

APPLICANTMATTHEW HENTZELMAN

PHONE755-5254

ADDRESS128SW NASSAU STLAKE CITYFL32025

OWNERDALLAS HART

PHONE365-2935

ADDRESS388SW BIRLEY AVELAKE CITYFL32024

CONTRACTORMATTHEW HENTZELMAN

PHONE755-5254

LOCATION OF PROPERTY90W, TL ON BIRLEY AVE, 5TH DRIVE ON RIGHT

TYPE DEVELOPMENTCHILD CARE FACILITYESTIMATED COST OF CONSTRUCTION262478.00

HEATED FLOOR AREA4600.00TOTAL AREA5099.00HEIGHTSTORIES1

FOUNDATIONCONCWALLSFRAMEDROOF PITCH4/12FLOORSLAB

LAND USE & ZONINGA-3MAX. HEIGHT19

Minimum Set Back Requirments:STREET-FRONT30.00REAR25.00SIDE25.00

NO. EX.D.U.0FLOOD ZONEXDEVELOPMENT PERMIT NO.

PARCEL ID32-3S-16-02428-004SUBDIVISION

LOTBLOCKPHASEUNITTOTAL ACRES10.66

CGC1514780

Culvert Permit No.Culvert WaiverContractor's License NumberApplicant/Owner/Contractor

EXISTING08-776BKRJN

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS:MFE AT 101.0 FT, NEED ELEVATION CONFIRMATION LETTER PER

ENGINEER PLANS DATED 12-15-08, BEFORE SLAB, NOC ON FILE

Check # or Cash627

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary PowerFoundationMonolithic

Under slab rough-in plumbingSlabSheathing/Nailing

FramingRough-in plumbing above slab and below wood floor

Electrical rough-inHeat & Air DuctPeri. beam (Lintel)

Permanent powerC.O. FinalCulvert

M/H tie downs, blocking, electricity and plumbingPool

ReconnectionPump poleUtility Pole

M/H PoleTravel TrailerRe-roof

BUILDING PERMIT FEE \$1315.00CERTIFICATION FEE \$25.50SURCHARGE FEE \$25.50

MISC. FEES \$0.00ZONING CERT. FEE \$50.00FIRE FEE \$0.00WASTE FEE \$

FLOOD DEVELOPMENT FEE \$FLOOD ZONE FEE \$25.00CULVERT FEE \$TOTAL FEE1441.00

INSPECTORS OFFICECLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Permit fee 1441.00

For Office Use Only Application # 0812-27 Date Received 12/16/08 By ST Permit # 27569

Zoning Official BLK Date 05-01-09 Flood Zone X Land Use A-3 Zoning A-3

FEMA Map # N/A Elevation N/A MFE 101.0 ft River N/A Plans Examiner RJ Date 1/6/09

Comments SE 0489 Elevation Confirmation Letter Required per Engineering plans dated 12-15-08

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS \$50.99 Fire \$1,988.61 Corr N/A Road/Code \$17,135.00 / 565

School N/A = TOTAL \$19,174.60

Septic Permit No. _____ Fax 386-758-4290

Name Authorized Person Signing Permit MATTHEW HENTZELMAN Phone 386-755-5254

Address 128 SW NASSAU ST LAKE CITY FL 32025

Owners Name DALLAS HART Phone 386-365-2935

911 Address 388 SW BIRLEY AVE LAKE CITY FL 32024

Contractors Name MATTHEW HENTZELMAN Phone 386-755-5254

Address 128 SW NASSAU ST LAKE CITY FL 32025

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address WILLIAM FREEMAN 128 SW NASSAU ST LAKE CITY FL 32025

Mortgage Lenders Name & Address COLUMBIA BANK 173 NW HILLSBORO ST LAKE CITY FL 32055

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 32-35-16-02428-004 Estimated Cost of Construction \$262,478.00

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions US HWY 90 WEST TO BIRLEY AVE, LEFT ON BIRLEY AVE,
5TH DRIVE ON RIGHT, TAKE DIRT DRIVE TO REAR OF LOT

Number of Existing Dwellings on Property 0

Construction of CHILD CARE FACILITY Total Acreage 15.2 AC Lot Size 10.66

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 19'-10"

Actual Distance of Structure from Property Lines - Front 195' Side 611' Side 216' Rear 228'

Number of Stories 1 Heated Floor Area 4600 Total Floor Area 5,099 Roof Pitch 4:12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

left message 1/2/09

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

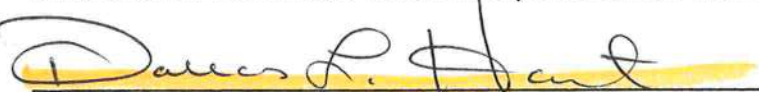
According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment. even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.


Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.


Contractor's Signature (Permitee)

Contractor's License Number CGC1514780
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 15th day of December 2008.
Personally known ☒ or Produced Identification _____


State of Florida Notary Signature (For the Contractor)

SEAL:





Columbia County, Florida Planning & Zoning Department

Review of Building Permit for compliance with
County's Comprehensive Plan and
Land Development Regulations

To: Matthew Hentzelman

Fax: 386.758.4290

From : Brian L. Kepner, County Planner

Fax: 386.758.2160

Number of Pages : 1

Date : 31 December 2008

RE: Building Permit Application 0812-27, Dallas Hart

Dear Matthew:

According to the deed included in the above referenced building permit application, the property was deeded to Hart 2 Hart Academy on 1 December 2008. The application indicates that the parcel ID # is 32-3S-16-02428-002. This is the parent parcel number for the original 15 acres and the 10 acres deeded to Hart 2 Hart Academy will be assigned a new parcel ID number by the Property Appraisers Office. Please obtain the new parcel ID number from the Property Appraiser so we can continue process this application.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

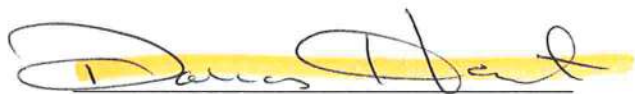
Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Confidentiality Notice: This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

NOTARIZED LETTER OF AUTHORIZATION

I, Dallas Hart, Owner of Hart-2-Hart Academy, hereby appoint Matthew S. Hentzelman and Travis A. Medeiros of Trademark Construction Group, Inc. of Florida to serve as the acting agent in all matters pertaining to the permitting process.




Dallas Hart



Matthew S. Hentzelman – General Contractor



Travis A. Medeiros – President



Debbie A. Motes - Notary



0812-27

Inst: 200812021416 Date: 12/1/2008 Time: 10:27 AM
 Doc Stamp: Deed \$18.00
 47 SGP DeWitt Cassin Columbia County Page 1 of 2 B 1163 P 2697

Warranty Deed

Made this November 26, 2008 A.D.

By JEFFERY E. JONES and SUSAN A. JONES, husband and wife, 362 SW Birley Avenue, Lake City, Florida 32024, hereinafter called the grantor.

to HART 2 HART ACADEMY, INC, whose post office address is: 747 SW Satellite Lane, Lake City, Florida 32024, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule "A"

Parcel ID Number: 02428-002

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Elaine R. Davis

Witness Printed Name Elaine R. Davis

Megan M. Harrell

Witness Printed Name Megan M. Harrell

State of Florida
 County of COLUMBIA

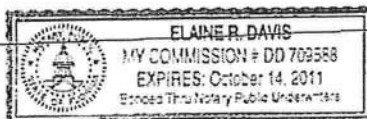
Jeffery E. Jones (Seal)
 JEFFERY E. JONES
 Address: 362 SW Birley Avenue, Lake City, Florida 32024

Susan A. Jones (Seal)
 SUSAN A. JONES
 Address:

The foregoing instrument was acknowledged before me this 26th day of November, 2008, by JEFFERY E. JONES and SUSAN A. JONES, husband and wife, who is/are personally known to me or who has produced Drivers licenses as identification.

Notary Public
 Print Name: ELAINE R. DAVIS

My Commission
 Expires:



File Number: 08-322

"Schedule A"

TOWNSHIP 3 SOUTH, RANGE 16 EAST

SECTION 32: Begin at the Southwest corner of the NE 1/4 of the NW 1/4 of Section 32, Township 3 South, Range 16 East, Columbia County, Florida, and run North 5 degrees 28'35" East along the West line of said NE 1/4 of NW 1/4, 499.82 feet; thence North 89 degrees 24'10" East, 1,370.98 feet to the East line of said NE 1/4 of the NW 1/4; thence South 5 degrees 39'44" West along said East line, 33.30 feet; thence South 89 degrees 24'10" West, 466.70 feet; thence South 5 degrees 39'44" West, 466.70 feet to the South line of said NE 1/4 of NW 1/4; thence South 89 degrees 24'10" West along said South line, 902.65 feet to the Point of Beginning. Said lands subject to existing road right-of-way on East side.
IN COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH: 1981 FIESTA SINGLE WIDE MOBILE HOME, ID# FDGA2R2072, TITLE #19895092,
LENGTH 70 X 14

N.B. No junk of any kind or description, including but not limited to junk automobiles, electrical appliances, scrap or surplus building materials, unsightly refuse, or usable articles or materials stored in an unsightly manner, shall be placed or kept upon this property.

Also, there shall not at any time be located upon the property more than one residence for each acre contained in the property, whether such residence be conventional housing or mobile home. These restrictive covenants shall run with the title to the land until December 31, 2010, A.D., at which time they shall expire.

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal


Tax Parcel Identification Number 32-35-16-02428-002

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): CDMM SW COR OF NE 1/4 OF NW 1/4
a) Street (job) Address: 388 SW BIRLEY AVE LAKE CITY FL 32024
2. General description of improvements: NEW CONSTRUCTION CHILD CARE FACILITY
3. Owner Information
a) Name and address: DALLAS & DAVID HART 388 SW BIRLEY AVE LAKE CITY FL 32024
b) Name and address of fee simple titleholder (if other than owner) _____
c) Interest in property _____
4. Contractor Information CGC1514780
a) Name and address: TRADEMARK CONSTRUCTION GROUP 128 SW NASSAU ST. LAKE CITY FL 32025
b) Telephone No.: 386-755-5254 Fax No. (Opt.) 386-758-4290
5. Surety Information
a) Name and address: COLUMBIA BANK 173 NW HILLSBORO ST. LAKE CITY FL 32055
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
a) Name and address: COLUMBIA BANK 173 NW HILLSBORO ST LAKE CITY FL 32055
b) Phone No. 386-752-5646
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: TRAVIS MEDEIROS 128 SW NASSAU ST. LAKE CITY FL 32025
b) Telephone No.: 386-288-2819 Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. 
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

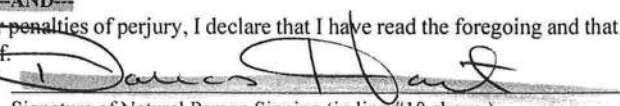
DALLAS HART
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 15th day of December, 2008, by:
Dallas Hart as owner (type of authority, e.g. officer, trustee, attorney
fact) for Hart 2. Hart Academy (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification ☒ Type _____

Notary Signature Debbie A. Motes Notary Stamp or Seal: _____

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.


Signature of Natural Person Signing (in line #10 above.)



6

Prepared by: Elaine R. Davis
and Return to: American Title Services of Lake City, Inc.
321 SW Main Boulevard, Suite 105
Lake City, Florida 32025
File Number: 08-322

Inst: 200812021419 Date: 12/1/2008 Time: 10:27 AM
DC, P DeWitt Cason, Columbia County Page 1 of 1 B: 1162 P: 2599

CORPORATION AFFIDAVIT

State of: Florida
County of: COLUMBIA

The undersigned DALLAS L. HART, being duly sworn, deposes and says:

That said CORPORATION named HART 2 HART ACADEMY, INC has not been amended, modified or revoked, except as heretofore disclosed, and that the CORPORATION is still in full force and effect and that DALLAS L. HART is/are still THE PRESIDENT and has/have full power to grant, sell, convey, purchase and refinance the real property described as follows:

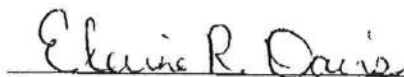
TOWNSHIP 3 SOUTH, RANGE 16 EAST

SECTION 32: Begin at the Southwest corner of the NE 1/4 of the NW 1/4 of Section 32, Township 3 South, Range 16 East, Columbia County, Florida, and run North 5 degrees 28'35" East along the West line of said NE 1/4 of NW 1/4, 499.82 feet; thence North 89 degrees 24'10" East, 1,370.98 feet to the East line of said NE 1/4 of the NW 1/4; thence South 5 degrees 39'44" West along said East line, 33.30 feet; thence South 89 degrees 24'10" West, 466.70 feet; thence South 5 degrees 39'44" West, 466.70 feet to the South line of said NE 1/4 of NW 1/4; thence South 89 degrees 24'10" West along said South line, 902.65 feet to the Point of Beginning.
Said lands subject to existing road right-of-way on East side. **IN COLUMBIA COUNTY, FLORIDA.**

Further your affiant sayeth naught.


DALLAS L. HART

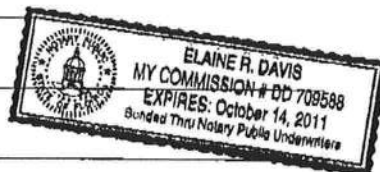
The foregoing instrument was sworn to, subscribed and acknowledged before me on November 26, 2008, by DALLAS L. HART, as President of HART 2 HART ACADEMY, INC, who is/are personally known to me or who produced Drivers License as identification and who did take an oath.



Notary Public

Print Name: _____

My Commission expires: _____



Affidavit - Trust in Full Force and Effect



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

9225 CR 49
LIVE OAK, FLORIDA 32060
TELEPHONE: (386) 362-1001
TELEPHONE: 800-226-1066
FAX (386) 362-1056

NOTICED GENERAL PERMIT

PERMITTEE:

HART 2 HART ACADEMY
747 SW SATELITE LANE
LAKE CITY, FL 32024

PERMIT NUMBER: ERP08-0345

DATE ISSUED: 12/10/2008

DATE EXPIRES: 12/10/2011

COUNTY: COLUMBIA

TRS: S32/T3S/R16E

PROJECT: HART 2 HART DAYCARE

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

DALLAS HART
HART 2 HART ACADEMY
747 SW SATELITE LANE
LAKE CITY, FL 32024

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource noticed general permit is in effect for the permitted activity description below:

Construction and operation of a surfacewater management system serving 0.17 acres of impervious surface on a total project area of 15.20 acres in a manner consistent with the application package submitted by Crews Engineering Services, LLC on December 1, 2008.

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to enclosed notice of rights.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A noticed general permit authorizes the construction, operation, maintenance, alteration,

Permit No.: ERP08-0345

Project: HART 2 HART DAYCARE

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abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

General Conditions for All Noticed General Permits:

1. The terms, conditions, requirements, limitations, and restrictions set forth in this section are general permit conditions and are binding upon the permittee for all noticed general permits in Part II of this chapter. These conditions are enforceable under Part IV of chapter 373, F.S.
2. The general permit is valid only for the specific activity indicated. Any deviation from the specified activity and the conditions for undertaking that activity shall constitute a violation of the permit. A violation of the permit is a violation of Part IV of chapter 373, F.S., and may result in suspension or revocation of the permittee's right to conduct such activity under the general permit. The District may also begin legal proceedings seeking penalties or other remedies as provided by law for any violation of these conditions.
3. This general permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any construction, alteration, operation, maintenance, removal or abandonment authorized by this permit.
4. This general permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the general permit and Part II of this chapter.
5. This general permit does not relieve the permittee from liability and penalties when the permitted activity causes harm or injury to human health or welfare, animal, plant or aquatic life, or property. It does not allow the permittee to cause pollution in contravention of Florida Statutes and District rules.
6. The permittee is hereby advised that s.253.77, F.S., states that a person may not commence any excavation, construction or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

Permit No.: ERP08-0345

Project: HART 2 HART DAYCARE

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7. The authorization to conduct activities pursuant to general permit may be modified, suspended or revoked in accordance with chapter 120, and s.373.429, F.S.

8. This permit shall not be transferred to a third party except pursuant to s.40B-4.1130, F.A.C. The permittee transferring the general permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located.

9. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the permitted system to insure conformity with the plans and specifications approved by the permit.

10. The permittee shall maintain any permitted system in accordance with the plans submitted to the District and authorized by this general permit.

11. A permittee's right to conduct a specific noticed activity under this noticed general permit is authorized for the duration on the front of this permit.

12. Construction, alteration, operation, maintenance, removal and abandonment approved by this general permit shall be conducted in a manner which does not cause violations of state water quality standards, including any antidegradation provisions of s.62-4.242(1)(a) and (b), 62-4.242(2) and (3), and 62-302.300, F.A.C., and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. The permittee shall implement best management practices for erosion, turbidity and other pollution control to prevent violation of state water quality standards.

Temporary erosion control measures such as sodding, mulching, and seeding shall be implemented and shall be maintained on all erodible ground areas prior to and during construction. Permanent erosion control measures such as sodding and planting of wetland species shall be completed within seven days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into wetlands or other surface waters exists due to the permitted activity. Turbidity barriers shall remain in place and shall be maintained in a functional condition at all locations until construction is completed and soils are stabilized and vegetation has been established. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

13. The permittee shall hold and save the District harmless from any and all damages, claims or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the general permit.

14. The permittee shall immediately notify the District in writing of any previously submitted

Permit No.: ERP08-0345

Project: HART 2 HART DAYCARE

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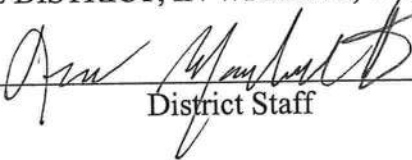
information that is later discovered to be inaccurate.

15. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.

16. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by


District Staff

Date Approved

12/10/08

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 Florida Statutes. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, Florida Administrative Code.

2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may chose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, Florida Administrative Code, the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, Florida Administrative Code.

3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), Florida Statutes, where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, Florida Administrative Code.

4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), Florida Statutes, where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, Florida Administrative Code.

5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.

6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, Florida Administrative Code.

Permit No.: ERP08-0345

Project: HART 2 HART DAYCARE

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7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, Florida Administrative Code.

8. Pursuant to Section 120.68, Florida Statutes, a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.

9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, Florida Statutes, may seek review of the order pursuant to Section 373.114, Florida Statutes, by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.

10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

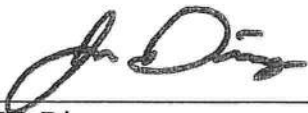
11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent by U.S. Mail to:

HART 2 HART ACADEMY
747 SW SATELITE LANE
LAKE CITY, FL 32024

At 4:00 p.m. this 10 day of Dec, 2008.



Jon M. Dinges
Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49

Permit No.: ERP08-0345

Project: HART 2 HART DAYCARE

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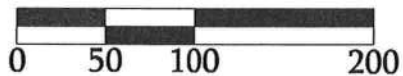
Live Oak, Florida 32060

386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP08-0345

PROPER
BOUNDARY

SW BIRLEY RD



REVISIONS

DATE	BY	DESCRIPTION	DATE

BY:

C

ED BY:

C

**HART 2 HART
DAYCARE**

CES PROJECT NO.:

2008-027

BUILDING LOCATION

SHEET:

BL1

REVISIONS					
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

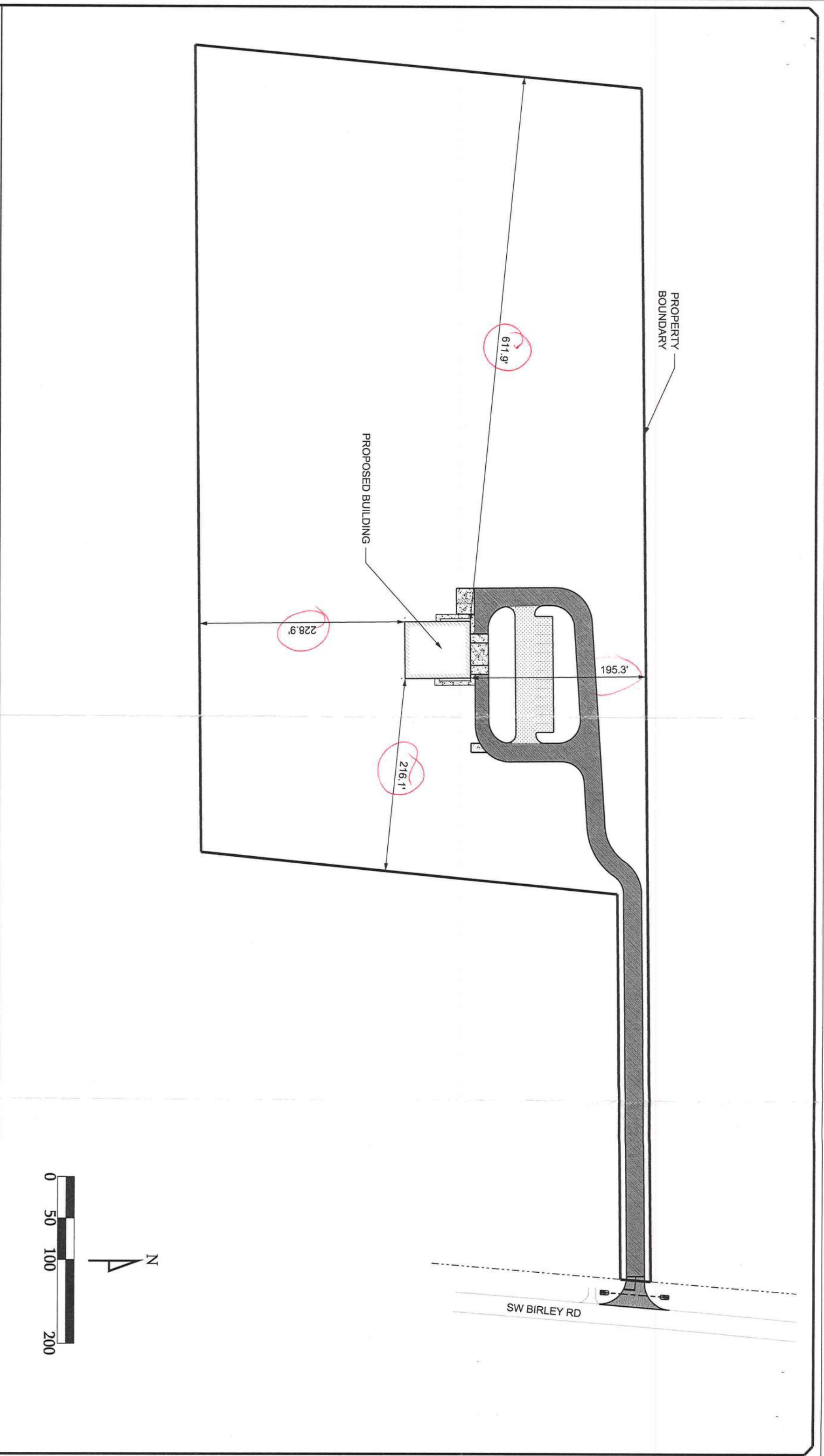
CES

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Brett A. Crews, P.E. 65592

DRAWN BY: BC	HART 2 HART DAYCARE	CES PROJECT NO.:
APPROVED BY: BC		2008-027
BUILDING LOCATION		SHEET: BL1





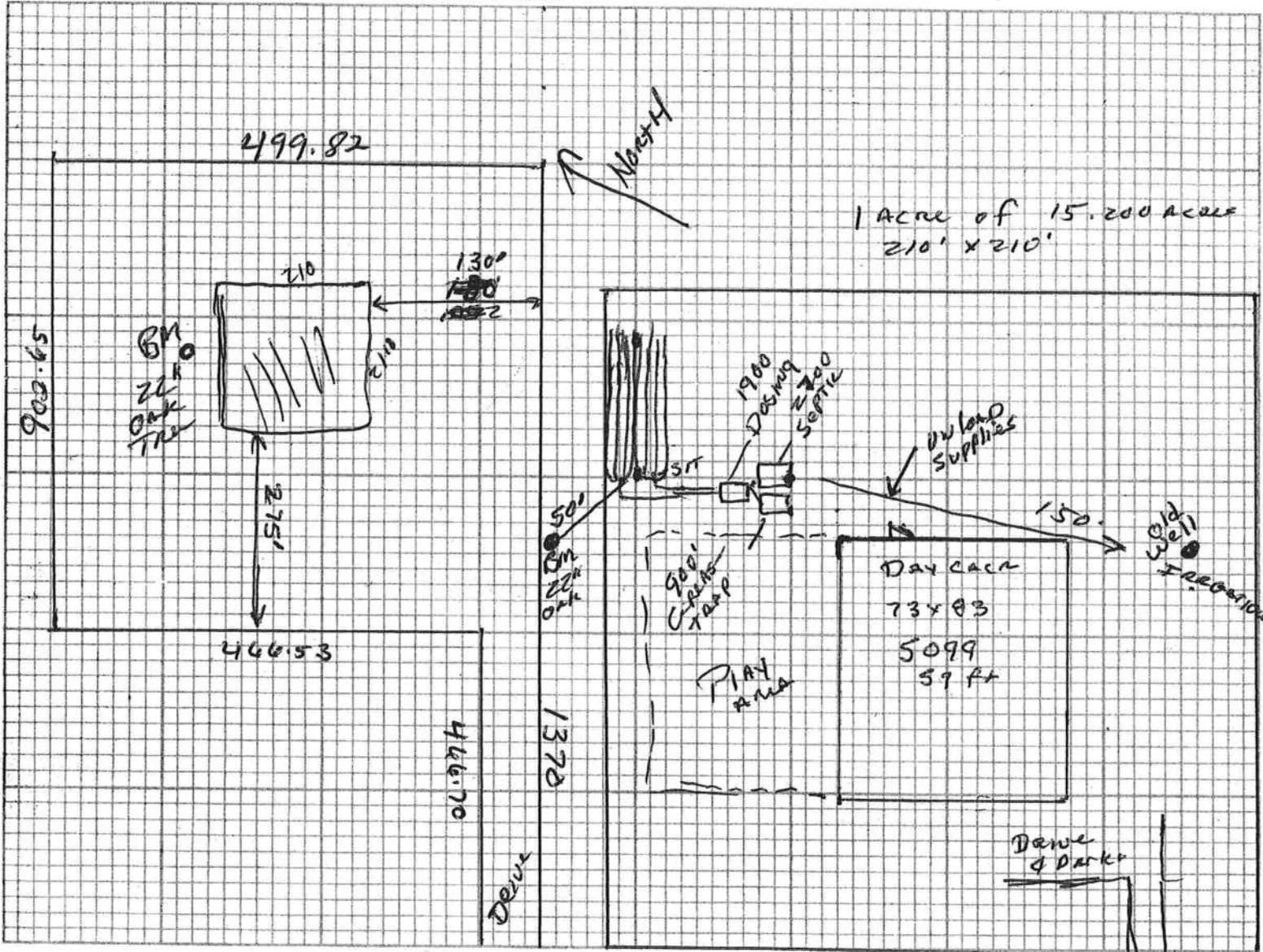
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 08-0776

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Bieley Rd
Dallas Hart Child Care Facility
32-35-16-02420-002

Site Plan submitted by: Robert W. Fiedl Signature
Plan Approved ✓ Not Approved _____
By M O L Columb County Health Department
Date 1-12-09

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

08-0776
PERMIT NO. 905157
DATE PAID: 12/16/08
FEE PAID: 310.00
RECEIPT #: 1085794

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Dallas Hart Child Care Facility (Jeffery Jones)

AGENT: Robert Ford HFST INC. TELEPHONE: 755-6372

MAILING ADDRESS: 580 NW Guerdon Rd Lake City Fla 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES.

PROPERTY INFORMATION

LOT: ☒ BLOCK: ☒ SUBDIVISION: Meads & Bound S PLATTED:

PROPERTY ID #: 32-35-16-02428-002 ZONING: SF I/M OR EQUIVALENT: (Y / N)

PROPERTY SIZE: 15.200 ACRES WATER SUPPLY: ☐ PRIVATE PUBLIC ☒ <=2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☐ N DISTANCE TO SEWER: FT

PROPERTY ADDRESS: 362 SW Birley Rd

DIRECTIONS TO PROPERTY: Hwy 90 west to Birley Road Turn left
1/4 mile on Right.

BUILDING INFORMATION

☐ RESIDENTIAL

☒ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sq Ft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	DAY CARE	NA	5,099	96 students 14 x 96 = 1344
2				6 teachers 90
3				1434 gpd
4				

☐ Floor/Equipment Drains ☐ Other (Specify)

SIGNATURE: Robert W. Ford DATE: 12/12/08



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

08-0276
PERMIT NO. 905157
DATE PAID: 12/16/88
FEE PAID: \$10.00
RECEIPT #: 1085794

CONSTRUCTION PERMIT FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary []

APPLICANT: Dallas Hart Child Care Facility

PROPERTY ADDRESS: 362 SW Birley Rd.

LOT: BLOCK: SUBDIVISION: mnts & Bounds

PROPERTY ID #: 32-35-16-02428-002

[SECTION, TOWNSHIP, RANGE, PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065 F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SAFTISFACTOR PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMIT DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTING REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [2700] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES []
A [] GALLONS / GPD CAPACITY MULTI-CHAMBERED/IN-SERIES []
N [900] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [1900] GALLONS DOSING TANK CAPACITY [] GALLONS @ [6] DOSES PER 24 HRS # PUMPS [2]

D [1594] SQUARE FEET PRIMARY DRAINFIELD SYSTEM LPDS

R [] SQUARE FEET SYSTEM

A TYPE SYSTEM: [X] STANARD [] FILLED [] MOUND []

I CONFIGURATION: [X] TRENCH [] BED []

N

F LOCATION OF BENCHMARK: HAZEL PINK RIBBON 22" OAK TREE

I ELEVATION OF PROPOSED SYSTEM SITE [24] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [54] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L

D FILL REQUIRED: [] INCHES EXCAVATION REQUIRED: [] INCHES

O SYSTEM will Be Low Pressure Dosing DRAINFIELD will Be

T SPLIT TO 2 DRAINFIELD 797 sq feet EACH

H ALTERNATING PANEL & 2 PUMPS WITH HIGH WATER ALARM

E *Annual Operating Permit required.

R EACH DF = 4 LINES 67' LONG 8 LINES TOTAL

SPECIFICATIONS BY: Robert J. J. v SMO890475 TITLE: MASTER

APPROVED BY: Mr. D. L. TITLE: Env. Manager Columbus CHI

DATE ISSUED: 1-12-88

EXPIRATION DATE: 7-12-90

Florida Energy Efficiency Code For Building Construction
Florida Department of Community Affairs
EnergyGauge FLA/COM 2004 v3.00 -- Form 400A-2004
Method A: Whole Building Performance Method for Commercial Buildings
Effective December 8, 2006

PROJECT SUMMARY

Short Desc: New Project	Description: Hart to Hart Daycare
Owner: Dallas Hart	
Address1: 388 SW Birley Road	City: Lake City
Address2:	State: FL
	Zip: 32024
Type: School/University	Class: New Finished building
Jurisdiction: COLUMBIA COUNTY, COLUMBIA COUNTY, FL (221000)	
Cond Area: 4496 SF	Cond & UnCond Area: 4496 SF
No of Storeys: 1	Area entered from Plans 4599 SF
Permit No: D7569	Max Tonnage 5
	If different, write in: _____

Compliance Summary

Component	Design	Criteria	Result
Gross Energy Use	6,450.6	7,376.0	PASSES
LIGHTING CONTROLS			PASSES
EXTERNAL LIGHTING			PASSES
HVAC SYSTEM			PASSES
PLANT			None Entered
WATER HEATING SYSTEMS			PASSES
PIPING SYSTEMS			None Entered
Met all required compliance from Check List?			Yes/No/NA

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By:

William H. Freeman

Building Official:

Date:

12/15/08

Date:

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent:

Date:

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the FLorida Energy Efficiency Code

Architect: William H. Freeman

Reg No: PE #56001

Electrical Designer: William H. Freeman

Reg No: PE #56001

Lighting Designer: William H. Freeman

Reg No: PE #56001

Mechanical Designer: William H. Freeman

Reg No: PE #56001

Plumbing Designer: William H. Freeman

Reg No:

(*) Signature is required where Florida Law requires design to be performed by registered design professionals. Typed names and registration numbers may be used where all relevant information is contained on signed/sealed plans.

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

Whole Building Compliance

	Design	Reference
Total	<i>87.67</i>	<i>100.00</i>
	<i>\$6,451</i>	<i>\$7,376</i>
ELECTRICITY(MBtu/k Wh/\$)	<i>87.67</i> <i>130315</i> <i>\$6,451</i>	<i>100.00</i> <i>148709</i> <i>\$7,376</i>
AREA LIGHTS	<i>5.71</i> <i>8483</i> <i>\$420</i>	<i>11.27</i> <i>16759</i> <i>\$831</i>
MISC EQUIPMT	<i>5.73</i> <i>8519</i> <i>\$422</i>	<i>5.73</i> <i>8519</i> <i>\$423</i>
PUMPS & MISC	<i>0.02</i> <i>29</i> <i>\$1</i>	<i>0.02</i> <i>28</i> <i>\$1</i>
SPACE COOL	<i>15.98</i> <i>23749</i> <i>\$1,176</i>	<i>16.37</i> <i>24345</i> <i>\$1,208</i>
SPACE HEAT	<i>6.48</i> <i>9646</i> <i>\$477</i>	<i>6.17</i> <i>9181</i> <i>\$455</i>
VENT FANS	<i>53.73</i> <i>79889</i> <i>\$3,955</i>	<i>60.43</i> <i>89877</i> <i>\$4,458</i>

Credits & Penalties (if any): Modified Points: = 87.67

PASSES

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

External Lighting Compliance

Description	Category	Allowance (W/Unit)	Area or Length ELPA or No. of Units (Sqft or ft)	(W)	CLP (W)
Ext Light 1	Walk way less than 10 feet wide	1.00	70.0	70	60
Ext Light 2	Main entries	30.00	20.0	600	60
Ext Light 3	Other (doors) than main entries	20.00	4.0	80	

Design: 120 (W)

Allowance: 750 (W)

PASSES

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	No. of Tasks	Design CP	Min CP	Compli- ance
Pr0Zo1Sp1	7	Food Service - Kitchen	144	1	1	1	PASSES
Pr0Zo1Sp2	8	Food Service - Leisure Dining	416	1	1	1	PASSES
Pr0Zo1Sp3	,012	Laundry-Washing	50	1	1	1	PASSES
Pr0Zo1Sp4	6	Toilet and Washroom	54	1	1	1	PASSES
Pr0Zo1Sp5	14	Classroom/Lecture Hall	805	1	1	1	PASSES
Pr0Zo1Sp6	14	Classroom/Lecture Hall	805	1	1	1	PASSES
Pr0Zo1Sp7	1	Electrical Mechanical Equipment Room - General	78	1	1	1	PASSES
Pr0Zo1Sp8	5	Corridor	438	1	1	1	PASSES
Pr0Zo1Sp9	17	Office - Enclosed	175	1	1	1	PASSES
Pr0Zo1Sp10	2	Storage & Warehouse - Inactive Storage	50	1	1	1	PASSES
Pr0Zo1Sp11	6	Toilet and Washroom	48	1	1	1	PASSES
Pr0Zo1Sp12	,001	Playing Area	305	1	1	1	PASSES
Pr0Zo1Sp13	14	Classroom/Lecture Hall	552	1	1	1	PASSES
Pr0Zo1Sp14	,001	Playing Area	576	1	1	1	PASSES

PASSES

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

System Report Compliance

Pr0Sy1 System 1 Constant Volume Air Cooled No. of Units
 Split System < 65000 Btu/hr 3

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Cooled < 65000 Btu/h Cooling Capacity		13.00	13.00	8.00		PASSES
Heating System	Air Cooled HP < 65000 Btu/h Cooling Capacity		7.70	7.70			PASSES
Air Handling System - Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES
Air Handling System - Return	Air Handler (Return) - Constant Volume		0.80	0.90			PASSES

PASSES

Plant Compliance

Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance
-------------	--------------	------	------------	---------	-------------	----------	----------	------------

None

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

Water Heater Compliance

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 1	Electric water heater	<= 12 [kW]	0.90	0.86			PASSES
Water Heater 2	Electric water heater	<= 12 [kW]	0.90	0.88			PASSES

PASSES

Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance

None

Project: New Project
Title: Hart to Hart Daycare
Type: School/University
(WEA File: JACKSONVILLE.TMY)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Infiltration	406.1	Infiltration Criteria have been met	<input type="checkbox"/>
System	407.1	HVAC Load sizing has been performed	<input type="checkbox"/>
Ventilation	409.1	Ventilation criteria have been met	<input type="checkbox"/>
ADS	410.1	Duct sizing and Design have been performed	<input type="checkbox"/>
T & B	410.1	Testing and Balancing will be performed	<input type="checkbox"/>
Motors	414.1	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting	415.1	Lighting criteria have been met	<input type="checkbox"/>
O & M	102.1	Operation/maintenance manual will be provided to owner	<input type="checkbox"/>
Roof/Ceil	404.1	R-19 for Roof Deck with supply plenums beneath it	<input type="checkbox"/>
Report	101	Input Report Print-Out from EnergyGauge FlaCom attached?	<input type="checkbox"/>

EnergyGauge FLA/COM 2004 v3.00
INPUT DATA REPORT

Project Information

Project Name: New Project	Orientation: North
Project Title: Hart to Hart Daycare	Building Type: School/University
Address: 388 SW Birley Road	Building Classification: New Finished building
State: FL	No.of Storeys: 1
Zip: 32024	GrossArea: 4496 SF
Owner: Dallas Hart	

Zones

No	Acronym	Description	Type	Area [sf]	Multiplier	Total Area [sf]
1	Pr0Zo1	Zone 1	CONDITIONED	4496.3	1	4496.3

Spaces

No	Acronym	Description	Type	Depth [ft]	Width [ft]	Height [ft]	Multi plier	Total Area [sf]	Total Volume [cf]
----	---------	-------------	------	---------------	---------------	----------------	----------------	--------------------	----------------------

1	Incandescent	General Lighting	1	40	40	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp5								
1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp6								
1	Compact Fluorescent	General Lighting	9	40	360	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp7								
1	Incandescent	General Lighting	1	60	60	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp8								
1	Compact Fluorescent	General Lighting	11	15	165	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp9								
1	Compact Fluorescent	General Lighting	2	60	120	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp10								
1	Incandescent	General Lighting	1	15	15	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp11								
1	Incandescent	General Lighting	1	40	40	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp12								
1	Compact Fluorescent	General Lighting	3	60	180	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp13								
1	Compact Fluorescent	General Lighting	6	60	360	Manual On/Off	1	<input type="checkbox"/>
In Space: Pr0Zo1Sp14								
1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>

Walls

No	Description	Type	Width H (Effec) [ft]	Multi plier	Area [sf]	Direction	Conductance [Btu/hr. sf. F]	Heat Capacity [Btu/sf.F]	Dens. [lb/cf]	R-Value [h.s.f.F/Btu]	
In Zone: Pr0Zo1											
1	South Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	73.00	9.00	1	657.0	South	0.0920	1.072	19.38	<input type="checkbox"/>
2	West Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	63.00	9.00	1	567.0	West	0.0920	1.072	19.38	<input type="checkbox"/>

3	East Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	63.00	9.00	1	567.0	East	0.0920	1.072	19.38	10.9	<input type="checkbox"/>
4	North Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	73.00	9.00	1	657.0	North	0.0920	1.072	19.38	10.9	<input type="checkbox"/>

Windows

No	Description	Type	Shaded	U [Btu/hr sf F]	SHGC	Vis.Tra	W [ft]	H (Effec) [ft]	Multi plier	Total Area [sf]	
In Zone: Pr0Zo1											
In Wall: Pr0Zo1Wa1											
1	Pr0Zo1Wa1Wi1	User Defined	No	1.2500	0.82	0.76	4.00	5.00	1	20.0	<input type="checkbox"/>
2	Pr0Zo1Wa1Wi2	User Defined	No	1.2500	0.82	0.76	4.00	4.00	2	32.0	<input type="checkbox"/>
In Wall: Pr0Zo1Wa3											
1	Pr0Zo1Wa3Wi1	User Defined	No	1.2500	0.82	0.76	4.00	5.00	2	40.0	<input type="checkbox"/>
In Wall: Pr0Zo1Wa4											
1	Pr0Zo1Wa4Wi1	User Defined	No	1.2500	0.82	0.76	4.00	4.00	1	16.0	<input type="checkbox"/>

Doors

No	Description	Type	Shaded?	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Dens. Heat Cap. [lb/cf] [Btu/sf. F]	R-Value [h.s.f.F/Btu]	
In Zone: Pr0Zo1											
In Wall: Pr0Zo1Wa1											
1	Pr0Zo1Wa1Dr1	Solid core flush (2.25)	No	3.00	7.00	1	21.0	0.3504	0.00	2.85	<input type="checkbox"/>
In Wall: Pr0Zo1Wa2											
1	Pr0Zo1Wa2Dr1	Solid core flush (2.25)	No	3.00	7.00	2	21.0	0.3504	0.00	2.85	<input type="checkbox"/>
In Wall: Pr0Zo1Wa3											
1	Pr0Zo1Wa3Dr1	Solid core flush (2.25)	No	6.00	7.00	1	42.0	0.3504	0.00	2.85	<input type="checkbox"/>
In Wall: Pr0Zo1Wa4											
1	Pr0Zo1Wa4Dr1	Solid core flush (2.25)	No	3.00	7.00	3	21.0	0.3504	0.00	2.85	<input type="checkbox"/>

Roofs

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Tilt [deg]	Cond. [Btu/hr. Sf. F]	Heat Cap [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]
In Zone: Pr0Zo1											
1	Pr0Zo1Rf1	Shngl/1/2"WD Deck/WD Truss/9" Batt/Gyp Brd	63.00	73.00	1	4599.0	0.00	0.0320	1.50	8.22	31.2
<div> <div>In Zone:</div> <div>In Roof:</div> </div>											

Skylights

No	Description	Type	U [Btu/hr sf F]	SHGC	Vis.Trans	W [ft]	H (Effec) [ft]	Multiplier	Area [Sf]	Total Area [Sf]
<div> <div>In Zone:</div> <div>In Roof:</div> </div>										

Floors

No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Heat Cap. [Btu/sf. F]	Dens. [lb/cf]	R-Value [h.sf.F/Btu]
In Zone: Pr0Zo1										
1	Pr0Zo1F1	1 ft. soil, concrete floor, carpet and rubber pad	63.00	73.00	1	4599.0	0.1745	54.00	108.00	5.73
<div> <div>In Zone:</div> <div>In Roof:</div> </div>										

Systems

Pr0Sy1	System 1	Constant Volume Air Cooled Split System < 65000 Btu/hr	No. Of Units
Component	Category	Capacity	Efficiency
			IPLV

12/15/2008

EnergyGauge FLA/COM 2004 v3.00

5

1	Cooling System (Air Cooled < 65000 Btu/h Cooling Capacity)	60000.00	13.00	8.00	<input type="checkbox"/>
2	Heating System (Air Cooled HP < 65000 Btu/h Cooling Capacity)	60000.00	7.70		<input type="checkbox"/>
3	Air Handling System -Supply (Air Handler (Supply) - Constant Volume)	2000.00	0.80		<input type="checkbox"/>
4	Air Handling System - Return (Air Handler (Return) - Constant Volume)	1800.00	0.80		<input type="checkbox"/>

Plant

Equipment	Category	Size	Inst.No	Eff.	IPLV
					<input type="checkbox"/>

Water Heaters

W-Heater Description	CapacityCap. Unit	I/P Rt.	Efficiency	Loss
1 Electric water heater	50 [Gal]	[kW]	0.9000 [Ef]	[Btu/h]
2 Electric water heater	40 [Gal]	[kW]	0.9000 [Ef]	[Btu/h]

Ext-Lighting

Description	Category	No. of Luminaires	Watts per Luminaire	Area/Len/No. of units [sf/ft/No]	Control Type	Wattage [W]
1 Ext Light 1	Walk way less than 10 feet wide	1	60	70.00	Photo Sensor control	60.00
2 Ext Light 2	Main entries	1	60	20.00	Photo Sensor control	60.00
3 Ext Light 3	Other (doors) than main entries	1	0	4.00	Photo Sensor control	0.00

Piping

No	Type	Operating Temperature [F]	Insulation Conductivity [Btu-in/h.sf.F]	Nomonal pipe Diameter [in]	Insulation Thickness [in]	Is Runout?
						<input type="checkbox"/>

Fenestration Used

Name	Glass Type	No. of Panes	Glass Conductance [Btu/h.sf.F]	SHGC	VLT	
ASHULSg ClrAll Frm	User Defined	1	1.2500	0.8200	0.7600	<input type="checkbox"/>

Materials Used

Mat No	Acronym	Description	Only R-Value Used	RValue [h.sf.F/Btu]	Thickness [ft]	Conductivity [Btu/h.ft.F]	Density [lb/cf]	SpecificHeat [Btu/lb.F]
187	Mat1187	GYP OR PLAS BOARD, 1/2IN	No	0.4533	0.0417	0.0920	50.00	0.2000
178	Mat1178	CARPET W/RUBBER PAD	Yes	1.2300				
265	Mat1265	Soil, 1 ft	No	2.0000	1.0000	0.5000	100.00	0.2000
48	Mat148	6 in. Heavyweight concrete	No	0.5000	0.5000	1.0000	140.00	0.2000
12	Mat112	3 in. Insulation	No	10.0000	0.2500	0.0250	2.00	0.2000
23	Mat123	6 in. Insulation	No	20.0000	0.5000	0.0250	5.70	0.2000
4	Mat14	Steel siding	No	0.0002	0.0050	26.0000	480.00	0.1000
271	Mat1271	2x4@24" oc + R11 Batt	No	10.4179	0.2917	0.0280	7.11	0.2000
81	Mat181	ASPHALT-ROOFING, ROLL	Yes	0.1500				
244	Mat1244	PLYWOOD, 1/2IN	No	0.6318	0.0417	0.0660	34.00	0.2900

Constructs Used


No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1038	Shngl/1/2"WD Deck/WD Truss/9" Batt/Gyp Brd	No	No	0.03	1.50	8.22	31.2
							<input type="checkbox"/>
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	81	ASPHALT-ROOFING, ROLL		0.000			<input type="checkbox"/>
2	244	PLYWOOD, 1/2IN	0.0417	0.000			<input type="checkbox"/>
3	12	3 in. Insulation	0.2500	0.000			<input type="checkbox"/>
4	23	6 in. Insulation	0.5000	0.000			<input type="checkbox"/>
5	187	GYP OR PLAS BOARD, 1/2IN	0.0417	0.000			<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1055	Metal siding/2x4@24"+R11Batt/5/8"Gyp	No	No	0.09	1.07	19.38	10.9
							<input type="checkbox"/>
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	4	Steel siding	0.0050	0.000			<input type="checkbox"/>
2	271	2x4@24" oc + R11 Batt	0.2917	0.000			<input type="checkbox"/>
3	187	GYP OR PLAS BOARD, 1/2IN	0.0417	0.000			<input type="checkbox"/>

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1057	1 ft. soil, concrete floor, carpet and rubber pad	No	No	0.17	54.00	108.00	5.7
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	265	Soil, 1 ft	2.0000	0.000			
2	48	6 in. Heavyweight concrete	0.5000	0.000			
3	178	CARPET W/RUBBER PAD		0.000			
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1058	Solid core flush (2.25)	No	Yes	0.35			2.9
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	279	Solid core flush (2.25")		0.000			

PRODUCT APPROVAL SPECIFICATION SHEET

Location: 388 SW BIRLEY AVE LAKE CITY **Project Name:** HART-2-HART ACADEMY

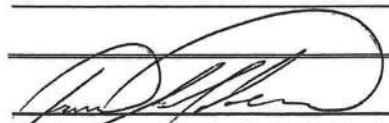
As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	THERMA TRU	FIBERGLASS DOOR WOOD FRAME	8838.1
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	PGT INDUSTRIES	SIT-600 ALUMINUM	239,5
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	ELK	LAMINATED ASPHALT SHINGLE	5524.1
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.



 Contractor or Contractor's Authorized Agent Signature
 128 SW NASSAU ST APT C174 FL 32025
 Location

TRAVIS MEDEIROS 12/16/08
 Print Name Date
 Permit # (FOR STAFF USE ONLY)

PRODUCT APPROVAL SPECIFICATION SHEET

Location: 388 SW BIRLEY AVE LAKE CITY **Project Name:** HART-2-HART ACADEMY

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging	THERMA TRU	FIBERGLASS DOOR WOOD FRAME	8838.1
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung	P6T INDUSTRIES	514-600 ALUMINUM	239.5
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles	ELK	LAMINATED ASPHALT SHINGLE	5524.1
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1TNE8228Z0212163224

Truss Fabricator: **Anderson Truss Company**
Job Identification: **8-287--OWNER BUILDER Trademark Const. Group -- , ****
Truss Count: **6**
Model Code: **Florida Building Code 2004 and 2006 Supplement**
Truss Criteria: **FBC CODE/TPI-2002(STD)**
Engineering Software: **Alpine Software, Version 7.36.**
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61615-31.003(5a) of the FAC**
Address: **Roof - 40.0 PSF @ 1.25 Duration**
Minimum Design Loads: **Floor - N/A**
Wind - 110 MPH ASCE 7-02 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: BRCLBSUB-A11015EC-GBLLETIN-

Seal Date: 12/12/2008

-Truss Design Engineer-
Doug Fleming
Florida License Number: 66648
1950 Marley Drive
Haines City, FL 33844

#	Ref	Description	Drawing#	Date
1	12717--A1		08347003	12/12/08
2	12718--A-GE		08347004	12/12/08
3	12719--AA-GE		08347008	12/12/08
4	12720--A2		08347005	12/12/08
5	12721--B1		08347006	12/12/08
6	12722--B-GE		08347007	12/12/08



(8-287--OWNER BUILDER Trademark Const. Group --, ** - A1)

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TROUSS MFR.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

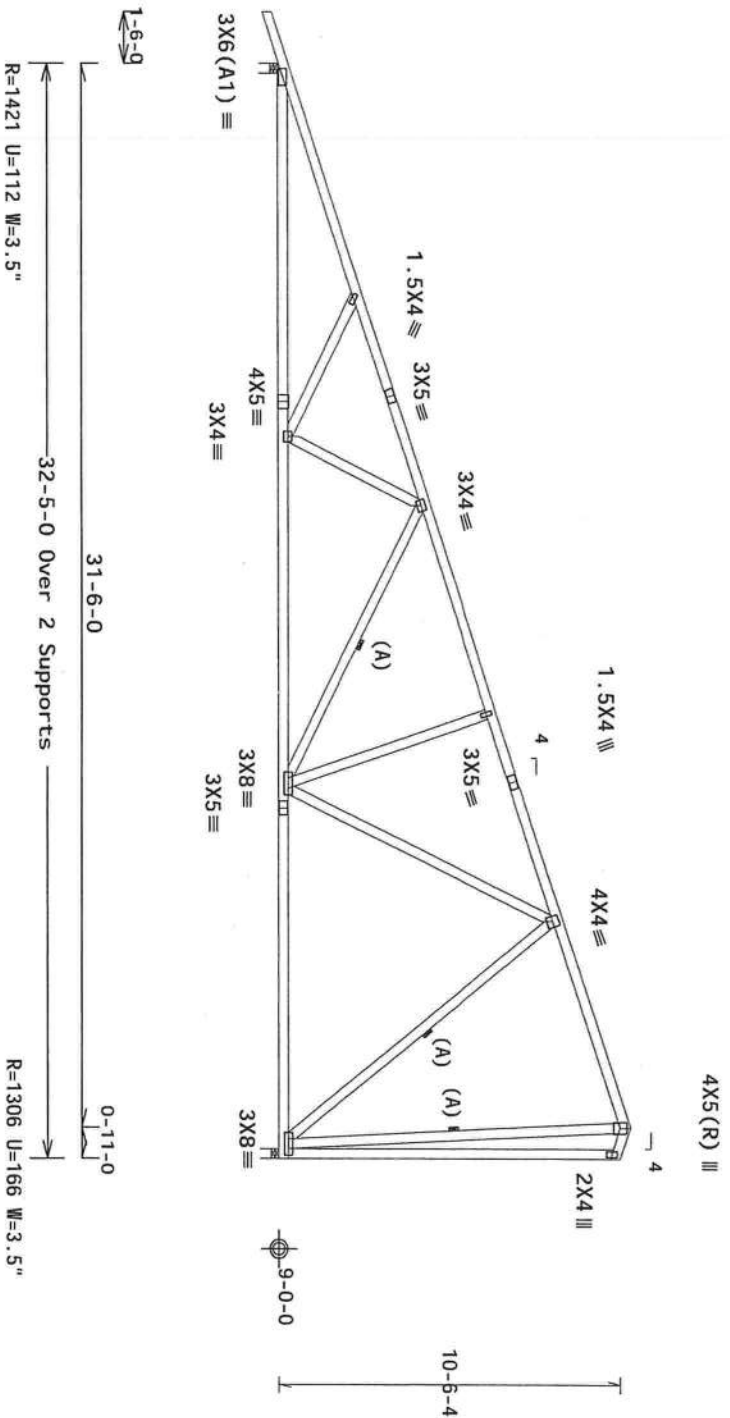
(A) Continuous lateral bracing equally spaced on member.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. lw=1.00 GCp (+/-)=0.18

Wind reactions based on MMFRS pressures.

Right end vertical not exposed to wind pressure.



PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC
Cq/RT=1.00(1.25)/0(0)

7.36.00.0424.11

QTY: 36 FL/-/4/-/R/-

Scale = .1875"/Ft.

ALPINE

ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0 278



TC LL	20.0 PSF	REF	R8228-12717
TC DL	10.0 PSF	DATE	12/12/08
BC DL	10.0 PSF	DRW	HCUSR8228 08347003
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT. LD.	40.0 PSF	SEON-	116060
DUR. FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TNE8228Z02

(8-287--OWNER BUILDER Trademark Const. Group --, ** - A-GE)

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

Truss spaced at 24.0" OC designed to support 1-0-0 top chord
outlookers. Cladding load shall not exceed 10.00 PSF. Top chord
must not be cut or notched.

(A) 1x4 #3SRB SPF-S or better "L" brace. 80% length of web
member. Attach with 8d Box or Gun (0.113"x2.5", min.) nails @ 6"
OC.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE
ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND
SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS
LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE
DESIGNED BY THE BUILDING DESIGNER.

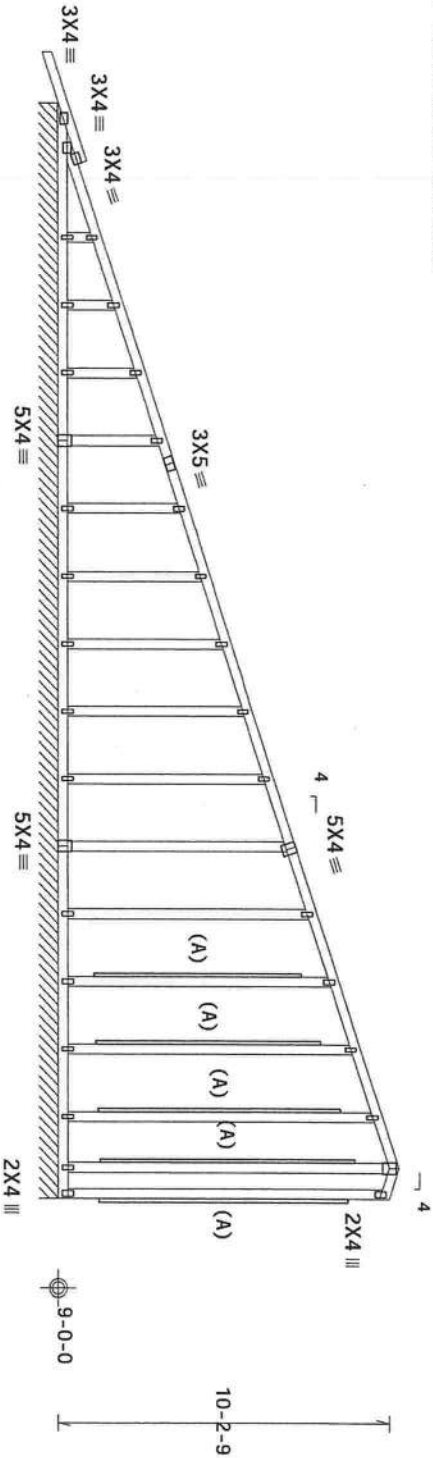
110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located
anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC
DL=5.0 psf. lw=1.00 Gcpi (+/-)=0.18

Wind reactions based on MMFRS pressures.

Right end vertical not exposed to wind pressure.

Deflection meets L/240 live and L/180 total load. Creep increase
factor for dead load is 1.50.

See DWGS A11015EC0207 & GBLLET1M0207 for more requirements.



R=192 PLF U=8 PLF W=32-5-0
32-5-0 Over Continuous Support

Note: All Plates Are 1.5X4 Except As Shown.

PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC
Cq/RT=1.00(1.25)/0(0)

7.36.00.0424.11

QTY: 2 FL/-/4/-/R/-

Scale = .1875"/Ft.

WARNING TRUSSES REQUIRE EXTREME CARE IN FABRICATION. HANDLE, SHIP, INSTALL AND BRACE
REFER TO BCSI (BUILDING COMPONENT SAFETY INFORMATION), HANDBOOK, TRUSS PLATE INSTITUTE, 218
NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA 22314 AND TRUSS (WOOD) TRUSS COMPANY OF AMERICA, 6300
N. 10TH AVE, DENVER, CO 80232. TRUSSES ARE DESIGNED TO BE USED IN CONFORMANCE WITH THE
OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE
A PROPERLY ATTACHED RIGID CEILING.

IMPORTANT FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT
BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH
THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT
DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ITW BCG
CONNECTOR PLATES ARE MADE OF 20/18/16GA (W/H/SS/K) ASTM A653 GRADE 40/60 (K, K/H, SS) GALV. STEEL. APPLY
PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 160A-2.
ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER AMES AS OF TPI-2002 SEC.3 FOR THE A SEAL ON THIS
DESIGN SHOWN. THE SUFFICIENCY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE
BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278



TC LL	20.0 PSF	REF	R8228-12718
TC DL	10.0 PSF	DATE	12/12/08
BC DL	10.0 PSF	DRW	HCU88228 08347004
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT. LD.	40.0 PSF	SEQN-	116077
DUR. FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TNE8228Z02

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

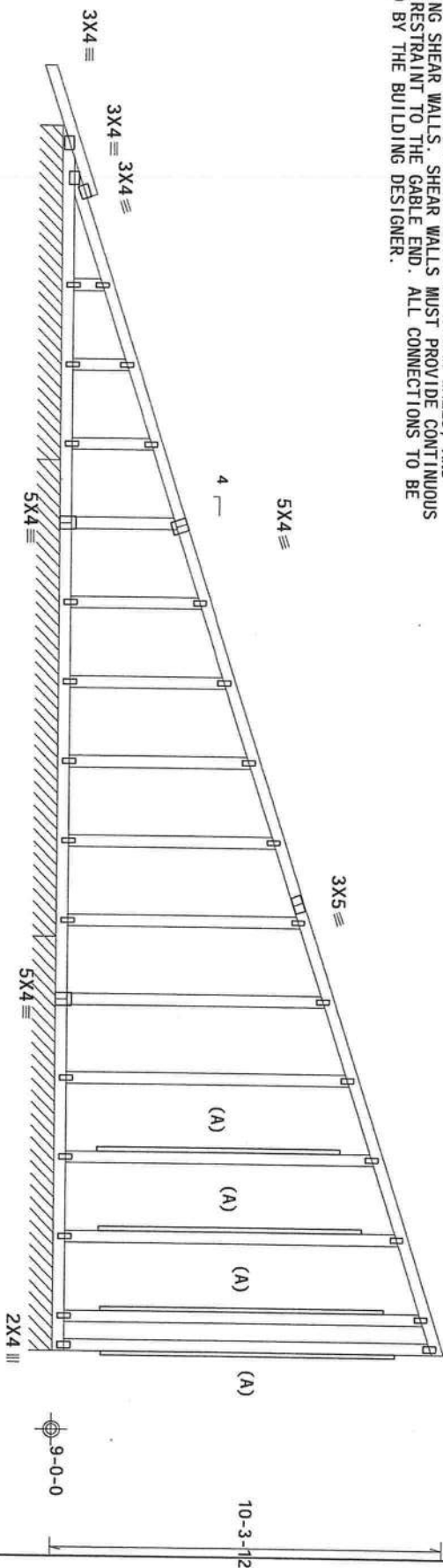
110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, located anywhere in roof, CAT 11, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf, $w=1.00 \text{ Gfmi} (+/-)=0.18$

Wind reactions based on MMFRS pressures.

Right end vertical not exposed to wind pressure.

See DWGS A11015EC0207 & GBLLET1M0207 for more requirements.

2X4 III



Design Crit: TP1-2002(STD)/FBC

$$\underline{C_q/RT=1.00(1.25)/0(0)}$$

7.36.00.0424.11

QTY:2 FL/-/4/-/-/R/-

Scale = .25"/Ft.

WARNING: THESE REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND PROTECTING. REFER TO BCSI (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS ASSOCIATE INSTITUTE), 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA 22314 AND WPCA (WOOD TRUSSING COUNCIL OF AMERICA), 6300 ENTERPRISE LANE, MAISON, MI 47670, FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE PROPERLY ATTACHED RIGID CEILING.

ALPINE

ITW Building Components Group Inc.

Haines City, FL 33844
FL COA #0278



TC LL	20.0 PSF	REF	R8228- 12719
TC DL	10.0 PSF	DATE	12/12/08
BC DL	10.0 PSF	DRW	HCHSR8228 08347008
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT. LD.	40.0 PSF	SEON-	116049
DUR. FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TNE8228Z02

(8-287--OWNER BUILDER Trademark Const. Group --, ** - A2)

THIS DWG PREPARED FROM COMPUTER INPUT (LOADS & DIMENSIONS) SUBMITTED BY TRUSS MFR.

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

Roof overhang supports 2.00 psf soffit load.

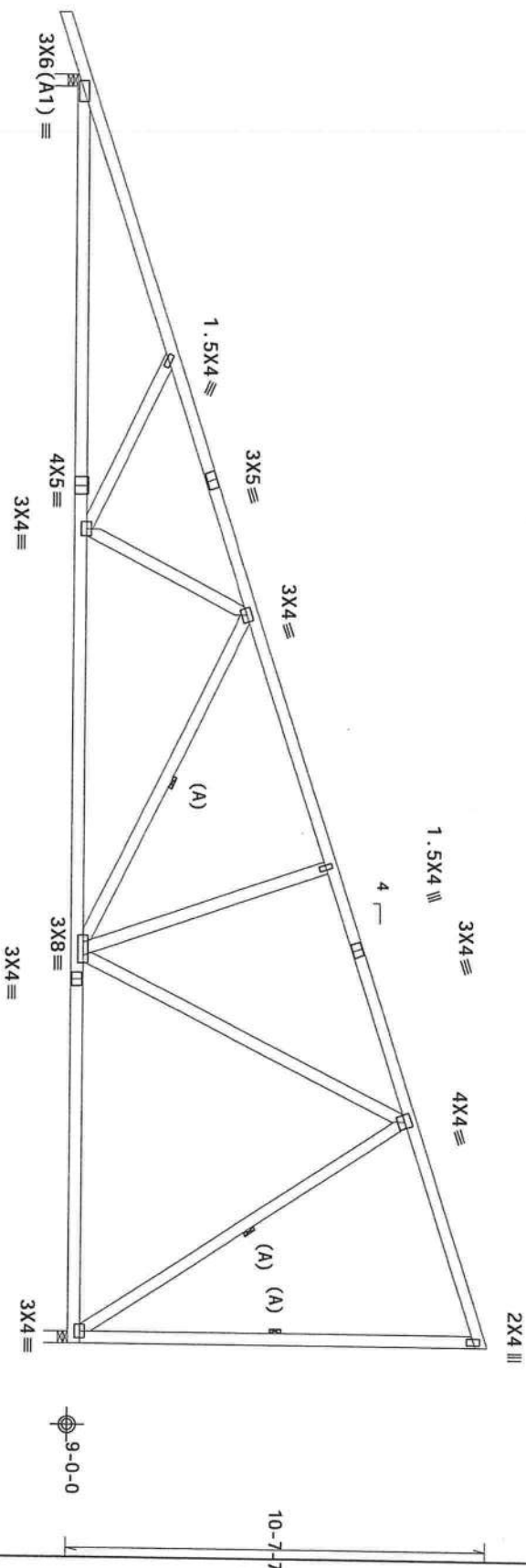
(A) Continuous lateral bracing equally spaced on member.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, Exp B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. $I_w=1.00$ $GCP(+/)=0.18$

Wind reactions based on MMFRS pressures.

Right end vertical not exposed to wind pressure.



1-6-0

R=1358 U=103 W=3.5"

30-10-8 Over 2 Supports

R=1243 U=163 W=3.5"

PLT TYP. Wave

Design Crit: TP1-2002(STD)/FBC

Cq/RT=1.00(1.25)/0(0)

7.36.00.0424.11

QTY:36 FL/-/4/-/-/R/-

Scale = .25"/Ft.

ALPINE

ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BC31 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TP1 (TRUSS PLATE INSTITUTE), 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314, AND WPCA (WOOD TRUSS COUNCIL OF AMERICA), 6300 ENTERPRISE LANE, MADISON, WI 53719, FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE SPECIFIED, ALL TRUSSES SHALL BE FABRICATED AND SHIPPED IN ACCORDANCE WITH THE FOLLOWING: 1. ALL TRUSSES SHALL BE PROPERLY ATTACHED TO THE CHORDS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. 2. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TP1 1 SEC. 2.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH THIS DESIGN, OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES, BY ACPA AND TP1. 17W BCG TRUSSES ARE DESIGNED TO BE USED IN ACCORDANCE WITH THE FOLLOWING: 1. ALL TRUSSES SHALL BE PROPERLY ATTACHED TO THE CHORDS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING. 2. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TP1 1 SEC. 2.



TC LL	20.0 PSF	REF	R8228-12720
TC DL	10.0 PSF	DATE	12/12/08
BC DL	10.0 PSF	DRW	HCUSR8228 08347005
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT. LD.	40.0 PSF	SEQN-	116037
DUR. FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TNE8228Z02

(8-287--OWNER BUILDER Trademark Const. Group -- , ** - B-GE)

Top chord 2x4 SP #2 Dense
Bot chord 2x4 SP #2 Dense
Webs 2x4 SP #3

:Stack Chord SC1 2x4 SP #2 Dense::Stack Chord SC2 2x4 SP #2 Dense:
Roof overhang supports 2.00 psf soffit load.

Truss spaced at 24.0" OC designed to support 1-6-0 top chord
outlookers. Cladding load shall not exceed 10.00 PSF. Top chord
must not be cut or notched.

In lieu of structural panels use purlins to brace TC @ 24" OC.

Deflection meets L/240 live and L/180 total load. Creep increase
factor for dead load is 1.50.

See DWGS A11015EC0207 & GBLLETIN0207 for more requirements.

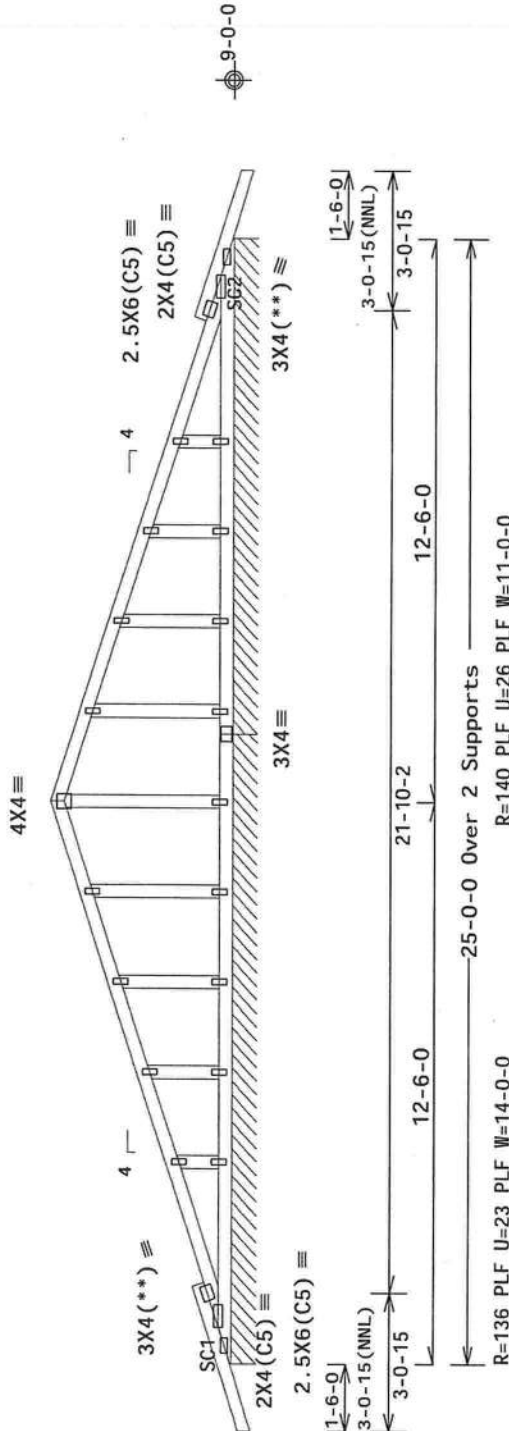
(**) 2 plate(s) require special positioning. Refer to scaled plate
plot details for special positioning requirements.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, PART ENC. bldg,
Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind
BC DL=5.0 psf. lw=1.00 GGpi(+/-)=0.55

Wind reactions based on MMFRS pressures.

Stacked top chord must NOT be notched or cut in area (NNL).
Dropped top chord braced at 24" o.c. intervals. Attach stacked top
chord (SC) to dropped top chord in notchable area using 3x4
tie-plates 24" o.c. Center plate on stacked/dropped chord
interface, plate length perpendicular to chord length. Splice top
chord in notchable area using 3x6.

THE BUILDING DESIGNER IS RESPONSIBLE FOR THE DESIGN OF THE
ROOF AND CEILING DIAPHRAGMS, GABLE END SHEAR WALLS, AND
SUPPORTING SHEAR WALLS. SHEAR WALLS MUST PROVIDE CONTINUOUS
LATERAL RESTRAINT TO THE GABLE END. ALL CONNECTIONS TO BE
DESIGNED BY THE BUILDING DESIGNER.



Note: All Plates Are 1.5X4 Except As Shown.

Design Crit: TPI-2002(STD)/FBC

PLT TYP. Wave

Cq/RT=1.00(1.25)/0(0)

7.36.00.0424.11

QTY:1

FL/-4/-/-R/-

Scale = .25"/Ft.

****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCS1 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA 22314) AND WTC (WOOD TRUSS COUNCIL OF AMERICA, 6300 WOODHURST DRIVE, SUITE 100, WOODBRIDGE, VA 22191) FOR PROPER PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. BY ACCEPTING AND TPI ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. UNLESS OTHERWISE INDICATED, ALL TRUSSES SHALL BE MADE OF 2018/18GA (W 1/8"X1/8") ACTW AEST GRADE 50000 KSI STEEL. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



TC LL	20.0 PSF	REF	R8228- 12722
TC DL	10.0 PSF	DATE	12/12/08
BC DL	10.0 PSF	DRW	HCUSR8228 08347007
BC LL	0.0 PSF	HC-ENG	JB/DF
TOT.LD.	40.0 PSF	SEQN-	116090
DUR.FAC.	1.25	FROM	AH
SPACING	24.0"	JREF-	1TNE8228Z02

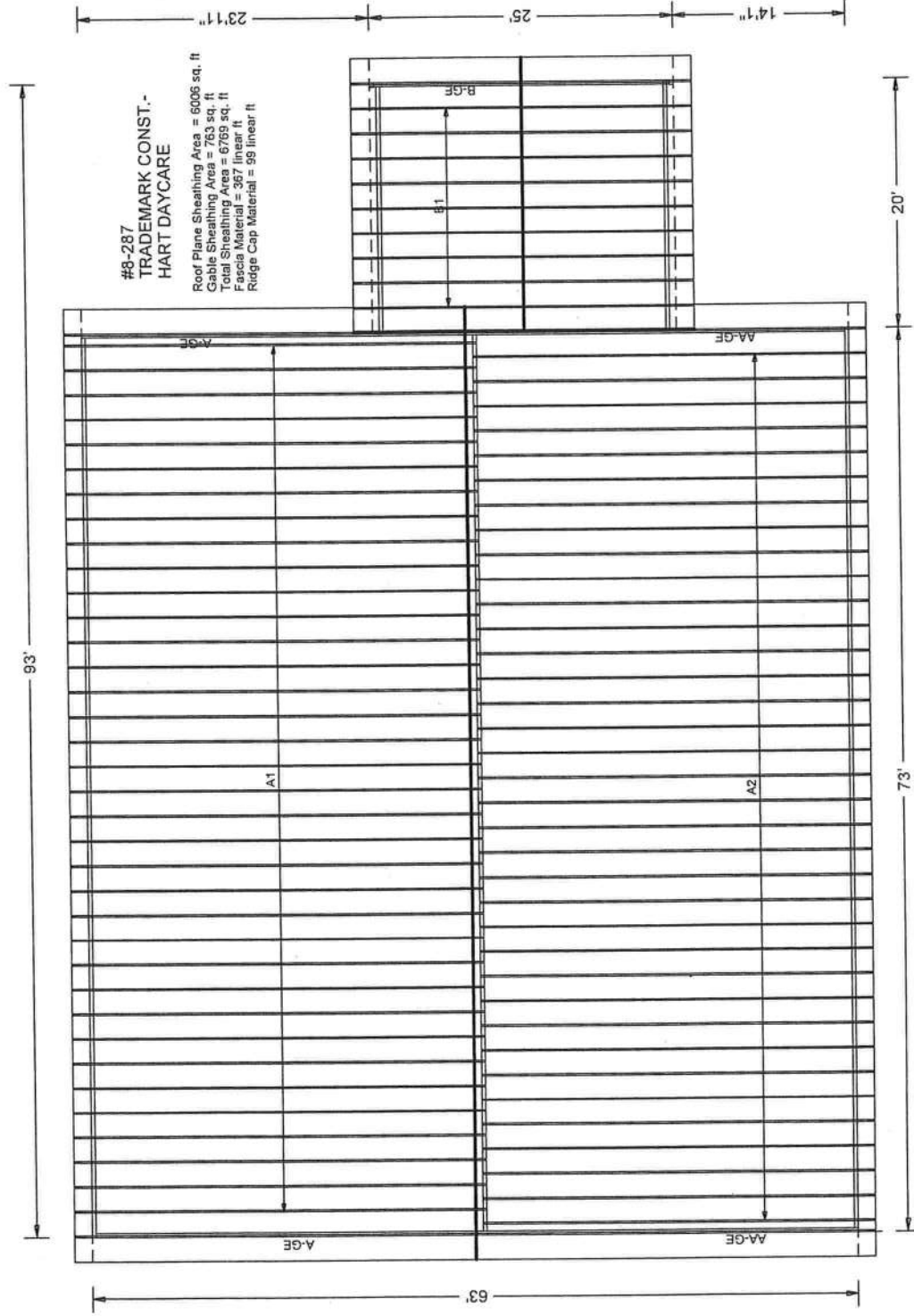
JOB DESCRIPTION: OWNER BUILDER
/; Trademark Const. Group

JOB NO:
8-287

PAGE NO:
1 OF 1

#8-287
TRADEMARK CONST.-
HART DAYCARE

Roof Plane Sheathing Area = 6008 sq. ft
Gable Sheathing Area = 763 sq. ft
Total Sheathing Area = 6769 sq. ft
Fascia Material = 367 linear ft
Ridge Cap Material = 99 linear ft



Florida Energy Efficiency Code For Building Construction
Florida Department of Community Affairs
EnergyGauge FLA/COM 2004 v3.00 -- Form 400A-2004
Method A: Whole Building Performance Method for Commercial Buildings
Effective December 8, 2006

PROJECT SUMMARY

Short Desc: New Project

Owner: Dallas Hart

Address1: 388 SW Birley Road

Address2:

Type: School/University

Jurisdiction: COLUMBIA COUNTY, COLUMBIA COUNTY, FL (221000)

Cond Area: 4496 SF

No of Storeys: 1

Permit No: 0

Description: Hart to Hart Daycare

City: Lake City

State: FL

Zip: 32024

Class: New Finished building

Cond & UnCond Area: 4496 SF

Area entered from Plans 4599 SF

Max Tonnage 5

If different, write in: _____



Compliance Summary

Component	Design	Criteria	Result
Gross Energy Use	6,450.6	7,376.0	PASSES
LIGHTING CONTROLS			PASSES
EXTERNAL LIGHTING			PASSES
HVAC SYSTEM			PASSES
PLANT			None Entered
WATER HEATING SYSTEMS			PASSES
PIPING SYSTEMS			None Entered
Met all required compliance from Check List?			Yes/No/NA

IMPORTANT NOTE: An input report of this design building must be submitted along with this Compliance Report.

CERTIFICATIONS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code

Prepared By:

William H. Freeman

Building Official: _____

Date:

12/15/08

Date: _____

I certify that this building is in compliance with the FLorida Energy Efficiency Code

Owner Agent: _____

Date: _____

If Required by Florida law, I hereby certify (*) that the system design is in compliance with the FLorida Energy Efficiency Code

Architect: William H. Freeman

Reg No: PE #56001

Electrical Designer: William H. Freeman

Reg No: PE #56001

Lighting Designer: William H. Freeman

Reg No: PE #56001

Mechanical Designer: William H. Freeman

Reg No: PE #56001

Plumbing Designer: William H. Freeman

Reg No: _____

(*) Signature is required where Florida Law requires design to be performed by registered design professionals. Typed names and registration numbers may be used where all relevant information is contained on signed/sealed plans.

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

Whole Building Compliance

	Design	Reference
Total	87.67	100.00
	\$6,451	\$7,376
ELECTRICITY(MBtu/k Wh/\$)	87.67	100.00
	130315	148709
	\$6,451	\$7,376
AREA LIGHTS	5.71	11.27
	8483	16759
	\$420	\$831
MISC EQUIPMT	5.73	5.73
	8519	8519
	\$422	\$423
PUMPS & MISC	0.02	0.02
	29	28
	\$1	\$1
SPACE COOL	15.98	16.37
	23749	24345
	\$1,176	\$1,208
SPACE HEAT	6.48	6.17
	9646	9181
	\$477	\$455
VENT FANS	53.73	60.43
	79889	89877
	\$3,955	\$4,458

Credits & Penalties (if any): Modified Points: = 87.67

PASSES

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

External Lighting Compliance

Description	Category	Allowance (W/Unit)	Area or Length or No. of Units (Sqft or ft)	ELPA (W)	CLP (W)
Ext Light 1	Walk way less than 10 feet wide	1.00	70.0	70	60
Ext Light 2	Main entries	30.00	20.0	600	60
Ext Light 3	Other (doors) than main entries	20.00	4.0	80	

Design: 120 (W)
 Allowance: 750 (W)

PASSES

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

Lighting Controls Compliance

Acronym	Ashrae ID	Description	Area (sq.ft)	No. of Tasks	Design CP	Min CP	Compli- ance
Pr0Zo1Sp1	7	Food Service - Kitchen	144	1	1	1	PASSES
Pr0Zo1Sp2	8	Food Service - Leisure Dining	416	1	1	1	PASSES
Pr0Zo1Sp3	,012	Laundry-Washing	50	1	1	1	PASSES
Pr0Zo1Sp4	6	Toilet and Washroom	54	1	1	1	PASSES
Pr0Zo1Sp5	14	Classroom/Lecture Hall	805	1	1	1	PASSES
Pr0Zo1Sp6	14	Classroom/Lecture Hall	805	1	1	1	PASSES
Pr0Zo1Sp7	1	Electrical Mechanical Equipment Room - General	78	1	1	1	PASSES
Pr0Zo1Sp8	5	Corridor	438	1	1	1	PASSES
Pr0Zo1Sp9	17	Office - Enclosed	175	1	1	1	PASSES
Pr0Zo1Sp10	2	Storage & Warehouse - Inactive Storage	50	1	1	1	PASSES
Pr0Zo1Sp11	6	Toilet and Washroom	48	1	1	1	PASSES
Pr0Zo1Sp12	,001	Playing Area	305	1	1	1	PASSES
Pr0Zo1Sp13	14	Classroom/Lecture Hall	552	1	1	1	PASSES
Pr0Zo1Sp14	,001	Playing Area	576	1	1	1	PASSES

PASSES

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

System Report Compliance

Pr0Sy1 System 1 Constant Volume Air Cooled No. of Units
 Split System < 65000 Btu/hr 3

Component	Category	Capacity	Design Eff	Eff Criteria	Design IPLV	IPLV Criteria	Compliance
Cooling System	Air Cooled < 65000 Btu/h		13.00	13.00	8.00		PASSES
	Cooling Capacity						
Heating System	Air Cooled HP < 65000		7.70	7.70			PASSES
	Btu/h Cooling Capacity						
Air Handling System - Supply	Air Handler (Supply) - Constant Volume		0.80	0.90			PASSES
Air Handling System - Return	Air Handler (Return) - Constant Volume		0.80	0.90			PASSES

PASSES

Plant Compliance

Description	Installed No	Size	Design Eff	Min Eff	Design IPLV	Min IPLV	Category	Compliance
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None

Project: New Project
 Title: Hart to Hart Daycare
 Type: School/University
 (WEA File: JACKSONVILLE.TMY)

Water Heater Compliance

Description	Type	Category	Design Eff	Min Eff	Design Loss	Max Loss	Compliance
Water Heater 1	Electric water heater	<= 12 [kW]	0.90	0.86			PASSES
Water Heater 2	Electric water heater	<= 12 [kW]	0.90	0.88			PASSES

PASSES

Piping System Compliance

Category	Pipe Dia [inches]	Is Runout?	Operating Temp [F]	Ins Cond [Btu-in/hr .SF.F]	Ins Thick [in]	Req Ins Thick [in]	Compliance
							None

Project: New Project
Title: Hart to Hart Daycare
Type: School/University
(WEA File: JACKSONVILLE.TMY)

Other Required Compliance

Category	Section	Requirement (write N/A in box if not applicable)	Check
Infiltration	406.1	Infiltration Criteria have been met	<input type="checkbox"/>
System	407.1	HVAC Load sizing has been performed	<input type="checkbox"/>
Ventilation	409.1	Ventilation criteria have been met	<input type="checkbox"/>
ADS	410.1	Duct sizing and Design have been performed	<input type="checkbox"/>
T & B	410.1	Testing and Balancing will be performed	<input type="checkbox"/>
Motors	414.1	Motor efficiency criteria have been met	<input type="checkbox"/>
Lighting	415.1	Lighting criteria have been met	<input type="checkbox"/>
O & M	102.1	Operation/maintenance manual will be provided to owner	<input type="checkbox"/>
Roof/Ceil	404.1	R-19 for Roof Deck with supply plenums beneath it	<input type="checkbox"/>
Report	101	Input Report Print-Out from EnergyGauge FlaCom attached?	<input type="checkbox"/>

INPUT DATA REPORT**Project Information****Project Name:** New Project**Orientation:** North**Project Title:** Hart to Hart Daycare**Building Type:** School/University**Address:** 388 SW Birley Road**Building Classification:** New Finished building**State:** FL**No.of Storeys:** 1**Zip:** 32024**GrossArea:** 4496

SF

Owner: Dallas Hart**Zones**

No	Acronym	Description	Type	Area [sf]	Multiplier	Total Area [sf]
1	Pr0Zo1	Zone 1	CONDITIONED	4496.3	1	4496.3

Spaces

No	Acronym	Description	Type	Depth [ft]	Width [ft]	Height [ft]	Multi plier	Total Area [sf]	Total Volume [cf]
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In Space:	1	Incandescent	General Lighting	1	40	40	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp5	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	9	40	360	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp6	1	Incandescent	General Lighting	1	60	60	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	11	15	165	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp7	1	Compact Fluorescent	General Lighting	2	60	120	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Incandescent	General Lighting	1	15	15	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp8	1	Incandescent	General Lighting	3	40	40	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	6	60	180	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp9	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp10	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp11	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp12	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp13	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
In Space:	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>
Pr0Zo1Sp14	1	Compact Fluorescent	General Lighting	9	60	540	Manual On/Off	1	<input type="checkbox"/>

Walls

No	Description	Type	Width H (Effec) [ft]	Multi plier	Area [sf]	Direction	Conductance [Btu/hr. sf. F]	Heat Capacity [Btu/sf.F]	Dens. [lb/cf]	R-Value [h.s.f.F/Btu]	
In Zone: Pr0Zo1											
1	South Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	73.00	9.00	1	657.0	South	0.0920	1.072	19.38	<input type="checkbox"/>
2	West Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	63.00	9.00	1	567.0	West	0.0920	1.072	19.38	<input type="checkbox"/>

3	East Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	63.00	9.00	1	567.0	East	0.0920	1.072	19.38	10.9	<input type="checkbox"/>
4	North Wall	Metal siding/2x4@24"+R1 1 Batt/5/8"Gyp	73.00	9.00	1	657.0	North	0.0920	1.072	19.38	10.9	<input type="checkbox"/>

Windows

No	Description	Type	Shaded	U [Btu/hr sf F]	SHGC	Vis.Tra	W [ft]	H (Effec) [ft]	Multi plier	Total Area [sf]	
In Zone: Pr0Zo1											
In Wall: Pr0Zo1Wa1											
1	Pr0Zo1Wa1Wi1	User Defined	No	1.2500	0.82	0.76	4.00	5.00	1	20.0	<input type="checkbox"/>
2	Pr0Zo1Wa1Wi2	User Defined	No	1.2500	0.82	0.76	4.00	4.00	2	32.0	<input type="checkbox"/>
In Wall: Pr0Zo1Wa3											
1	Pr0Zo1Wa3Wi1	User Defined	No	1.2500	0.82	0.76	4.00	5.00	2	40.0	<input type="checkbox"/>
In Wall: Pr0Zo1Wa4											
1	Pr0Zo1Wa4Wi1	User Defined	No	1.2500	0.82	0.76	4.00	4.00	1	16.0	<input type="checkbox"/>

Doors

No	Description	Type	Shaded?	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Dens. Heat Cap. [lb/cf] [Btu/sf. F]	R-Value [h.s.f.F/Btu]	
In Zone: Pr0Zo1											
In Wall: Pr0Zo1Wa1											
1	Pr0Zo1Wa1Dr1	Solid core flush (2.25)	No	3.00	7.00	1	21.0	0.3504	0.00	2.85	<input type="checkbox"/>
In Wall: Pr0Zo1Wa2											
1	Pr0Zo1Wa2Dr1	Solid core flush (2.25)	No	3.00	7.00	2	21.0	0.3504	0.00	2.85	<input type="checkbox"/>
In Wall: Pr0Zo1Wa3											
1	Pr0Zo1Wa3Dr1	Solid core flush (2.25)	No	6.00	7.00	1	42.0	0.3504	0.00	2.85	<input type="checkbox"/>
In Wall: Pr0Zo1Wa4											
1	Pr0Zo1Wa4Dr1	Solid core flush (2.25)	No	3.00	7.00	3	21.0	0.3504	0.00	2.85	<input type="checkbox"/>

Roofs										
No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Tilt [deg]	Cond. [Btu/hr. Sf. F]	Heat Cap. Dens. [Btu/sf. F]	R-Value [h.sf.F/Btu]
In Zone: Pr0Zo1										
1	Pr0Zo1Rf1	Shngl/1/2"WD Deck/WD Truss/9" Batt/Gyp Brd	63.00	73.00	1	4599.0	0.00	0.0320	1.50	8.22 31.2
In Roof: <input type="checkbox"/>										

Skylights										
No	Description	Type	U [Btu/hr sf F]	SHGC	Vis.Trans	W [ft]	H (Effec) [ft]	Multiplier	Area [Sf]	Total Area [Sf]
In Zone: <input type="checkbox"/>										
In Roof: <input type="checkbox"/>										

Floors										
No	Description	Type	Width [ft]	H (Effec) [ft]	Multi plier	Area [sf]	Cond. [Btu/hr. sf. F]	Heat Cap. Dens. [Btu/sf. F]	R-Value [h.sf.F/Btu]	
In Zone: Pr0Zo1										
1	Pr0Zo1Fl1	1 ft. soil, concrete floor, carpet and rubber pad	63.00	73.00	1	4599.0	0.1745	54.00 108.00	5.73	
In Roof: <input type="checkbox"/>										

Systems		
Pr0Sy1	System 1	Constant Volume Air Cooled Split System < 65000 Btu/hr
Component	Category	Capacity Efficiency IPLV
No. Of Units 3		

1	Cooling System (Air Cooled < 65000 Btu/h Cooling Capacity)	60000.00	13.00	8.00	<input type="checkbox"/>
2	Heating System (Air Cooled HP < 65000 Btu/h Cooling Capacity)	60000.00	7.70		<input type="checkbox"/>
3	Air Handling System -Supply (Air Handler (Supply) - Constant Volume)	2000.00	0.80		<input type="checkbox"/>
4	Air Handling System - Return (Air Handler (Return) - Constant Volume)	1800.00	0.80		<input type="checkbox"/>

Plant

Equipment	Category	Size	Inst.No	Eff.	IPLV
					<input type="checkbox"/>

Water Heaters

W-Heater Description	CapacityCap. Unit	I/P Rt.	Efficiency	Loss
1 Electric water heater	50 [Gal]	[kW]	0.9000 [Ef]	[Btu/h]
2 Electric water heater	40 [Gal]	[kW]	0.9000 [Ef]	[Btu/h]

Ext-Lighting

Description	Category	No. of Luminaires	Watts per Luminaire	Area/Len/No. of units [sf/ft/No]	Control Type	Wattage [W]
1 Ext Light 1	Walk way less than 10 feet wide	1	60	70.00	Photo Sensor control	60.00
2 Ext Light 2	Main entries	1	60	20.00	Photo Sensor control	60.00
3 Ext Light 3	Other (doors) than main entries	1	0	4.00	Photo Sensor control	0.00

Piping

No	Type	Operating Temperature [F]	Insulation Conductivity [Btu-in/h.sf.F]	Nominal pipe Diameter [in]	Insulation Thickness [in]	Is Runout?
						<input type="checkbox"/>

Fenestration Used

Name	Glass Type	No. of Panes	Glass Conductance [Btu/h.sf.F]	SHGC	VLT
ASHULSgIClrAll Frm	User Defined	1	1.2500	0.8200	0.7600
					<input type="checkbox"/>

Materials Used

Mat No	Acronym	Description	Only R-Value Used	RValue [h.sf.F/Btu]	Thickness [ft]	Conductivity [Btu/h.ft.F]	Density [lb/cf]	SpecificHeat [Btu/lb.F]
187	Mat1187	GYP OR PLAS BOARD, 1/2IN	No	0.4533	0.0417	0.0920	50.00	0.2000
178	Mat1178	CARPET W/RUBBER PAD	Yes	1.2300				
265	Mat1265	Soil, 1 ft	No	2.0000	1.0000	0.5000	100.00	0.2000
48	Mat148	6 in. Heavyweight concrete	No	0.5000	0.5000	1.0000	140.00	0.2000
12	Mat112	3 in. Insulation	No	10.0000	0.2500	0.0250	2.00	0.2000
23	Mat123	6 in. Insulation	No	20.0000	0.5000	0.0250	5.70	0.2000
4	Mat14	Steel siding	No	0.0002	0.0050	26.0000	480.00	0.1000
271	Mat1271	2x4@24" oc + R11 Batt	No	10.4179	0.2917	0.0280	7.11	0.2000
81	Mat181	ASPHALT-ROOFING, ROLL	Yes	0.1500				
244	Mat1244	PLYWOOD, 1/2IN	No	0.6318	0.0417	0.0660	34.00	0.2900

Constructs Used

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1038	Shngl/1/2"WD Deck/WD Truss/9" Batt/Gyp Brd	No	No	0.03	1.50	8.22	31.2
							<input type="checkbox"/>
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	81	ASPHALT-ROOFING, ROLL		0.000			<input type="checkbox"/>
2	244	PLYWOOD, 1/2IN	0.0417	0.000			<input type="checkbox"/>
3	12	3 in. Insulation	0.2500	0.000			<input type="checkbox"/>
4	23	6 in. Insulation	0.5000	0.000			<input type="checkbox"/>
5	187	GYP OR PLAS BOARD, 1/2IN	0.0417	0.000			<input type="checkbox"/>
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1055	Metal siding/2x4@24"+R11Batt/5/8"Gyp	No	No	0.09	1.07	19.38	10.9
							<input type="checkbox"/>
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	4	Steel siding	0.0050	0.000			<input type="checkbox"/>
2	271	2x4@24" oc + R11 Batt	0.2917	0.000			<input type="checkbox"/>
3	187	GYP OR PLAS BOARD, 1/2IN	0.0417	0.000			<input type="checkbox"/>

No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1057	1 ft. soil, concrete floor, carpet and rubber pad	No	No	0.17	54.00	108.00	5.7
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	265	Soil, 1 ft	2.0000	0.000			
2	48	6 in. Heavyweight concrete	0.5000	0.000			
3	178	CARPET W/RUBBER PAD		0.000			
No	Name	Simple Construct	Massless Construct	Conductance [Btu/h.sf.F]	Heat Capacity [Btu/sf.F]	Density [lb/cf]	RValue [h.sf.F/Btu]
1058	Solid core flush (2.25)	No	Yes	0.35			2.9
Layer	Material No.	Material	Thickness [ft]	Framing Factor			
1	279	Solid core flush (2.25")		0.000			



- Engineering
 - Geotechnical
 - Environmental
- Laboratories

Cal-Tech Testing, Inc.

P.O. Box 1625 • Lake City, FL 32056-1625 • Tel(386)755-3633 • Fax(386)752-5456

4784 Rosselle St., Jacksonville, FL 32254 • Tel(904)381-8901 • Fax(904)381-8902

27569

JOB NO.: 09-00030-01

DATE TESTED: 1/14/09

DATE REPORTED: 1/15/09

REPORT OF IN-PLACE DENSITY TEST

PROJECT:	Hart to Hart Academy, Lake City
CLIENT:	Trademark Construction Group, Inc. 128 SW Nassau Street, Lake City, FL 32025
GENERAL CONTRACTOR:	Trademark Construction Group, Inc.
EARTHWORK CONTRACTOR:	Trademark Construction Group, Inc.
INSPECTOR:	Chad Day
ASTM METHOD	SOIL USE
(D-2922) Nuclear	OTHER
SPECIFIED REQUIREMENTS: 95%	

TEST NO.	TEST LOCATION	TEST DEPTH	WET DENSITY (lb/ft ³)	MOISTURE PERCENT	DRY DENSITY (lb/ft ³)	PROCTOR TEST NO.	PROCTOR VALUE	MAXIMUM DENSITY
The following tests are RETEST								
1A	NW Corner, 30' South	12"	107.9	5.0	102.8	1	108.0	95%
2A	SW Corner, 25' East	12"	109.5	7.2	102.1	1	108.0	95%
3A	NW Corner, 45' South	12"	111.5	8.2	103.0	1	108.0	95%

REMARKS:

The Above Tests Meet Specified Requirements.

PROCTORS				
PROCTOR NO.	SOIL DESCRIPTION	MAXIMUM DRY UNIT WEIGHT (lb/ft ³)	OPT. MOIST.	TYPE
1	Grayish Tan Fine Sand	108.0	0.0	MODIFIED (ASTM D-1557)

Respectfully Submitted,
CAL-TECH TESTING, INC.

Reviewed By:

Pending Signature

Linda M. Creamer
President - CEO

Pending Signature

Date:
Licensed, Florida No: 57842

ee

The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test locations and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.



CAL-TECH TESTING, INC.

ENGINEERING & TESTING LABORATORY

P.O. Box 1625, Lake City, FL 32056-1625
4784 Rosselle St. • Jacksonville, FL 32254
2230 Greensboro Hwy., Quincy, FL 32351

Lake City • (386) 755-3633
Fax • (386) 752-5456

Jacksonville • (904) 381-8901
Fax • (904) 381-8902

Quincy • (850) 442-3495
Fax • (850) 442-4008

JOB NO.: 09-030
DATE TESTED: 1-20-09

REPORT OF IN-PLACE DENSITY TEST

27509

ASTM METHOD: ✓ (D-2922) Nuclear (D-2937) Drive Cylinder Other

PROJECT: Hart to Hart Access

CLIENT: Trade Mark Const

GENERAL CONTRACTOR: Trade Mark EARTHWORK CONTRACTOR: Trade Mark

SOIL USE (SEE NOTE): ✓ SPECIFICATION REQUIREMENTS: 95%

TECHNICIAN: Scott Raulerson

MODIFIED (ASTM D-1557): ✓ STANDARD (ASTM D-698):

TEST NO.	TEST LOCATION	TEST	PROCTOR NO.	WET DENS. LBS. CU. FT.	DRY DENS. LBS. CU. FT.	MOIST PERCENT	% MAX. DENS.
		DEPTH ELEV. LIFT					
4	19' South of North wall 19' East of West wall	12"	1	117.5	107.2	9.6	101.9
5	38' South of North wall 31' East of West wall	12"	1	118.3	107.4	10.2	102.0
6	19' West of East wall 21' North of South wall	12"	1	126.4	108.5	13.3	103.1

REMARKS:

PROCTOR NO.	SOIL DESCRIPTION	PROCTOR VALUE	OPT. MOIST.
		105.2	

NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other
The test results presented in this report are specific only to the samples tested at the time of testing. The tests were performed in accordance with generally accepted methods and standards. Since material conditions can vary between test location and change with time, sound judgement should be exercised with regard to the use and interpretation of the data.



COLUMBIA COUNTY FIRE DEPARTMENT

P. O. BOX 1529 Lake City, Florida 32056
Office (386) 754-7071 Fax (386) 754-7064

David L. Boozer
Division Chief

16 March 2009

TO: Harry Dicks
Columbia County Building and Zoning

FROM: David L. Boozer
Division Chief / Fire Marshal
Florida Fire Inspector #146595

RE: Permit #27569
Trade Mark Construction Group
388 SW Birley Avenue

A Fire Safety Inspection was performed today in regards to the Fire Alarm System, rough-in. This system meets the requirements as set forth in Chapter 16 of the Florida Fire Prevention Code, 2004 edition. I recommend approval.



COLUMBIA COUNTY FIRE / RESCUE

P.O. BOX 1529 LAKE CITY, FLORIDA
Office (386) 754-7071 Fax (386) 754-7064

David L. Boozer
Division Chief

01 May 2009

TO: Dallas Hart
Hart 2 Hart Academy
388 SW Birley Avenue
Lake City, Florida 32024

FROM: David L. Boozer
Division Chief / Fire Marshal
Florida State Fire Inspector #146595

RE: Fire Safety Inspector

A Fire Safety Inspection was performed today of your facility located at 388 SW Birley Avenue in Lake City, Florida. At the time of my inspection I found your building meets the requirements as set forth in Chapter 16, of the Florida Fire Prevention Code, 2007 edition. And recommend approval.

I appreciate the cooperation that was extended to me during my inspection and look forward to working with you and your staff in providing a fire safe environment for those who attend. Our goal of a Fire Safe Community relies on teamwork between you and our department.

Please feel free to contact my office should you have any questions regard this or any other fire related issues.

Again, thanks for help to make Columbia County a Fire Safe Community.

Sincerely,

David L. Boozer

COLUMBIA COUNTY
FLORIDA

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 32-3S-16-02428-004

Building permit No. 000027569

Use Classification CHILD CARE FACILITY

Fire: 289.75

Permit Holder MATTHEW HENTZELMAN

Waste:

Owner of Building DALLAS HART

Total: 289.75

Location: 388 SW BIRLEY AVE, LAKE CITY, FL



Date: 05/11/2009

Tony Bieker

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

27569



This home has been professionally insulated with

Owens Corning

INNOVATIONS FOR LIVING™

PROPINK® Unbonded Loosefill Insulation (Red Bag)

(Job Site Address)

Name Hart 2 Hart Day Care
Address Birley Rd
City Lake City State FL Zip _____

Owens Corning PROPINK Unbonded Loosefill Insulation (Red Bag)

Owens Corning will accept no responsibility when the product is not installed in accordance with the product label. Stated R-value is provided by installing the required number of bags at a thickness not less than the labeled minimum thickness. Installation of the required number of bags may yield more than the specified minimum thickness. Failure by the installer to provide both the required bags and at least the minimum thickness will result in lower insulation R-value.

Specification for Open Blow Attics

Nominal net weight of insulation is 33 lbs.

New Construction <input checked="" type="checkbox"/>	R-Value*	Minimum Bags per 1,000 sq. ft.	Maximum Coverage per Bag in sq. ft.	Minimum Weight in lbs./sq. ft.	Minimum Initial Installed Thickness in inches ¹	Minimum Settled Thickness in inches ¹
Retrofit	To obtain an insulation resistance (R) of:	No. of bags per 1,000 sq. ft. of net area shall not be less than:	Contents of each bag should not cover more than:	Weight in lb. per sq. ft. of installed insulation should not be less than:	Installed insulation should not be less than:	Installed insulation should not be less than:
Number of bags used <u>72</u>	13	6.6	151.4	0.218	5.00	5.00
Estimated R-value of previous insulation	19	9.4	106.3	0.310	7.50	7.50
Area of coverage (sq. ft.) <u>4600 sf</u>	22	11.1	89.9	0.367	8.50	8.50
Other type(s) of insulation in attic	26	13.2	75.7	0.436	10.00	10.00
Thickness of insulation <u>11.5</u>	<u>30</u>	15.3	65.4	0.504	11.50	11.50
Depth of previous insulation	38	19.5	51.4	0.642	14.50	14.50
	44	23.0	43.6	0.757	16.50	16.50
	49	25.8	38.8	0.850	18.25	18.25
	60	32.1	31.1	1.060	22.00	22.00

*The higher the R-value, the greater the insulating power. Ask your seller for the fact sheet on R-values. Loosefill insulations vary in thermal performance due to factors such as aging, mean temperature, settlement, convection, moisture absorption and installation variation. Convection in glass loosefill insulation installed in open attics can reduce its thermal performance in extreme winter temperatures during the heating season.

Blanket Insulation

Blanket and batt fiber glass insulation, when installed according to the manufacturers recommendations, will provide the stated R-Value.

R-VALUE

To obtain an insulation resistance (R) of: R-38 R-38C R-30 R-30C R-25 R-22 R-21 R-19 R-15 R-13 R-11

MINIMUM THICKNESS

Installed insulation should be: 12" 10.25" 9.5" 8.25" 8.0" 6.75" 5.5" 6.25"¹ 3.5" 3.5" 3.5"

¹R-18 in a 5.5" cavity

THE FOLLOWING PRODUCTS HAVE BEEN INSTALLED AS SPECIFIED ABOVE:

	kraft	unfaced	foil	FS-25	R-Value	Thickness	No. pkgs.	Coverage Area
Ceilings	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
Floors	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<u>R-13</u>			
Basement	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				
Crawlspace	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>				

Contractor [Signature] Date 5-4-09 Builder _____ Date _____

Company Sikes Insulation Inc. Company Trade Mark

Address 2503 264th St O'Brien FL 32071 Address 128 SW Nassau St

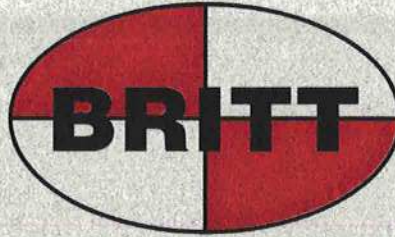
Phone 386-935-2387 Phone Lake City, FL 32025

OWENS CORNING WORLD HEADQUARTERS
ONE OWENS CORNING PARKWAY
TOLEDO, OHIO 43659
1-800-GET-PINK
www.owenscorning.com

Pub. No. 45145-B. Printed in U.S.A. March 2006. ©2006 Owens Corning.

27569

Harry



BRITT SURVEYING

Land Surveyors and Mappers

LAKE CITY • VENICE • SARASOTA

01/28/09

L-19738

To Whom It May Concern:

C/o: Trademark Construction

Re: 32-3S-16-02423-000

The elevation of the batter boards for the finished floor is 101.00 feet. The minimum finished floor elevation is 101.00 feet as per the building plans. The highest adjacent grade is 100.74 feet. The lowest adjacent grade is 99.64 feet. The elevations shown hereon are based on NGVD 29 Datum.


L. Scott Britt
PLS #5757

27569



Engineers • Planners

128 SW Nassau St
Lake City, FL 32025
Phone 386-758-4209
Fax 386-758-4290

27569

January 26, 2009

Columbia County Building and Zoning

RE: Hart 2 Hart Academy

Parcel # 32-3S-16-02428-004

To whom it may concern:

I have reviewed the Flood Insurance Rate Map and have determined the property is not located in a flood zone. I have performed a site evaluation of the existing area. I certify that placing the finished floor elevation at least 8" above finished grade is adequate to prevent flood and water damage. Grade the perimeter so that all runoff drains away from the building.

Sincerely,

William H. Freeman, P.E.
President
P.E. # 56001
Cert. Of Authorization 00008701

HART 2 HART DAYCARE SITE PLAN

FOR:

DALLAS HART
HART 2 HART ACADAMY
747 SW SATELLITE LN
LAKE CITY, FL 32024
PHONE: 386.365.2935

CES

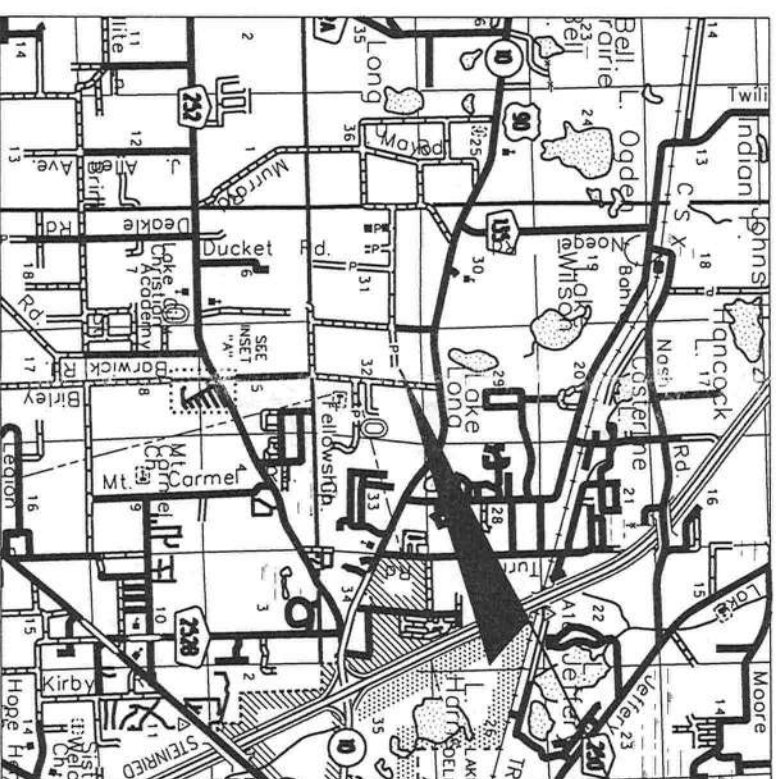
Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085
www.crewsengineeringservices.com

CERTIFICATE OF AUTHORIZATION: NO. 28022

BRETT A. CREWS, P.E. 65592

Brett A. Crews
12.15.08



PROJECT LOCATION

INDEX OF SHEETS

- 1 GENERAL NOTES AND DETAILS
- 2 EXISTING CONDITIONS
- 3 OVERALL SITE PLAN
- 4 SITE PLAN
- 5 GRADING AND DRAINAGE PLAN
- 6 MISCELLANEOUS NOTES AND DETAILS
- 7 EROSION CONTROL NOTES AND DETAILS

LOCATION MAP

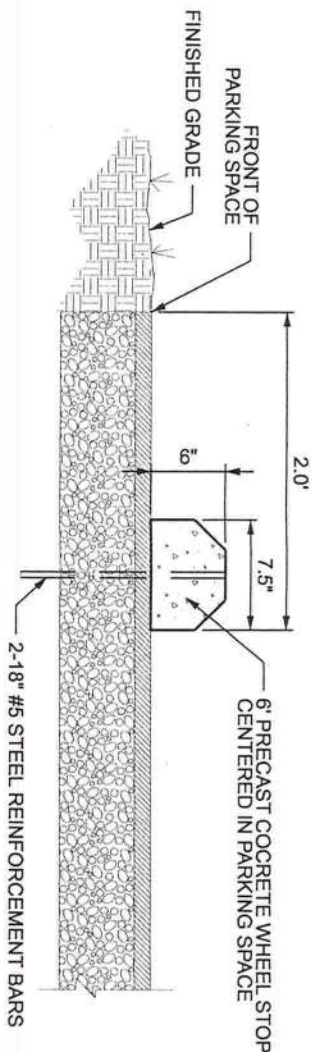
SECTION 32, TOWNSHIP 3 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA

PARCEL ID: 32-3S-16-02428-002

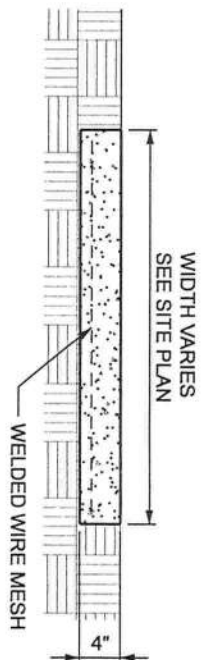
CES PROJECT ID:
2008-027

GENERAL NOTES

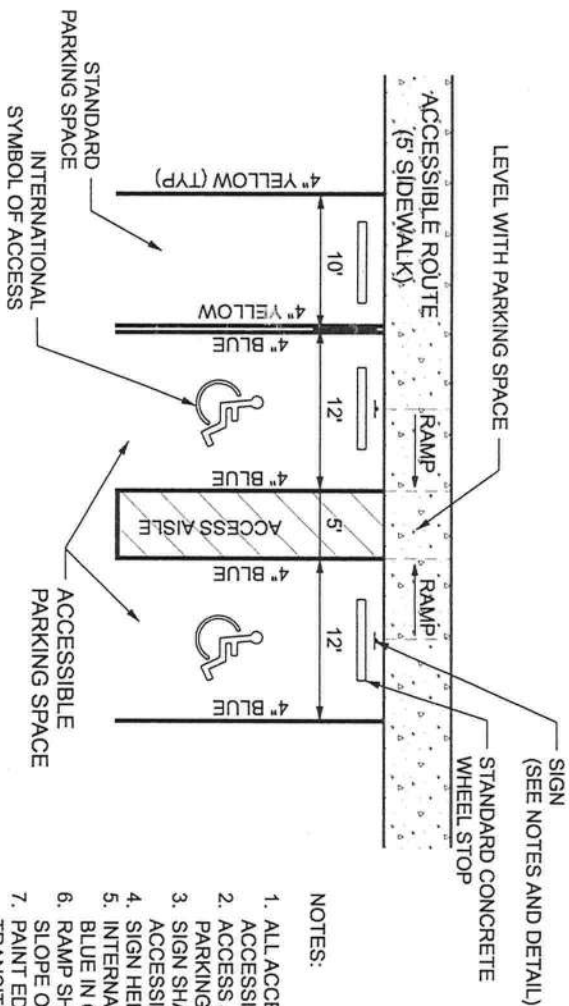
1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO INSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY & PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE AT ALL TIMES IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
3. BOUNDARY AND TOPOGRAPHICAL SURVEY IS PROVIDED BY BRITT SURVEYING AND ASSOCIATES, INC. (# 7593).
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. CONTRACTORS SHALL ADHERE TO THE STORM WATER POLLUTION PREVENTION PLAN AND USE (AS A MINIMUM) THE MEASURES DESCRIBED ON THE EROSION CONTROL NOTES AND DETAILS SHEET.
6. THE STORM WATER MANAGEMENT SYSTEM IS DESIGNED TO MEET SRWMD REQUIREMENTS.
7. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED IN THE PLANS.
8. ALL EXISTING UTILITIES SHALL BE LOCATED PRIOR TO BEGINNING WORK. THIS INCLUDES VERIFYING LOCATION (HORIZONTAL AND VERTICAL) AT ANY CONNECTION POINT OF THE EXISTING UTILITY. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES EXIST BETWEEN THE CONSTRUCTION PLANS AND ACTUAL FIELD CONDITIONS. EXISTING UTILITIES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY AND SHALL BE VERIFIED IN THE FIELD BY NON-DESTRUCTIVE METHODS.
9. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
10. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS.
11. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES, BUT IS NOT LIMITED TO, MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
12. SITE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT LIMITS.
13. ALL PROPOSED CONSTRUCTION SHALL CONFORM TO CURRENT FDOT DESIGN STANDARDS AND FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
14. ALL STORM WATER PIPES SHALL HAVE A MINIMUM COVER OF 6". LIME ROCK BACKFILL SHALL BE USED IF PIPE UNDER PAVEMENT HAS LESS THAN 12" COVER.
15. POTABLE WATER TO BE SUPPLIED BY CITY OF LAKE CITY AND SANITARY SEWER TO BE SUPPLIED BY ON-SITE SEPTIC SYSTEM.
16. ALL SWALES, DEPRESSION AREAS AND RETENTION PONDS SHALL BE INSPECTED MONTHLY FOR SINKHOLE OCCURRENCE. SHOULD A SINKHOLE OCCUR, THE AREA SHOULD BE REPAIRED AS SOON AS POSSIBLE. IF A SOLUTION PIPE SINKHOLE FORMS WITHIN THE STORM WATER SYSTEM, THE SINKHOLE SHALL BE REPAIRED BY BACKFILLING WITH A LOW PERMEABILITY MATERIAL. A 2-FOOT CAP THAT EXTENDS 2 FEET BEYOND THE PERIMETER OF THE SINKHOLE SHALL BE CONSTRUCTED WITH CLAYEY SOILS. THE CLAYEY SOIL SHOULD HAVE AT LEAST 20% PASSING THE NUMBER 200 SIEVE, COMPACTED TO 95% OF STANDARD PROCTOR, AND COMPACTED IN A WET CONDITION WITH MOISTURE 2%-4% ABOVE OPTIMUM. THE CLAY SOIL CAP SHALL BE RE-GRADED TO PREVENT PONDING AND RE-VEGETATED.
17. CONTRACTOR SHALL CONTACT THE LAKE CITY REGIONAL UTILITY AUTHORITY (386.752.2031) PRIOR TO BEGINNING WORK TO COORDINATE INSPECTION OF UTILITY CONNECTIONS.



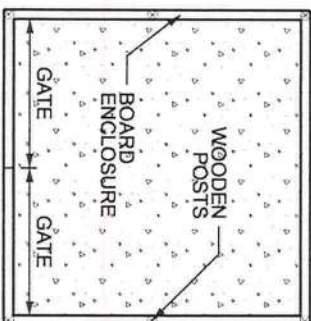
PRECAST CONCRETE WHEELSTOP DETAIL
NTS



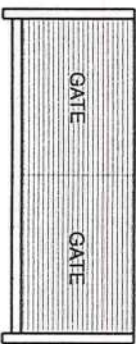
STANDARD SIDEWALK DETAIL
NTS



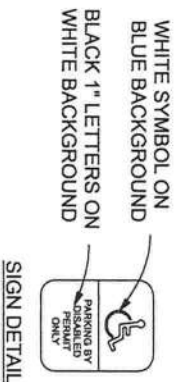
TYPICAL OFF-STREET PARKING DETAIL
NTS



PLAN VIEW



SECTION



SIGN DETAIL

- NOTES:
1. ALL ACCESSIBLE ROUTES SHALL MEET ADA STANDARDS FOR ACCESSIBLE DESIGN.
 2. ACCESS AISLE MAY BE PLACED ON RIGHT OR LEFT SIDE OF PARKING STALL.
 3. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED ACCESSIBLE PARKING SPACES.
 4. SIGN HEIGHT SHALL BE 7" FROM PAVEMENT TO BOTTOM OF SIGN.
 5. INTERNATIONAL SYMBOL OF ACCESS SHALL BE 3 - 5 FT HIGH AND BLUE IN COLOR.
 6. RAMP SHALL PROVIDE NON-SLIP FINISH AND HAVE A MAXIMUM SLOPE OF 1:12.
 7. PAINT EDGE OF SIDEWALK WITH CONTRASTING PAINT AT RAMP TRANSITION. 3" WIDTH ON TOP AND ON FACE OF TRANSITION.
 6. SEE SITE PLAN FOR ADDITIONAL PARKING SPACEL DIMENSIONS.

REVISIONS			
DATE	BY	DESCRIPTION	

CES

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Crews Engineering Services, LLC

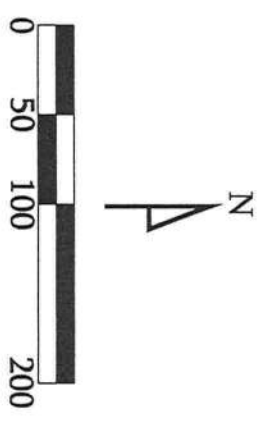
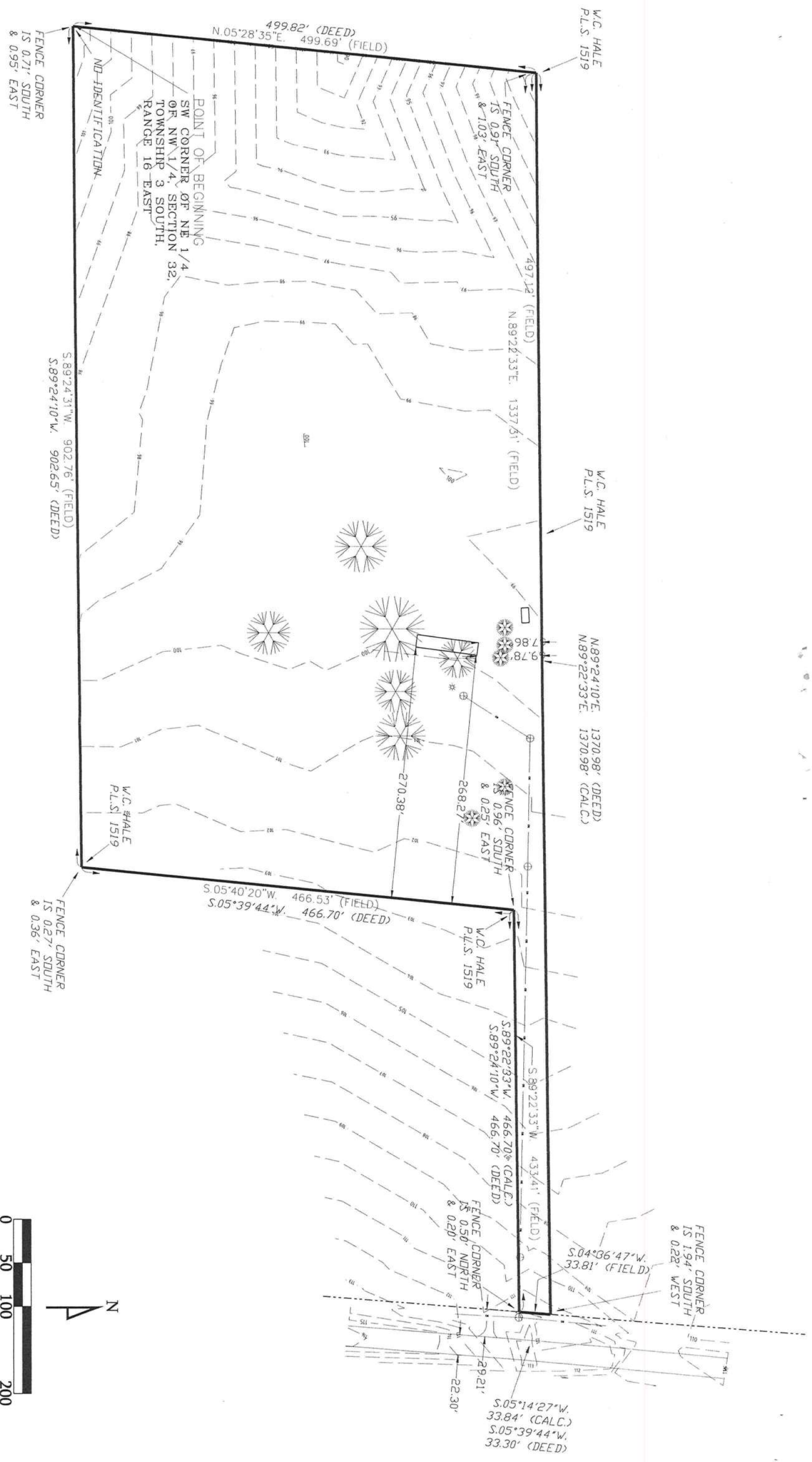
Brett A. Crews, P.E. 65592

DRAWN BY: BC
APPROVED BY: BC

**HART 2 HART
DAYCARE**

**GENERAL NOTES
AND DETAILS**

CES PROJECT NO.:
2008-027
SHEET:
1



REVISIONS			
DATE	BY	DESCRIPTION	

CES

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085


Brett A. Crews, P.E. 66592

DRAWN BY: BC

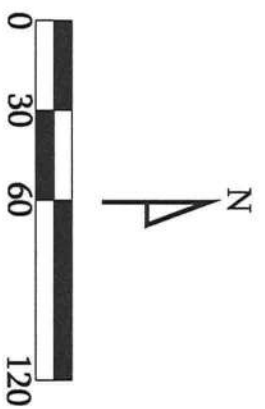
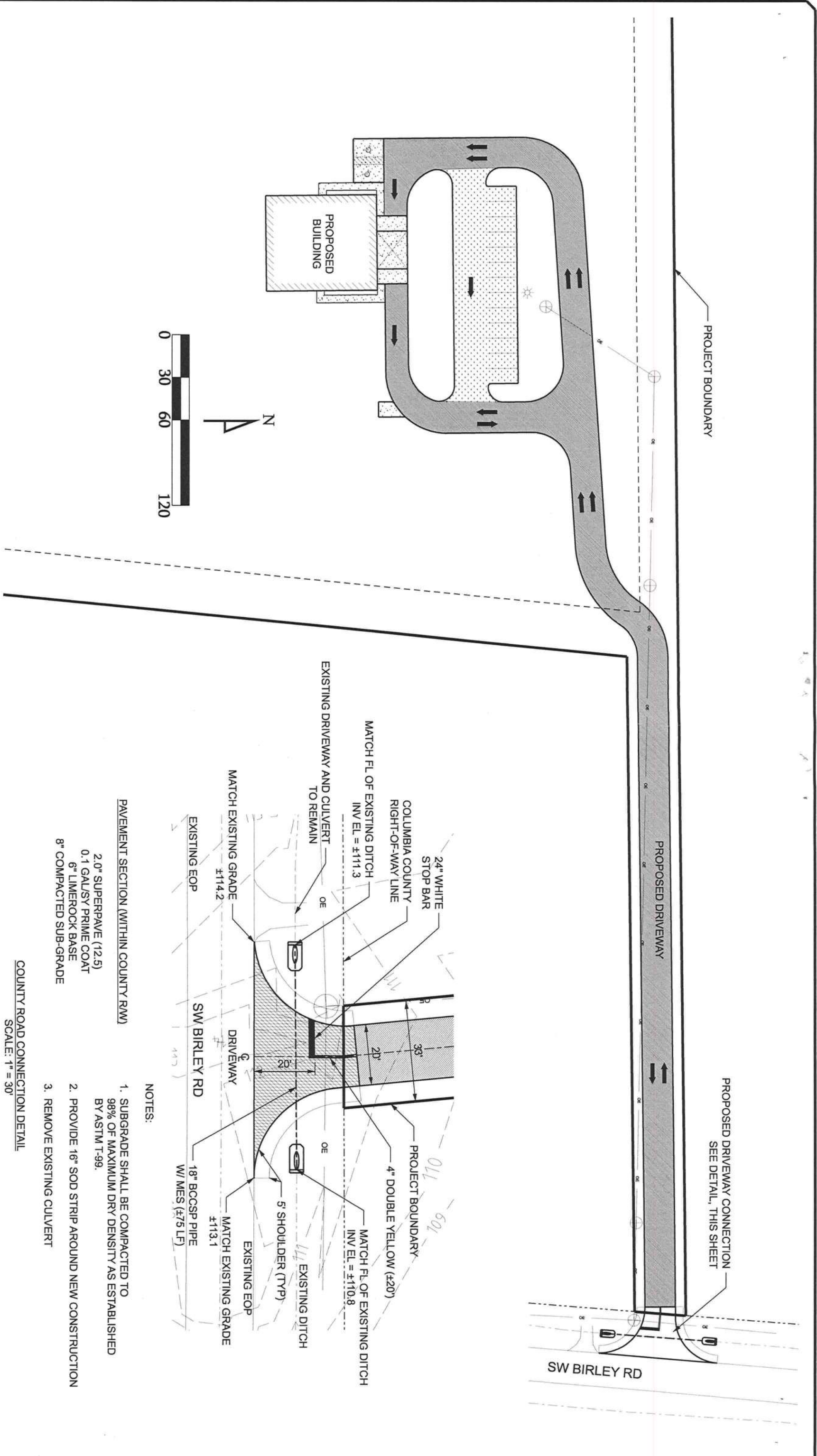
APPROVED BY: BC

HART 2 HART
DAYCARE

EXISTING CONDITIONS

CES PROJECT NO.: 2008-027

SHEET: 2



- PAVEMENT SECTION (WITHIN COUNTY RM)**
- 2.0" SUPERPAVE (12.5)
 - 0.1 GAL/SY PRIME COAT
 - 6" LIMEROCK BASE
 - 8" COMPACTED SUB-GRADE
- NOTES:**
- SUBGRADE SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY AS ESTABLISHED BY ASTM T-99.
 - PROVIDE 16" SOD STRIP AROUND NEW CONSTRUCTION
 - REMOVE EXISTING CULVERT

COUNTY ROAD CONNECTION DETAIL
SCALE: 1" = 30'

REVISIONS			
DATE	BY	DESCRIPTION	

CES

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Brett A. Crews
12-15-08

DRAWN BY: **BC**
APPROVED BY: **BC**

HART 2 HART DAYCARE

OVERALL SITE

CES PROJECT NO.: **2008-027**
SHEET: **3**

PROJECT BOUNDARY

63'

680'

FROM PROPERTY CORNER AT COUNTY R/W

25' BUILDING SETBACK

PROPERTY INFORMATION

PROJECT AREA: 10.66 ACRES

ZONING DISTRICT: AGRICULTURAL (A-3)

PROPOSED IMPERVIOUS AREA

BUILDING: 4600 SF

CONCRETE PAVEMENT: 2170 SF

FUTURE RECREATION AREA: 3000 SF

% IMPERVIOUS = 2.1%

REQUIRED PARKING: PROPOSED BUILDING

BUILDING AREA = 4600 SF

1 SPACE PER 300 SF = 4600 / 300 = 15 SPACES

ACCESSIBLE PARKING = 1 SPACE PER 25 STANDARD SPACES
= 15 / 25 = 1 ACCESSIBLE PARKING SPACES

AVAILABLE PARKING

13 STANDARD SPACES

2 ACCESSIBLE SPACES

15 TOTAL AVAILABLE SPACES

FLOOR AREA RATIO

FAR = 4600 SF / 464350 SF
= 0.01

LEGEND

EXISTING TREE TO REMAIN
LOCATIONS ARE APPROXIMATE ONLY
AND SHOULD BE VERIFIED IN THE FIELD
TREES SHALL BE PROTECTED FROM
DAMAGE DURING CONSTRUCTION

TRAFFIC FLOW

GRAVEL DRIVEWAY

GRASS PARKING AREA

AVAILABLE PARKING SPACES

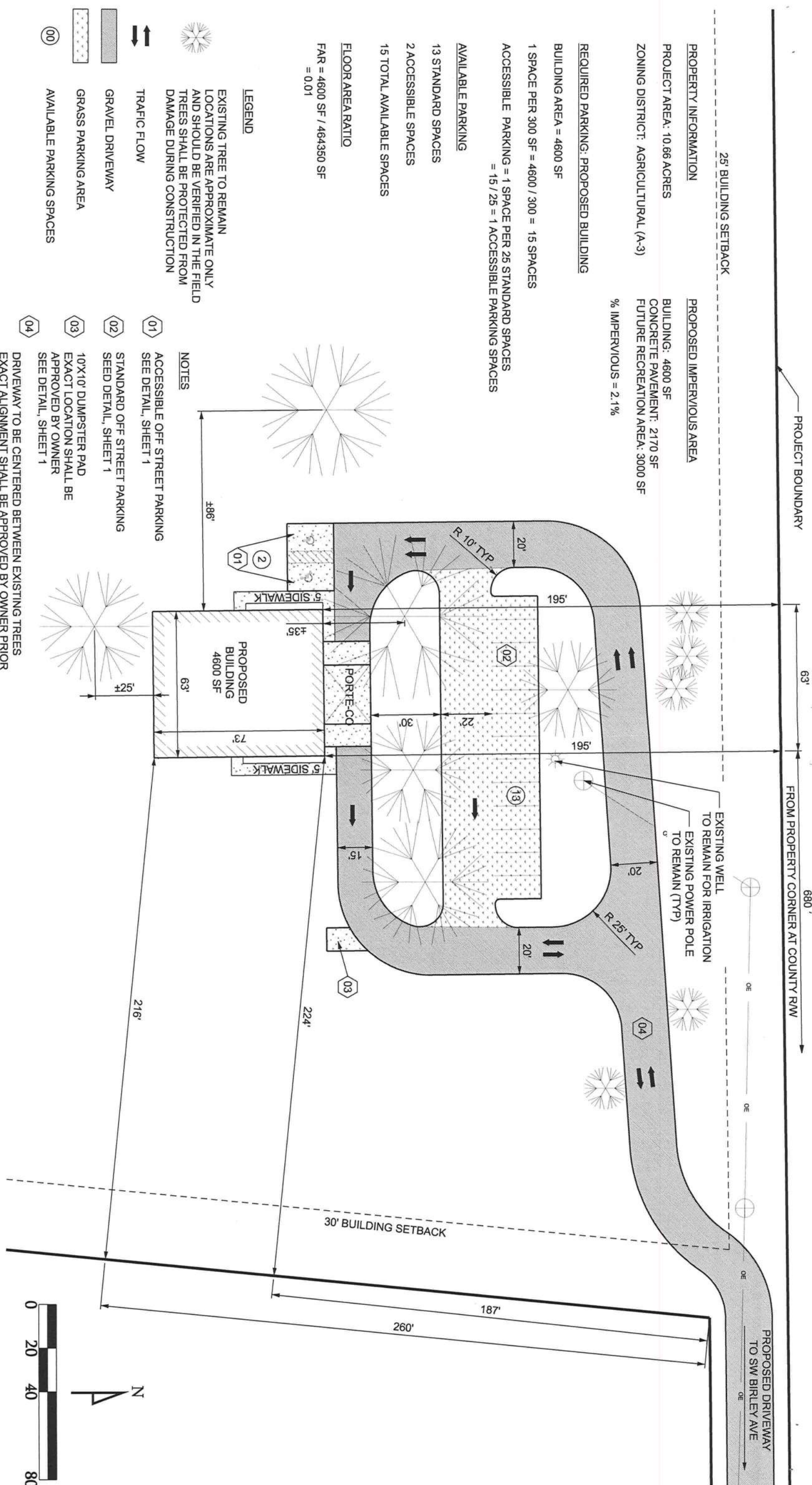
NOTES

01 ACCESSIBLE OFF STREET PARKING
SEE DETAIL, SHEET 1

02 STANDARD OFF STREET PARKING
SEED DETAIL, SHEET 1

03 10'X10' DUMPSTER PAD
EXACT LOCATION SHALL BE
APPROVED BY OWNER
SEE DETAIL, SHEET 1

04 DRIVEWAY TO BE CENTERED BETWEEN EXISTING TREES
EXACT ALIGNMENT SHALL BE APPROVED BY OWNER PRIOR
TO CONSTRUCTION



DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION

REVISIONS

DATE	BY	DESCRIPTION

CES

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Crews Engineering Services, LLC

Brett A. Crews
12-15-08

Brett A. Crews, P.E. 65592

DRAWN BY:

BC

APPROVED BY:

BC

**HART 2 HART
DAYCARE**

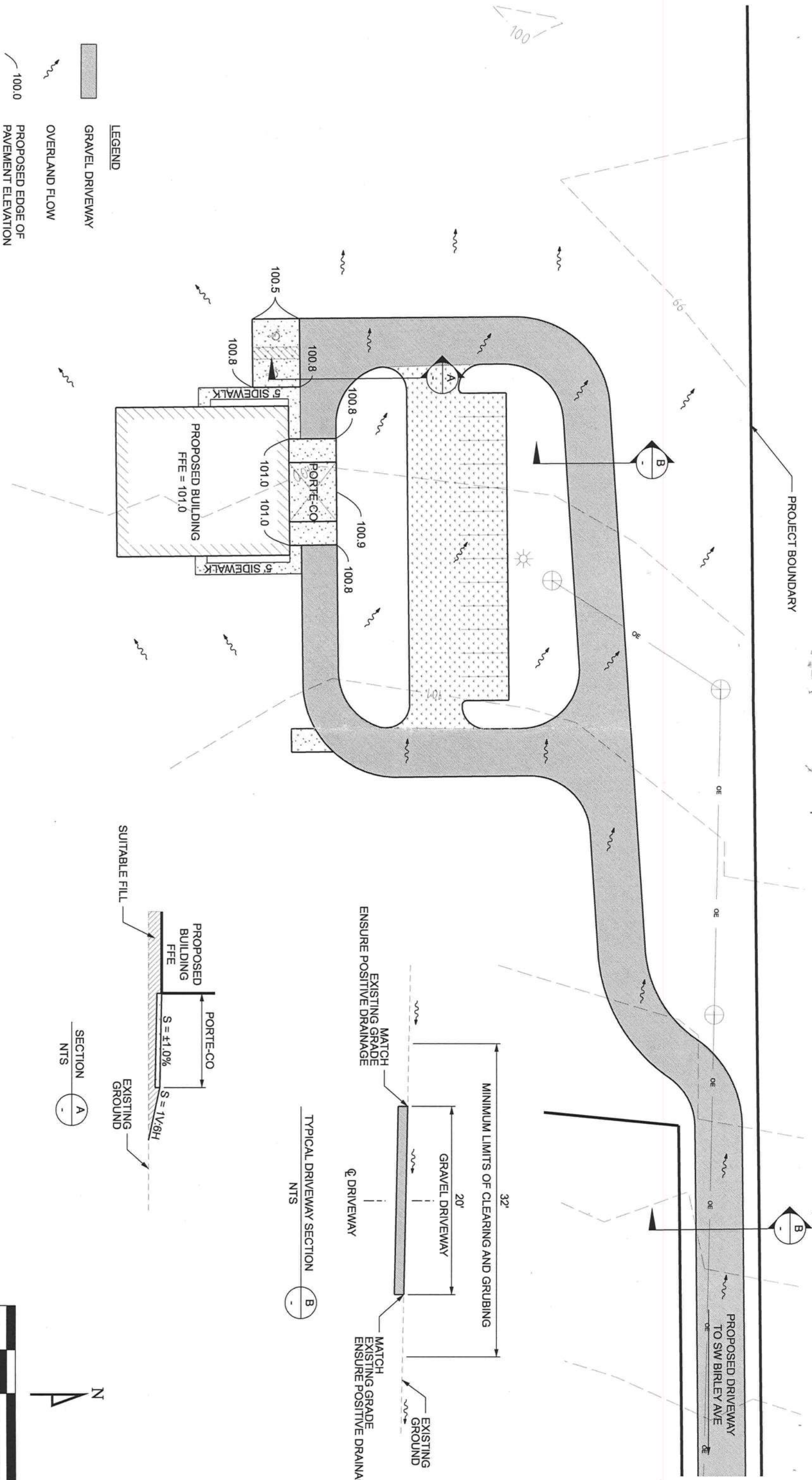
SITE

CES PROJECT NO.:

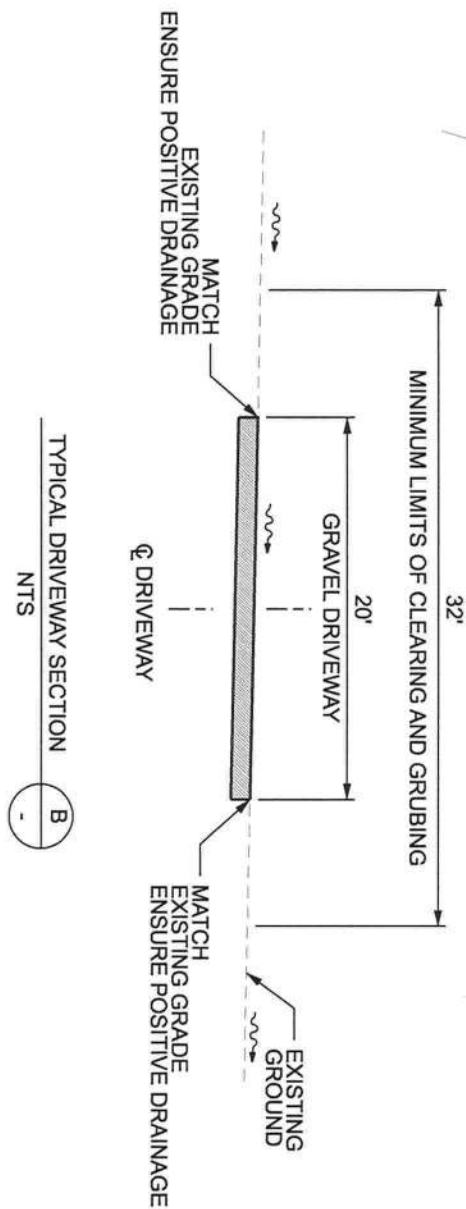
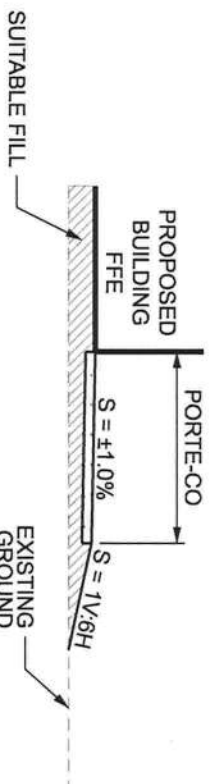
2008-027

SHEET:

4



- LEGEND**
- GRAVEL DRIVEWAY
 - OVERLAND FLOW
 - PROPOSED EDGE OF PAVEMENT ELEVATION



SECTION A
NTS

TYPICAL DRIVEWAY SECTION
NTS



DATE		BY		DESCRIPTION	

REVISIONS		DATE		BY		DESCRIPTION	

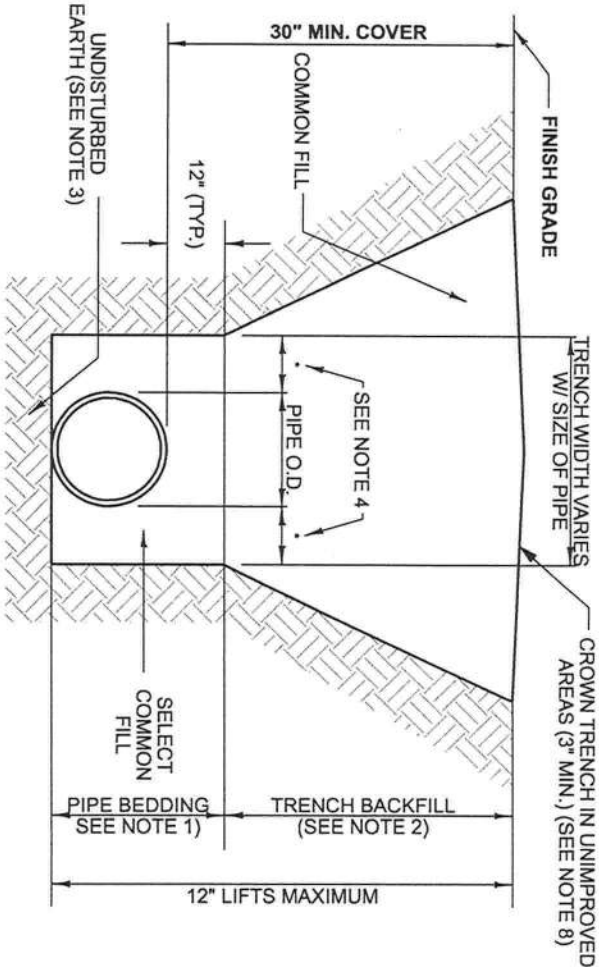
CES
Crews Engineering Services, LLC
P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

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HART 2 HART DAYCARE
GRADING AND DRAINAGE
SHEET: 5

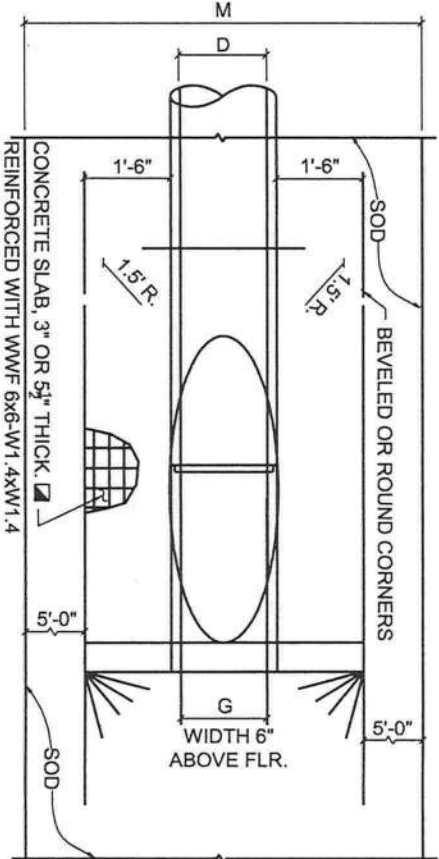
CES PROJECT NO.: 2008-027

DIMENSIONS AND QUANTITIES												
4d SLOPE	D	X	A	B	C	E	F	G	M	CONC. (cy)		CONC. (sy)
									SINGLE PIPE	N	SINGLE PIPE	SINGLE PIPE
15"	2'-7"	2.5'	3.09'	5.59'	3.0'	7'	1.23'	4.33'	1.04'		0.44	22
18"	2'-10"	2.5'	4.12'	6.62'	4.0'	8'	1.41'	4.58'	1.04'		0.49	24
24"	3'-5"	2.5'	6.18'	8.68'	6.0'	10'	1.73'	5.08'	1.04'		0.65	27

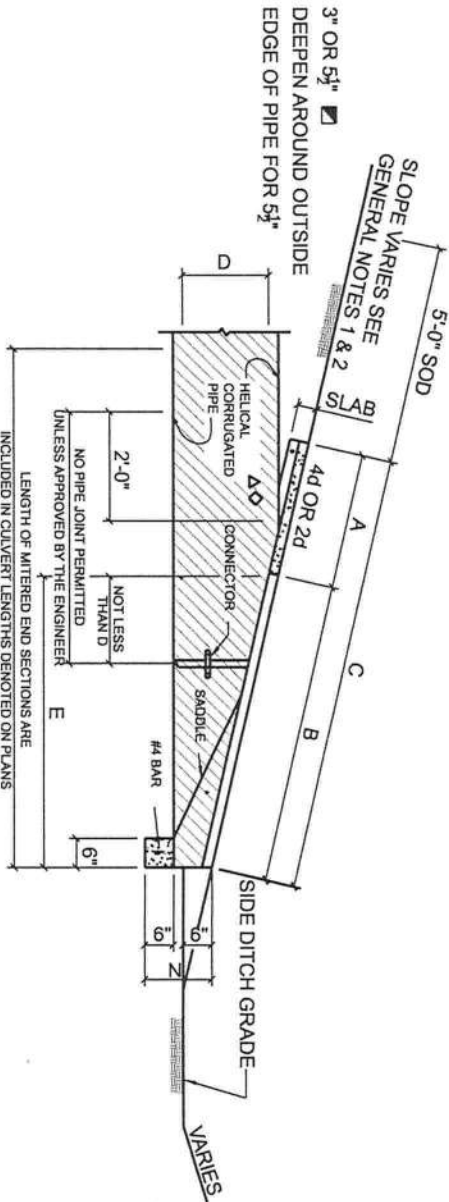


- NOTES:
1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
 3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
 4. (*) : 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
 5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
 6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
 8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.

TRENCH AND BACKFILL DETAIL
NTS



TOP VIEW - SINGLE PIPE



SECTION

- SLOPE: 4d MITER: TO C.L. PIPE FOR PIPES 16" AND SMALLER. 2d FOR PIPES 24" AND LARGER. 2d MITER: TO C.L. PIPE FOR PIPES 18" AND SMALLER. 1d FOR PIPES 24" AND LARGER.

CONCRETE MITERED END SECTION DETAIL
NTS

REVISIONS			
DATE	BY	DESCRIPTION	

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P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Crews Engineering Services, LLC

Brett A. Crews, P.E. 65592

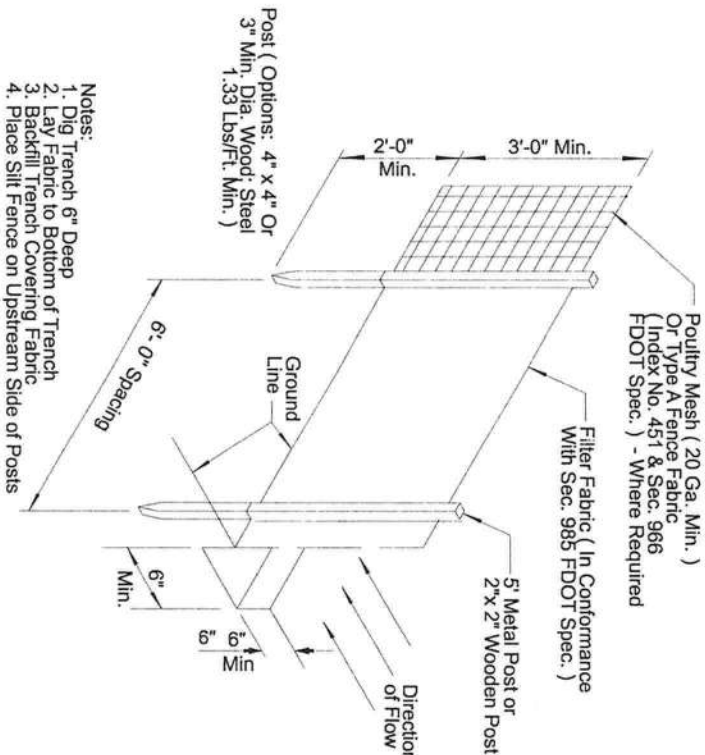
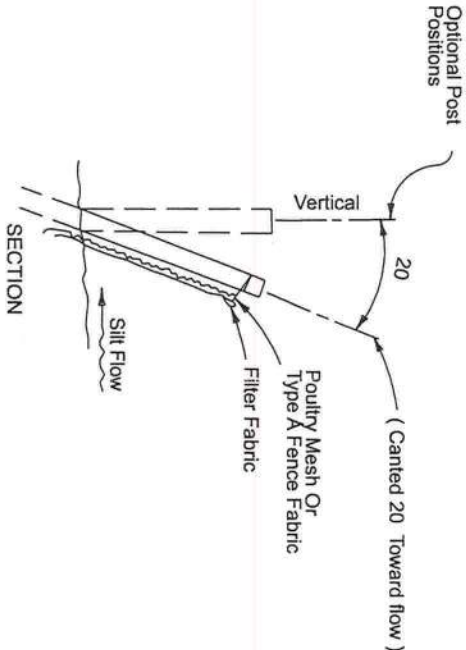
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**HART 2 HART
DAYCARE**
MISCELLANEOUS
NOTES AND DETAILS

CES PROJECT NO.: 2008-027
SHEET: 6

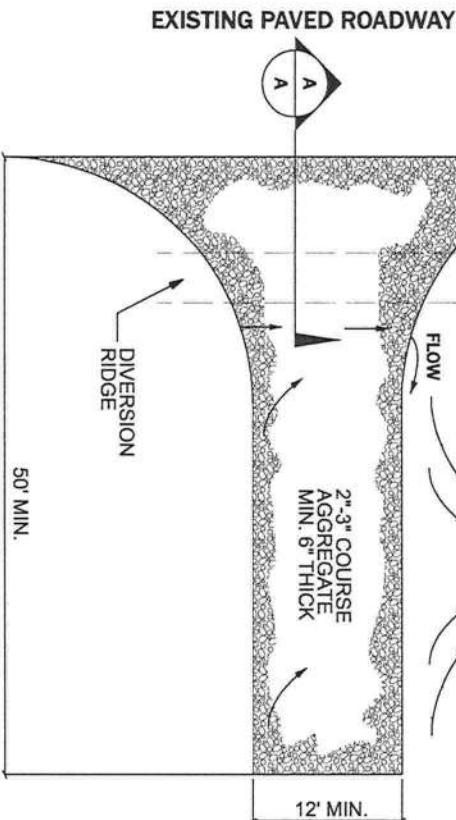
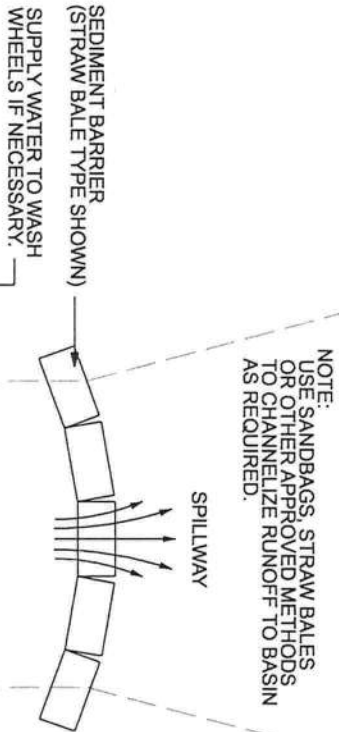
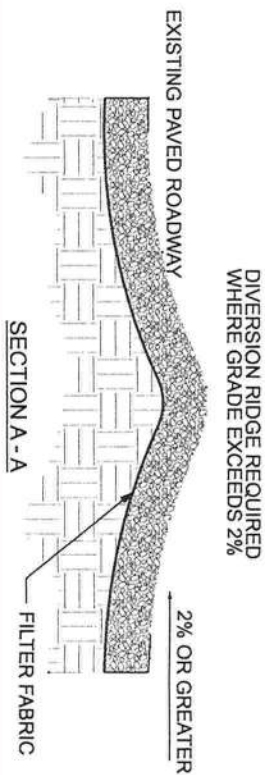
EROSION CONTROL NOTES

1. CONTRACTOR SHALL ADHERE TO EROSION AND SEDIMENT CONTROL REGULATIONS AS SET BY SRWMD AND OTHER GOVERNING AUTHORITIES.
2. SEDIMENT AND EROSION CONTROL PLAN AND STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ADDITIONAL MEASURES AS REQUIRED FOR PROPER EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHOULD USE BMPs IN THE FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL TO IMPLEMENT A PLAN THAT WILL WORK AND MEET ACTUAL FIELD CONDITIONS.
4. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
5. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED IMMEDIATELY AND RIP RAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
6. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
7. SILT FENCE SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO WITHIN ONE FOOT OF TOP OF SILT FENCE.
8. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
9. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS.
10. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY TO PREVENT EROSION.
11. ALL SLOPES GREATER THAN 4H:1V SHALL BE STABILIZED WITH SOD. STAPLE SOD SHALL BE USED ON SLOPES GREATER THAN 2H:1V.
12. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK-GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN THREE (3) DAYS.
14. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS AND EXCESS DIRT REMOVED DAILY.
15. THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE WATER QUALITY STANDARDS.
16. QUALIFIED PERSONNEL SHALL INSPECT THE STOCKPILE AREAS, SILT FENCE, CONSTRUCTION ENTRANCE, AND ALL DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS AFTER A STORM OF 0.5 INCHES OR GREATER. CORRECTIVE ACTIONS SHALL BE TAKEN IMMEDIATELY.
17. CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROLS DURING PROPOSED CONSTRUCTION.



TYPE IV SILT FENCE

AS COMPARED TO TYPE III SILT FENCE, TYPE IV FENCE HAS GREATER STRENGTH AND HEIGHT WHICH REDUCES THE POSSIBILITY OF SEDIMENT AND WATER FROM OVERTOPPING THE FENCE. AS A RESULT, AVOID USING TYPE IV FENCE IN AREAS WHERE THE DETAINED WATER WOULD BACK INTO TRAVEL LANES OR OFF THE RIGHT OF WAY.



PLAN

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NTS

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS ONTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

REVISIONS			
DATE	BY	DESCRIPTION	

Crews Engineering Services, LLC

P.O. BOX 970
LAKE CITY, FL 32056
PHONE: 386.754.4085

Brett A. Crews
12.15.08

Brett A. Crews, P.E. 65592

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APPROVED BY:	BC		EROSION CONTROL NOTES AND DETAILS	SHEET: