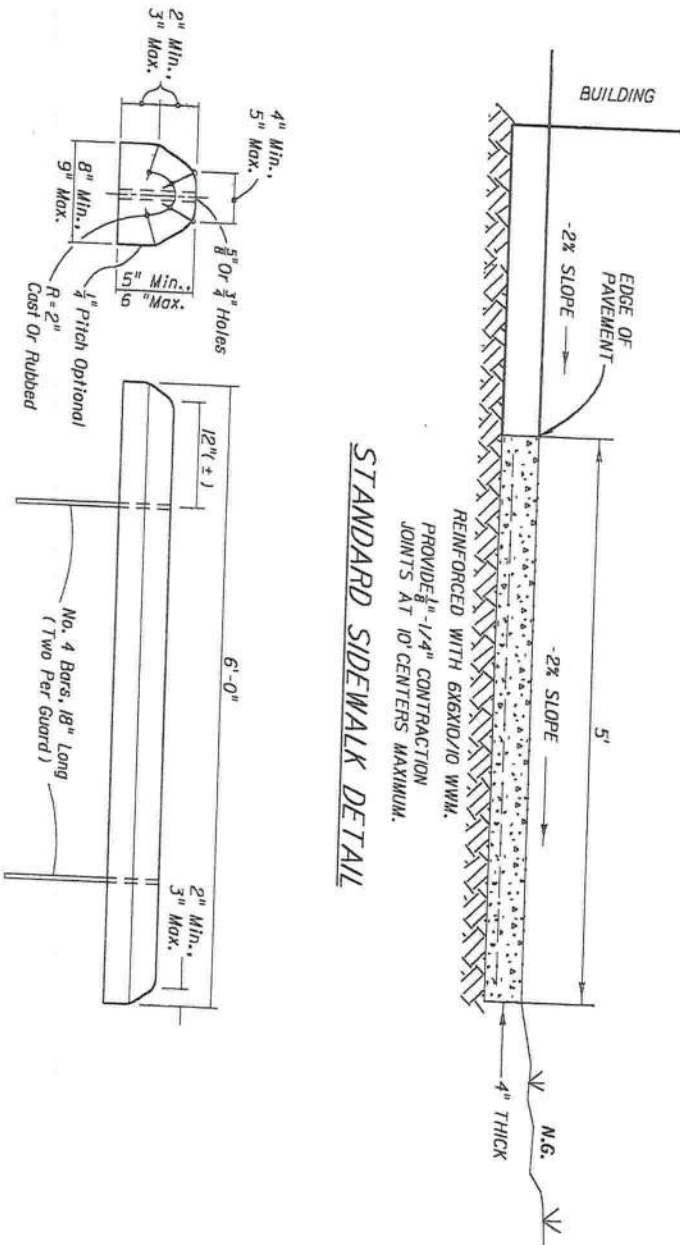
<p>158.80</p> <p>155.47</p> <p>148.32</p> <p>TOP OF PAVEMENT</p> <p>18" HDPE</p> <p>60" RCP</p> <p>PIPE CROSSING CROSS SECTION</p>	<p>158.50</p> <p>154.10</p> <p>147.51</p> <p>TOP OF PAVEMENT</p> <p>18" HDPE</p> <p>60" RCP</p> <p>PIPE CROSSING CROSS SECTION</p>
--	--

200
John H. Howard
11/18/04

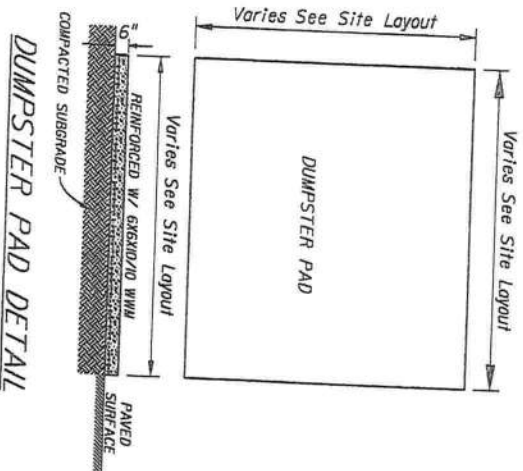


PARKING STALL DETAIL

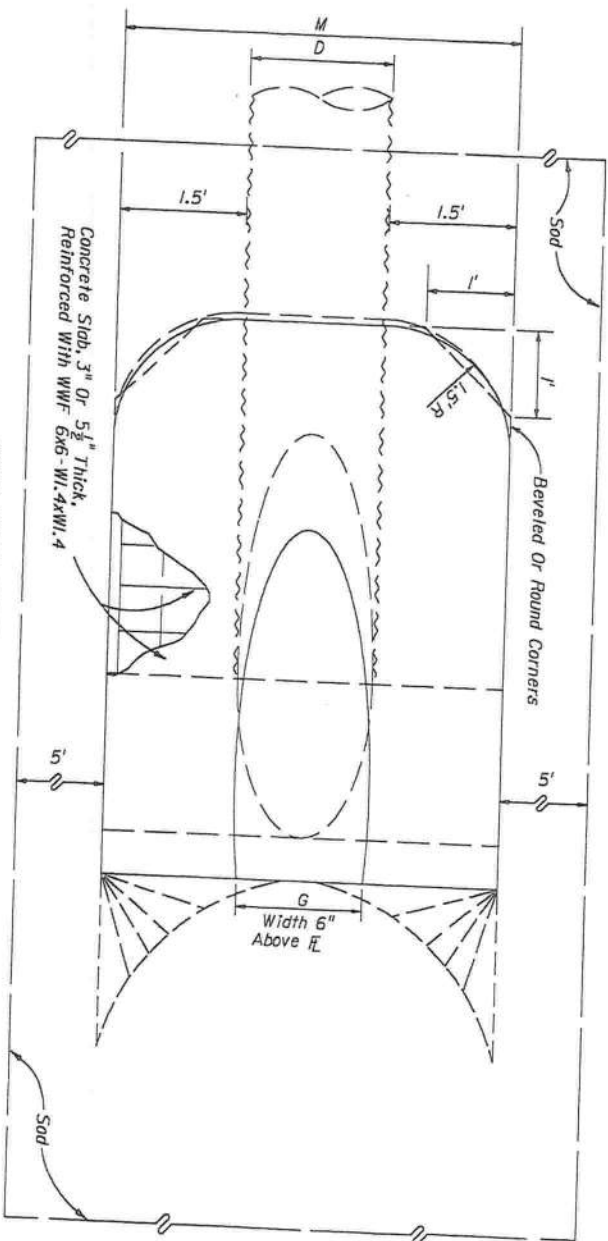
STANDARD SIDEWALK DETAIL



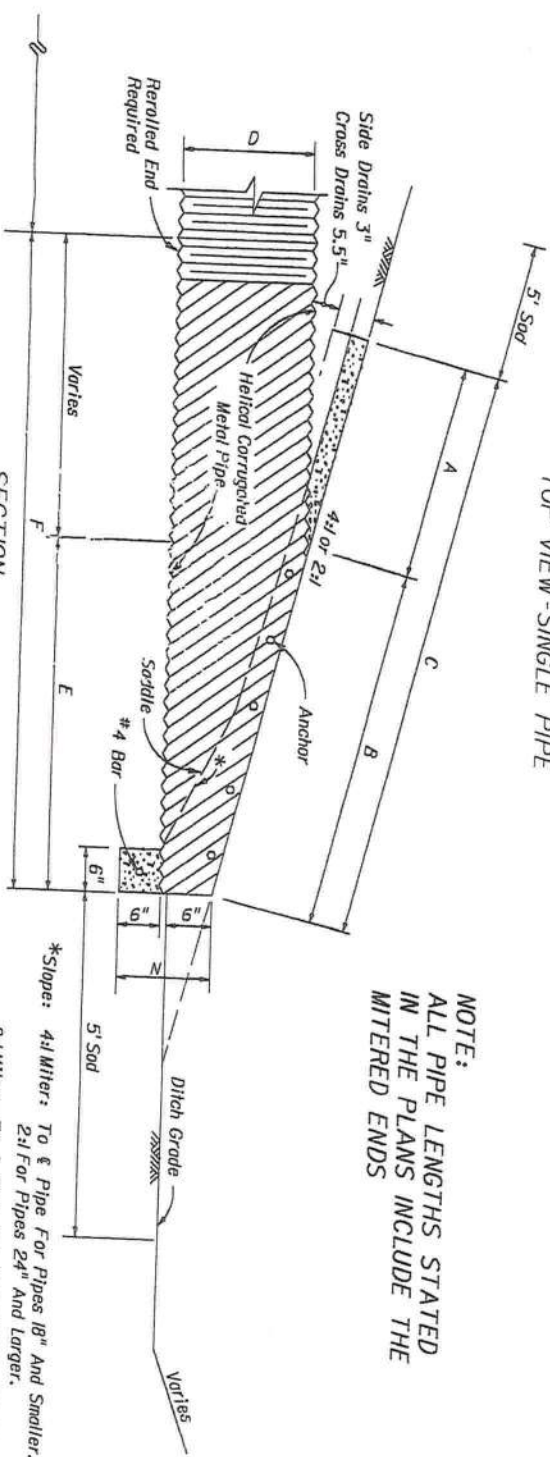
CONCRETE WHEEL STOP



DIMENSIONS												
D	X	A	B	C	E	F	G	M				N
								Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	
15"	2'-7"	2.5'	1.68'	4.88'	1.50'	5'	1.23'	4.33'	6.92'	9.50'	12.08'	1.04'
18"	2'-10"	2.5'	2.24'	4.14'	2.00'	6'	1.41'	4.58'	7.42'	10.25'	13.08'	1.04'
24"	3'-5"	2.5'	3.35'	5.85'	3.00'	7'	1.73'	5.08'	8.50'	11.92'	15.33'	1.04'
30"	4'-3"	2.5'	4.47'	6.97'	4.00'	8'	2.00'	5.58'	9.83'	14.08'	18.33'	1.04'
36"	5'-1"	2.5'	5.59'	8.09'	5.00'	9'	2.24'	6.08'	11.17'	16.25'	21.33'	1.04'
42"	6'-0"	2.5'	6.71'	9.21'	6.00'	10'	2.45'	6.58'	12.58'	18.58'	24.58'	1.04'
48"	6'-9"	2.5'	7.83'	10.33'	7.00'	11'	2.65'	7.08'	13.83'	20.58'	27.33'	1.04'
54"	7'-8"	2.5'	8.94'	11.44'	8.00'	12'	2.83'	7.58'	15.25'	22.92'	30.58'	1.04'
60"	8'-6"	2.5'	10.06'	12.56'	9.00'	13'	3.00'	8.08'	16.58'	25.08'	33.58'	1.04'
15"	2'-7"	2.5'	3.09'	5.59'	3.0'	7.0'	1.23'	4.33'	6.92'	9.50'	12.08'	1.04'
18"	2'-10"	2.5'	4.12'	6.62'	4.0'	8.0'	1.41'	4.58'	7.42'	10.25'	13.08'	1.04'
24"	3'-5"	2.5'	6.18'	8.68'	6.0'	10.0'	1.73'	5.08'	8.50'	11.92'	15.33'	1.04'
30"	4'-3"	2.5'	8.25'	10.75'	8.0'	12.0'	2.00'	5.58'	9.83'	14.08'	18.33'	1.04'
36"	5'-1"	2.5'	10.31'	12.81'	10.0'	14.0'	2.24'	6.08'	11.17'	16.25'	21.33'	1.04'
42"	6'-0"	2.5'	12.37'	14.87'	12.0'	16.0'	2.45'	6.58'	12.58'	18.58'	24.58'	1.04'
48"	6'-9"	2.5'	14.43'	16.93'	14.0'	18.0'	2.65'	7.08'	13.83'	20.58'	27.33'	1.04'
54"	7'-8"	2.5'	16.49'	18.99'	16.0'	20.0'	2.83'	7.58'	15.25'	22.92'	30.58'	1.04'
60"	8'-6"	2.5'	18.55'	21.05'	18.0'	22.0'	3.00'	8.08'	16.58'	25.08'	33.58'	1.04'



TOP VIEW-SINGLE PIPE



NOTE:
ALL PIPE LENGTHS STATED
IN THE PLANS INCLUDE THE
MITERED ENDS

*Slope: 4:1 Miter: To & Pipe For Pipes 18" And Smaller.
2:1 Miter: To & Pipe For Pipes 24" And Larger.
1:1 For Pipes 24" And Larger.

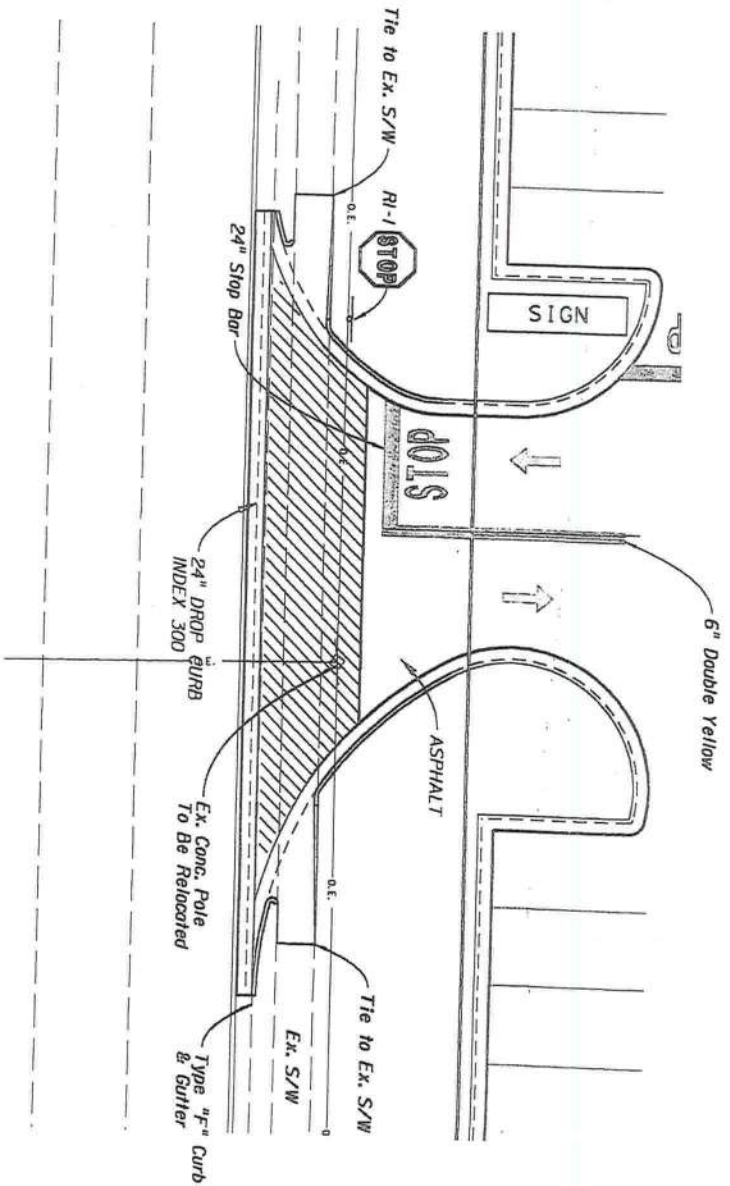
DETAILS



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SHEET NO.
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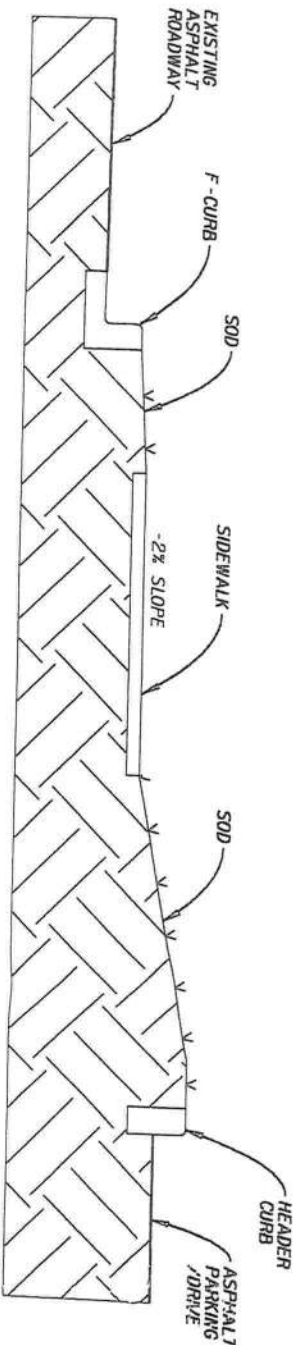


REFER TO THE FOLLOWING FDOT INDEXES FOR INFORMATION AND DETAILS:

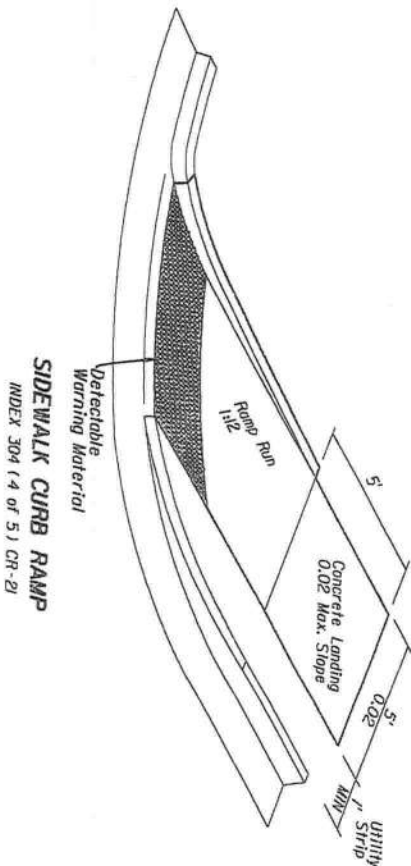
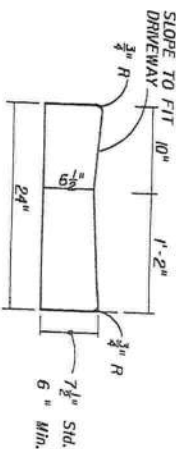
1. TYPE "F" CURB AND GUTTER, F.D.O.T. INDEX 300
2. DROP CURB AND GUTTER, F.D.O.T. INDEX 300
3. A.D.A. SIDEWALK RAMP, F.D.O.T. INDEX 304
4. MITERED ENDS, F.D.O.T. INDEX 273
5. SINGLE POST SIGNS (STOP R-1), F.D.O.T. INDEX 7302
6. 24" WHITE STOP BAR, F.D.O.T. INDEX 7346
7. 6" DOUBLE YELLOW LANE SEPARATION, F.D.O.T. INDEX 7346

NOTES:

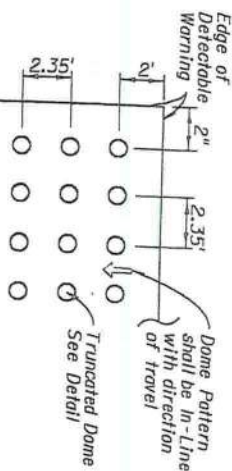
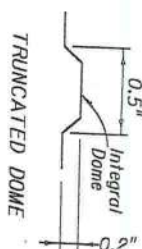
1. F.D.O.T. TYPE "F" CURB & GUTTER, INCLUDING RADI AND DROP CURB SHALL BE POURED IN ONE CONTINUOUS PIECE.
2. ALL CEMENT CONCRETE SHALL BE FROM AN APPROVED AND CERTIFIED F.D.O.T. BATCH PLANT, WITH ALL CONCRETE MATERIALS HAVING A MINIMUM COMPRESSIVE STRENGTH FOR HATCHED AREA, THE MINIMUM MEASURED THICKNESS SHALL BE 6 INCHES OR GREATER, UNLESS OTHERWISE SPECIFIED BY APPROVED PERMIT. CEMENT CONCRETE A.D.A. RAMP MUST CONFORM TO THE STATES MOST CURRENT INDEXES.
3. F.D.O.T. APPROVED (3 FOOT WIDE) LIGHTED BARRICADES MUST BE USED WHENEVER THE CURB AND GUTTER IS LEFT OPEN OVER-NIGHT WITHIN STATE F.D.O.T. RIGHT-OF-WAY AND OR LESS EARTH OR LIMEROCK MATERIAL SHALL BE PLACED DOWN A MINIMUM OF 10 FEET WIDE FROM EDGE-OF-PAVEMENT OUTWARD TO MEET THE ABOVE REQUIREMENT.
4. REFER TO THE F.D.O.T. 2000 ROADWAY AND TRAFFIC DESIGN STANDARDS INDEX MANUAL AND THE MOST CURRENT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION MANUAL FOR ADDITIONAL INFORMATION.



DROP CURB & GUTTER
INDEX 300



SIDEWALK CURB RAMP
INDEX 304 (4 of 5) CR-21



PLAN VIEW

- NOTES:
1. All Sidewalk Curb Ramps shall have Detectable Warning Surface that extend the full width of the Ramp and in the direction of Travel 24" from the Back of Curb.
 2. On Ramps perpendicular with Curb Line, Dome Pattern shall be in-Line with Direction of Travel.
 3. On Ramps intersecting Curb on a Radius, Dome Pattern shall be in-Line with Direction of Travel (To the Extent Practical).
 4. The ramp detectable warning surface shall be complete and uniform in color and texture.
 5. 50% of the individual truncated domes must comply with the design criteria.
 6. there may be no more than 4 non-complying domes in any 1 square foot of surface.
 7. No two adjacent domes may be non-complying.
 8. Surface may not deviate more than 0.1" from a true plane.

SLOPE & SOD TO BACK OF SIDEWALK DETAIL

for M. Newland
11/18/04

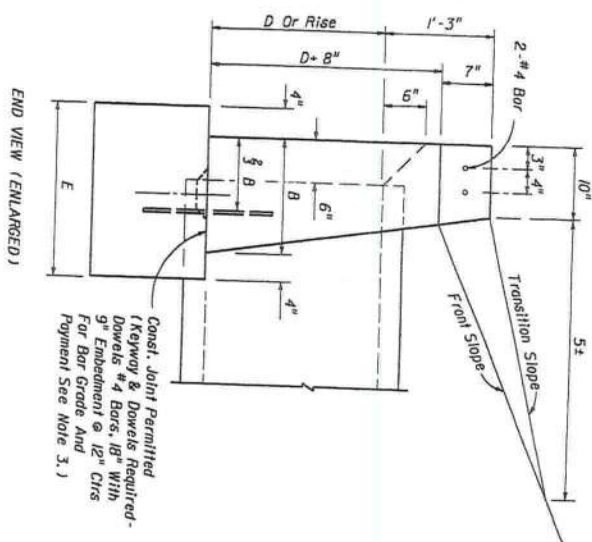
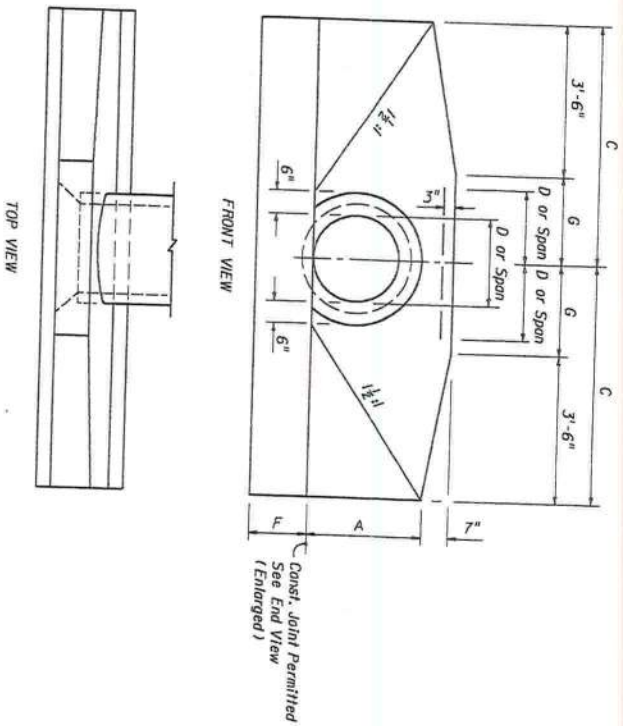
REVISIONS
11-18-04 ADDED SIDEWALK RAMP DETAIL

JOB NO.
030821 wes
SHEET NO.
9

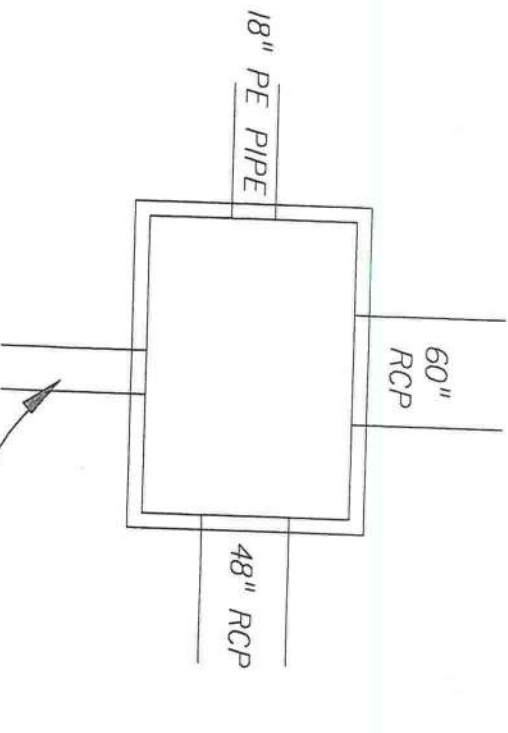
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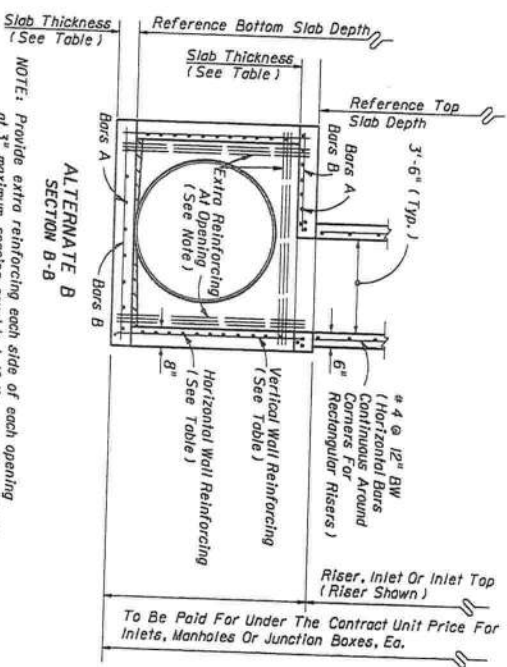
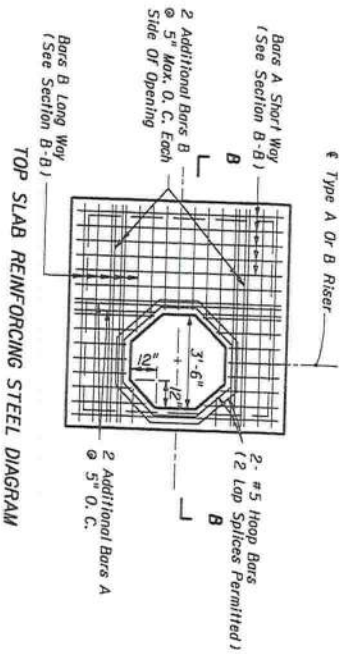
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ENDWALL DIMENSIONS (EXCLUSIVE OF MULTIPLE PIPE SPACING)

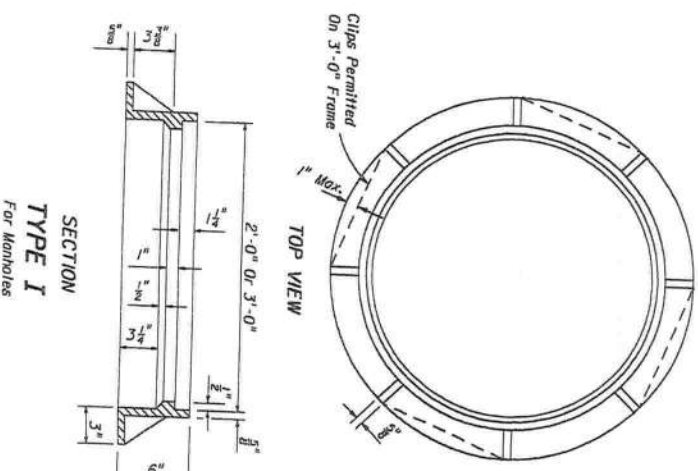


STRUCTURE SD18 DETAIL



NOTE: Provide extra reinforcing each side of each opening of 3" maximum spacing equal to half the area of vertical reinforcement removed by the opening and provide the same area of reinforcement above each opening at 3" maximum spacing as removed by the opening.

GENERAL NOTES



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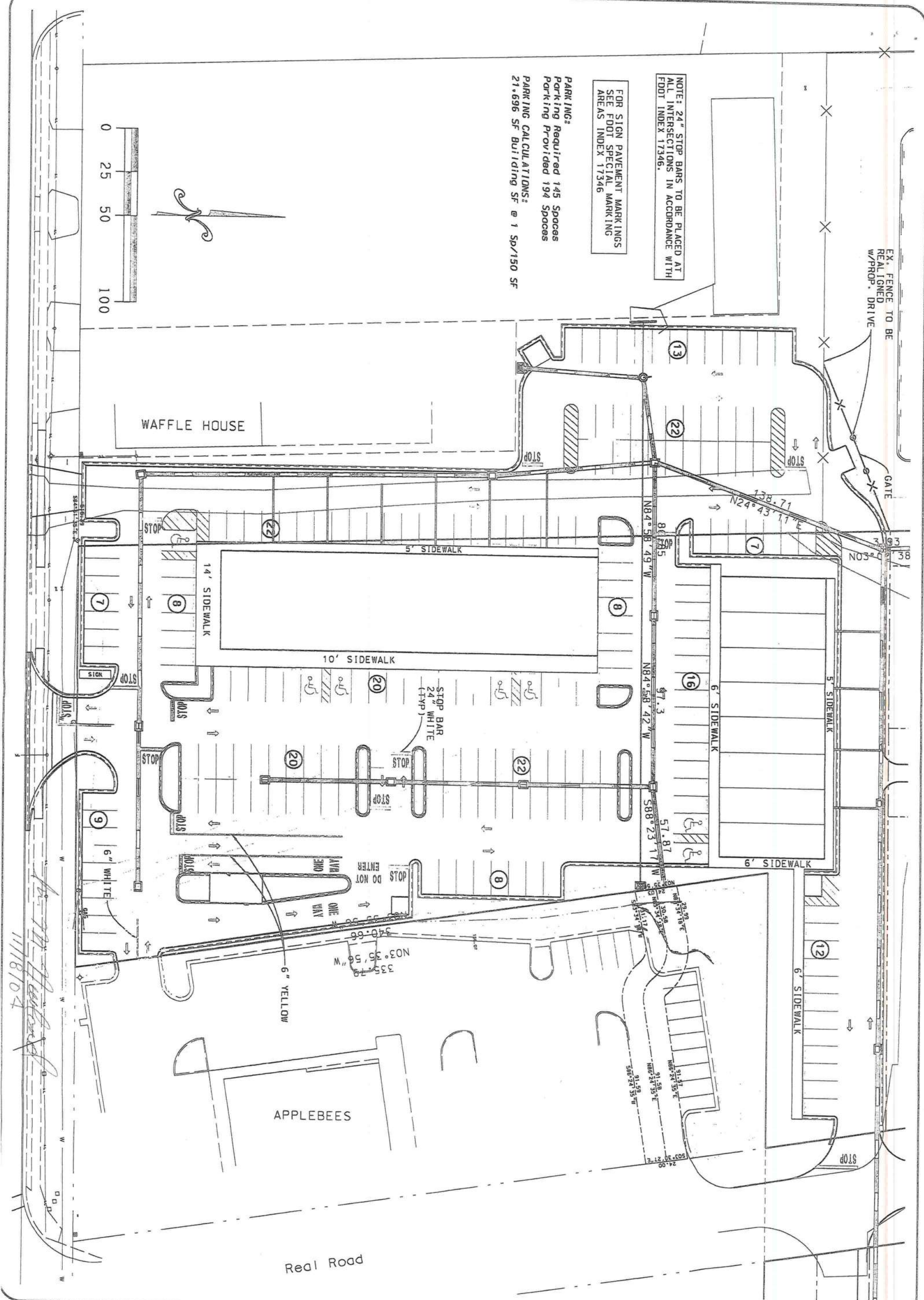
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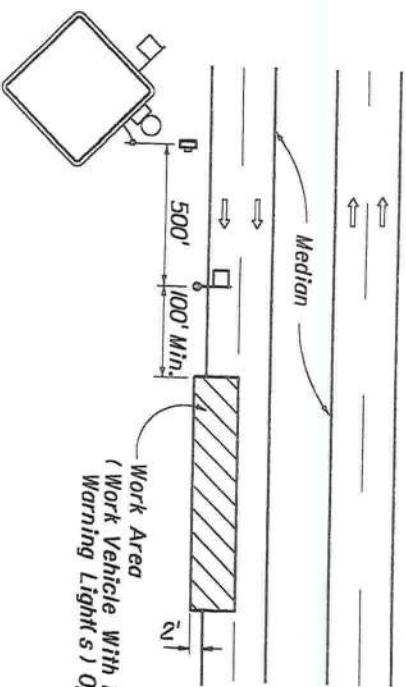
REVISIONS

11/22/04 REVISED S-18 DETAIL PER DOT

JOB NO.
030821 wes
SHEET NO.
7

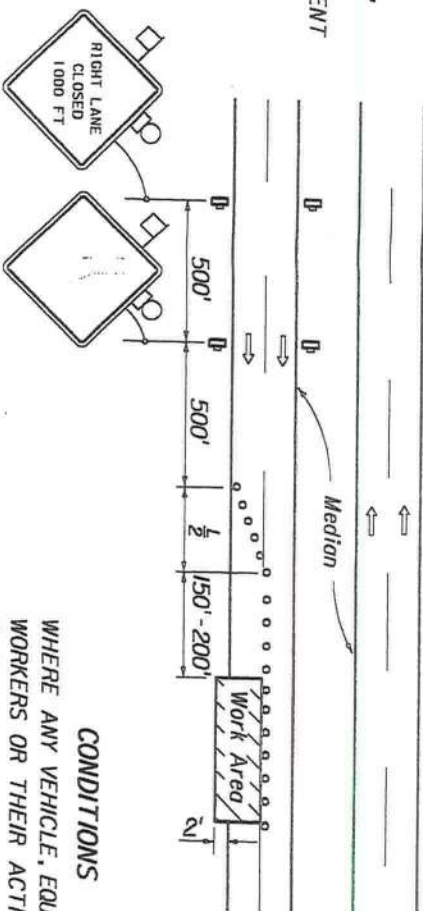
Jim M. Muehlend
11/22/04





CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH ON THE LANE ADJACENT TO EITHER SHOULDER AND THE AREA 2' OUTSIDE THE EDGE OF PAVEMENT FOR A PERIOD OF 15 MINUTES OR LESS

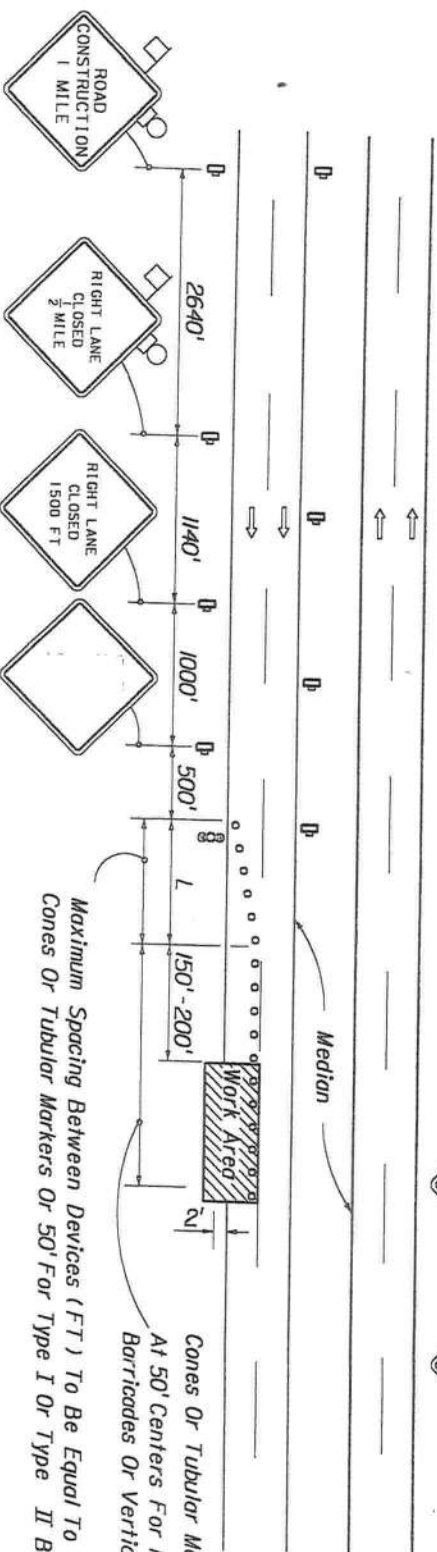


CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH ON THE LANE ADJACENT TO EITHER SHOULDER AND THE AREA 2' OUTSIDE THE EDGE OF PAVEMENT FOR A PERIOD OF 60 MINUTES OR GREATER

CONDITIONS

WHERE ANY VEHICLE, EQUIPMENT, WORKERS OR THEIR ACTIVITIES ENCROACH ON THE LANE ADJACENT TO EITHER SHOULDER AND THE AREA 2' OUTSIDE THE EDGE OF PAVEMENT FOR A PERIOD OF MORE THAN 15 MINUTES BUT LESS THAN 60 MINUTES



Cones Or Tubular Markers At 25' Centers And Type I Or Type II Barricades Or Vertical Panels Or Drums At 50' Centers For First 250', Thereafter Cones Or Tubular Markers At 50' Centers And Type I Or Type II Barricades Or Vertical Panels Or Drums At 100' Centers.

Maximum Spacing Between Devices (FT) To Be Equal To The Speed Limit (MPH) But Not Greater Than 25' For Cones Or Tubular Markers Or 50' For Type I Or Type II Barricades Or Vertical Panels Or Drums.

SYMBOLS

- Work Area
- Sign With 18" x 18" (Min.) Orange Flag And Type B Light
- Type I Or Type II Barricade Or Vertical Panel Or Cone Or Tubular Marker Or Drum
- Work Zone Sign
- Flagger
- Advance Warning Arrow Panel

GENERAL NOTES

1. Work operations shall be confined to one traffic lane, leaving the adjacent lane open to traffic.
2. All vehicles, equipment, workers, and their activities are restricted at all times to one side of the pavement.
3. The first two warning signs, each side, shall have an 18" x 18" orange flag and a Type B light attached and operating at all times.
4. Mesh signs may be used for (Daylight Only) operations. Type B Lights and Orange Flags are not required.
5. On undivided highways the median signs as shown are to be omitted.
6. When work is performed in the median lane on divided highways the barricading plan is inverted and left lane closed and lane reduction signs substituted for the right lane closed and lane reduction signs.
7. The same applies to undivided highways with the following exceptions: (a) Work shall be confined within one median lane. (b) Additional barricades, cones, or drums shall be placed along the centerline abutting the work area and across the trailing end of the work area. When work on undivided highways occurs across the centerline, so as to encroach on both median lanes, the inverted plan is applied to the approach of both roadways.
8. The RIGHT (LEFT) LANE CLOSED signs are to be removed or fully covered when no work is being performed and the highway is open to traffic.
9. Arrows denote direction of traffic only and do not reflect pavement markings.
10. Longitudinal dimensions are to be adjusted to fit field conditions. See Index No. 600.
11. When work is being performed on a multi-lane undivided roadway the signs normally mounted in the median (as shown) shall be omitted.
12. This TCZ plan does not apply when work is being performed in the middle or inside lane(s) of a six or more lane highway. See Indexes Nos. 616 and 617.
13. When a side road intersects the highway on which work is being performed additional traffic control devices shall be erected in accordance with other applicable TCZ Indexes.
14. For general TCZ requirements and additional information, refer to Index No. 600.

TYPICAL APPLICATIONS

Pavement Resurfacing
Pavement Repair
Utility Work
Bridge Repair
Guardrail Work
Pavement Coring And Straight Edging

MAINTENANCE OF TRAFFIC



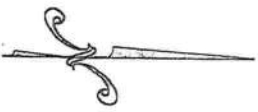
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REVISIONS

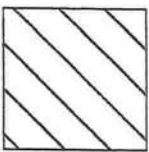
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030821 wes
SHEET NO.
13

M. M. M. M. M.
11/18/04

0 15 30 60



US HIGHWAY 90



8" CONCRETE
(3000 PSI MINIMUM)

TYPE "F"

REMOVE EXISTING DRIVE

EX. POLE TO BE RELOCATED

R5-5 DO
NOT ENTER
(DOUBLE BACKED)

R5-5 DO
NOT ENTER



R35

15'

15'

R50
ASPHALT

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

WAFFLE HOUSE

STOP

SIGN

STOP

R18

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

15'

STOP

STOP

STOP

STOP

STOP

STOP

STOP

STOP

STOP

STOP

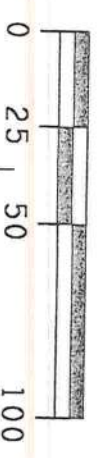
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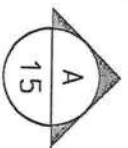
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REVISIONS
11-18-04 REVISED DRIVEWAYS

JOB NO.
030821 wsl
SHEET NO.
14



FLORIDA DEPARTMENT OF TRANSPORTATION
RETENTION POND



5

WETLAND CREATION
AREA 0.2 ACRES

EX. TREES ALONG THE SLOPE
SHALL REMAIN

50' RESTRICTION PER
ORB 542, PG 398-399

SOIL FROM EX. WETLANDS
SHALL BE SPREAD ALONG
THE EDGE AND BOTTOM AREA
OF THE CREATION AREA

PLANTING SCHEDULE:
SWEET GUM, RED MAPLE, BLACK GUM,
AND CYPRESS TREES SHALL PLANTED
10' O.C. THROUGHOUT THE CREATION AREA.
ALL TREES SHALL BE BARE ROOT SEEDLINGS.

STORMWATER
BASIN

WETLAND

STORMWATER
BASIN

STORMWATER BASIN/ WETLAND
A
15

J. M. McFarland
11/18/04

REVISIONS

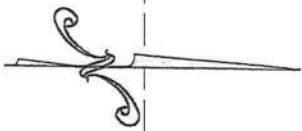
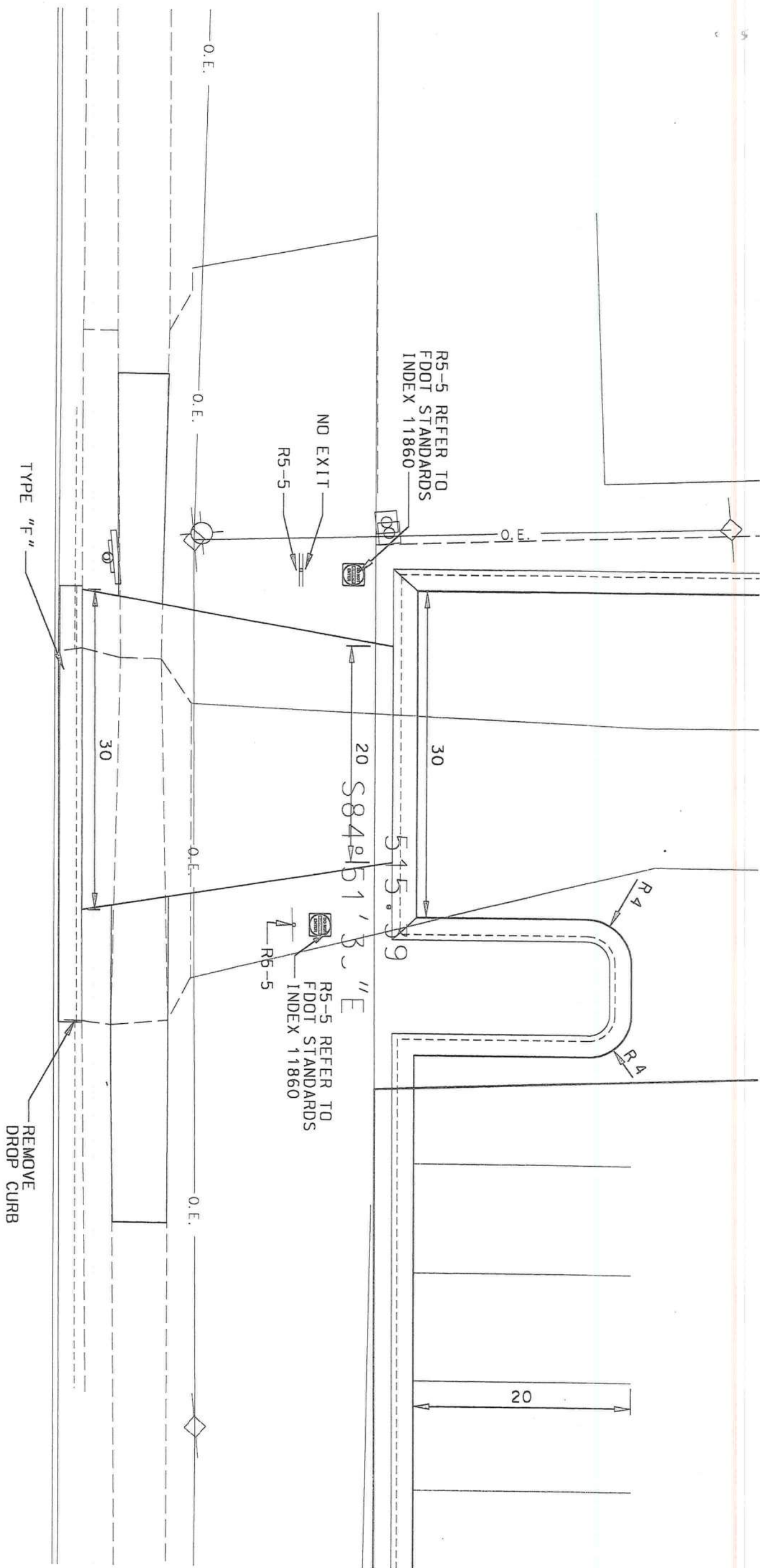
09/2/2004

WETLAND CREATION SHEET



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JOB NO.
030821 wbs
SHEET NO.
15

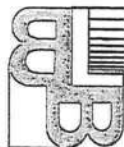


For M. Crawford
11/18/04

REVISIONS

11-18-04 CENTERED DRIVEWAY

DOT DRIVEWAY



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