06/26/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000027912

APPLICANT CALVIN PATRICK PHONE 752-8597

ADDRESS 1141 SW CUMORAH HILL ST FT. WHITE FL 32038

OWNER CALVIN PATRICK PHONE 752-8597

ADDRESS 1171 SW CUMORAH HILL ST FT. WHITE FL 32038

CONTRACTOR SAME AS APPLICANT PHONE

LOCATION OF PROPERTY 441S, TR ON TUSTENUGGEE, TR CUMORAH HILL ST.,
1 MILE ON RIGHT (1141 CUMORAH HILL0 TO THE BACK

TYPE DEVELOPMENT SFD,UTILITY ESTIMATED COST OF CONSTRUCTION 93500.00

HEATED FLOOR AREA 1635.00 TOTAL AREA 1870.00 HEIGHT STORIES 1

FOUNDATION CONC WALLS FRAMED ROOF PITCH 12/12 FLOOR SLAB

LAND USE & ZONING A-3 MAX. HEIGHT

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 24-6S-16-03934-015 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 0.51

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor	
EXISTING	09-168	BK	RJ	
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, SEC.14.9, SPECIAL FAMILY LOT, NOC ON FILE

Check # or Cash 10177

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 470.00 CERTIFICATION FEE $ 9.35 SURCHARGE FEE $ 9.35

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ **TOTAL FEE** 563.70

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0905-36 Date Received 5/20/09 By G Permit # 27912

Zoning Official BLK Date 08.06.09 Flood Zone X Land Use A-3 Zoning A-3

FEMA Map # N/A Elevation N/A MFE 1st Ave Rd River N/A Plans Examiner [signature] Date 6/26/09

Comments Section 14.9 Special Family Lot Permit

☑ NOC ☑ EH ☑ Deed or PA ☑ Site Plan ☐ State Road Info ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS Fire Corr Road/Code

School = TOTAL Suspended existing well (shared)

Septic Permit No. 915777 Fax

Name Authorized Person Signing Permit Calvin Patrick Phone 386 752 8597

Address 1141 S.W. Cumorah Hill St Fort White, FL 32038

Owners Name Calvin Patrick Phone 386 752-8597

911 Address 1171 S.W. Cumorah Hill St Fort White FL 32038

Contractors Name N/A Phone

Address

Fee Simple Owner Name & Address

Bonding Co. Name & Address

Architect/Engineer Name & Address Mark Disosway P.O. Box 868 Lake City, FL 32056

Mortgage Lenders Name & Address N/A

Circle the correct power company – FL Power & Light – Clay Elec. – Suwannee Valley Elec. – Progress Energy

Property ID Number 24-65-16-03934-015 Estimated Cost of Construction $50,000

Subdivision Name Lot Block Unit Phase

Driving Directions South on SR 131 (Tustenuggie Rd) Rt on Cumorah Hill St. 1141 approx 1 mile on right

Number of Existing Dwellings on Property 0

Construction of Single family home Total Acreage .51 Lot Size 105 X 210

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 28'

Actual Distance of Structure from Property Lines - Front 75' Side 35' Side 41' Rear 93'

Number of Stories 2 Heated Floor Area 1635 Total Floor Area 1870 Roof Pitch 12:12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Lett message 6/26/09

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number_____
Columbia County
Competency Card Number_____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 20 **day of** May **20** 09.
Personally known_____ **or Produced Identification** Drivers Licens

State of Florida Notary Signature (For the Contractor)

SEAL: Lisa Huchingson
MY COMMISSION # DD607758
EXPIRES: October 23, 2010
(407)398-0153 FloridaNotaryService.com

COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Office: 386-758-1008 Fax: 386-758-2160

NOTARIZED DISCLOSURE STATEMENT
FOR OWNER/BUILDER WHEN ACTING AS THER OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed $75,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved for yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F .I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that if I am not physically doing the work or physically supervising free labor from friends or relatives, that I must hire licensed contractors, i.e. electrician, plumber, mechanical (heating & air conditioning), etc. I further understand that the violation of not physically doing the work, and the use of unlicensed contractors at the construction site, will cause the project to be shut down by the inspection staff of the Columbia County Building Department. Additionally, state statutes allows for additional penalties. I also understand that if this violation does occur, that in order for the job to proceed, I will have a licensed contractor come in and obtain a new permit as taking the job over. I understand that if I hire subcontractors under a contract price, that they must be licensed to work in Columbia County, i.e. masonry, drywall, carpentry. Contractors licensed by the Columbia County Contractor Licensing Section or the State of Florida are required to have worker's compensation and liability coverage.

TYPE OF CONSTRUCTION

(X) Single Family Dwelling ( ) Two-Family Residence ( ) Farm Outbuilding
( ) Other_____ ( ) Addition, Alteration, Modification or other Improvement

I Calvin Patrick, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building
Permit Number _____

Owner Builder Signature 5/20/09 Date

FLORIDA NOTARY
The above signer is personally known to me or produced identification DL
Notary Signature Gale Tedder Date 5/20/09

GALE TEDDER
MY COMMISSION # DD 805686
EXPIRES: July 14, 2012
Bonded Thru Notary Public Underwriters

FOR BUILDING DEPARTMENT USE ONLY
I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7). Date_____ Building Official/Representative_____

Columbia County, Florida
Planning & Zoning Department

Review of Building Permit for compliance with County's Comprehensive Plan and Land Development Regulations

2 June 2009

Calvin Patrick
1141 SW Cumorah Hill Street
Ft. White FL 32038

RE: Building Permit Application 0905-36

Dear Mr. Patrick:

The above referenced building permit property is located within an Agriculture-3 (A-3) zoning district. This zoning district requires a minimum of five (5) acres for one (1) dwelling unit. Under the County's Land Development Regulations (LDR's), a Special Family Lot Permit can be issued to a family member being, brother, sister, parent, grandparent, child, adopted child or grandchild for less than the required density of five (5) acres for one (1) dwelling unit. In order for a building permit to be issued, a family relationship affidavit has to be completed confirming the family relationship. Please find enclosed a family relationship affidavit which has to be completed by the family members, witnessed by a Notary and the original returned to this office.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.754.7119.

Sincerely,

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

Enclosure

CALVIN S PATRICK
1141 SW CUMORAH HILL ST
FORT WHITE, FL 32038

City/State/Zip Code:

Inst:200912001452 Date:1/30/2009 Time:3:07 PM
Doc Stamp-Deed:0.70
$4 DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1166 P:808

Space above this line for Recorder's use

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS:

That I(we), Calvin S. Patrick and Euphrosina L. Patrick, the undersigned, for the consideration of Ten Dollars ($10.00), and other valuable considerations, do hereby release, remise, and forever quitclaim unto Calvin S Patrick II and Marilyn I Patrick (his wife), all right, title and interest in that certain Property situated in Columbia County, State of Florida, and described as follows:

See Attachment "A"

IN WITNESS WHEREOF, I(we) have hereunto set my(our) hand(s) and seal this 30 day of January, 2009.

Calvin S Patrick
Printed Name of Releasor

Calvin S Patrick
Signature of Releasor

Euphrosina L Patrick
Printed Name of Releasor

Euphrosina L Patrick
Signature of Releasor

Sheena L. Allison
Printed Name of Witness (if required by State Laws)

Sheena L Allison
Signature of Witness (if required by State Laws)

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ACKNOWLEDGMENT
(States Other Than California)

State of Florida)
) ss.
County of Columbia)

On this 30th day of January, 2009, before me, the undersigned Notary Public, personally appeared Calvin S. Patrick and Euphrosina L. Patrick, known to me to be the individual(s) who executed the foregoing instrument and acknowledged the same to be his(her)(their) free act and deed.

My Commission Expires: 08-03-2009

Angela Cox
Notary Public

If acknowledged in the State of Florida, complete section(s) below:

Notary Public State of Florida
Angela Cox
My Commission DD457836
Expires 08/03/2009

(Releasor) ☐ Personally Known (or) ☒ Produced Identification

If applicable, Type of Identification Produced: FL DL
P362 117 35 0180

(Co-Releasor) ☐ Personally Known (or) ☒ Produced Identification

If applicable, Type of Identification Produced: FL DL
P362 200 35 9570

ACKNOWLEDGMENT
(State Of California)

State of California)
) ss.
County of _____)

On this _____ day of _____, _____, before me, _____, the undersigned Notary Public, personally appeared, _____, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is(are) subscribed to the attached instrument and acknowledged to me that he(she)(they) executed the same in his(her)(their) authorized capacity(ies), and that by his(her)(their) signature(s) on the instrument, the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

_____
Notary Public

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(722573-64066) (ISBN 1-57164-066-5)

DESCRIPTION: PARCEL "A"
PART OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT A 5/8" IRON ROD, LB 6685, MARKING THE NE CORNER OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.89 DEGREES 59'50"W., ALONG THE NORTH LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 451.26 FEET TO A 5/8" IRON ROD, LS 4708, AND THE POINT OF BEGINNING; THENCE CONTINUE S.89 DEGREES 59'50"W., 105.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE S.00 DEGREES 00'18"W., PARALLEL TO THE WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 210.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.88 DEGREES 59'50"E., 105.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.00 DEGREES 00'18"E., 105.00 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 0.51 ACRES, MORE OR LESS.

TOGETHER WITH A 30 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:
PART OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT A 5/8" IRON ROD, LB 6685, MARKING THE NE CORNER OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.89 DEGREES 59'50"W., ALONG THE NORTH LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 451.26 FEET TO A 5/8" IRON ROD, LS 4708; THENCE S.00 DEGREES 00'18"W., PARALLEL TO THE WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 210.00 FEET TO A 5/8" IRON ROD, LS 4708 AND THE POINT OF BEGINNING; THENCE S.88 DEGREES 59'50"W., 210.00 FEET TO A 5/8" IRON ROD, LS 4708, SET ON THE MONUMENTED WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ ; THENCE S.00 DEGREES 00'18"W. ALONG SAID WEST LINE, 423.01 FEET TO THE MONUMENTED NORTH R/W LINE OF SW CUMORAH STREET AS PRESENTLY ESTABLISHED; THENCE N.89 DEGREES 00'41"E., ALONG SAID RIGHT-OF-WAY LINE, 30.00 FEET; THENCE N.00 DEGREES 00'18"E., PARALLEL TO THE AFOREMENTIONED WEST LINE, 393.01 FEET; THENCE N.88 DEGREES 59'50"W., 180.00 FEET; THENCE N.00 DEGREES 00'18"E., 30.00 FEET TO THE POINT OF BEGINNING.

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 5/7/2009 **DATE ISSUED:** 5/17/2009

ENHANCED 9-1-1 ADDRESS:

1171 SW CUMORAH HILL ST

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

24-6S-16-03934-015

Remarks:

Address Issued By: _____

Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1439

AFFIDAVIT OF SUBDIVIDED REAL PROPERTY
FOR USE OF IMMEDIATE FAMILY MEMBERS
FOR PRIMARY RESIDENCE

STATE OF FLORIDA
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

CALVIN SAMUEL PATRICK, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and CALVIN SAMUEL PATRICK II, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as HIS SON, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.

2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 24 - 6S - 16 - 03934 - 008.

3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least ½ acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.

4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel No. 24 - 6S - 16 - 03934 - 015.

5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.

6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.

Owner

Family Member

CALVIN S. PATRICK

Typed or Printed Name

Calvin S. Patrick II

Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 8 day of June, 2009, by CALVIN SCALAN PATRICK (Owner) who is personally known to me or has produced _____ as identification.

Notary Public

CHARLENE N. PITMAN
MY COMMISSION EXPIRES
August 16, 2010
#DD 541568
Bonded thru Notary Public Underwriters
NOTARY PUBLIC, STATE OF FLORIDA

Subscribed and sworn to (or affirmed) before me this 8 day of June, 2009, by CALVIN S PATRICK II (Family Member) who is personally known to me or has produced _____ as identification.

Notary Public

CHARLENE N. PITMAN
MY COMMISSION EXPIRES
August 16, 2010
#DD 541568
Bonded thru Notary Public Underwriters
NOTARY PUBLIC, STATE OF FLORIDA

550 078-926-397
S/B/C 03/23 09-0168

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 915777
DATE PAID: 3/19/09
FEE PAID: 425.00
RECEIPT #: 1105772

FW

APPLICATION FOR:
[X] New System [ ] Existing System [ ] Holding Tank [ ] Innovative
[ ] Repair [ ] Abandonment [ ] Temporary [ ]

APPLICANT: Calvin Patrick II 386-752-859

AGENT: Felton Howard TELEPHONE: 3869357518

MAILING ADDRESS: PO Box 180 Branford FL 32008

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: N/A PLATTED: N/A

PROPERTY ID #: 24-68-16-03934-015 ZONING: A I/M OR EQUIVALENT: [Y / N]

PROPERY SIZE: 5 ACRES WATER SUPPLY: [X] PRIVATE PUBLIC [ ]<=2000GPD [ ]>2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / N] DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 1141 SW Lumorah hill St, Ft White FL 32038

DIRECTIONS TO PROPERTY: S 47 TL on 240 TR on Justenugge, TR on Lumorah Hill St

BUILDING INFORMATION [X] RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF	3	1400	
2				
3				
4				

[ ] Floor/Equipment Drains [ ] Other (Specify)

SIGNATURE: Felton D. Howard DATE: 3/18/09

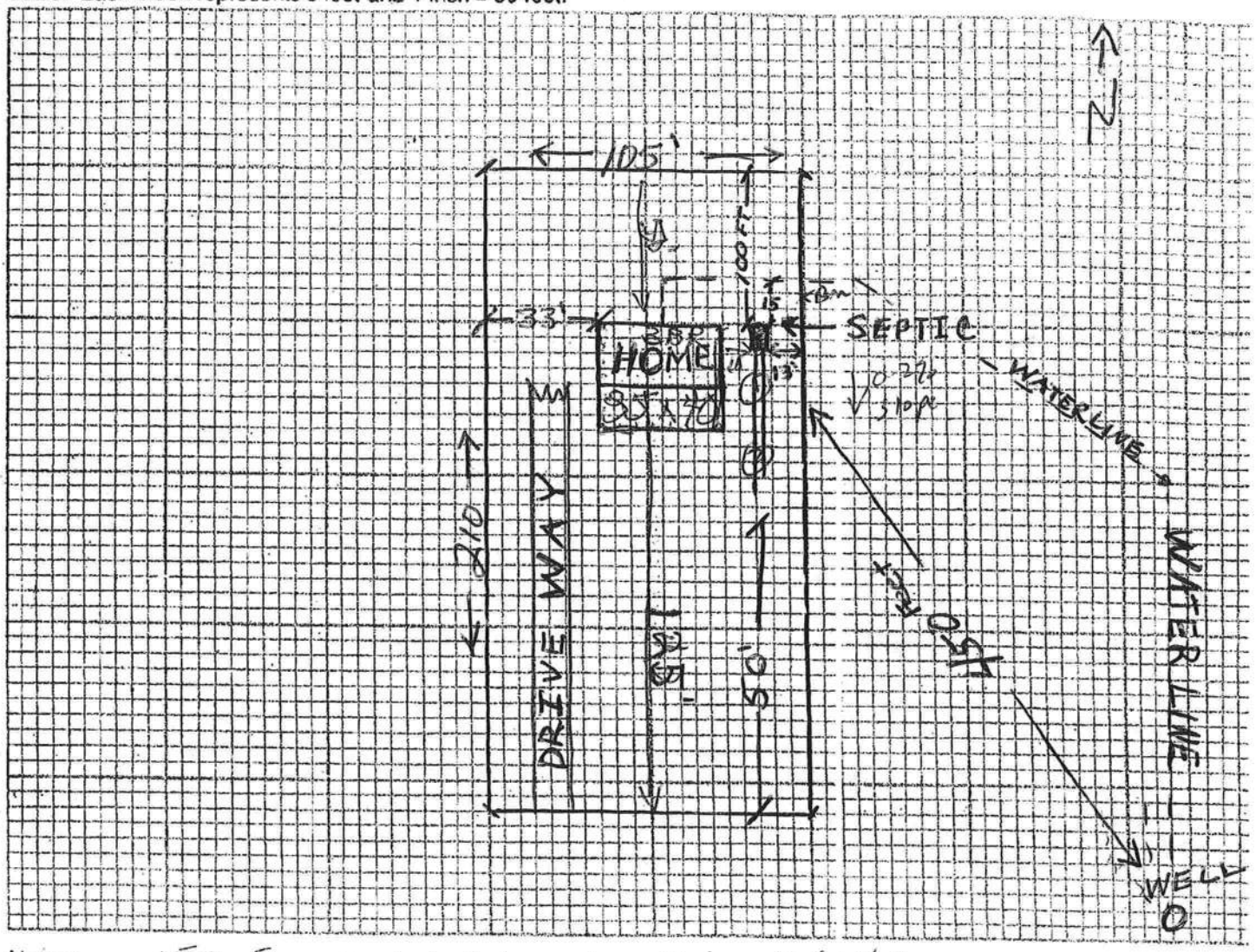
STATE OF FLORIDA
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0168

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: E.Z. Flow product being used will be 40'x45' line

Site Plan submitted by: Felton C. Hand
Signature

agent
Title

Plan Approved ✓ Not Approved _____ Date 3/18/09

By [signature] Columbia County Health Departr

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

DH 4015, 10/98 (Replaces HRS-H Form 4015 which may be used)
(Stock Number: 5744-002-4015-8)

09-0168

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
CONSTRUCTION PERMIT

PERMIT NO. 915777
DATE PAID: 3/19/08
FEE PAID: 425 00
RECEIPT #: 1105792

CONSTRUCTION PERMIT FOR:
[X] New System [ ] Existing System [ ] Holding Tank [ ] Innovative
[ ] Repair [ ] Abandonment [ ] Temporary [ ] _____

APPLICANT: Calvin Patrick II

PROPERTY ADDRESS: 1141 SW Cumorah Hills St.

LOT: N/A BLOCK: N/A SUBDIVISION: N/A

PROPERTY ID #: 24-65-16-03534-015 [SECTION, TOWNSHIP, RANGE, PARCEL NUMBER] [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF SECTION 381.0065 F.S., AND CHAPTER 64E-6, F.A.C. DEPARTMENT APPROVAL OF SYSTEM DOES NOT GUARANTEE SAFTISFACTOR PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS, WHICH SERVED AS BASIS FOR ISSUANCE OF THIS PERMIT, REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID. ISSUANCE OF THIS PERMI DOES NOT EXEMPT THE APPLICANT FROM COMPLIANCE WITH OTHER FEDERAL, STATE, OR LOCAL PERMITTIN REQUIRED FOR DEVELOPMENT OF THIS PROPERTY.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] GALLONS / GPD SEPTIC TANK/AEROBIC UNIT CAPACITY MULTI-CHAMBERED/IN-SERIES [X
A [–] GALLONS / GPD _____ CAPACITY MULTI-CHAMBERED/IN-SERIES [
N [–] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS
K [–] GALLONS DOSING TANK CAPACITY [ ] GALLONS @ [ ] DOSES PER 24 HRS # PUMPS [

D [334] SQUARE FEET PRIMARY DRAINFIELD SYSTEM
R [–] SQUARE FEET _____ SYSTEM
A TYPE SYSTEM: [X] STANARD [ ] FILLED [ ] MOUND [ ] _____
I CONFIGURATION: [X] TRENCH [ ] BED [ ] _____
N
F LOCATION OF BENCHMARK: Nail in Fence Post adjacent to hole #1
I ELEVATION OF PROPOSED SYSTEM SITE [24] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POIN
E BOTTOM OF DRAINFIELD TO BE ≤ [48] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POIN
L
D FILL REQUIRED: [N/A] INCHES EXCAVATION REQUIRED: [N/A] INCHES

O _____
T _____
H _____
E _____
R _____

SPECIFICATIONS BY: Mark A Zander TITLE: Env. Manager

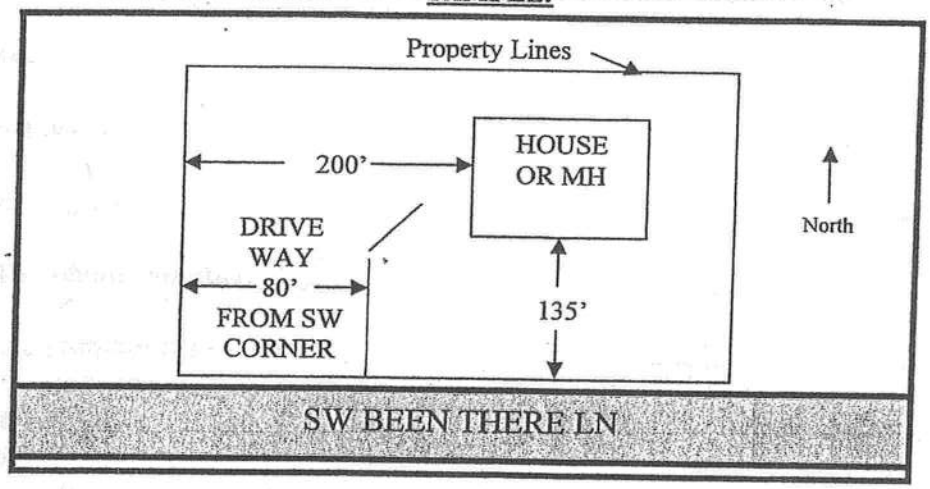
APPROVED BY: Mark A Zander TITLE: Env. Manager _____ CE

DATE ISSUED: 3-31-09 EXPIRATION DATE: 10-1-09

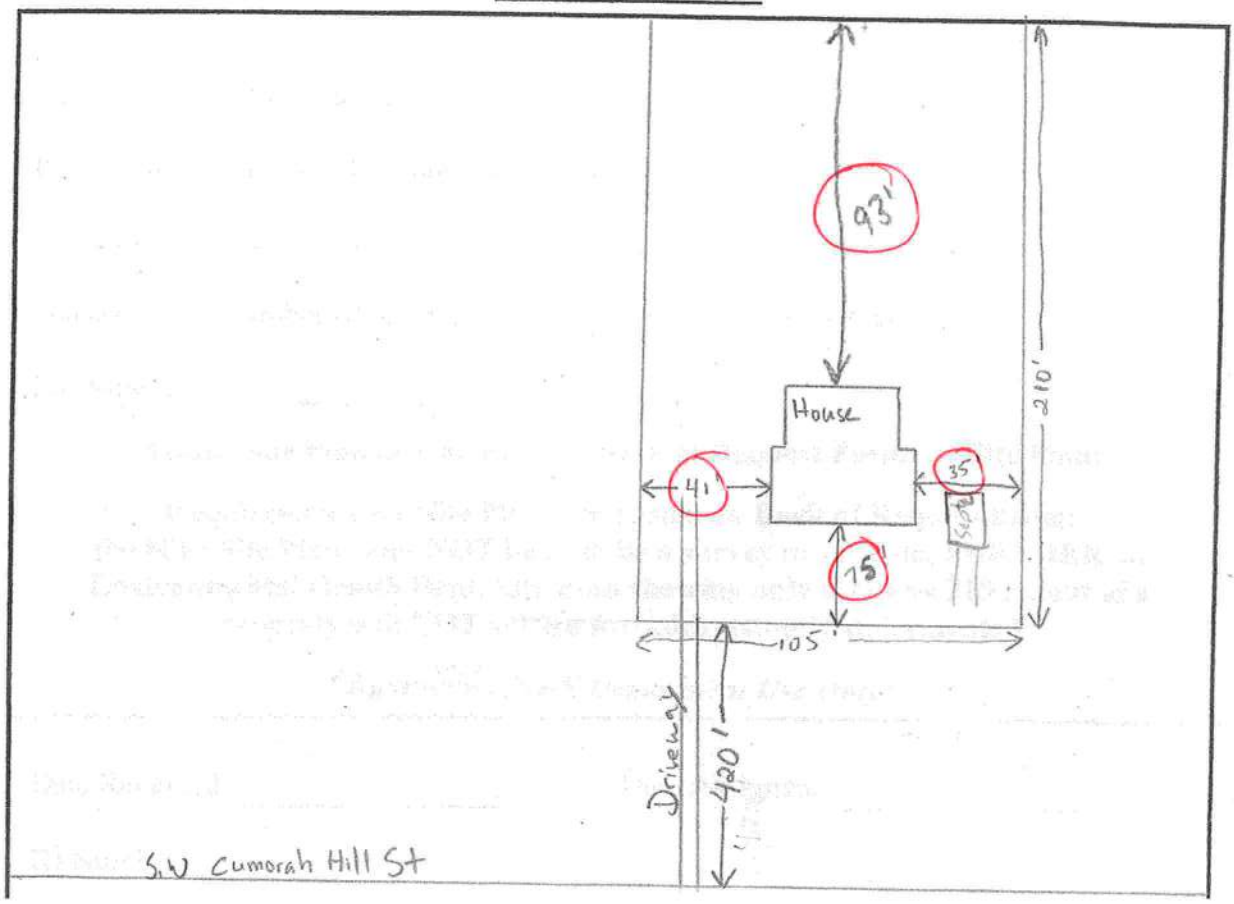
pt. 1: Health Department
pt. 2: Applicant
pt. 3: Installer/Contractor

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



Inst:200912008232 Date:5/20/2009 Time:10:40 AM
DC,P.DeWitt Cason,Columbia County Page 1 of 2 B:1173 P:1150

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 24-6S-16-03934-015

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property *(legal description)*: See Exhibit "A"
   a) Street *(job)* Address: 1171 S.W. Cumorah Hill St Ft. White FL 32038
2. General description of improvements: New house construction
3. Owner Information
   a) Name and address: Calvin & Marilyn Patrick 1171 S.W. Cumorah Hill St Ft. White 32038
   b) Name and address of fee simple titleholder (if other than owner) _____
   c) Interest in property _____
4. Contractor Information
   a) Name and address: N/A Calvin Patrick 1171 S.W. Cumorah Hill St Ft. White, FL 32038
   b) Telephone No.: _____ Fax No. (Opt.) _____
5. Surety Information
   a) Name and address
   b) Amount of Bond: N/A
   c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
   a) Name and address: N/A
   b) Phone No. _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served
   a) Name and address: N/A
   b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:
   a) Name and address: _____
   b) Telephone No. _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement **(the expiration date is one year from the date of recording unless a different date is specified)**: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. _____
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Calvin S. Patrick
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 20 day of May, 20 09, by: Calvin Pat as _____ **(type of authority, e.g. officer, trustee, attorney fact) for** Calvin Patrick **(name of party on behalf of whom instrument was executed).**

Personally Known ____ OR Produced Identification X Type Drivers License

Notary Signature Lisa Huchingson Notary Stamp or Seal:

—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief

_____
Signature of Natural Person Signing (in line #10 above.)

Lisa Huchingson
MY COMMISSION # DD607758
EXPIRES: October 23, 2010
(407)398-0153 FloridaNotaryService.com

BOUNDARY SURVEY
IN SECTION 24,
TOWNSHIP 6 SOUTH,
RANGE 16 EAST.
COLUMBIA COUNTY, FLA.

NE CORNER OF THE SE 1/4 OF NE 1/4 AS MONUMENTED.

Exhibit - A

NOT A PART.

DESCRIPTION: PARCEL "A"
PART OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT A 5/8" IRON ROD, LB 6685, MARKING THE NE CORNER OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.89 DEGREES 59'50"W., ALONG THE NORTH LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ ; A DISTANCE OF 451.26 FEET TO A 5/8" IRON ROD, LS 4708, AND THE POINT OF BEGINNING; THENCE CONTINUE S.89 DEGREES 59'50"W., 105.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE S.00 DEGREES 00'18"W., PARALLEL TO THE WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 210.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.88 DEGREES 59'50"E., 105.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.00 DEGREES 00'18"E., 105.00 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 0.51 ACRES, MORE OR LESS.

EAST LINE OF THE NORTH 1/2 OF THE EAST 1/2 OF THE SE 1/4 OF NE 1/4 AS MONUMENTED. BASE OF BEARINGS.

TOGETHER WITH A 30 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:
PART OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT A 5/8" IRON ROD, LB 6685, MARKING THE NE CORNER OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.89 DEGREES 59'50"W., ALONG THE NORTH LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 451.26 FEET TO A 5/8" IRON ROD, LS 4708; THENCE S.00 DEGREES 00'18"W., PARALLEL TO THE WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 210.00 FEET TO A 5/8" IRON ROD, LS 4708 AND THE POINT OF BEGINNING; THENCE S.88 DEGREES 59'50"W., 210.00 FEET TO A 5/8" IRON ROD, LS 4708, SET ON THE MONUMENTED WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ ; THENCE S.00 DEGREES 00'18"W. ALONG SAID WEST LINE, 423.01 FEET TO THE MONUMENTED NORTH R/W LINE OF SW CUMORAH STREET AS PRESENTLY ESTABLISHED; THENCE N.89 DEGREES 00'41"E., ALONG SAID RIGHT-OF-WAY LINE, 30.00 FEET; THENCE N.00 DEGREES 00'18"E., PARALLEL TO THE AFOREMENTIONED WEST LINE, 393.01 FEET; THENCE N.88 DEGREES 59'50"W., 180.00 FEET; THENCE N.00 DEGREES 00'18"E., 30.00 FEET TO THE POINT OF BEGINNING.

SOUTH 663.18' FIELD

NOT A PART.

DESCRIPTION: PARCEL "B"
PART OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCE AT A 5/8" IRON ROD, LB 6685, MARKING THE NE CORNER OF THE SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ OF SECTION 24, TOWNSHIP 6 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.89 DEGREES 59'50"W., ALONG THE NORTH LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 451.26 FEET TO A 5/8" IRON ROD, LS 4708; THENCE CONTINUE S.89 DEGREES 59'50"W., 105.00 FEET TO A 5/8" IRON ROD, LS 4708, AND THE POINT OF BEGINNING; THENCE CONTINUE S.89 DEGREES 59'50"W., 105.00 FEET TO A 5/8" IRON ROD, LB 6685, MARKING THE NE CORNER OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼; THENCE S.00 DEGREES 00'18"W., ALONG THE WEST LINE OF SAID SOUTH ½ OF THE EAST ½ OF THE SE ¼ OF THE NE ¼ , A DISTANCE OF 210.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.88 DEGREES 59'50"E., 105.00 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.00 DEGREES 00'18"E., 105.00 FEET TO THE POINT OF BEGINNING.
PARCEL CONTAINS 0.51 ACRES, MORE OR LESS.

20.00'

TOGETHER WITH A 30 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:

09-05-36

ROSS CHAPIN ARCHITECTS
Post Office Box 230 • 195 Second Street • Langley, Washington 98260
Ph: (360) 221 2373 • Fx: (360) 221 8603 • Em: inquiry@rosschapin.com

March 31, 2009

Calvin Patrick
1141 SW Cumorah Hill St.
Fort White, FL 32038

Re: Plumrose House

Dear Calvin,

Thank you for your purchase of the Plumrose house plans. Enclosed you will find the set of plans, a project manual, a printed copy of your license agreement and disclaimers, and a copy of your sales receipt. Please note that you will see our GoodFit logo on your plans, GoodFit being a division of Ross Chapin Architects. It is our experience that it is preferable not to have the word architect on building plans when seeking approval from local jurisdictions. Please note that you will need to have the plans engineered for your building site.

I hope it goes well with the construction of your home. Please let us know how it all works out for you. Down the road, if you are willing to share some photos of your new home, we'd love to see them.

Warm regards,

Debbie Loudon

Debbie Loudon
GoodFit Stock House Plans
Ross Chapin Architects
debbie@rosschapin.com

Encl: Sales Receipt
1 Set Construction Drawings
Project Manual
License and Disclaimer Agreement

Subject: RE: Patrick - Plumrose house plan/license agreement
Date: Monday, March 30, 2009 1:57 PM
From: Calvin Patrick <vonbek2000@hotmail.com>
To: Debbie Loudon <Debbie@RossChapin.com>

I accepted the agreement below. I look forward to viewing the pictures, thank you for taking the time to gather them. My wife will be very excited I'm sure.

Best Regards,
Calvin

Date: Mon, 30 Mar 2009 13:13:32 -0700
Subject: Patrick - Plumrose house plan/license agreement
From: Debbie@RossChapin.com
To: vonbek2000@hotmail.com

Patrick - Plumrose house plan/license agreement Hello again, Calvin. Thank you for your call this morning and order of the Plumrose House plans. You are going to love the PDF I attached with photos of the Plumrose. I found quite a few for you.

Because you ordered by phone, I am emailing you our license agreement. Please look it over and following the red type below the agreement, type in "I, Calvin Patrick, accept these terms." Please return your acceptance by email to me ASAP. When I get this agreement back, I will get the plans printed up and mailed out to you.

GoodFit Plans
a Division of Ross Chapin Architects

License Agreement

Grant of License: In consideration of payment for these construction documents, Ross Chapin Architects (RCA) grants you, the Licensee, a nonexclusive right to use and to construct ONE structure from these documents. Additional licenses may be obtained by contacting the RCA office. RCA reserves all rights not expressly granted to Licensee.

Copies: One plan copy provided. Your license agreement allows you to copy additional sets as needed for your project.

responsibility to ensure that construction conforms to these plans, nor has any responsibility for construction means, methods, techniques, sequences, procedures or safety precautions in connection with the work.

5) RCA retains ownership of the construction documents and all subsequent copies of the works regardless of the form of the original and other copies. This is not a sale of the original documents whatsoever.

6) These drawings and specifications are copyrighted. Unauthorized copying of these documents is expressly forbidden. The Licensee is granted the right to make copies as needed for the construction of one (1) building per plan purchase. Any other copying is unauthorized. The Licensee may be held legally responsible for any copyright infringement that is caused or encouraged by the failure to adhere to the terms of this agreement.

Please type in that you accept these license agreement terms: I, Calvin Patrick, accept these terms.

Here is the contact information for the engineer who has previously done the calculations for this cottage:

Karl Rosman
Swenson Say Faget
2124 Third Avenue, Suite 100
Seattle, WA 98121
Business phone 1: 206-443-6212
Email: krosman@swensonsayfaget.com <http://swensonsayfaget.com>

Since Karl has previously worked on these plans, if you are decide to work with him you should see substantial savings on engineering costs.

Thanks again, Calvin.

Best regards,

Debbie Loudon
Marketing Manager

ROSS CHAPIN ARCHITECTS
Post Office Box 230 • 195 Second Street • Langley, Washington 98260
Ph: (360) 221 2373 • Fx: (360) 221 8603 • Em: inquiry@rosschapin.com

Sales Receipt

Date	Sale No.
3/30/2009	09-013

Sold To
Calvin Patrick 1141 SW Cumorah Hill St. Fort White, FL 32038

Check No.	Payment Method
	Credit Card

Description	Qty	Rate	Amount
Plumrose Construction Drawings	1	1,150.00	1,150.00
Standard Shipping Charge	1	10.00	10.00

Subtotal	$1,160.00
Sales Tax (0.0%)	$0.00
Total	$1,160.00

FORM 1100A-08

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name:	904082PatrickCalvinRes	Builder Name:	Owner
Street:	1141SW Cumorah Hill St.	Permit Office:	Columbia
City, State, Zip:	Ft. White , FL , 32038-	Permit Number:	27912
Owner:	Calvin Patrick	Jurisdiction:	221000
Design Location:	FL, Gainesville		

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	2
5. Is this a worst case?	No
6. Conditioned floor area (ft²)	1635

7. Windows	Description	Area
a. U-Factor:	Dbl, U=0.58	321.64 ft²
SHGC:	SHGC=0.32	
b. U-Factor:	N/A	ft²
SHGC:		
c. U-Factor:	N/A	ft²
SHGC:		
d. U-Factor:	N/A	ft²
SHGC:		
e. U-Factor:	N/A	ft²
SHGC:		

8. Floor Types	Insulation	Area
a. Raised Floor	R=11.0	920.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	2128.30 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types	Insulation	Area
a. Cathedral/Single Assembly (Vented)	R=30.0	1274.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 120 ft²

12. Cooling systems
a. Central Unit — Cap: 36 kBtu/hr, SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 36 kBtu/hr, HSPF: 7.8

14. Hot water systems
a. Electric — Cap: 1 gallons, EF: 0.88

b. Conservation features
None

15. Credits — None

Glass/Floor Area: 0.197

Total As-Built Modified Loads: 43.69
Total Baseline Loads: 51.50

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____
DATE: 5/7/09 EVAN BEAMSLEY

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

GREAT SEAL OF THE STATE OF FLORIDA — IN GOD WE TRUST

BUILDING OFFICIAL: _____
DATE: _____

PROJECT

Title:	904082PatrickCalvinRes	Bedrooms:	2	Adress Type:	Street Address
Building Type:	FLAsBuilt	Bathrooms:	0	Lot #	
Owner:	Calvin Patrick	Conditioned Area:	1635	SubDivision:	
# of Units:	1	Total Stories:	2	PlatBook:	
Builder Name:	Owner	Worst Case:	No	Street:	1141SW Cumorah Hill
Permit Office:		Rotate Angle:	0	County:	Columbia
Jurisdiction:		Cross Ventilation:		City, State, Zip:	Ft. White ,
Family Type:	Single-family	Whole House Fan:			FL , 32038-
New/Existing:	New (From Plans)				
Comment:					

CLIMATE

√	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	75	70	1305.5	51	Medium

FLOORS

√	#	Floor Type	R-Value	Area		Tile	Wood	Carpet
_____	1	Raised Floor		920 ft²	11	0.3	0.2	0.5

ROOF

√	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	Tested	Deck Insul.	Pitch
_____	1	Hip	Composition shingles	1301 ft²	0 ft²	Dark	0.96	No	0	45 deg

ATTIC

√	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full cathedral ceilin	Vented	300	920 ft²	N	N

CEILING

√	#	Ceiling Type	R-Value	Area	Framing Frac	Truss Type
_____	1	Cathedral/Single Assembly (Vented)	30	1274 ft²	0.11	Wood

WALLS

√	#	Ornt	Adjacent To	Wall Type	Cavity R-Value	Area	Sheathing R-Value	Framing Fraction	Solar Absor.
_____	1	N	Exterior	Frame - Wood	13	378 ft²		0.23	0.75
_____	2	E	Exterior	Frame - Wood	13	261 ft²		0.23	0.75
_____	3	S	Exterior	Frame - Wood	13	378 ft²		0.23	0.75
_____	4	W	Exterior	Frame - Wood	13	224 ft²		0.23	0.75
_____	5	N	Exterior	Frame - Wood	13	226.67 ft²		0.23	0.75
_____	6	E	Exterior	Frame - Wood	13	196 ft²		0.23	0.75
_____	7	S	Exterior	Frame - Wood	13	226.67 ft²		0.23	0.75
_____	8	W	Exterior	Frame - Wood	13	238 ft²		0.23	0.75

DOORS

√	#	Ornt	Door Type	Storms	U-Value	Area
____	1	N	Insulated	None	0.38	20 ft²
____	2	W	Insulated	None	0.21	16.67 ft²
____	3	E	Insulated	None	0.21	20 ft²
____	4	W	Insulated	None	0.21	9.38 ft²

WINDOWS

Window orientation below is as entered. Actual orientation is modified by rotate angle shown in "Project" section above.

√	#	Ornt	Frame	Panes	NFRC	U-Factor	SHGC	Storms	Area	Overhang Depth	Overhang Separation	Int Shade	Screening
____	1	N	Metal	Double (Clear)	Yes	0.58	0.32	N	20 ft²	3 ft 8 in	1 ft 0 in	HERS 2006	None
____	2	N	Metal	Double (Clear)	Yes	0.58	0.32	N	6 ft²	3 ft 8 in	0 ft 0 in	HERS 2006	None
____	3	N	Metal	Double (Clear)	Yes	0.58	0.32	N	8.17 ft²	0 ft 0 in	0 ft 0 in	HERS 2006	None
____	4	N	Metal	Double (Clear)	Yes	0.58	0.32	N	16.33 ft²	0 ft 0 in	0 ft 0 in	HERS 2006	None
____	5	N	Metal	Double (Clear)	Yes	0.58	0.32	N	18 ft²	1 ft 6 in	1 ft 0 in	HERS 2006	None
____	6	N	Metal	Double (Clear)	Yes	0.58	0.32	N	9 ft²	1 ft 6 in	1 ft 0 in	HERS 2006	None
____	7	E	Metal	Double (Clear)	Yes	0.58	0.32	N	18 ft²	1 ft 0 in	1 ft 0 in	HERS 2006	None
____	8	E	Metal	Double (Clear)	Yes	0.58	0.32	N	18 ft²	1 ft 0 in	1 ft 0 in	HERS 2006	None
____	9	S	Metal	Double (Clear)	Yes	0.58	0.32	N	9 ft²	14 ft 2 in	1 ft 0 in	HERS 2006	None
____	10	E	Metal	Double (Clear)	Yes	0.58	0.32	N	34.17 ft²	9 ft 6 in	1 ft 0 in	HERS 2006	None
____	11	S	Metal	Double (Clear)	Yes	0.58	0.32	N	34.17 ft²	0 ft 0 in	0 ft 0 in	HERS 2006	None
____	12	S	Metal	Double (Clear)	Yes	0.58	0.32	N	10.5 ft²	1 ft 6 in	1 ft 0 in	HERS 2006	None
____	13	W	Metal	Double (Clear)	Yes	0.58	0.32	N	14.17 ft²	0 ft 0 in	0 ft 0 in	HERS 2006	None
____	14	N	Metal	Double (Clear)	Yes	0.58	0.32	N	8.17 ft²	1 ft 6 in	5 ft 0 in	HERS 2006	None
____	15	N	Metal	Double (Clear)	Yes	0.58	0.32	N	19.44 ft²	1 ft 6 in	5 ft 0 in	HERS 2006	None
____	16	E	Metal	Double (Clear)	Yes	0.58	0.32	N	10.5 ft²	1 ft 6 in	1 ft 0 in	HERS 2006	None
____	17	E	Metal	Double (Clear)	Yes	0.58	0.32	N	10.42 ft²	1 ft 6 in	2 ft 0 in	HERS 2006	None
____	18	S	Metal	Double (Clear)	Yes	0.58	0.32	N	10.42 ft²	1 ft 6 in	5 ft 0 in	HERS 2006	None
____	19	S	Metal	Double (Clear)	Yes	0.58	0.32	N	10.5 ft²	1 ft 6 in	7 ft 0 in	HERS 2006	None
____	20	S	Metal	Double (Clear)	Yes	0.58	0.32	N	5.44 ft²	1 ft 6 in	5 ft 0 in	HERS 2006	None
____	21	W	Metal	Double (Clear)	Yes	0.58	0.32	N	31.25 ft²	1 ft 6 in	5 ft 0 in	HERS 2006	None

INFILTRATION & VENTING

√	Method	SLA	CFM 50	ACH 50	ELA	EqLA	---- Forced Ventilation ---- Supply CFM	Exhaust CFM	Run Time Fraction	Fan Watts
____	Default	0.00036	1544	7.08	84.8	159.4	0 cfm	0 cfm	0	0

COOLING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Ductless
____	1	Central Unit	None	SEER: 13	36 kBtu/hr	1080 cfm	0.75	False

HEATING SYSTEM

√	#	System Type	Subtype	Efficiency	Capacity	Ductless
_____	1	Electric Heat Pump	None	HSPF: 7.8	36 kBtu/hr	False

HOT WATER SYSTEM

√	#	System Type	EF	Cap	Use	SetPnt	Conservation
_____	1	Electric	0.88	1 gal	50 gal	120 deg	None

SOLAR HOT WATER SYSTEM

√	FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
_____	None	None			ft²		

DUCTS

√	#	---- Supply ---- Location	R-Value	Area	---- Return ---- Location	Area	Leakage Type	Air Handler	CFM 25	Percent Leakage	QN	RLF
_____	1	Attic	6	120 ft²	Attic	60 ft²	Default Leakage	Interior				

TEMPERATURES

Programable Thermostat: None

Ceiling Fans:

Cooling	[X] Jan	[X] Feb	[X] Mar	[X] Apr	[X] May	[X] Jun	[X] Jul	[X] Aug	[X] Sep	[X] Oct	[X] Nov	[X] Dec
Heating	[X] Jan	[X] Feb	[X] Mar	[X] Apr	[X] May	[X] Jun	[X] Jul	[X] Aug	[X] Sep	[X] Oct	[X] Nov	[X] Dec
Venting	[X] Jan	[X] Feb	[X] Mar	[X] Apr	[X] May	[X] Jun	[X] Jul	[X] Aug	[X] Sep	[X] Oct	[X] Nov	[X] Dec

Thermostat Schedule: HERS 2006 Reference

Schedule Type		Hours 1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM	78	78	78	78	78	78	78	78	78	78	78	78
	PM	78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68
Heating (WEH)	AM	68	68	68	68	68	68	68	68	68	68	68	68
	PM	68	68	68	68	68	68	68	68	68	68	68	68

FORM 1100A-08

Code Compliance Cheklist

Residential Whole Building Performance Method A - Details

ADDRESS: 1141SW Cumorah Hill St. Ft. White, FL, 32038-	PERMIT #:

INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Between walls & ceilings; penetrations of ceiling plane to top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N112.ABC.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%. Heat pump pool heaters shall have a minimum COP of 4.0.	
Shower heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section N1110.AB. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings-Min. R-19. Common walls-frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 85

The lower the EnergyPerformance Index, the more efficient the home.

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	2
5. Is this a worst case?	No
6. Conditioned floor area (ft²)	1635

7. Windows**	Description	Area
a. U-Factor:	Dbl, U=0.58	321.64 ft²
SHGC:	SHGC=0.32	
b. U-Factor:	N/A	ft²
SHGC:		
c. U-Factor:	N/A	ft²
SHGC:		
d. U-Factor:	N/A	ft²
SHGC:		
e. U-Factor:	N/A	ft²
SHGC:		

8. Floor Types	Insulation	Area
a. Raised Floor	R=11.0	920.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types	Insulation	Area
a. Frame - Wood, Exterior	R=13.0	2128.30 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types	Insulation	Area
a. Cathedral/Single Assembly (Vented)	R=30.0	1274.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Attic AH: Interior Sup. R= 6, 120 ft²

12. Cooling systems
a. Central Unit — Cap: 36 kBtu/hr, SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 36 kBtu/hr, HSPF: 7.8

14. Hot water systems
a. Electric — Cap: 1 gallons, EF: 0.88

b. Conservation features
None

15. Credits — None

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____

*Note: The home's estimated Energy Performance Index is only available through the EnergyGauge USA - FlaRes2008 computer program. This is not a Building Energy Rating. If your Index is below 100, your home may qualify for incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at (321) 638-1492 or see the Energy Gauge web site at energygauge.com for information and a list of certified Raters. For information about Florida's Energy Efficiency Code for Building Construction, contact the Department of Community Affairs at (850) 487-1824.

**Label required by Section 13-104.4.5 of the Florida Building Code, Building, or Section B2.1.1 of Appendix G of the Florida Building Code, Residential, if not DEFAULT.

Project Information

Licensee:
Site Address:
Site Telephone:
Parcel Number:
Legal Description:

Square Footage: (Per ANSI Z765-2003; method used by local jurisdiction for permitting may vary)	First Floor:	920
	Second Floor: >6'-0" headroom	715
	Total Area:	1635
Decks, Porches, (SF):	Covered Porch	170
	Uncovered Porch	65
	Total Decks, Porches, Terraces	235

Grant of License

In consideration of payment for these construction documents, Ross Chapin Architects (RCA) grants Calvin Patrick (Licensee) a nonexclusive right to use and to construct ONE structure from these documents. Additional licenses may be obtained by contacting the RCA office. RCA reserves all rights not expressly granted to Licensee.

Stock Plan General Notes & Disclaimers

1) These drawings have been prepared to meet generally accepted professional standards and practices, but have been developed without knowledge of or reference to the Licensee's specific site or geographical location. Local site conditions, such as frost depth, soil bearing capacity, seismic and wind zones, exposure, etc. may vary. Local code requirements for such life-safety requirements as stair width, stair rise and run, egress windows and smoke detectors, etc. may vary. The strength of materials (such as lumber) available locally may vary. **Therefore, supplemental to these documents, it is the Licensee's responsibility to consult with his/her local builder and a professional designer or structural engineer to determine that these documents meet all current federal, state/provincial and local codes, ordinances/bylaws and regulations, etc., and are appropriate to specific site conditions. Compliance with such requirements shall take precedence over these documents.**

2) Any use of this information without adaptation to changes in codes, standards, site conditions and other factors is at the Licensee's sole risk. Ross Chapin Architects (RCA) assumes no responsibility for changes made to these plans by others and makes no warranties, either expressed or implied, in the use of these plans. The Licensee agrees to defend and indemnify RCA for all claims, costs, losses or damages resulting from the use of these documents.

3) Before starting construction, it is the builder's responsibility to check all dimensions and details, and verify conformance with governing code requirements for the geographic area in which the house is to be built. All structural, mechanical and electrical requirements shall also be reviewed before construction begins. Codes govern over drawings and dimensions govern over scale. Notify the architect of dimensional discrepancies.

4) RCA has not been engaged for construction supervision of any kind and assumes no responsibility to ensure that construction conforms to these plans, nor has any responsibility for construction means, methods, techniques, sequences, procedures or safety precautions in connection with the work.

5) RCA retains ownership of the construction documents and all subsequent copies of the works regardless of the form of the original and other copies. This is not a sale of the original documents whatsoever.

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Symbol Legend

- 101 — Window Number (See Schedules 10.2)
- 101 — Door Number (See Schedules 10.2)
- 6 — Shear Wall Type (See Schedules 10.1)
- A / 6.1 — Building Section Sheet Number
- D / 9.5 — Detail Number Sheet Number
- D5.555 — Detail Number in Project Manual
- Wood Frame Wall
- Wood Frame Insulated Wall
- 2 — Hold Down Type (See Schedules 10.1)
- ℄ — Center Line
- Framing Lumber
- Blocking
- Finish Lumber
- Plywood

Schedule of Drawings

Sheet #	Contents
1.1	Cover Sheet, Project Information, Symbol Keys
2.1	NOT USED - (insert site drawings here)
4.1	First Floor Plan
4.2	Second Floor Plan
5.1	Foundation & First Floor Framing Plan
5.2	Second Floor Framing Plan
5.3	Roof Framing Plan
5.4	Roof Framing Plan Detail
6.1	Section A-A
6.2	Section B-B, Building Systems
7.1	Front Elevation
7.2	Left Elevation
7.3	Back Elevation
7.4	Right Elevation
8.1	First Floor Electrical Plan
8.2	Second Floor Electrical Plan
9.1	Interior Elevations
9.2	Photos
9.3	Photos
10.1	Shearwall Schedules
10.2	Window Schedule, Door Schedule
	Project Manual includes Construction Details and Specifications

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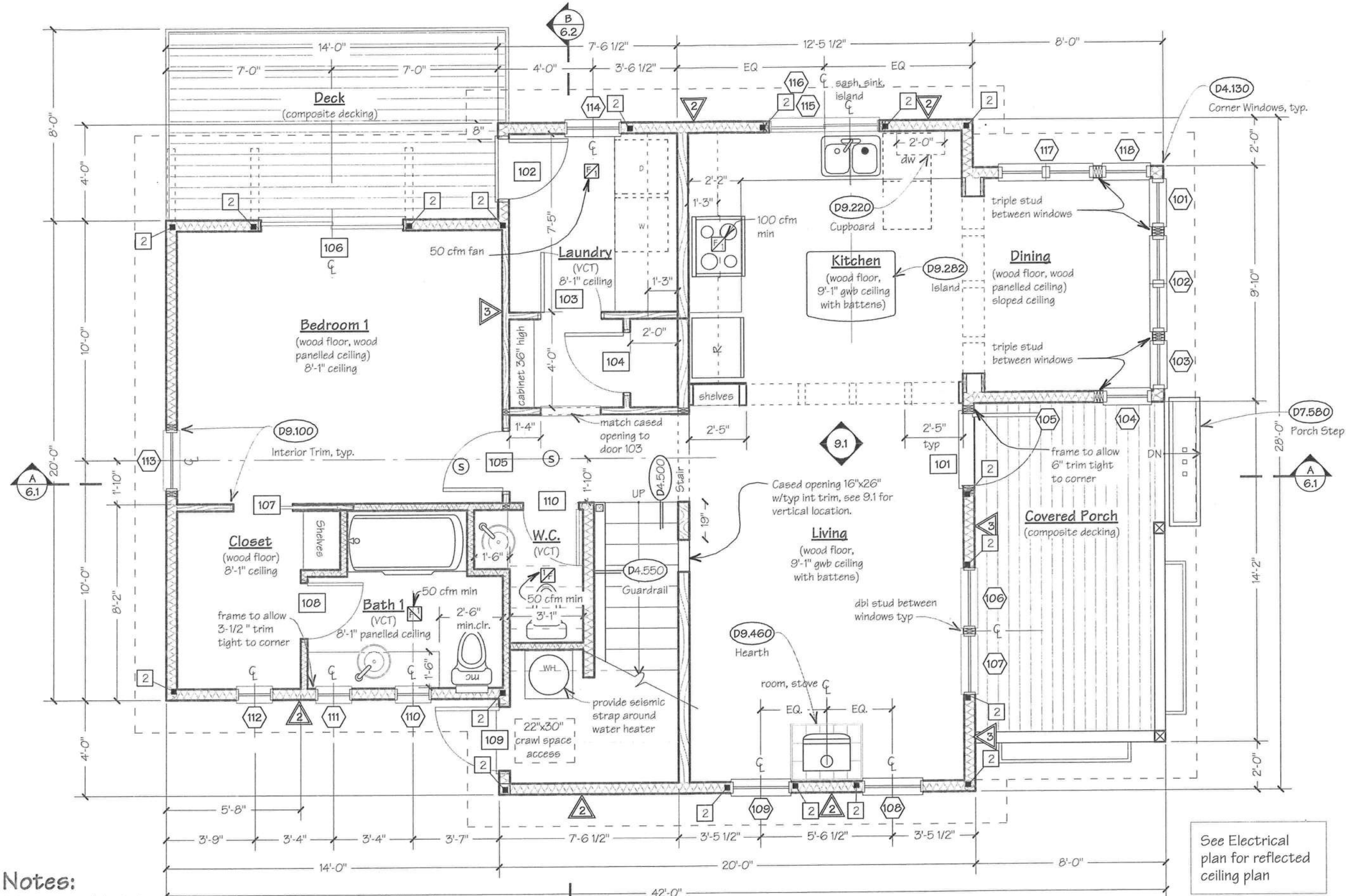
1.1 GENERAL



Notes:

1) At each phase of the Work, verify all relevant dimensions before proceeding with the Work.
2) Frame doors so that full width interior trim is tight to wall or corner, Unless Noted Otherwise(U.N.O)
3) For additional information on building systems refer to Sheet 6.1 & Project Manual.
4) Refer to Elevation Sheets for header heights.
5) For additional information refer to Project Manual, specifications, Shear, Window and Door Schedules.
6) Electric meter and Hose Bib to be field located.
7) Where required by code, provide a whole-house fan with accessible 24 clock timer w/ capability of continuous operation, manual and automatic control.

First Floor Plan

0 2' 4' 8'

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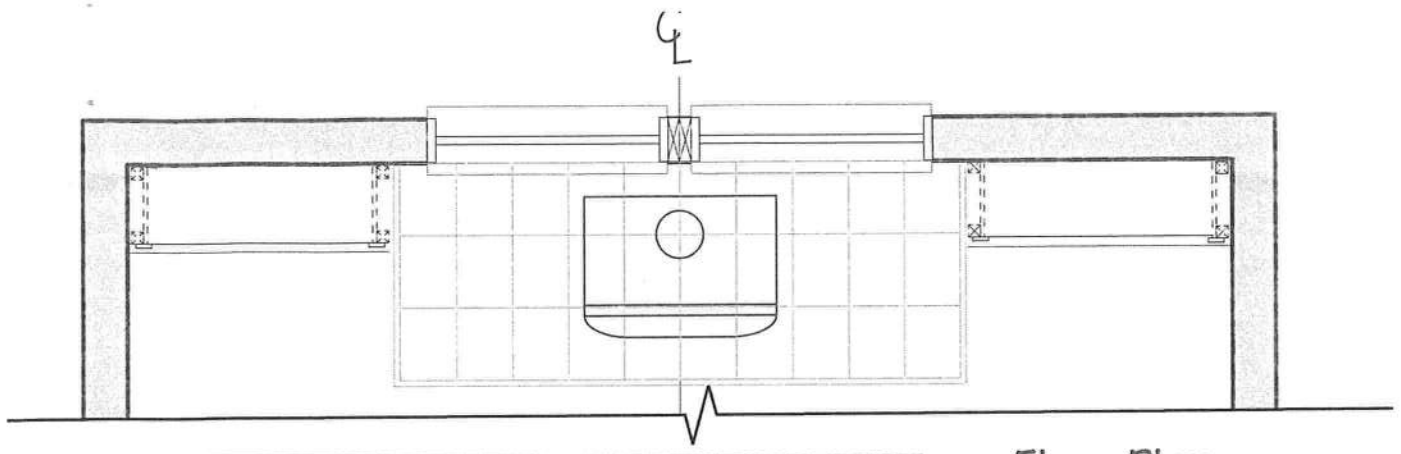
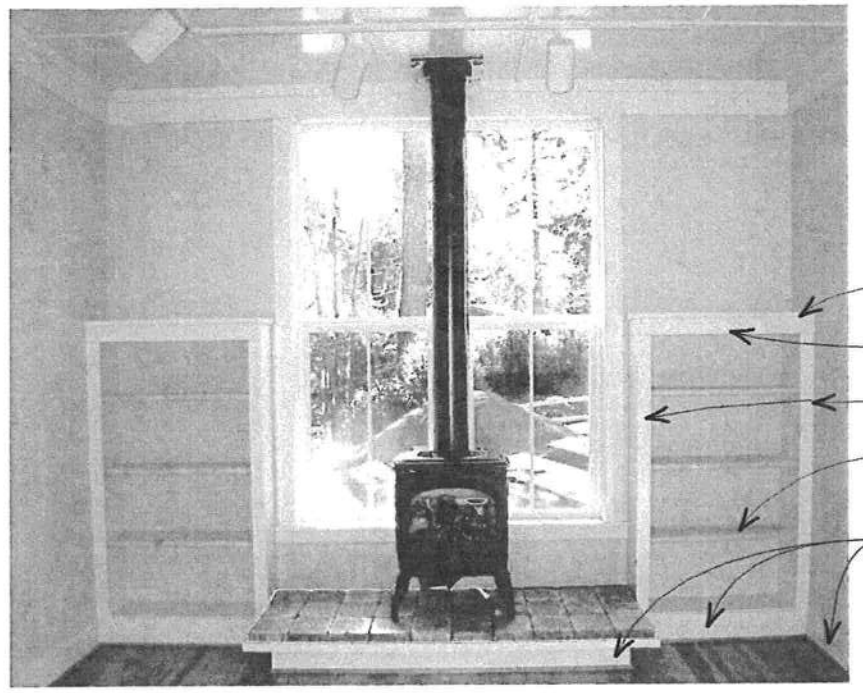
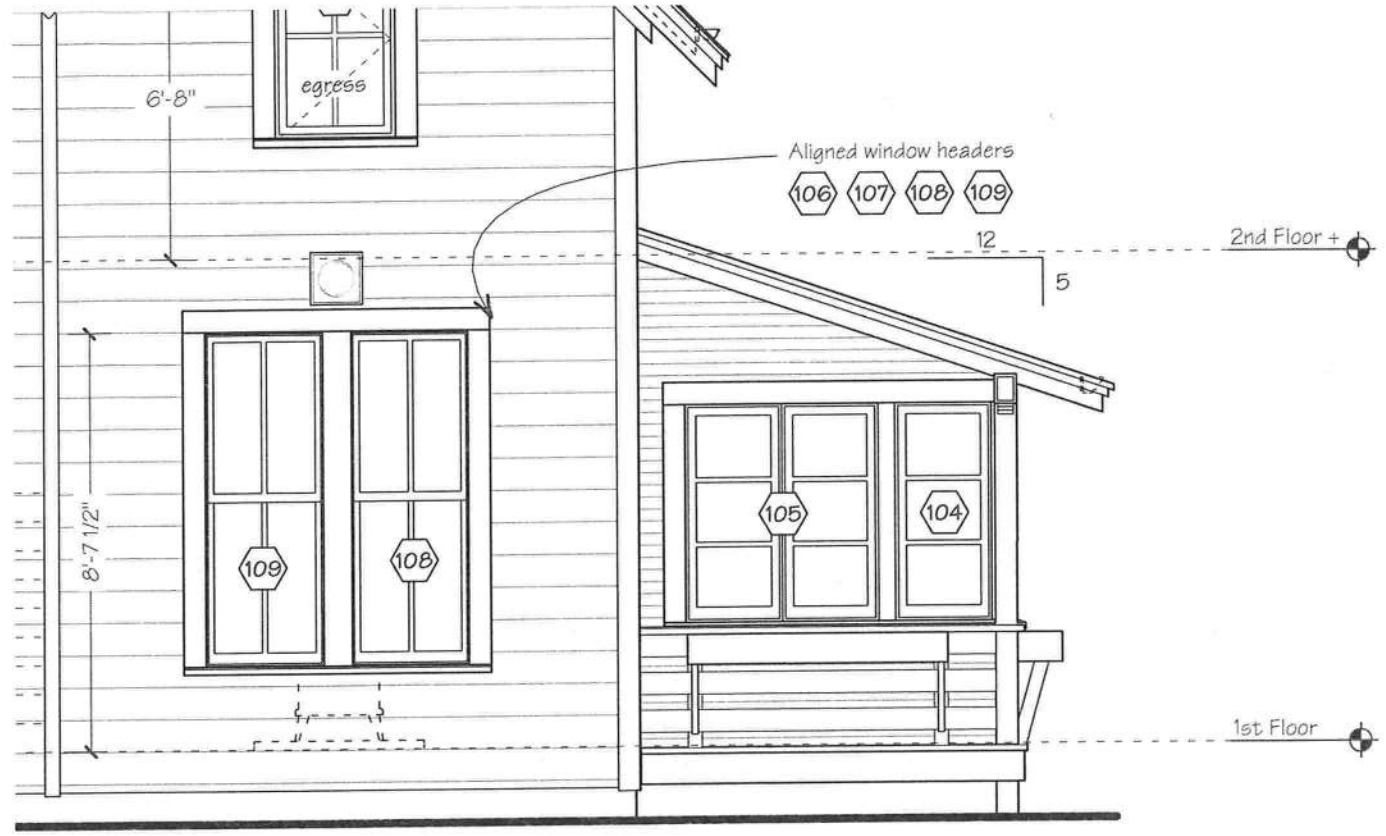
4.1 PLAN



Floor Plan

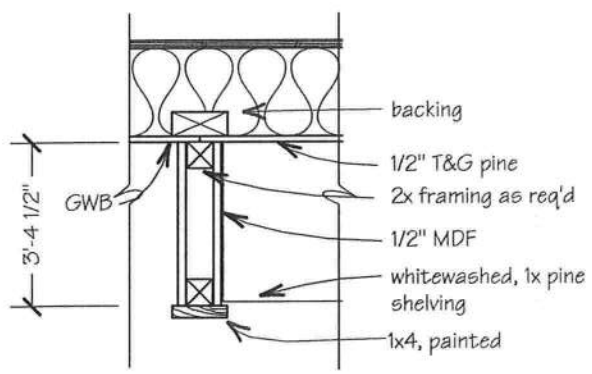
0 1' 2' 4'



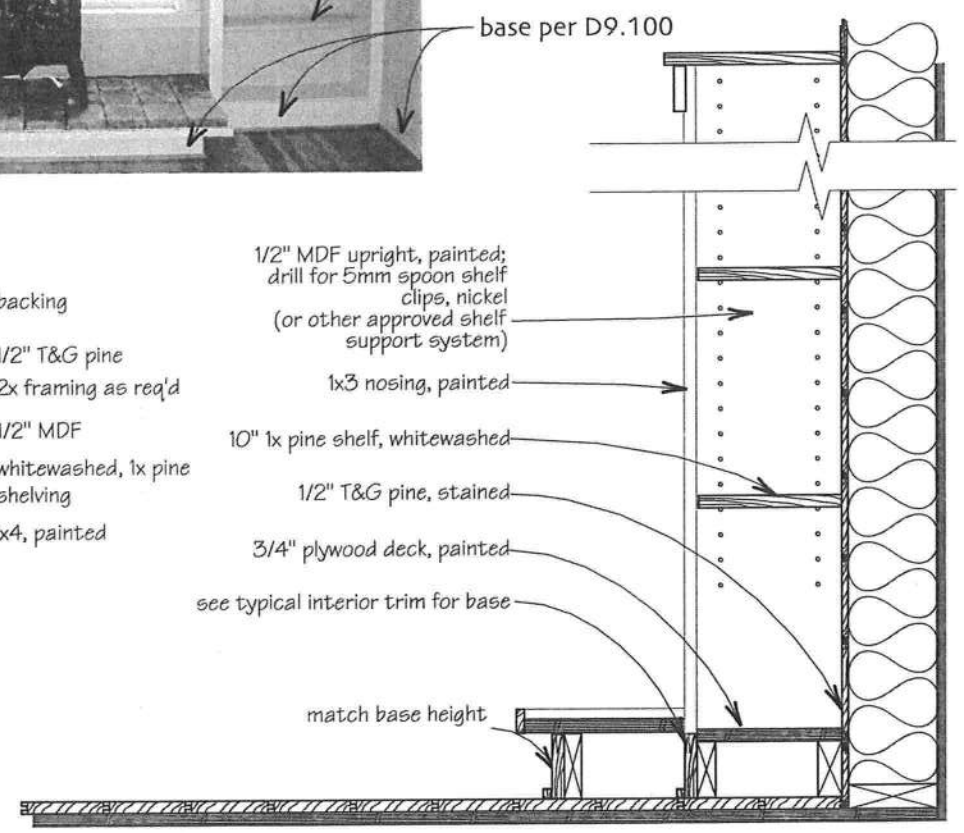


Left Elevation-Option

0 2' 4' 8'

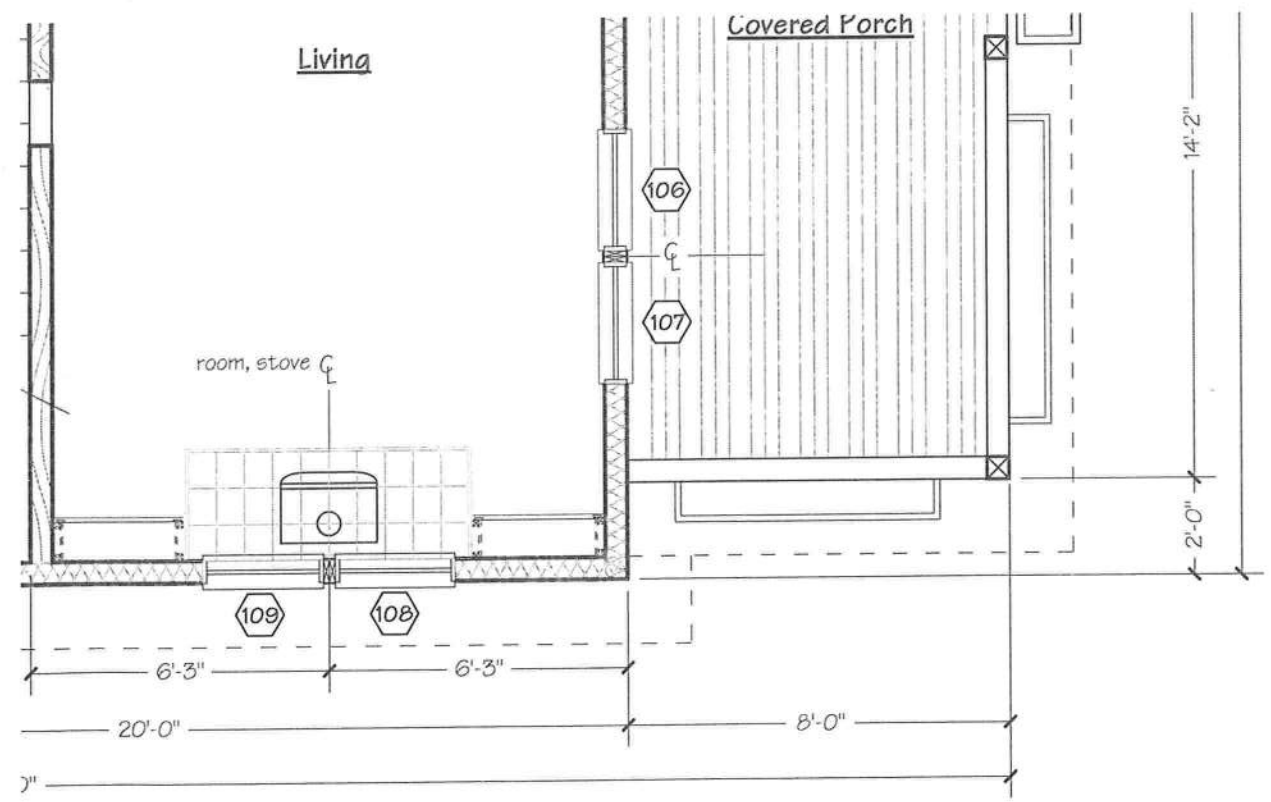


Plan Detail



Bookcase Section

0 6" 1' 2'



This sheet is provided as an option. It should be removed from the set if the owner chooses not to use it.

First Floor Plan-Option

0 2' 4' 8'

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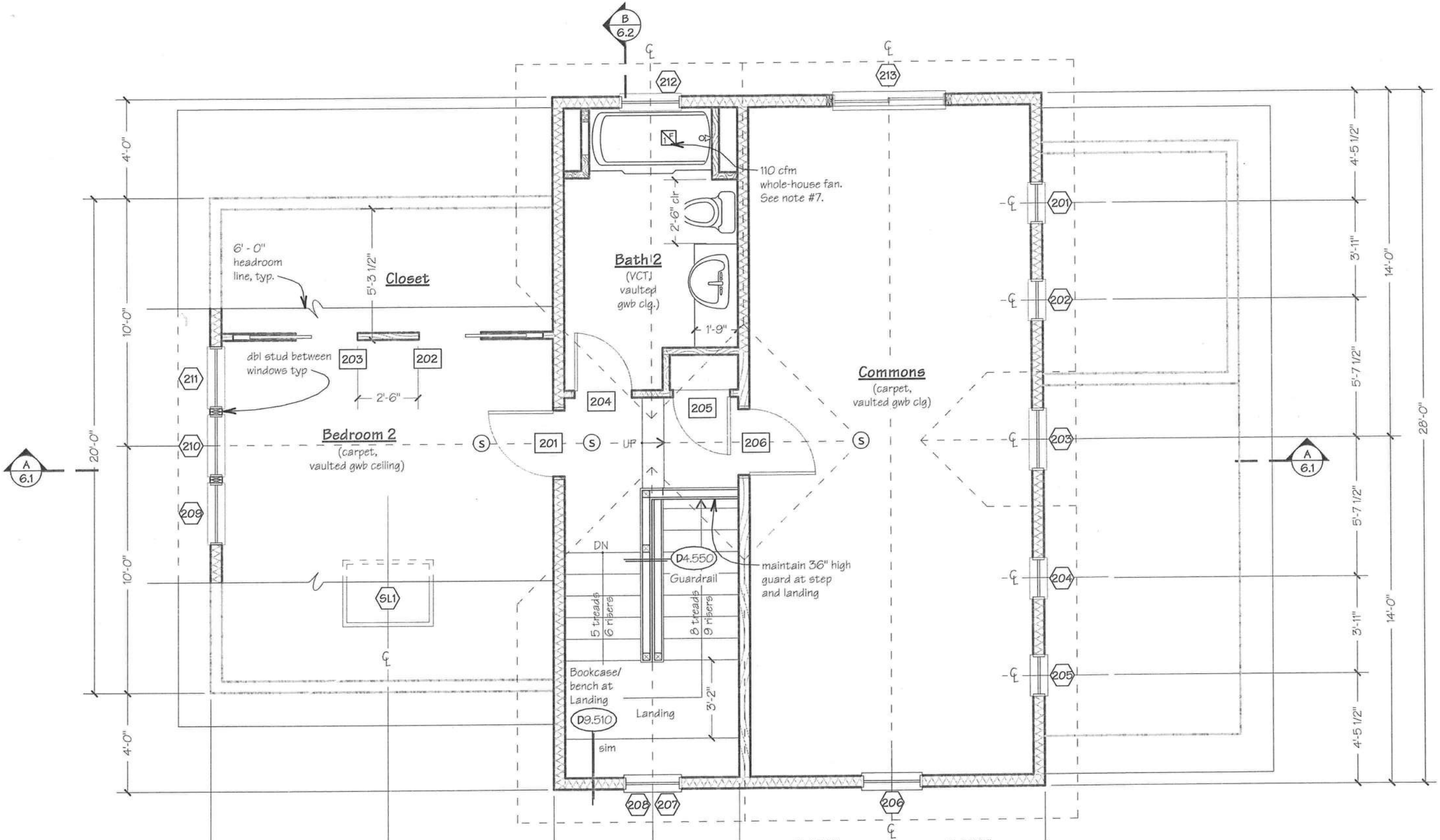
4.1A

Window Option



Notes:

1) At each phase of the Work, verify all relevant dimensions before proceeding with the Work.
2) Frame doors so that full width interior trim is tight to wall or corner, Unless Noted Otherwise(U.N.O)
3) For additional information on building systems refer to Sheet 6.1 & Project Manual.
4) Refer to Elevation Sheets for header heights.
5) For additional information refer to Project Manual, specifications, Shear, Window and Door Schedules.
6) Electric meter and Hose Bib to be field located.
7) Where required by code, provide a whole-house fan with accessible 24 clock timer w/ capability of continuous operation, manual and automatic control.

Second Floor Plan

0 2' 4' 8'

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4.2 PLAN

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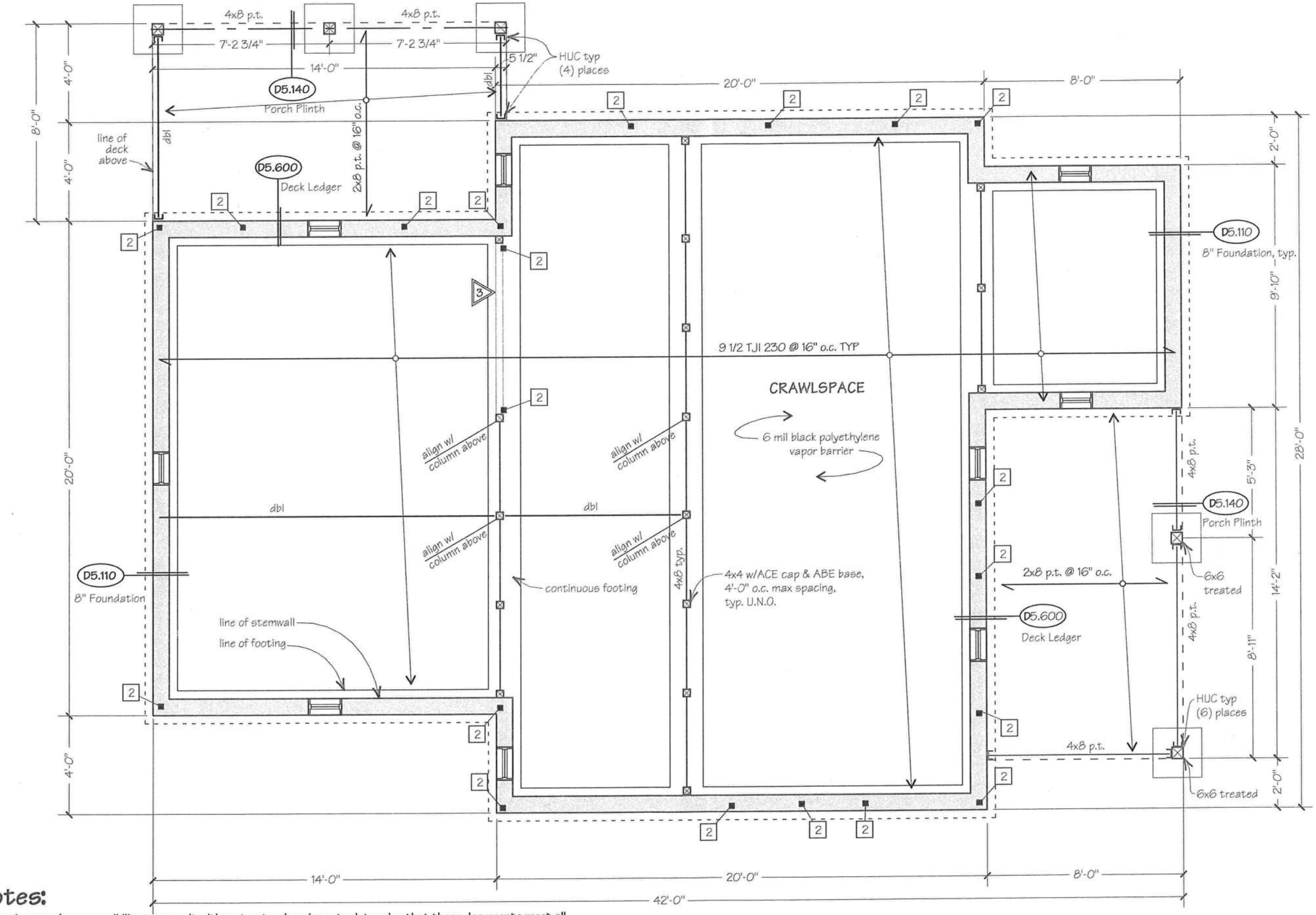

Notes:

1) **It is the owner's responsibility to consult with a structural engineer to determine that these documents meet all current federal, state and local codes, ordinances and regulations, etc., and are appropriate to specific site conditions.**
2) At each phase of the Work, verify all relevant dimensions before proceeding with the work.
3) **All door and window headers are (2) 2x6 HF #2, except as noted.**
4) **All walls to be SW1 U.N.O.**
5) Refer to Shear Wall Schedules and additional structural & material information.
6) For additional information on building systems refer to Sheet 6.1 & Project Manual.
7) Note that contractor is responsible for location of hold downs.

Crawlspace Ventilation Requirements
(1.0sf ventilation per 150sf crawlspace area)
Crawlspace Area: 827 sf (Requires 5.51 sf ventilation)
(9)Foundation vents .67'x1.33'x.75 efficient = 6.01sf
Total Ventilation: 6.01sf > 5.51 OK

Foundation & 1st Fl. Framing Plan

0 2' 4' 8'

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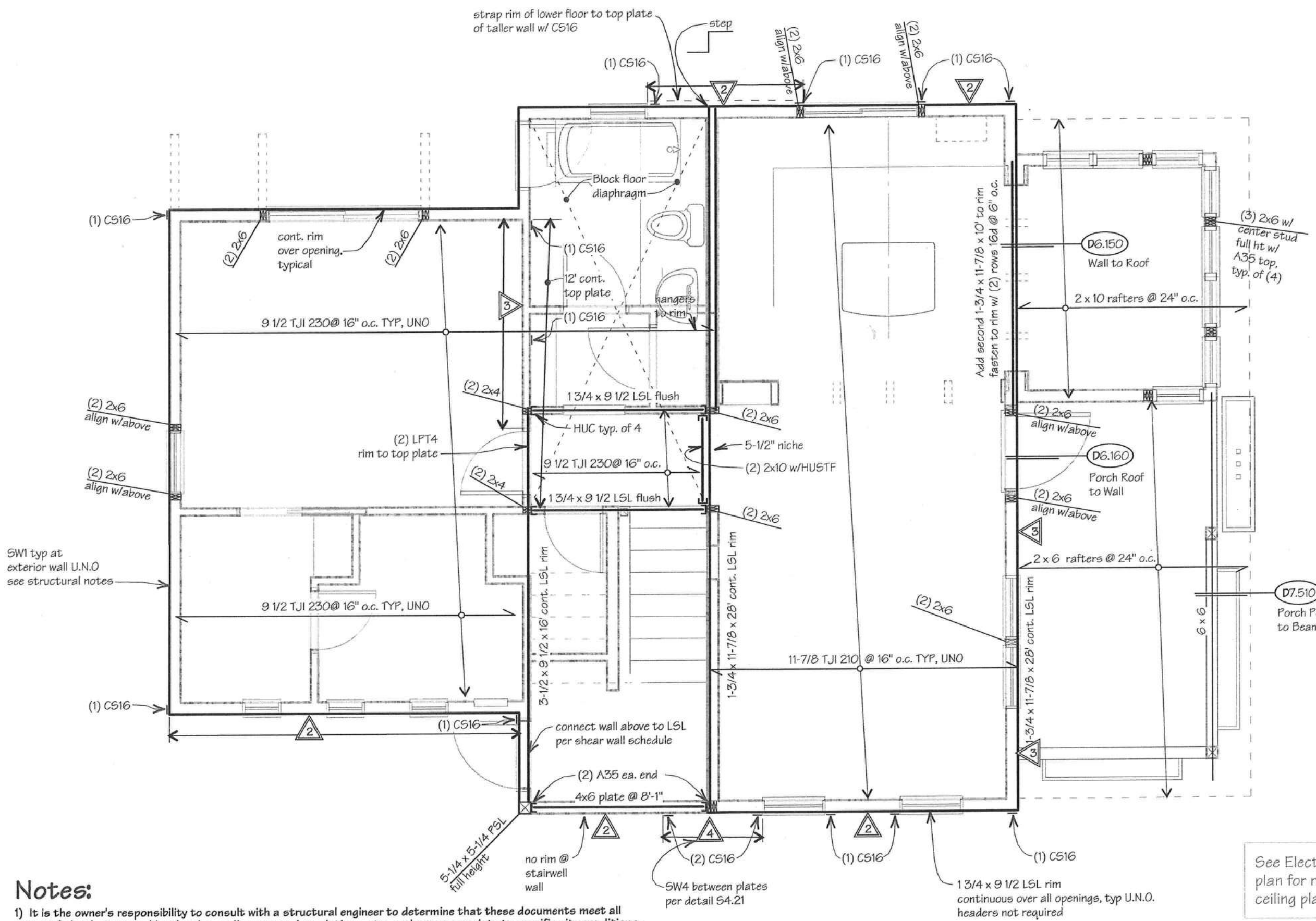
5.1
FOUNDATION



See Electrical plan for reflected ceiling plan

Notes:

1) **It is the owner's responsibility to consult with a structural engineer to determine that these documents meet all current federal, state and local codes, ordinances and regulations, etc., and are appropriate to specific site conditions.**
2) At each phase of the Work, verify all relevant dimensions before proceeding with the work.
3) **All door and window headers are (2) 2x6 HF #2, except as noted.**
4) **All walls to be SW1 U.N.O.**
5) Refer to Shear Wall Schedules and additional structural & material information.
6) For additional information on building systems refer to Sheet 6.1 & Project Manual.
7) Note that contractor is responsible for location of hold downs.

Second Floor Framing Plan

0 2' 4' 8'

(First Floor walls shown)

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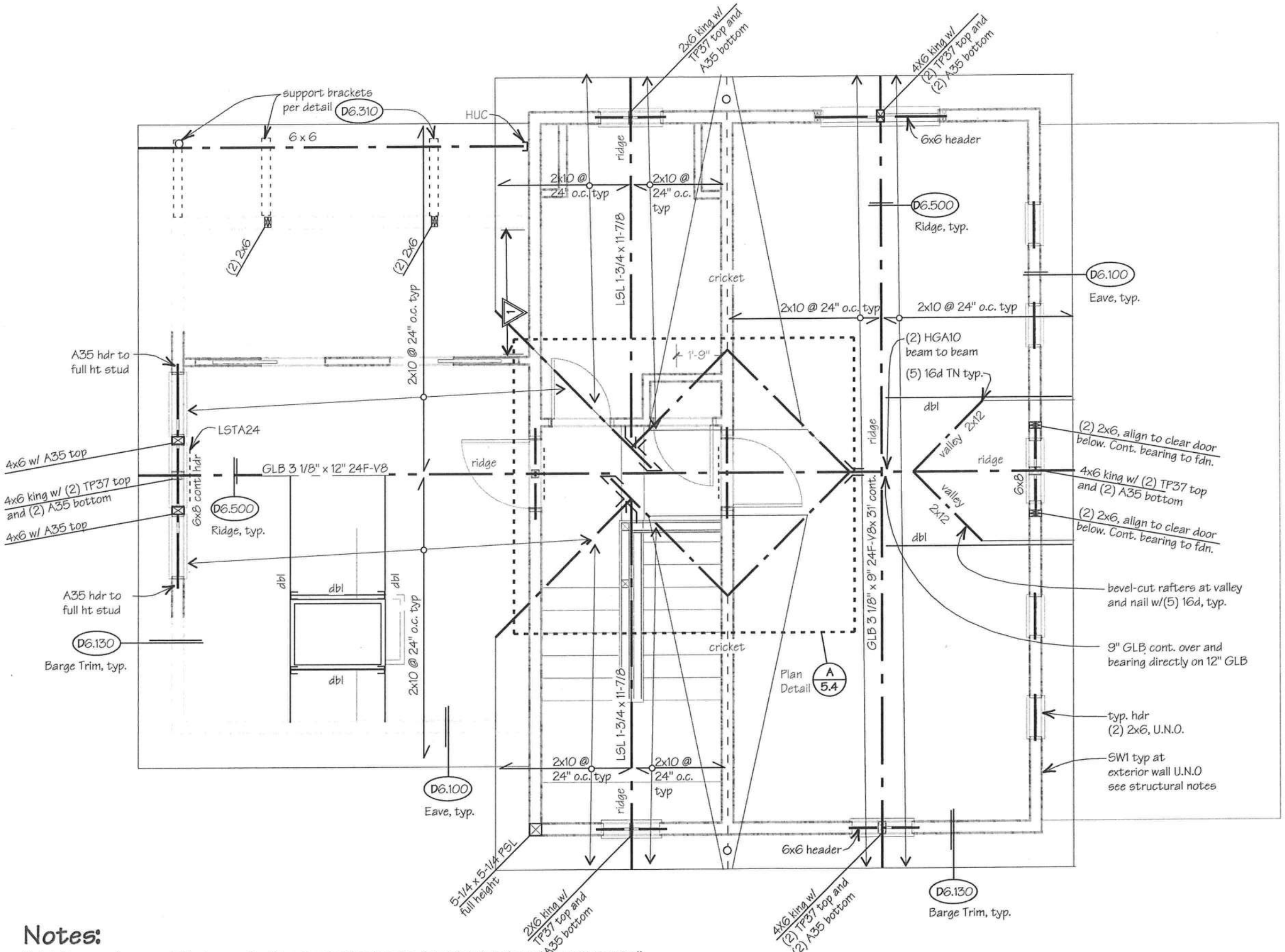
5.2 FRAMING



Notes:

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2) At each phase of the Work, verify all relevant dimensions before proceeding with the work.
3) **All door and window headers are (2) 2x6 HF #2, except as noted.**
4) **All walls to be SW1 U.N.O.**
5) Refer to Shear Wall Schedules and additional structural & material information.
6) For additional information on building systems refer to Sheet 6.1 & Project Manual.
7) Note that contractor is responsible for location of hold downs.

Roof Framing Plan

0 2' 4' 8' (Second Floor walls shown)

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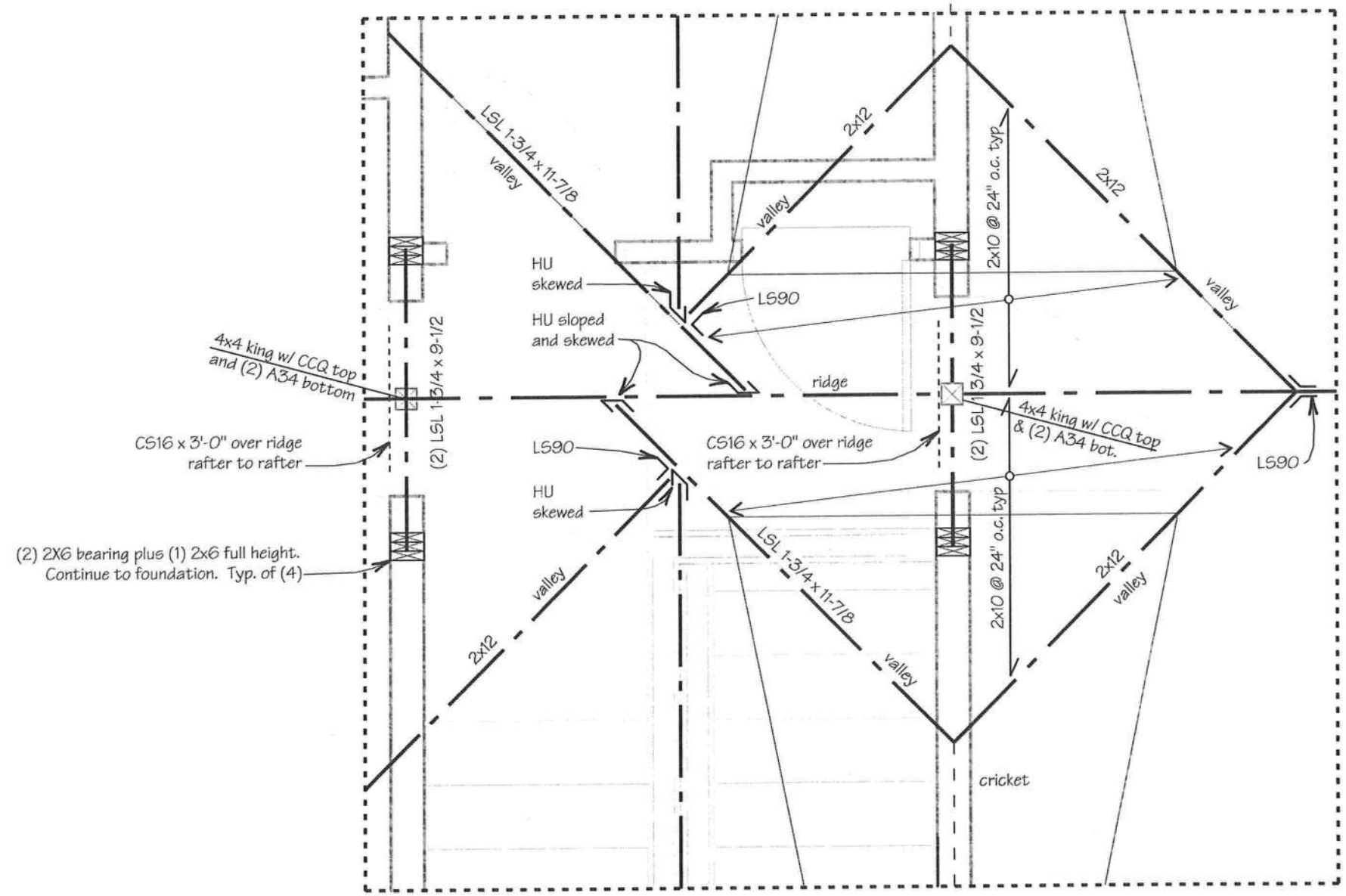
5.3 FRAMING



Roof Framing Plan Detail

A 0 1' 2' 4' (Second Floor walls shown)

Notes:

1) **It is the owner's responsibility to consult with a structural engineer to determine that these documents meet all current federal, state and local codes, ordinances and regulations, etc., and are appropriate to specific site conditions.**
2) At each phase of the Work, verify all relevant dimensions before proceeding with the work.
3) **All door and window headers are (2) 2x6 HF #2, except as noted.**
4) **All walls to be SW1 U.N.O.**
5) Refer to Shear Wall Schedules and additional structural & material information.
6) For additional information on building systems refer to Sheet 6.1 & Project Manual.
7) Note that contractor is responsible for location of hold downs.

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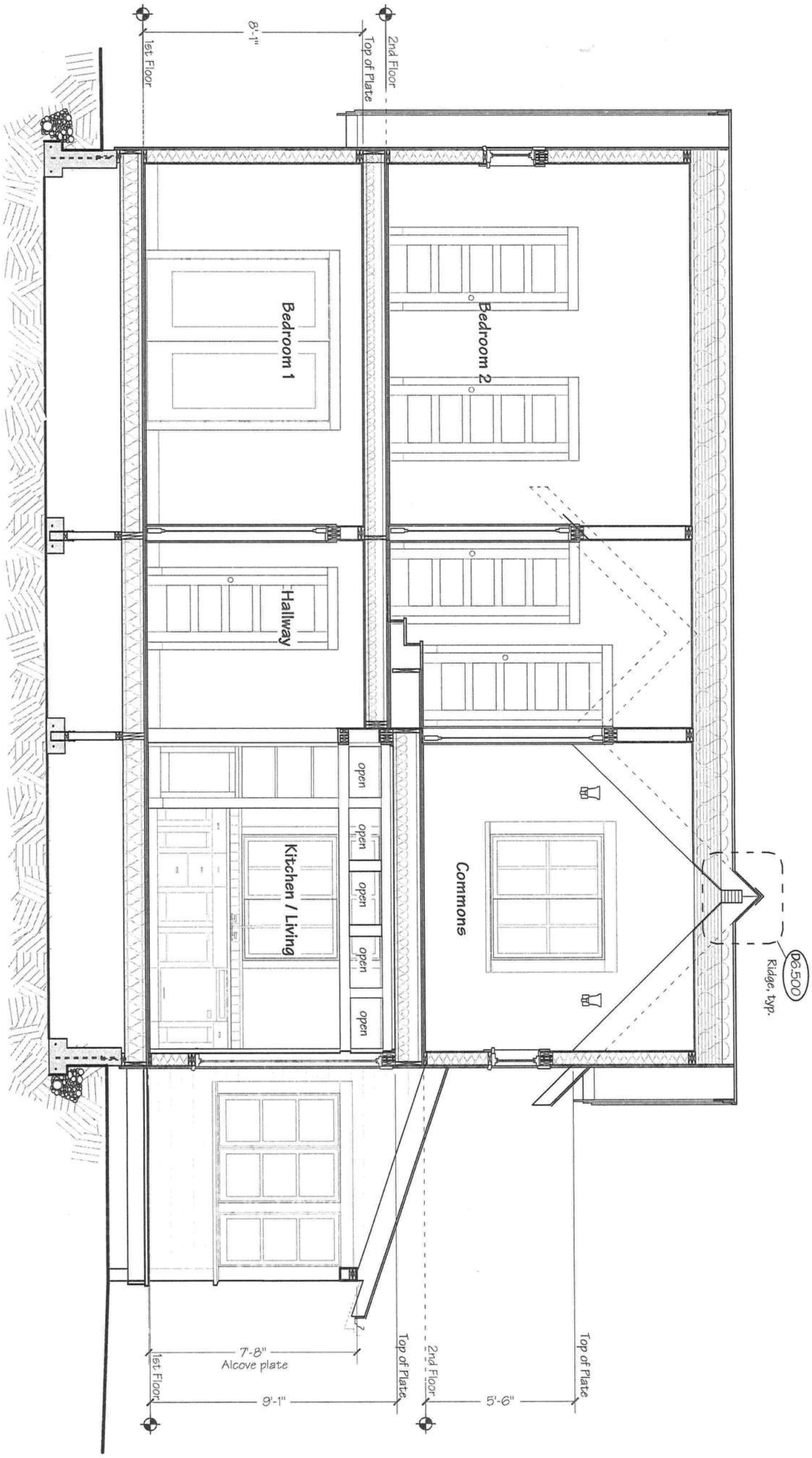
5.4 FRAMING



Section A-A

0 2' 4' 8'

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6.1 SECTION

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Main Roof Systems
Roofing: asphalt composition roofing
15# felt
5/8" CDX plywood sheathing
At eaves: 7/16" LP SmartSide Panel w/ 4" grooves
Rafters per plan w/ tails cut to 2x6, tie to top plate w/ Simpson A35
8 1/2" (R34) B.I.B.S. (Blown In Blanket System) insulation
Collar ties or 2x8 ceiling joists per plan
1/2" GWB-CD
Vapor barrier: PVA sealer (heavy coat for 1.0 perm rating)
Paint per schedule

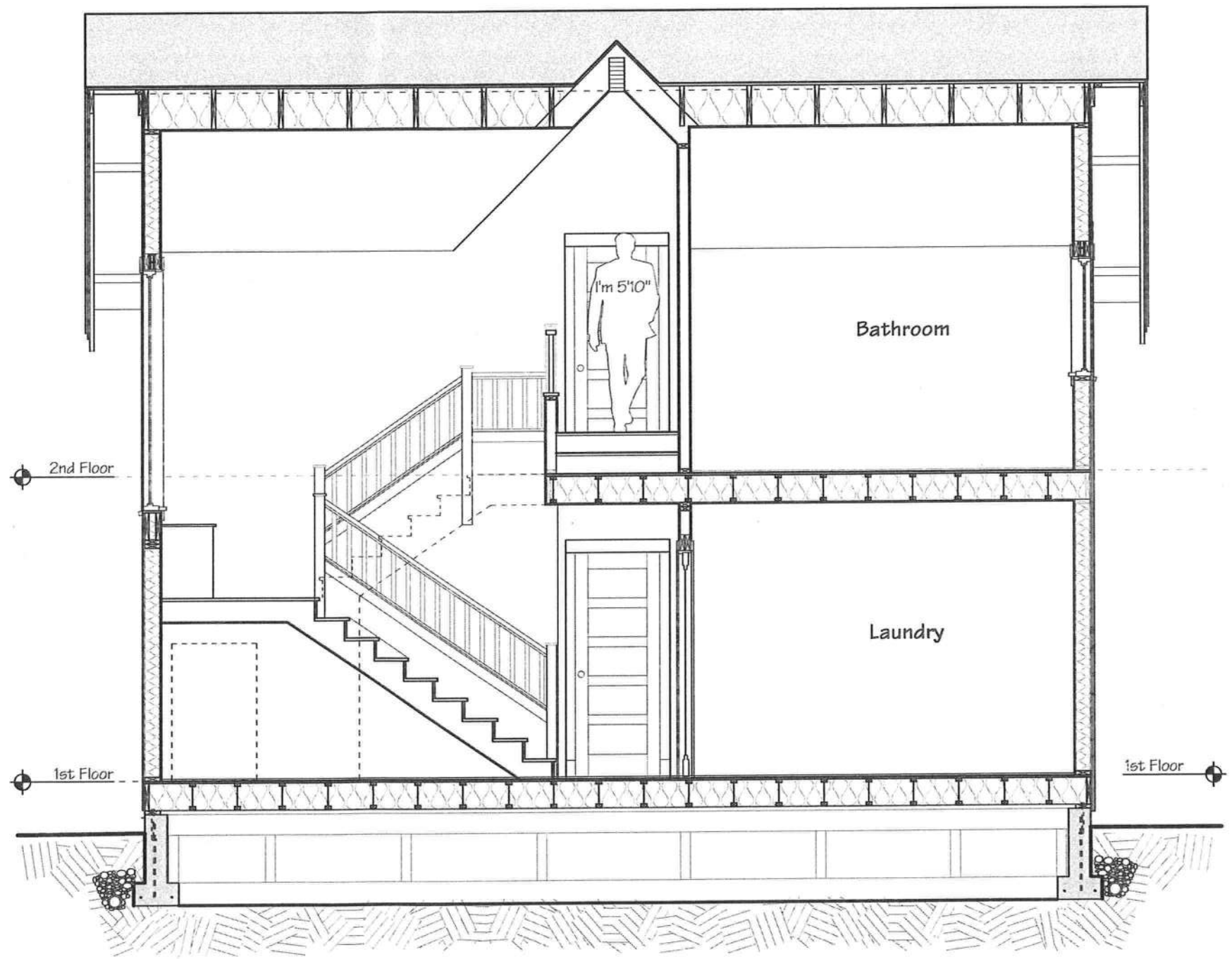
Porch Roof System
Roofing: asphalt composition roofing
15# felt
5/8" CDX plywood sheathing
4x6 rafters @ 24" o.c.

Second Floor System
Flooring per plan
3/4 " CDX t&g plywood - glue and screw
Joists per plan
3 1/2" accoustical insulation
1/2" GWB-CD or 1x10 #2 pine paneling w/light whitewash stain

First Floor System
Flooring per plan
3/4" CDX t&g plywood - glue & nail
Joists per plan
R30 fiberglass batt insulation

Wall System
Siding: (A). 5/16" fiber-cement 6 1/4" horizontal lap; painted
(B). 5/16" fiber-cement 9 1/2" horizontal lap; painted
Weather-resistive barrier
Sheathing per shear schedule
Exterior wall framing: 2x6 HF #2 @ 16" o.c. U.O.N.
Insulation: 5 1/2" (B.I.B.S.) insulation (R22)
Interior surface: 1/2" GWB, hand-troweled finish. 5/8" Type X GWB at 1-hr construction under stairs
Vapor barrier: PVA sealer (1.0 perm rating)
Interior paint: per schedule

Foundation System (typical unless otherwise noted)
2x6 pressure treated sill over sill sealer
8" concrete stemwall
Waterproof membrane on exterior face below grade
8" x 16" concrete footing
Reinforcing and holddowns per details and shear schedule



Section B-B

0 2' 4' 8'

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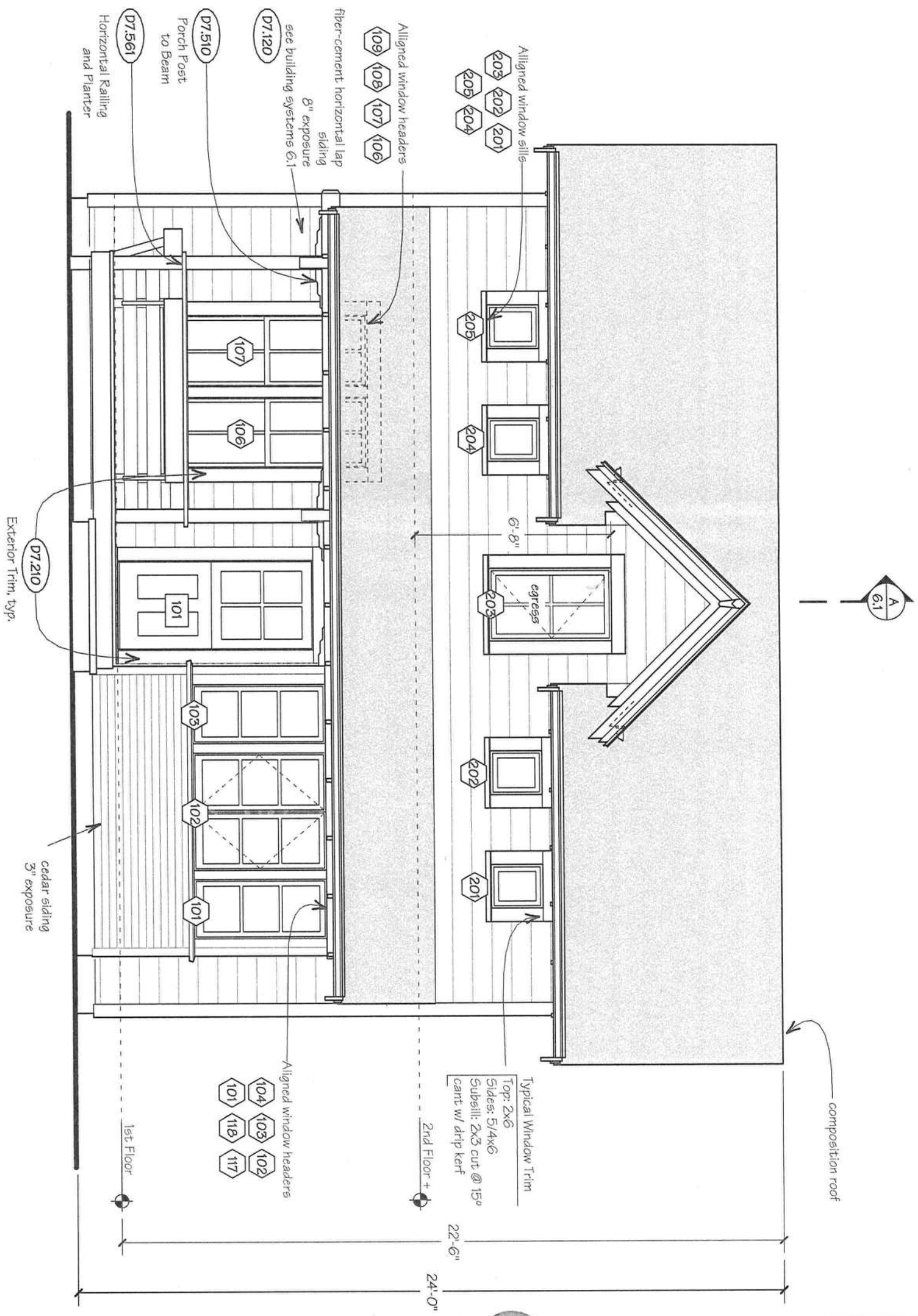
6.2 SECTION



Front Elevation

0 2' 4' 8'

5/5/08

7.1 ELEVATION

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Right Side Elevation

0 2' 4' 8'

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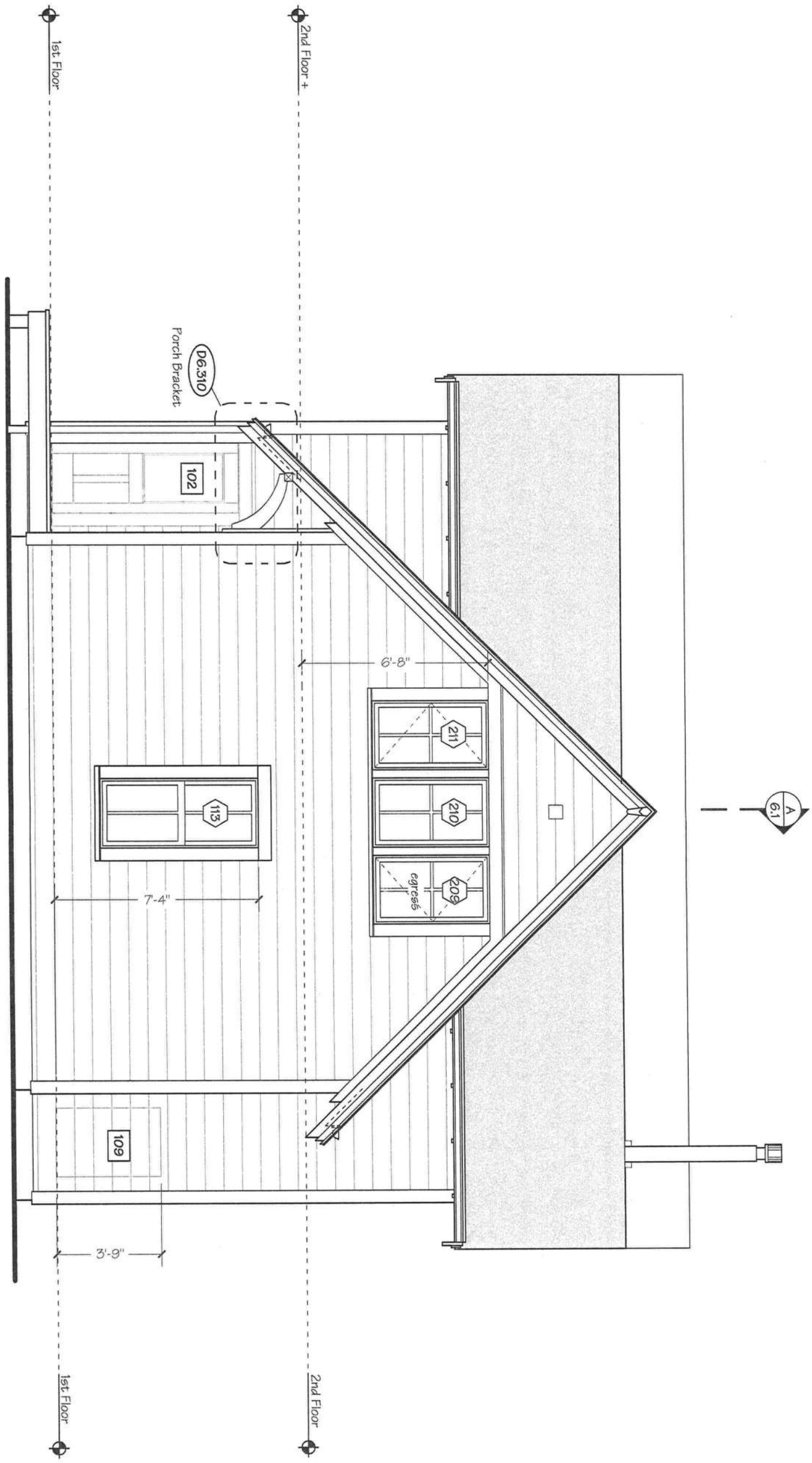
7.2
ELEVATION



Back Elevation

5/5/08

7.3 ELEVATION

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Left Side Elevation

0 2' 4' 8'

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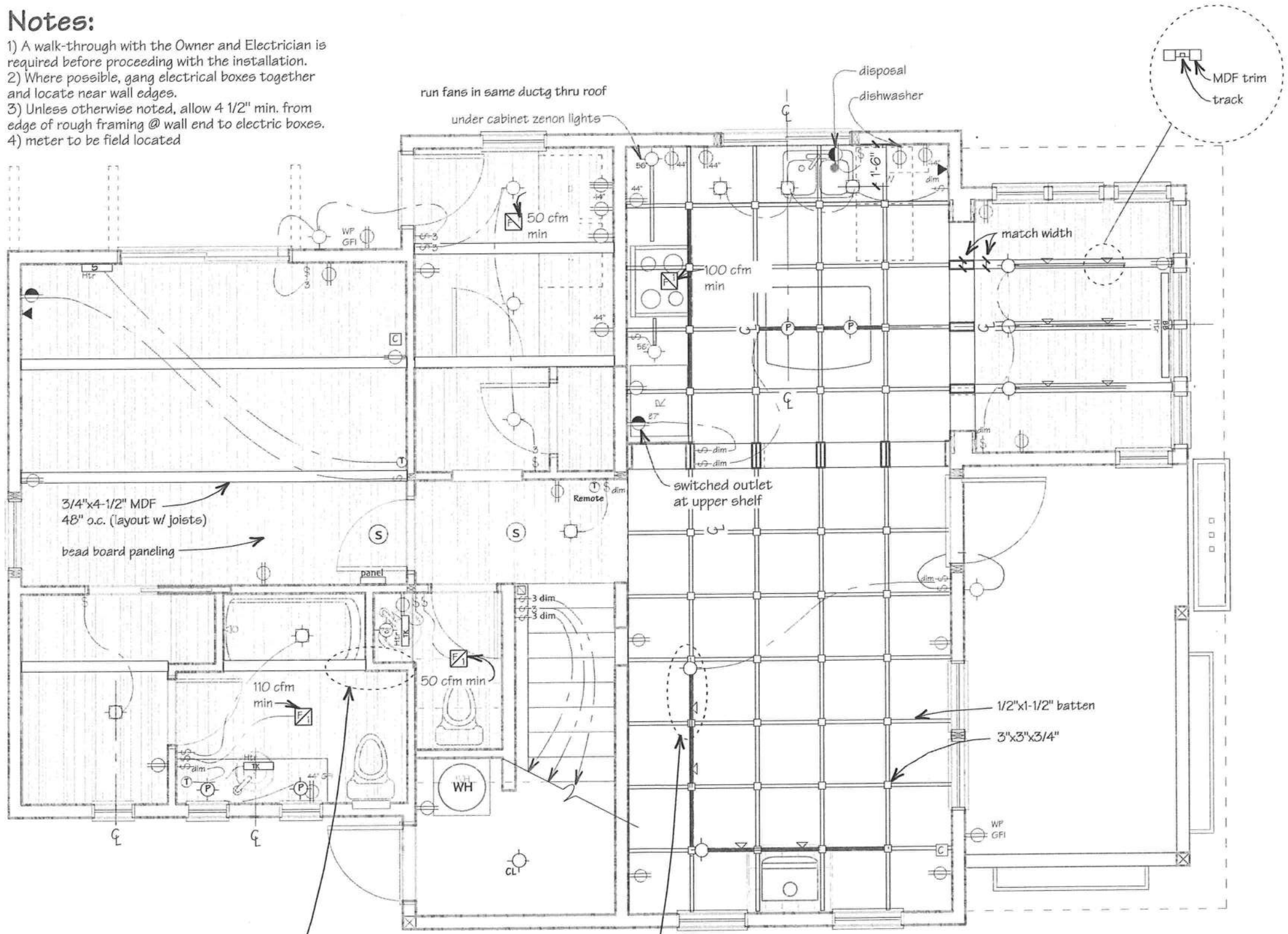
7.4
ELEVATION

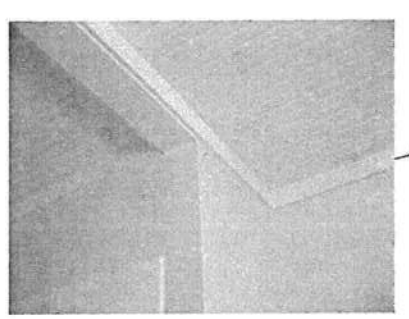
Notes:

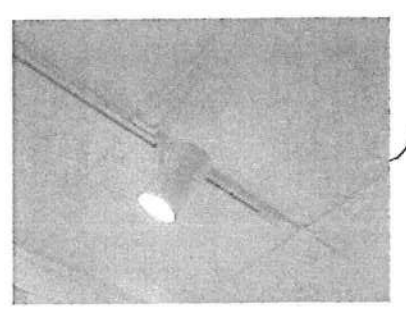
1) A walk-through with the Owner and Electrician is required before proceeding with the installation.
2) Where possible, gang electrical boxes together and locate near wall edges.
3) Unless otherwise noted, allow 4 1/2" min. from edge of rough framing @ wall end to electric boxes.
4) meter to be field located

Electrical Key

Type	Description
	110v Duplex Outlet
44"	110v outlet (44" above floor)
	110v Outlet (Switched)
WP	110v Outlet (Water Proof)
GFI	110v Outlet (Ground Fault Interruptor per NEC)
	220v Outlet
J	Junction Box
	Light (Overhead)
P	Light (Pendant)
	Light (Wall Mount)
	6" Light (Insul Recessed Can)
	Light (Exposed Can)
	Light (Recessed w/ Eyeball)
	4' (2) Lamp Flourescent
	4' (1) Lamp Flourescent
PC	2' (1) Lamp Flourescent, Pull Chain
	Track Light
	Track Light Head
	Switch (Single Pole)
dim	Switch (w/ Dimmer)
3	Switch (3-way)
4	Switch (4-way)
T	Switch (programmable timer)
S	Smoke Detector
TV	Television Cable
	Phone Jack
	Phone Jack (dual)
T	Thermostat
F1	Fan 1
F2	Fan 2
Htr B	Base Board Elec. Heater (length/feet)
Htr W	Wall mtd. Elec. Heater (with fan)
panel	Service Panel
meter	Electric Meter
ph	Photo Cell Switch
	wire







See Electrical plan for reflected ceiling plan

This plan also shows reflected ceiling plan

First Floor Electrical Plan

0 2' 4' 8'

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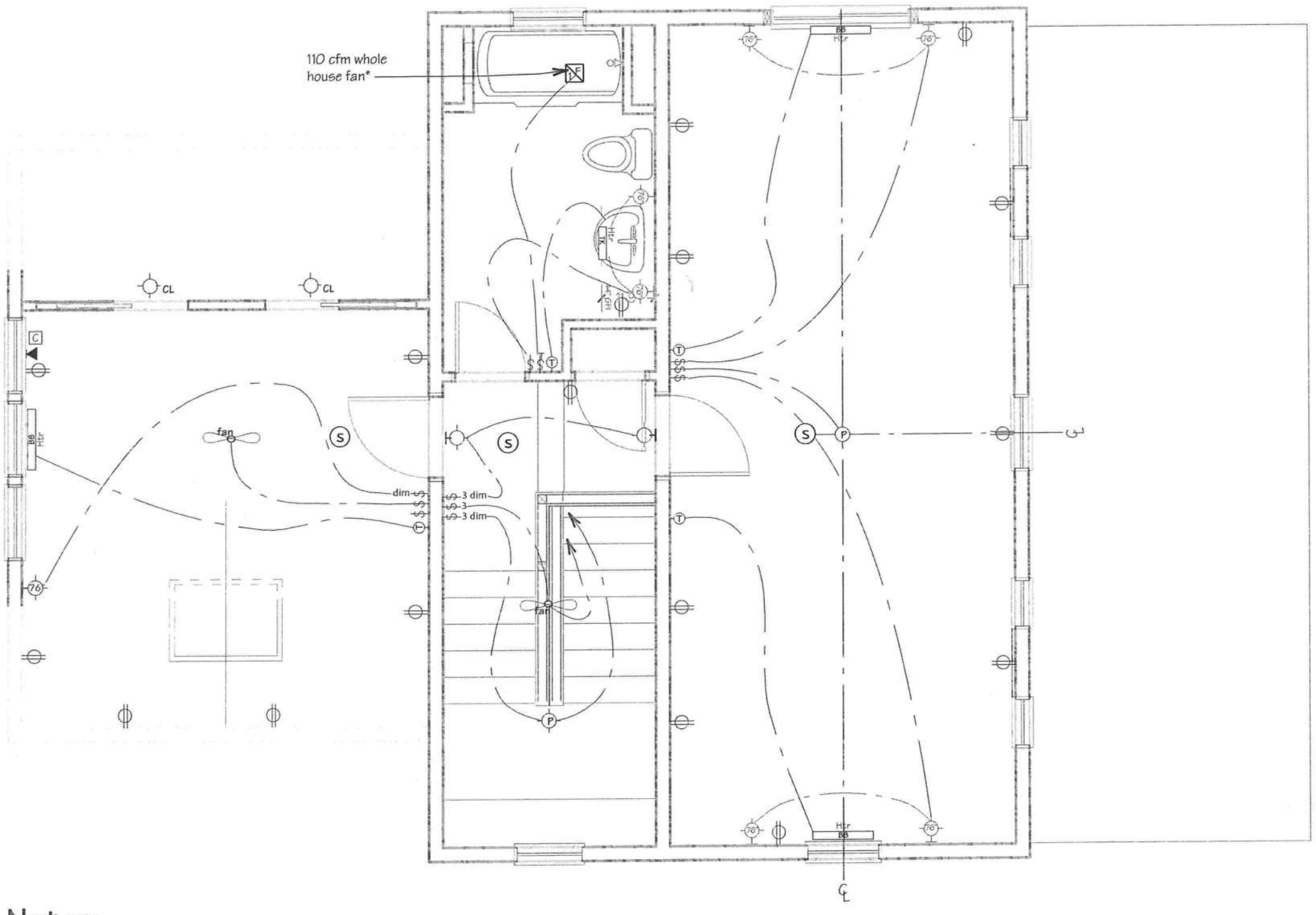
8.1 ELECTRICAL

Electrical Key

Type	Description
	110v Duplex Outlet
44"	110v outlet (44" above floor)
	110v Outlet (Switched)
WP	110v Outlet (Water Proof)
GFI	110v Outlet (Ground Fault Interruptor per NEC)
	220v Outlet
J	Junction Box
	Light (Overhead)
P	Light (Pendant)
	Light (Wall Mount)
	6" Light (Insul Recessed Can)
	Light (Exposed Can)
	Light (Recessed w/ Eyeball)
	4' (2) Lamp Flourescent
	4' (1) Lamp Flourescent
PC	2' (1) Lamp Flourescent, Pull Chain
	Track Light
	Track Light Head
	Switch (Single Pole)
dim	Switch (w/ Dimmer)
3	Switch (3-way)
4	Switch (4-way)
	Switch (programmable timer)
S	Smoke Detector
TV	Television Cable
	Phone Jack
	Phone Jack (dual)
T	Thermostat
F1	Fan 1
F2	Fan 2
Htr B	Base Board Elec. Heater (length/feet)
Htr W	Wall mtd. Elec. Heater (with fan)
panel	Service Panel
meter	Electric Meter
ph	Photo Cell Switch



Notes:

1) A walk-through with the Architect, Owner and Electrician is required before proceeding with the installation.
2) Where possible, gang electrical boxes together and locate near wall edges.
3) Unless otherwise noted, allow 4 1/2" min. from edge of rough framing @ wall end to electric boxes.
4) meter to be field located

Second Floor Electrical Plan

0 2' 4' 8'

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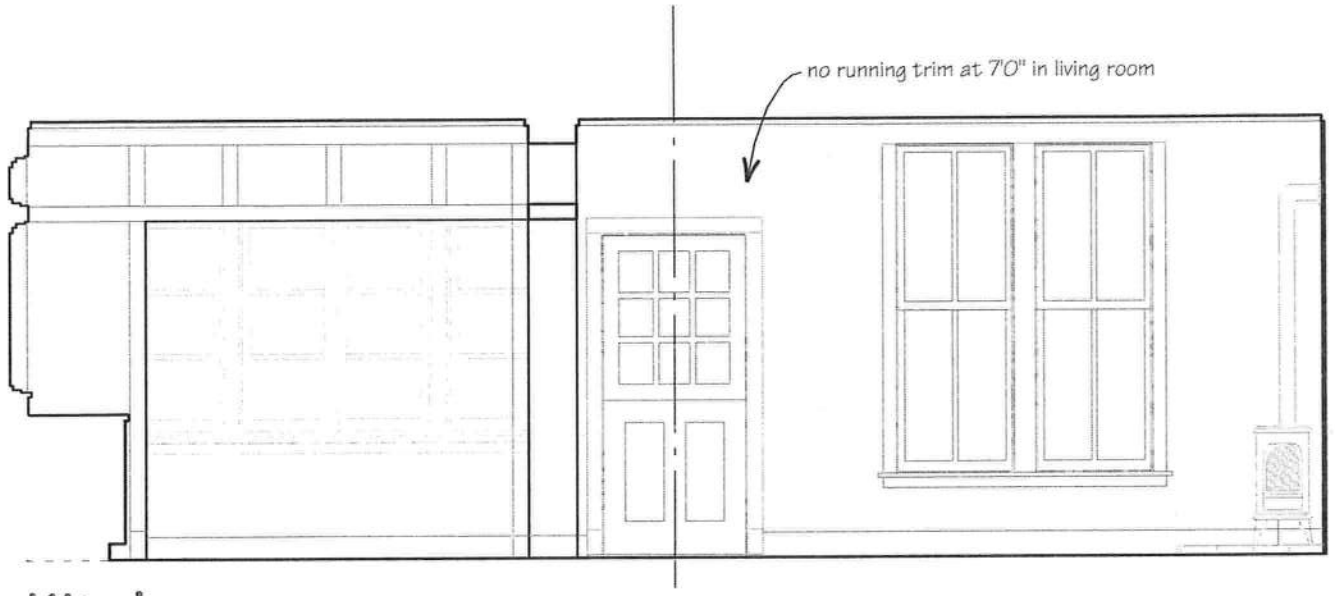
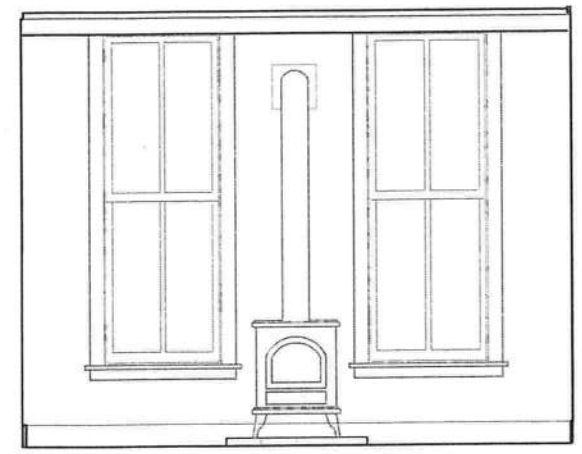
8.2 ELECTRICAL



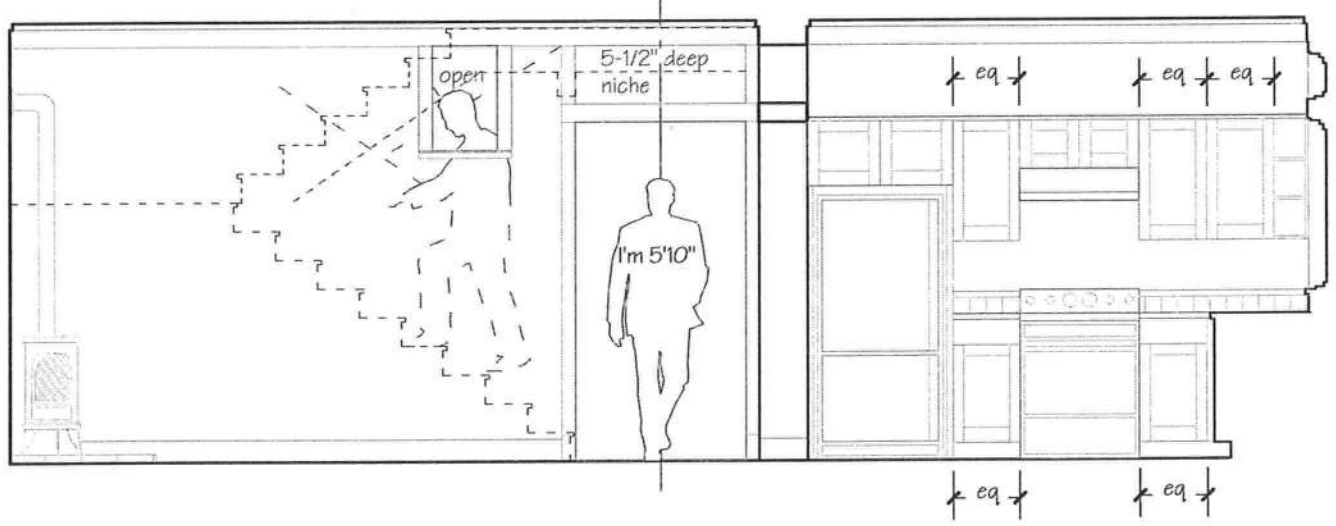


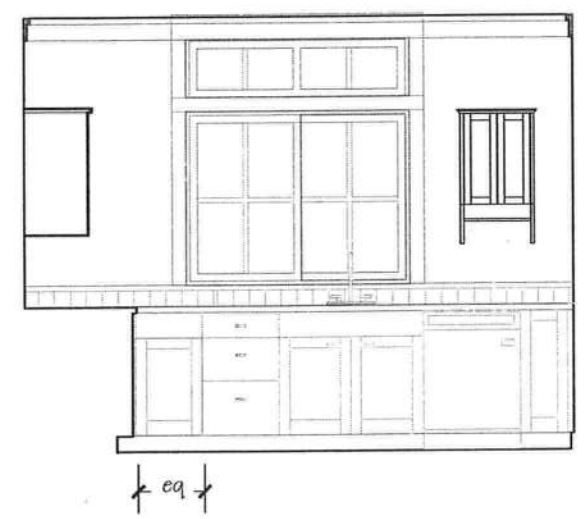
See Electrical plan for reflected ceiling plan

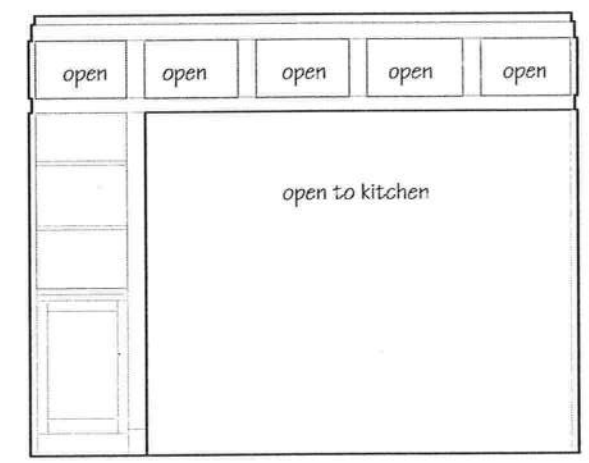
Kitchen

Living Room

0 2' 4' 8'



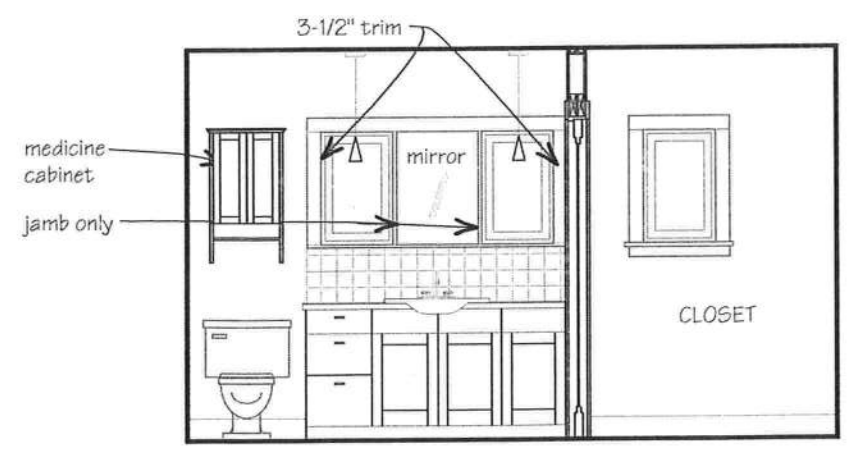




Living Room

Kitchen

0 2' 4' 8'



Downstairs Bathroom

0 2' 4' 8'

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9.1 DETAILS

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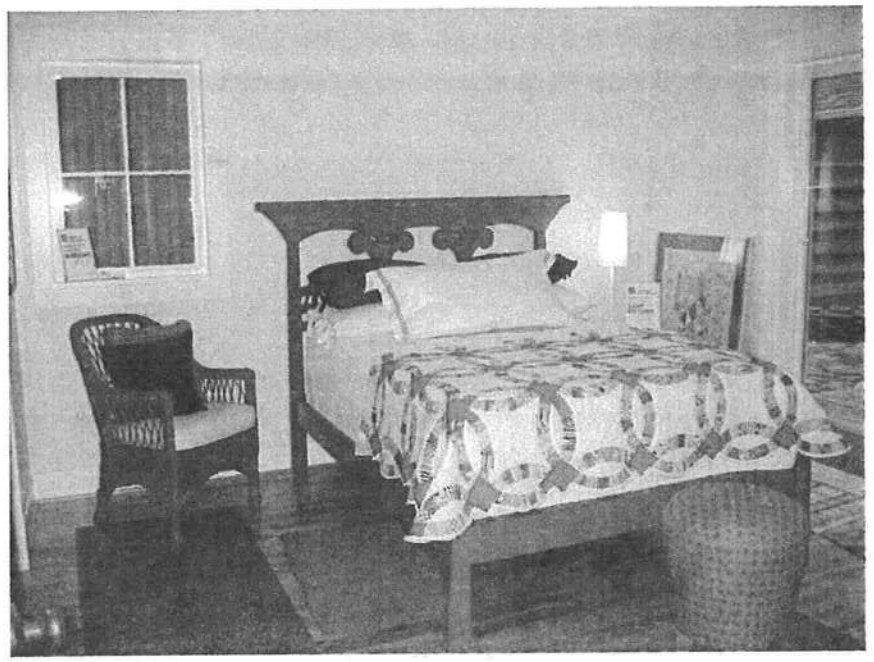
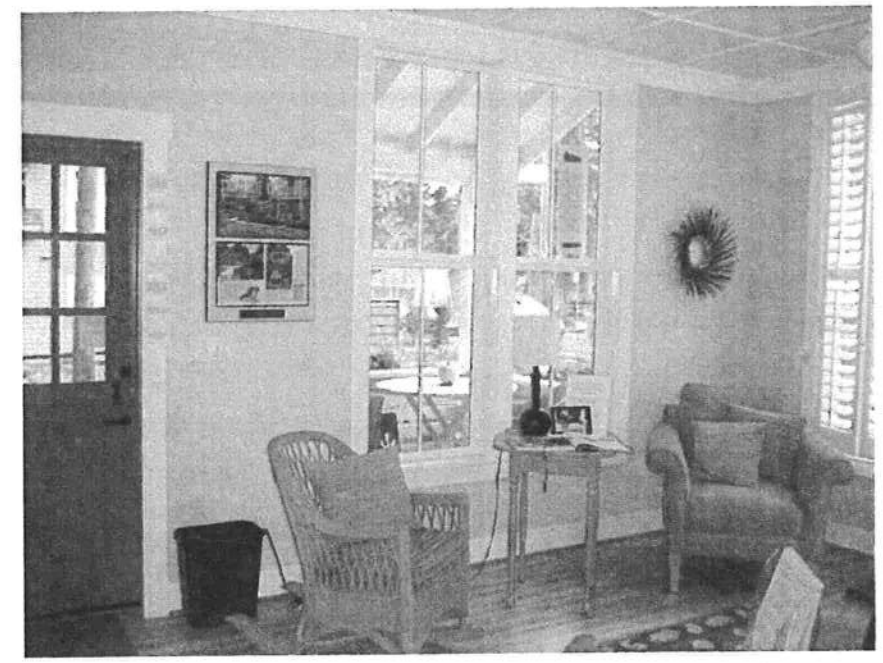


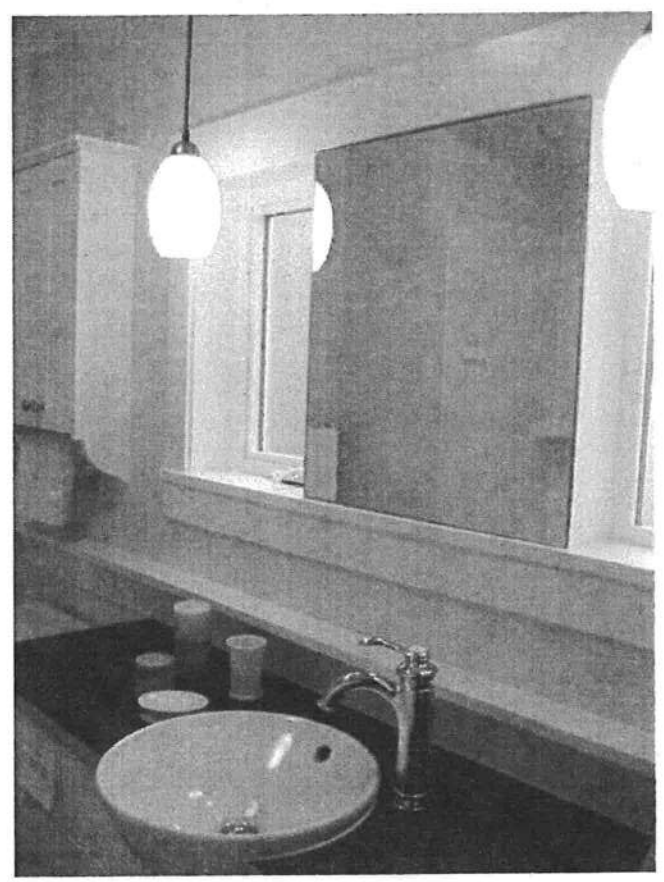
Bedroom 1

Living Room



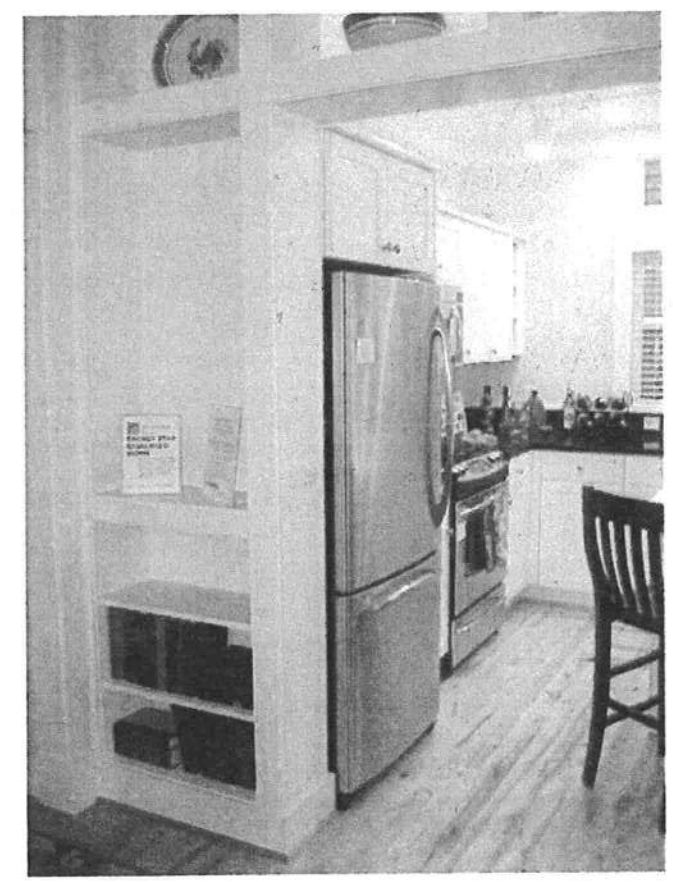
Living Room

Laundry



Master Bath

Dining Room



Living Room

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9.2 DETAILS

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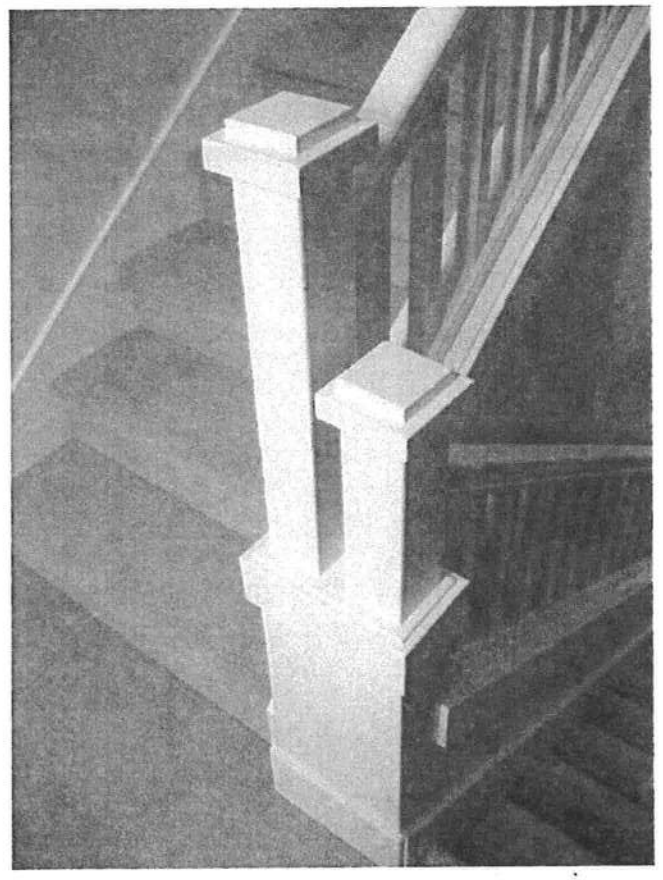
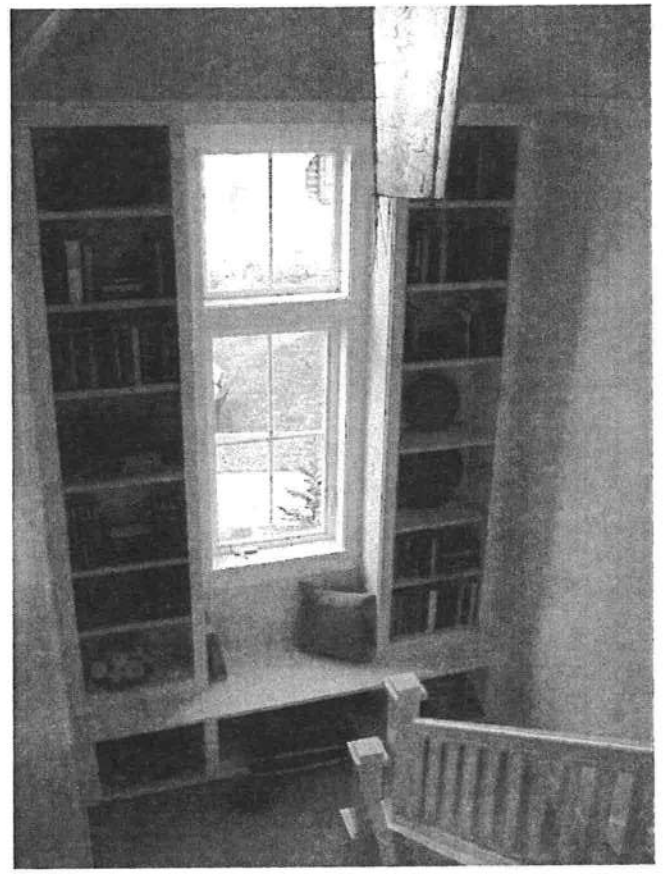
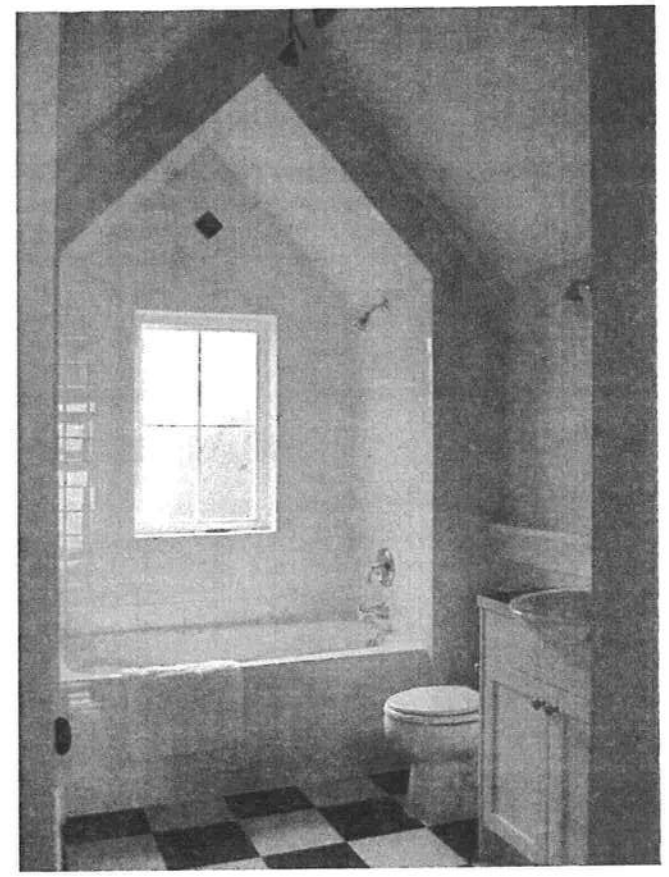


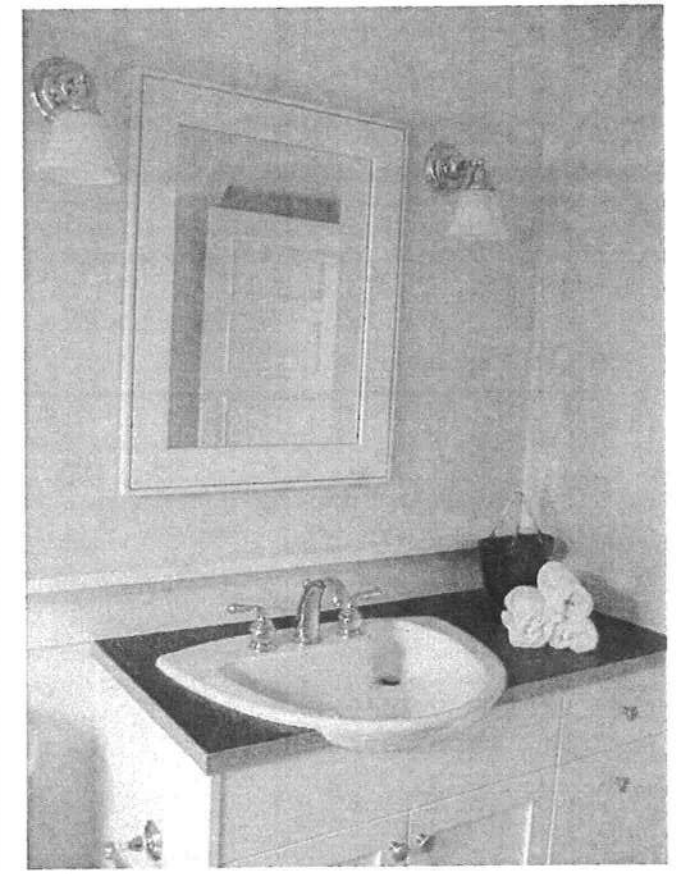
Stair Landing



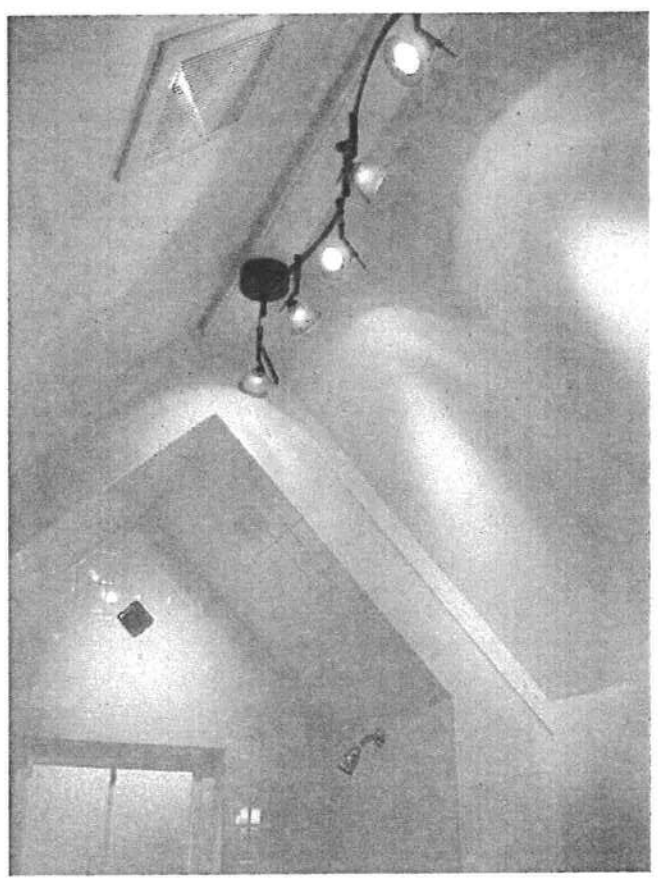
Stair Landing



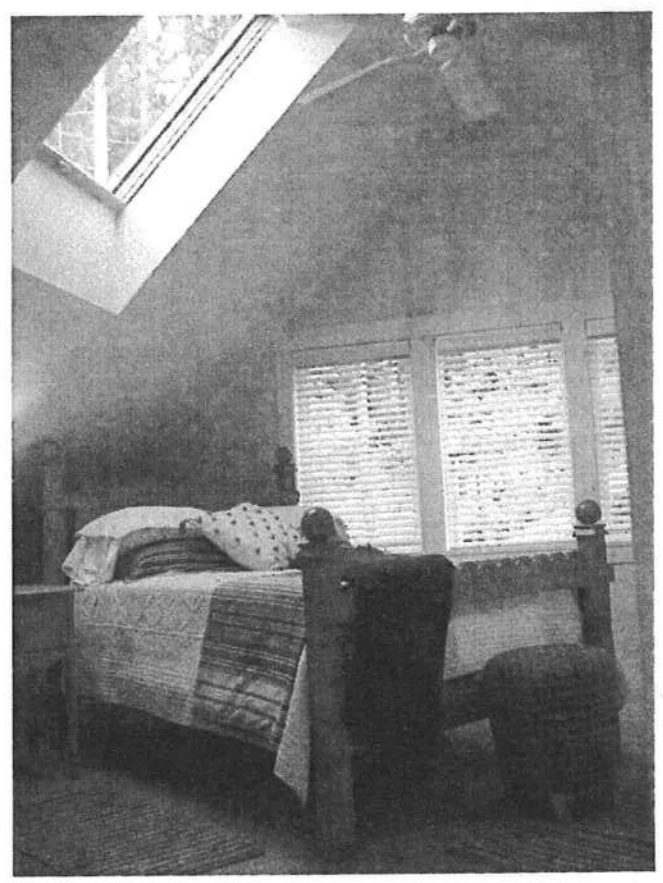
Bath 2



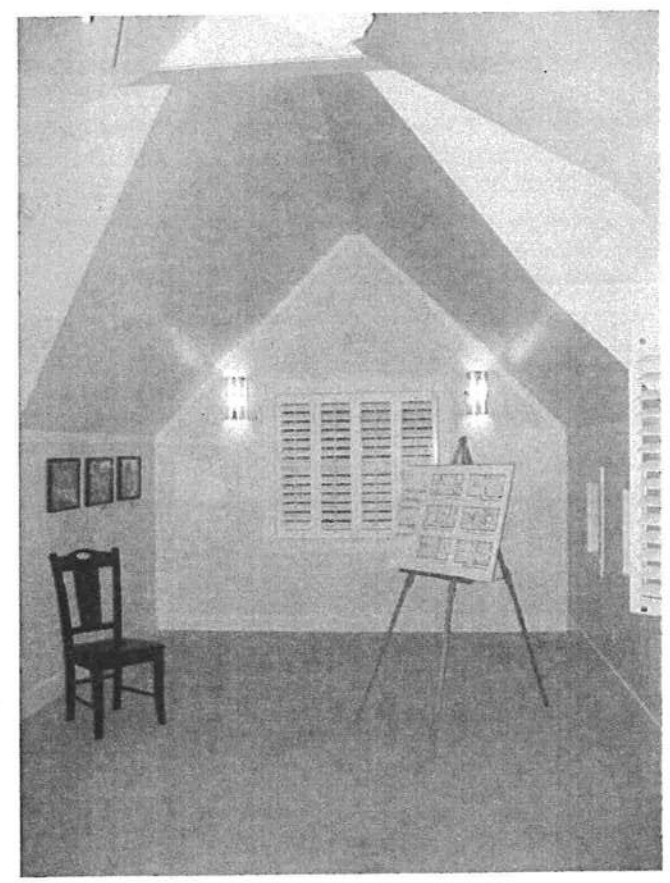
Bath 2



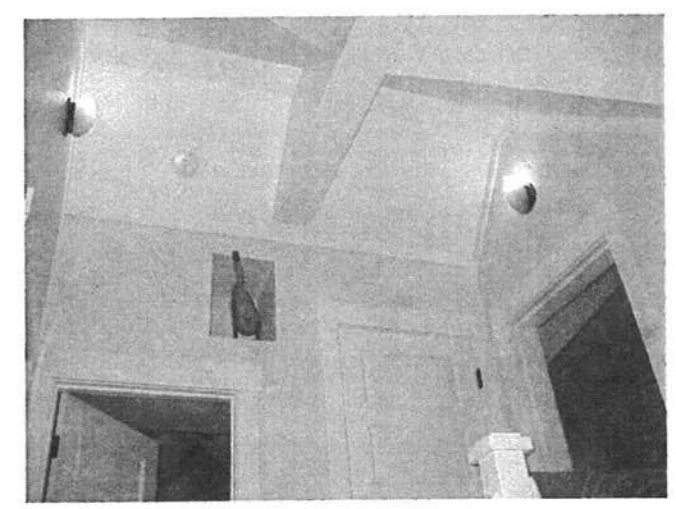
Bath 2



Bedroom 2



Commons



Upper Hall

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Plumrose

9.3 DETAILS

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Window Schedule

Project:	Plumrose	Material:	Vinyl	Window Swing:	LDL see elevation	Lites:	LDL see elevation
Manufacturer:	Weathervane or similar	Ext. Color:	White	Mullion Width:	3/4"		
Model:	"Vantage" or similar	Screens:	Yes	Panes:	2		

#	Location	Model	Description	Features					RO Width		RO Height		Notes	U factor
				Divisions	Egress	Vent	Tempered	Obscure	ft	in	ft	in		
101	Dining	2046	Fixed Casement	3 lite					2	0	4	6		0.32
102	Dining	4046	2 Wide Casement	2x 3 Lite					4	0	4	6		0.32
103	Dining	2046	Fixed Casement	3 lite					2	0	4	6		0.32
104	Dining	2046	Fixed Casement	3 lite					2	0	4	6		0.32
105	Not Used													
106	Living	26610	Single Hung	4 Lite					2	6	6	10		0.35
107	Living	26610	Single Hung	4 Lite					2	6	6	10		0.35
108	Living	26610	Single Hung	4 Lite		●			2	6	6	10		0.35
109	Living	26610	Single Hung	4 Lite		●			2	6	6	10		0.35
110	Bath 1	1624	Casement	1 Lite				●	1	6	2	4		0.32
111	Bath 1	1624	Fixed Casement	1 Lite				●	1	6	2	4		0.32
112	Bath 1	1624	Casement	1 Lite					1	6	2	4		0.32
113	Bedroom 1	2658	Single Hung	4 Lite		●			2	6	5	8		0.35
114	Laundry	2436	Casement	4 Lite					2	4	3	6		0.32
115	Kitchen	4836	Slider	2x 4 Lite					4	8	3	6		0.35
116	Kitchen	4813	Fixed (match slider below)	4 lite					4	8	1	3	verify height with running trim	0.35
117	Dining	4046	2 Wide Casement	2x 3 Lite					4	0	4	6		0.32
118	Dining	2046	Fixed Casement	3 lite		●			2	0	4	6		0.32
201	Commons	1619	Fixed Casement	1 Lite					1	6	1	9		0.32
202	Commons	1619	Fixed Casement	1 Lite					1	6	1	9		0.32
203	Commons	2642	Casement	4 Lite	●	●			2	6	4	2	see note 6	0.32
204	Commons	1619	Fixed Casement	1 Lite					1	6	1	9		0.32
205	Commons	1619	Fixed Casement	1 Lite					1	6	1	9		0.32
206	Commons	2642	Casement	4 Lite	●	●			2	6	4	2	see note 6	0.32
207	Stair	2446	Casement	4 Lite			●		2	4	4	6		0.32
208	Stair	2424	Fixed Casement	2 Lite					2	4	2	4		0.32
209	Bedroom 2	2642	Casement	4 Lite	●				2	6	4	2	see note 6	0.32
210	Bedroom 2	2642	Fixed Casement	4 Lite		●			2	6	4	2		0.32
211	Bedroom 2	2642	Casement	4 Lite	●				2	6	4	2	see note 6	0.32
212	Bath 2	2436	Casement	4 Lite				●	2	4	3	6		0.32
213	Commons	4842	Slider	2x 4 Lite	●	●			4	8	4	2	see note 6	0.35
SL1	Bedroom 3	Velux 606	Skylight	1 Lite					3	8 3/4	3	10 7/8	verify venting or fixed	0.35

Door Schedule

Project:	Plumrose	Material:	Wood
Manufacturer:	TBD	Ext. Color:	TBD

Door #	Location	Type	Thicknes	Width		Height		Notes	U factor
			in	ft	in	ft	in		
101	Entry	Ext. Dutch w/9 lite above-see architect	1 3/4	3	0	6	8		Exempt
102	Laundry	Ext. Insulated Door	1 3/4	2	6	6	8		0.35
103	Laundry	5 panel	1 3/8	2	6	6	8		N/A
104	WC	5 panel	1 3/8	2	0	6	8		N/A
105	Bedroom 1	5 panel	1 3/8	2	6	6	8		N/A
106	Bedroom 1	Ext. full-lite slider	1 3/4	6	0	6	8	tempered glass	0.35
107	Closet	5 panel, pocket	1 3/8	2	6	6	8		N/A
108	Bath 1	5 panel	1 3/8	2	4	6	8		N/A
109	Mech	Ext. Insulated Panel w/ siding	1 3/4	2	6	3	9		N/A
110	W.C.	5 panel	1 3/8	2	2	6	8		N/A
201	Bedroom 2	5 panel	1 3/8	2	6	6	8		N/A
202	Bedroom 2/Closet	5 panel, pocket	1 3/8	2	6	6	8		N/A
203	Bedroom 2/Closet	5 panel, pocket	1 3/8	2	6	6	8		N/A
204	Bath 2	5 panel	1 3/8	2	4	6	8		N/A
205	Closet	5 panel	1 3/8	2	4	6	8		N/A
206	Commons	5 panel	1 3/8	2	6	6	8		N/A

Window Notes:

1) Refer to plans for orientation of casement swing.
2) Refer to manufacturer's specifications for precise dimensions of rough openings and installation instructions. Note flare of roof openings -- see sections.
3) Refer to Elevation Sheets for header heights.
4) Verify glazing is min. 60" above bathroom/tub floor
5) Provide whole-house ventilation intake vents in window frames where required by the municipality having jurisdiction.
6) Verify with manuf. that window meets egress requirements.

PRINTED
May 5, 2008

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Plumrose

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10.2
Window & Door

Stock Plan General Notes & Disclaimers

1) These drawings have been prepared to meet generally accepted professional standards and practices, but have been developed without knowledge of or reference to the Licensee's specific site or geographical location. Local site conditions, such as frost depth, soil bearing capacity, seismic and wind zones, exposure, etc. may vary. Local code requirements for such life-safety requirements as stair width, stair rise and run, egress windows and smoke detectors, etc. may vary. The strength of materials (such as lumber) available locally may vary. **Therefore, supplemental to these documents, it is the Licensee's responsibility to consult with his/her local builder and a professional designer or structural engineer to determine that these documents meet all current federal, state/provincial and local codes, ordinances/bylaws and regulations, etc., and are appropriate to specific site conditions. Compliance with such requirements shall take precedence over these documents.**

NOTE: Shear Schedule must be modified and/or approved by a local Structural Engineer to meet Site Conditions

Sample Shear Schedule

Typical Notes # 1,2,3,5,6,7,9

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection		Note #
			if TJI	if 2x or LSL	at wood	at concrete	
1	1/2" CDX plywood	8d @ 6" o.c.	16d @ 6" o.c.	A35 @ 24" o.c.	16d @ 6" o.c.	5/8" dia. A.B. @ 48" o.c.	
2	1/2" CDX plywood	8d @ 4" o.c.	16d @ 4" o.c.	A35 @ 16" o.c.	16d @ 4" o.c.	5/8" dia. A.B. @ 32" o.c.	
3	1/2" CDX plywood	8d @ 3" o.c.	(2) rows 16d @ 6" o.c.	A35 @ 12" o.c.	16d @ 3" o.c.	5/8" dia. A.B. @ 16" o.c.	4
4	1/2" CDX plywood	8d @ 2" o.c.	(2) rows 16d @ 4-1/2" o.c.	A35 @ 9" o.c.	(2) rows 16d @ 4-1/2" o.c.	5/8" dia. A.B. @ 12" o.c.	4
5	1/2" CDX plywood each side	8d @ 4" o.c. each side	(2) rows 16d @ 4" o.c.	A35 @ 8" o.c.	(2) rows 16d @ 4" o.c.	5/8" dia. A.B. @ 24" o.c.	4, 10
6	1/2" CDX plywood each side	8d @ 3" o.c. each side	(2) rows 16d @ 3" o.c.	A35 @ 26" o.c.	(2) rows 16d @ 3" o.c.	5/8" dia. A.B. @ 16" o.c.	4, 10

Note:	Description
1	Block edges with 2x laid flat. Nail to intermediate supports (field nail) with 8d @ 12" o.c.
2	8d nails shall be .0131" dia. x 2-1/2" long (common) - 16d nails shall be 0.135" dia. x 3-1/2" (box)
3	Embed anchor bolts at least 7". Expansion bolts may be substituted for anchor bolts with 4" embedment. All bolts shall have 3 x 3 x 1/4" galv. plate washers.
4	3x studs or double studs nailed together with base plate nailing are required at SW3, SW4, SW5, and SW6. Where 3x studs are used for SW4, stagger nails at adjoining panel edges.
5	Two studs minimum are required at each end of all shearwall and end studs shall receive panel edge nailing.
6	All exterior walls shall be SW1, U.N.O
7	7/16" OSB may be substituted for 1/2" CDX.
8	LTP4's may be substituted for A35's at contractor's option
9	Studs must align within 5" of trusses, rafters or joist spaced more than 16" oc.
10	3x foundation sill plate is required at SW5 and SW6

NOTE: Hold Down Schedule must be modified and/or approved by a local Structural Engineer to meet Site Conditions

Sample Holdown Schedule

Call-out	Hardware	Screws	Anchor Bolt	Embed	Holdown Post[3]	
					if 2x4	if 2x6
2	HDU2-SDS2.5	(6)SDS 1/4"x 2-1/2"	5/8" dia.	12"	(2) 2x4	(2) 2x6
4	HDU4-SDS2.5	(10)SDS 1/4"x 2-1/2"	5/8" dia.	12"	4x4	4x6
5	HDU5-SDS2.5	(14)SDS 1/4"x 2-1/2"	5/8" dia.	12"	4x4	4x6
8	HDU8-SDS2.5	(20)SDS 1/4"x 2-1/2"	7/8" dia.	14"	4x4	4x6
11	HDU11-SDS2.5	(30)SDS 1/4"x 2-1/2"	1" dia.	16"	4x8	6x6

Notes:
1) Cast in: Headed bolt or all-thread w/ washer & nut
2) Block solid in joist space (where occurs) under column, typ.
3) Minimum size of post at end of wall unless otherwise noted on framing plans

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Plumrose

3/30/09

10.1 Sample Shear