DATE 05/27/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029437

APPLICANT TARA HOWELL PHONE 386.984.7976

ADDRESS 8383 150TH STREET LIVE OAK FL 32060

OWNER SCOTT & STEPHANIE JOHNS PHONE 386.755.5520

ADDRESS 354 SW COREY GLEN LAKE CITY FL 32025

CONTRACTOR C. SCOTT COLLINS PHONE 386.466.9615

LOCATION OF PROPERTY 90-W TO KOONVILLE AVE,TL TO CORY GLN,TR AND IT'S THE 4TH PROPERTY ON L.

TYPE DEVELOPMENT MODULAR/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA _____ TOTAL AREA _____ HEIGHT ____ STORIES ____

FOUNDATION _____ WALLS _____ ROOF PITCH _____ FLOOR _____

LAND USE & ZONING A-3 MAX. HEIGHT _____

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 26-3S-15-00242-009 SUBDIVISION _____

LOT ____ BLOCK ____ PHASE ____ UNIT ____ TOTAL ACRES 10.03

Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor	
		CBC1252863	Tara C Howell	
EXISTING	11-0256	BLK	TC	N
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: 1 FOOT ABOVE ROAD.

Check # or Cash 6594

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 0.00 CERTIFICATION FEE $ 0.00 SURCHARGE FEE $ 0.00

MISC. FEES $ 350.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $ _____

FLOOD DEVELOPMENT FEE $ _____ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ _____ **TOTAL FEE** 425.00

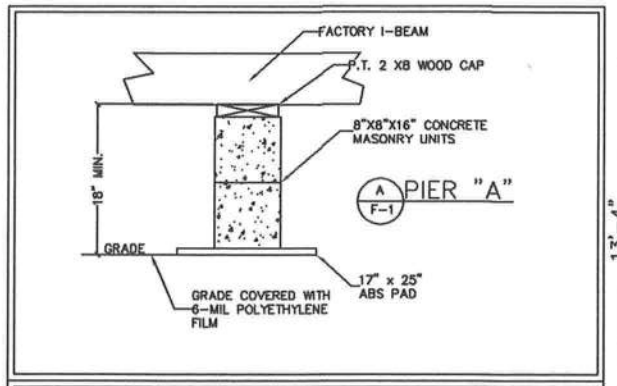
INSPECTORS OFFICE _____ CLERKS OFFICE _____

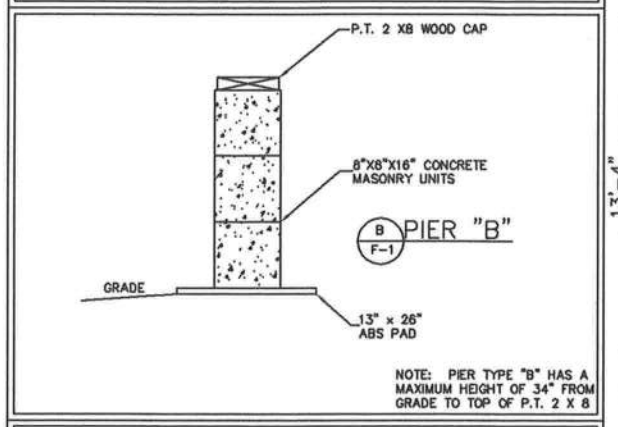
NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

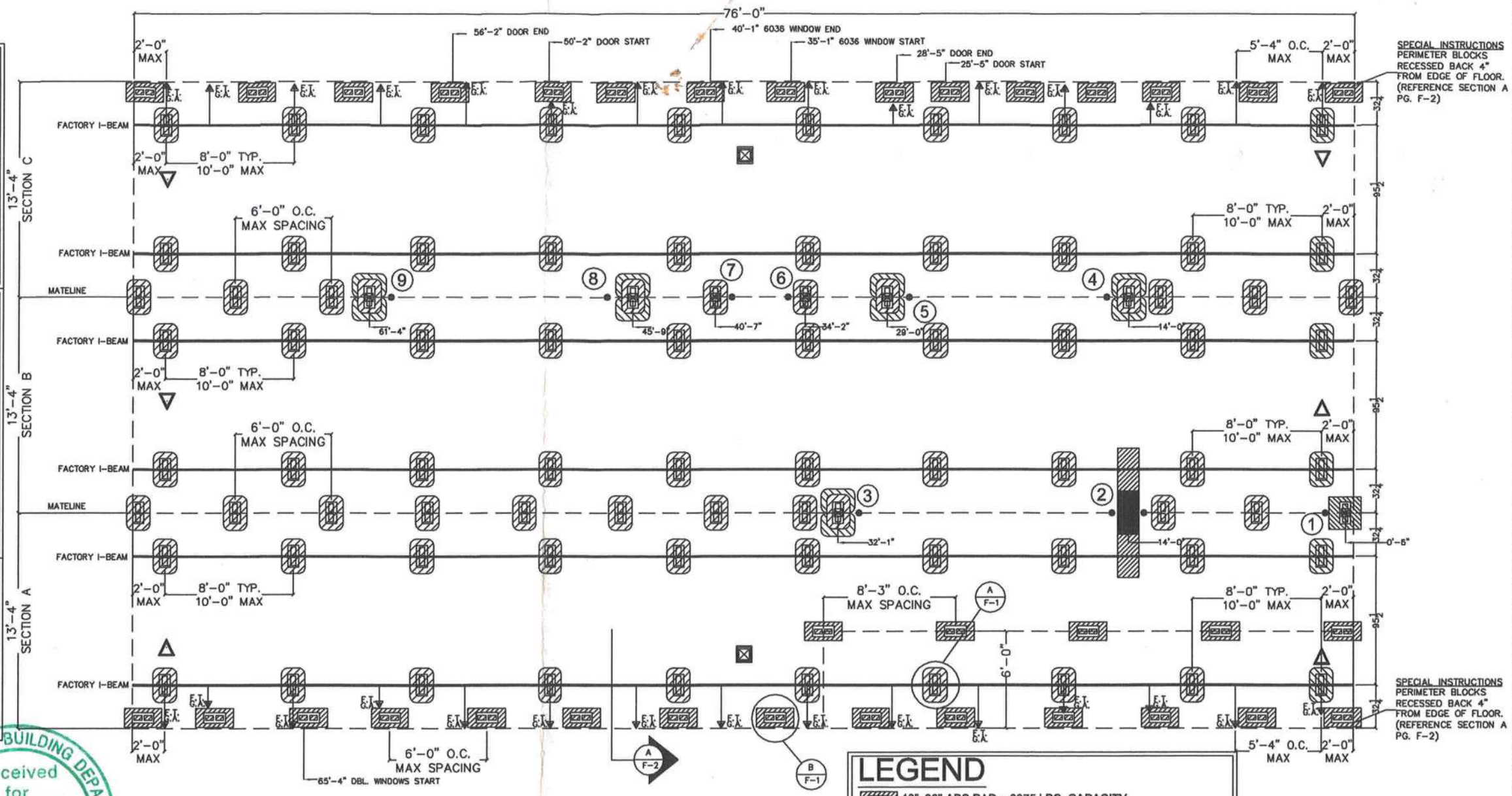




NOTE: PIER TYPE "B" HAS A MAXIMUM HEIGHT OF 34" FROM GRADE TO TOP OF P.T. 2 X 8

SYMBOLS

- F.T. G.A. -FRAME TIE-DOWN FASTENED TO GROUND ANCHOR.
- ● -COLUMN ANCHOR STRAP FASTENED TO GROUND ANCHOR
- △ -MINUTE MAN ANCHORS OR EQUIVALENT LONGITUDINAL & LATERAL BRACING SYSTEM
- ⊠ -MINUTE MAN ANCHORS OR EQUIV. LATERAL BRACING SYSTEM ONLY

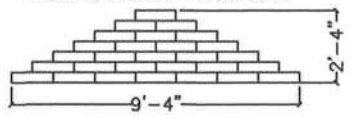


COLUMN LOADS

1. = 3776 LBS.
2. = 9476 LBS.
3. = 5224 LBS.
4. = 5350 LBS.
5. = 5350 LBS.
6. = 2024 LBS.
7. = 2024 LBS.
8. = 4624 LBS.
9. = 4624 LBS.

LEGEND

- 13"x26" ABS PAD = 2375 LBS. CAPACITY
- 17.5"x25.5" ABS PAD = 3000 LBS. CAPACITY
- 24"x24" ABS PAD = 4000 LBS. CAPACITY OR 21" X 29" OVAL PAD = 4000 LBS. CAPACITY
- (3) 17.5"x25.5" ABS PAD = 6000 LBS. CAPACITY (TOP PAD IS LAID IN THE OPPOSITE DIRECTION TO THE BOTTOM PADS)
- 16"x16"x4" CONCRETE PIER PADS - STACKED LOAD CAPACITY = 7 PADS ON BOTTOM X 1490 LBS. LOAD CAPACITY = 10430 LBS.



STRUCTURAL LOAD LIMITATIONS:

CODE EDITION: 2007 FLORIDA BUILDING CODE & ASE 7-05

1. BASIC WIND SPEED: 120 mph WIND SPEED
2. DESIGN WIND SPEED: 120 mph WIND SPEED
3. WIND EXPOSURE CATEGORY: "B"
4. IMPORTANCE FACTOR: 1.0
5. INTERNAL PRESSURES: +25.9 -28.4 INTERIOR; +25.9 -31.6 END
6. DESIGN ROOF LIVE LOAD: 20 PSF
7. DESIGN FLOOR LIVE LOAD: 50 PSF
8. MIN. ASSUMED SOIL BEARING CAPACITY: 1000 PSF
9. OCCUPANCY CLASSIFICATION: R3
10. CONSTRUCTION TYPE: VB
11. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT IN A HIGH VELOCITY HURRICANE ZONE AS DEFINED BY THE FBC.
12. THIS BUILDING IS NOT DESIGNED TO BE SUBMERGED OR SUBJECTED TO WAVE ACTION WHEN LOCATED IN A FLOOD PRONE OR ZONE AREA. THE BOTTOM OF THE STRUCTURAL I-BEAM MUST BE LOCATED ABOVE THE BUILDING SITE FLOOD PLANE LEVEL FOR THIS BUILDING TO BE LOCATED IN A FLOOD PRONE OR ZONE AREA OR THE THE GRADE AT THE BUILDING SITE MUST BE ABOVE THE FLOOD PLANE LEVEL.

COLUMBIA COUNTY BUILDING DEPARTMENT
Received for FILE COPY
Code Compliance
PLANS EXAMINER

FOUDATION NOTES:

1. BLOCKING SPACING BASED ON 20PSF LIVE LOAD ON ROOF AND 1000 PSF SOIL BEARING CAPACITY.
2. CONCRETE BLOCKS ARE ONLY RATED AT 8000 POUNDS, 8000 POUND PIERS OR HIGHER MUST BE DOUBLE BLOCKED.
3. STABILIZER SYSTEM PER MINUTE MAN ANCHORS, INC., OR EQUIVALENT AND ALL SIDEWALL ANCHORS ARE SPACED PER PLAN. FOUR FOOT GROUND ANCHOR MAY BE USED.
4. WOOD SHIMS MAY BE INSTALLED WHEN NECESSARY BETWEEN THE I-BEAM AND THE TOP OF THE PIER. SHIMS SHALL BE FREE OF KNOTS, SPLITS, AND SIMILAR IMPERFECTIONS. SHIMS SHALL BE OF P.T. LUMBER, CEDAR, OR ABS AND BEARG AT ALL CONTACT POINTS SHALL NOT BE LESS THAN 2/3 OF THE BEARING PRIOR TO ADDING THE SHIMS.
5. ALL TIE DOWN ANCHORS SHALL HAVE A MINIMUM 4,725 LB. CAPACITY AND SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
6. THE STEEL FRAME OF HOME IS NOT FOR USE OF RELOCATION OF HOME AFTER SETUP, AND IS INTENDED FOR USE AS A PERMANENT FOUNDATION.
7. ALL PIERS SHALL BE CONSTRUCTED OF 8" X 8" X 16" CONCRETE MASONRY UNITS CONFORMING TO ASTM C90.
8. INSTALL BLOCK PIER ON EACH SIDE OF ALL EXTERIOR DOOR OPENINGS.
9. I-BEAM SUPPORT PIERS MAY BE INSTALLED LATERALLY (90 DEGREES FROM THE ORIENTATION SHOWN ON THE FOUNDATION PLAN). MUST BE LOCATED DIRECTLY BELOW THE I-BEAM CENTERLINE.

SES
Sēnyb Engineering Services
Senyb Engineering Services
805 Reflections Loop East
Winter Haven, FL 33884

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THESE STANDARDS AND PLANS MEET
THE 2007 F.B.C. - RESIDENTIAL
2009 Amendments
MAX. WIND = 120 MPH Exposure "B"

LEONARD G. WOOD P.E. #47377
4034 THE-FENWAY
MULBERRY, FL. 33860
PHONE: 863-646-5517

5/4/11
DATE
LEONARD G. WOOD
REGISTERED PROFFESSIONAL ENGINEER # 47377

SETUP CONSTRUCTION

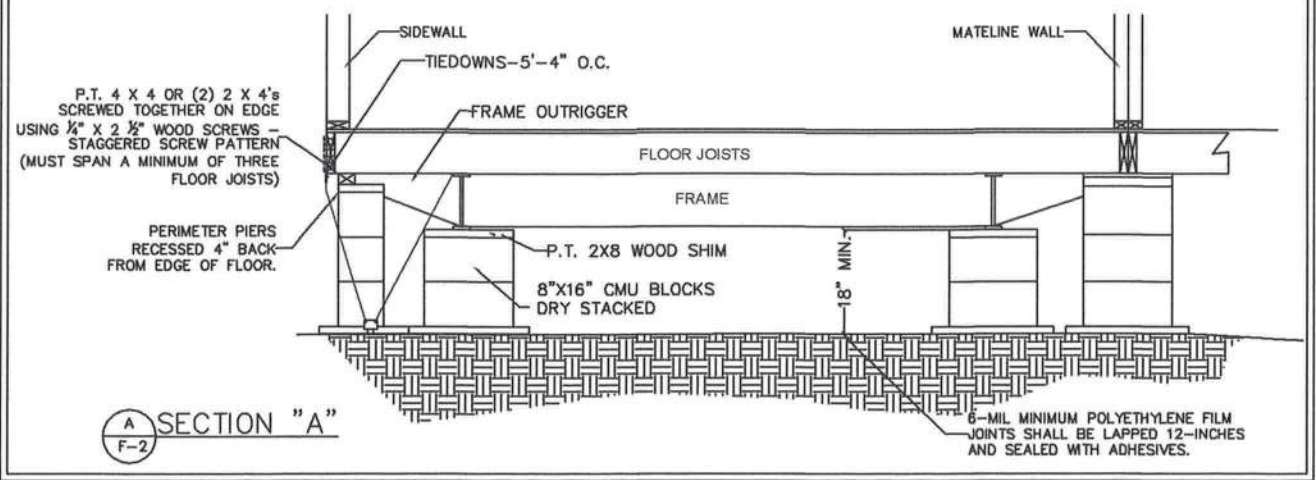
DRAWING INFORMATION	
NAME:	M.B.J.
DATE:	05-02-2011
SCALE:	NOT PRINTED TO SCALE

CUSTOMER: JOHNS (Model # C9443-D)
ADDRESS: 354 SW COZY GLENN, LAKE CITY, FL 32055
FOUNDATION PLAN AND DETAILS
PROVIDED BY
SENYB ENGINEERING SERVICES
Winter Haven, Florida

DESIGNED FOR 20 PSF ROOF LIVE LOAD AND 1000 PSF SOIL BEARING CAPACITY

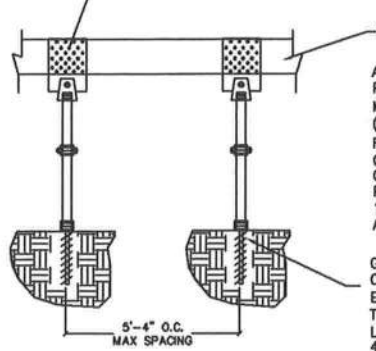
F-1

SHEET 1 OF 2



A F-2 SECTION "A"

GROUND ANCHOR INSTALLATION



ALL TIE-DOWN STRAPS, ETC., SHALL BE TYPE 1 FINISH B, GRADE 1, STEEL STRAPPING 109,000 MINIMUM YIELD STRENTH, .035" MINIMUM THICKNESS (PLUS OR MINUS .002 IN. - 0.05MM)

FINISH B - HOT-DIPPED GALVANIZED ZINC COATING (ASTM STANDARD 123-89A); .6 OUNCES PER SQUARE FOOT, PER SURFACE, 4750 POUNDS MINIMUM BREAK STENGTH, MARKED EVERY 12 TO 15 INCHES (MANUFACTURER'E NAME AND ASTM SPEC. D3953-91), 1 1/4" WIDTH.

GROUND ANCHORS SHOULD BE CERTIFIED BY A PROFESSIONAL ARCHITECT, ENGINEER AND/OR NATIONALLY RECOGNIZED TESTING LABORITORY. THE MINIMUM WORKING LOAD CAPACITY SHOULD BE AT LEAST EQUAL TO 4725 LBS. ANCHORS SHOULD BE EMBEDDED BELOW THE FROST LINE AND AT LEAST 12" ABOVE THE WATER TABLE.

SES
Sēnyb Engineering Services
Senyb Engineering Services
805 Reflections Loop East
Winter Haven, FL 33884
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THESE STANDARDS AND PLANS MEET THE 2007 F.B.C. - RESIDENTIAL
2009 Amendments
MAX. WIND = 120 MPH Exposure "B"

LEONARD G. WOOD P.E. #47377
4034 THE-FENWAY
MULBERRY, FL. 33860
PHONE: 863-646-5517

5/4/11
DATE
LEONARD G. WOOD
REGISTERED PROFFESSIONAL
ENGINEER # 47377

CONSTRUCTION DETAILS

DRAWING INFORMATION	
NAME:	M.B.J.
DATE:	05-02-2011
SCALE:	NOT PRINTED TO SCALE

CUSTOMER: 40'-0" X 76'-0" (JOHNS)
FOUNDATION PLAN AND DETAILS
PROVIDED BY
SENYB ENGINEERING SERVICES
Winter Haven, Florida

DESIGNED FOR 20 PSF ROOF LIVE LOAD AND 1000 PSF SOIL BEARING CAPACITY

F-2

SHEET 2 OF 2

FAX -758-6889

CL # 6594 $425.00

change name Typo: Should be cozy w/ 32024 updates good

Z.C.

Columbia County Building Permit Application

DEGIE #1018

For Office Use Only Application # 1105-50 Date Received 5/23/11 By LH Permit # 29437

Zoning Official BLK Date 26 MAY, 2011 Flood Zone X Land Use A-3 Zoning A-3

FEMA Map # N/A Elevation N/A MFE 1' below Rd River N/A Plans Examiner T.C. Date 5-26-11

Comments

☐ NOC ☐ EH ☑ Deed or PA ☑ Site Plan ☑ State Road Info ☑ Well letter ☑ 911 Sheet ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☑ Letter of Auth. from Contractor ☑ F W Comp. letter

IMPACT FEES: EMS Fire Corr ☑ Sub VF Form

Road/Code School = TOTAL (Suspended) ☑ App Fee Paid

Septic Permit No. 11-0256 Fax

Name Authorized Person Signing Permit Tara E. Howell Phone 386-984-7976/208-05

Address 8383 150th St. Live Oak, Fl. 32060

Owners Name Scott + Stephanie Johns Phone 623-5658 / 755-5520

911 Address 354 SW Cozy Glen, Lake City, Fl. 32024 - (amy called - 6.16.11)

Contractors Name Christopher Scott Collins Phone (386) 466-9615

Address 406 NW Old Mill Rd Lake City Fla 32025

Fee Simple Owner Name & Address

Bonding Co. Name & Address Huckleberry Sibley + Harvey - 1020 N. Orlando Ave Suite 200 mailto F 32751

Architect/Engineer Name & Address JOHN DOEDENLE, 2011 PALM HARBOR HOMES 15133 CR 22 GOSHEN IN 46528

Mortgage Lenders Name & Address First Fed. 4705 W. U.S. HWY 90 Lake City Fl 32056

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 26-3S-15-00242-009 Estimated Cost of Construction 188,650.00

Subdivision Name Lot Block Unit Phase

Driving Directions Hwy 90W to SW Koonville Ave turn (L) - to SW Cozy Glen turn (R) - 4th property on (L)

Number of Existing Dwellings on Property Ø

Construction of On frame modular home Total Acreage 10.03 Lot Size

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16'

Actual Distance of Structure from Property Lines - Front 353 Side 360 Side 339 Rear 304

Number of Stories 1 Heated Floor Area 3040 sq ft Total Floor Area 3040 sq ft Roof Pitch 4-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.

Spoke to Tara 5/27/11

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Stephanie Johns

Owners Signature ****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Christopher Scot Collins

Contractor's Signature (Permitee)

Contractor's License Number CBC1252863
Columbia County
Competency Card Number 1043

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20___.

Personally Known ✓ **or Produced Identification** _____

Kent Gardner

State of Florida Notary Signature (For the Contractor)

SEAL: KENT GARDNER
Comm# DD0763119
Expires 3/27/2012
Florida Notary Assn., Inc

BUILDING AND ZONING PAGE 2 / 21

29437 SUBCONTRACTOR VERIFICATION FORM Ref: Cust Jo...5

APPLICATION NUMBER 29437 CONTRACTOR: Scott Collins PHONE

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 a... Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior t... the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

JUL 06 2011

ELECTRICAL 530	Print Name Michael D. Smith License #: EC-0002655	Signature Michael D Smith Phone #: 386-752-1077
MECHANICAL/ A/C ____	Print Name License #:	Signature Phone #:
PLUMBING/ GAS	Print Name License #:	Signature Phone #:
ROOFING	Print Name License #:	Signature Phone #:
SHEET METAL	Print Name License #:	Signature Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name License#:	Signature Phone #:
SOLAR	Print Name License #:	Signature Phone #:

JUL 06 2011

Specialty License	License Number	Sub Contractors Company Name	Sub Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Formal Subcontractor form

Allen: Laurie
Cursti Johns

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER _____ CONTRACTOR Christopher Scott Collins PHONE _____

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any element, the permitted contractor is responsible for the correct form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

✓ ELECTRICAL ✓ 1094	Print Name GLENN WHITTINGTON	Signature	
	License # EC 13002957		Phone #: 386 972 1700
✓ MECHANICAL/ A/C 568	Print Name DAVID HALL INC	Signature	
	License #: CAC 057424		Phone #: 386-755-0702
✓ PLUMBING/ GAS 1018	Print Name George Yeager	Signature	
	License #: CFC 1427133		Phone #: 386-438-9635
ROOFING	Print Name	Signature	
	License #:		Phone #:
SHEET METAL	Print Name	Signature	
	License #:		Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name	Signature	
	License #:		Phone #:
SOLAR	Print Name	Signature	
	License #:		Phone #:

MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F.S. 440.108 Building permits; identification of minimum premium policy.--Every employer shall, as a condition applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented at the time the employer applies for a building permit.

Contractor Signature

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/24/2011 **DATE ISSUED:** 3/9/2011

ENHANCED 9-1-1 ADDRESS:

354 SW COZY GLN

LAKE CITY FL 32024

PROPERTY APPRAISER PARCEL NUMBER:

26-3S-15-00242-009

Remarks:

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1925

LC

SSO 1444101871 11-0256
5/B/C 5/27

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 1036886
DATE PAID: 05/23/11
FEE PAID: 405.00
RECEIPT #: 1614618

APPLICATION FOR:
[X] New System [ ] Existing System [ ] Holding Tank [ ] Innovative
[ ] Repair [ ] Abandonment [ ] Temporary [ ] _____

APPLICANT: ~~Tara E. Howell~~ Stephanie Johns

AGENT: Tara E. Howell TELEPHONE: 984-7976/208-0509

MAILING ADDRESS: 8383 150th St. Live Oak, Fl. 32060

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: _____ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 26-3S-15-00242-001 ZONING: _____ I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: 10.03 ACRES WATER SUPPLY: [X] PRIVATE PUBLIC [ ]<=2000GPD [ ]>2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / (N)] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: SW Cozy Glen

DIRECTIONS TO PROPERTY: 90 W to Kennville Rd turn (L) to Cozy Glen turn (R) 4th property on (L).

BUILDING INFORMATION [X] RESIDENTIAL [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	OnFrame modular	5	3040	
2				
3				
4				

[ ] Floor/Equipment Drains [ ] Other (Specify) _____

SIGNATURE: Tara E. Howell DATE: 5-21-11

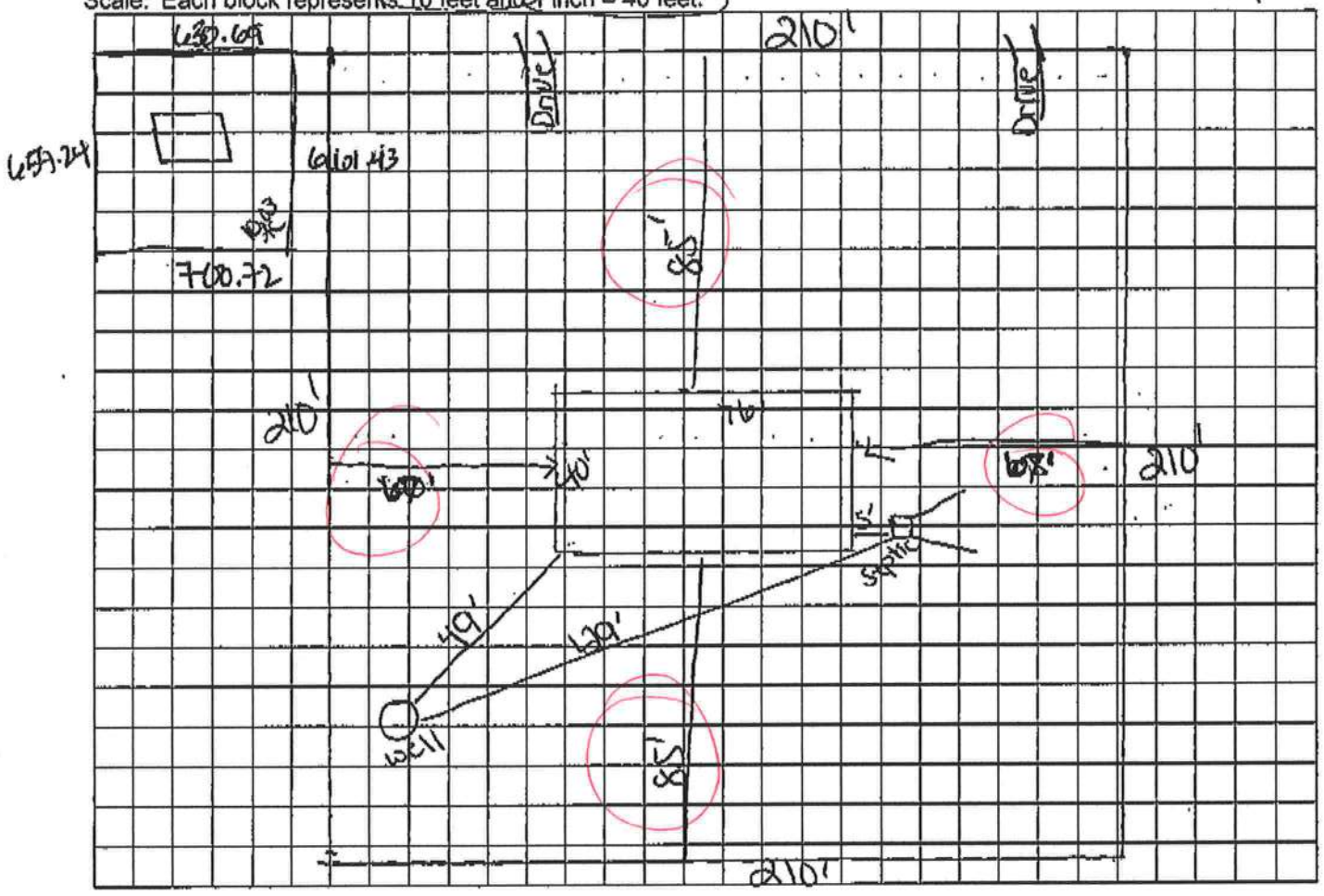
DH 4015, 08/09 (Obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 11-0256

PART II - SITEPLAN

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

Site Plan submitted by: Lara E Howell

Plan Approved X Not Approved ____ Date 5-21-11

By [signature] Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

DH 4015, 08/09 (Obsolates previous editions which may not be used) Incorporated: 64E-6.001, FAC
(Stock Number: 5744-002-4015-6)

Prepared by:

Heritage Title Services of North Florida, Inc.
201 Parshley Street S.W.
Live Oak, Florida 32064

File Number: 10-4179

Inst.201012017510 Date:10/28/2010 Time:1:42 PM
Doc Stamp-Deed:240.80
DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1203 P:2551

General Warranty Deed

Made this October 25, 2010 A.D. By **Robert R. Haines, a married man, Jerri S. Haines, an unmarried person, and Yvonne G. Haines, an unmarried person**, hereinafter called the grantor, to **Tracy S. Johns and Stephanie G. Johns, husband and wife**, whose post office address is: 420 Laguna Drive, Lake City, Fl, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, ($10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

A part of the South 1/2 of the SW 1/4 of the NW 1/4 of Section 26, Township 3 South, Range 15 East, Columbia County, Florida, being more particularly described as follows:
Commence at the Southeast corner of said SW 1/4 of the NW 1/4 of Section 26, and run N 88°35'53" E, along the South line thereof, 624.85 feet to the point of beginning; thence continue N 88°35'53" E, 689.87 feet to the Southeast corner of said SW 1/4 of NW 1/4; thence N 06°20'49" W, 665.16 feet; thence S 88°41'04" W, 626.96 feet; thence S 00°55'14" W, 663.65 feet to the point of beginning;

Subject to an easement for ingress and egress over and across the North 30.00 feet thereof and the South 25.00 feet thereof;

Together with a perpetual non-exclusive easement for ingress and egress over and across and upon the following described property: The South 25.00 feet of the South 1/2 of the South 1/2 of SE 1/4 of the NW 1/4, Section 26, Township 2 South, Range 15 East, Columbia County, Florida.

Said property is not the homestead of the Robert S. Haines and Yvonne G. Haines as Grantor(s) under the laws and constitution of the State of Florida in that neither Grantor(s) or any members of the household of Grantor(s) reside thereon.

Parcel ID Number: **26-3S-15-00242-001**

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2009.

Prepared by:

Heritage Title Services of North Florida, Inc.
201 Parshley Street S.W.
Live Oak, Florida 32064

File Number: 10-4179

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

As to Robert R. Haines
Witness Printed Name MARY L. HAINES

As to Robert R. Haines
Witness Printed Name Donna M. Doane

(Seal)
Robert R. Haines
Address: 14598 Marsh View Drive, Jacksonville, Fl 32250

As to Yvonne G. Haines
Witness Printed Name

As to Yvonne G. Haines
Witness Printed Name Donna M. Doane

(Seal)
Yvonne G. Haines
Address: 14598 Marsh View Drive, Jacksonville, Fl 32250

As to Jerri S. Haines
Witness Printed Name Cheryl E. Beaty

As to Jerri S. Haines
Witness Printed Name Toby R Auntuski

(Seal)
Jerri S. Haines
Address: 264 S.W. Cozy Glen, Lake City, Fl 32024

State of Florida Duval
County of ~~Columbia~~

The foregoing instrument was acknowledged before me this 26 day of October, 2010, by Robert R. Haines, who is/are personally known to me or who has produced _____ as identification.

Notary Public
Print Name: Donna M. Doane
My Commission Expires: MAY 16, 2011

DONNA M DOANE
MY COMMISSION # DD675145
EXPIRES May 16, 2011
(407) 398-0153 FloridaNotaryService.com

Prepared by:

Heritage Title Services of North Florida, Inc.
201 Parshley Street S.W.
Live Oak, Florida 32064

File Number: 10-4179

State of Florida
County of ~~Columbia~~ Duval

The foregoing instrument was acknowledged before me this 26 day of October, 2010, by Yvonne G. Haines, who is/are personally known to me or who has produced _____ as identification.

Donna M. Doane
Notary Public
Print Name: Donna M. Doane
My Commission Expires: May 16, 2011

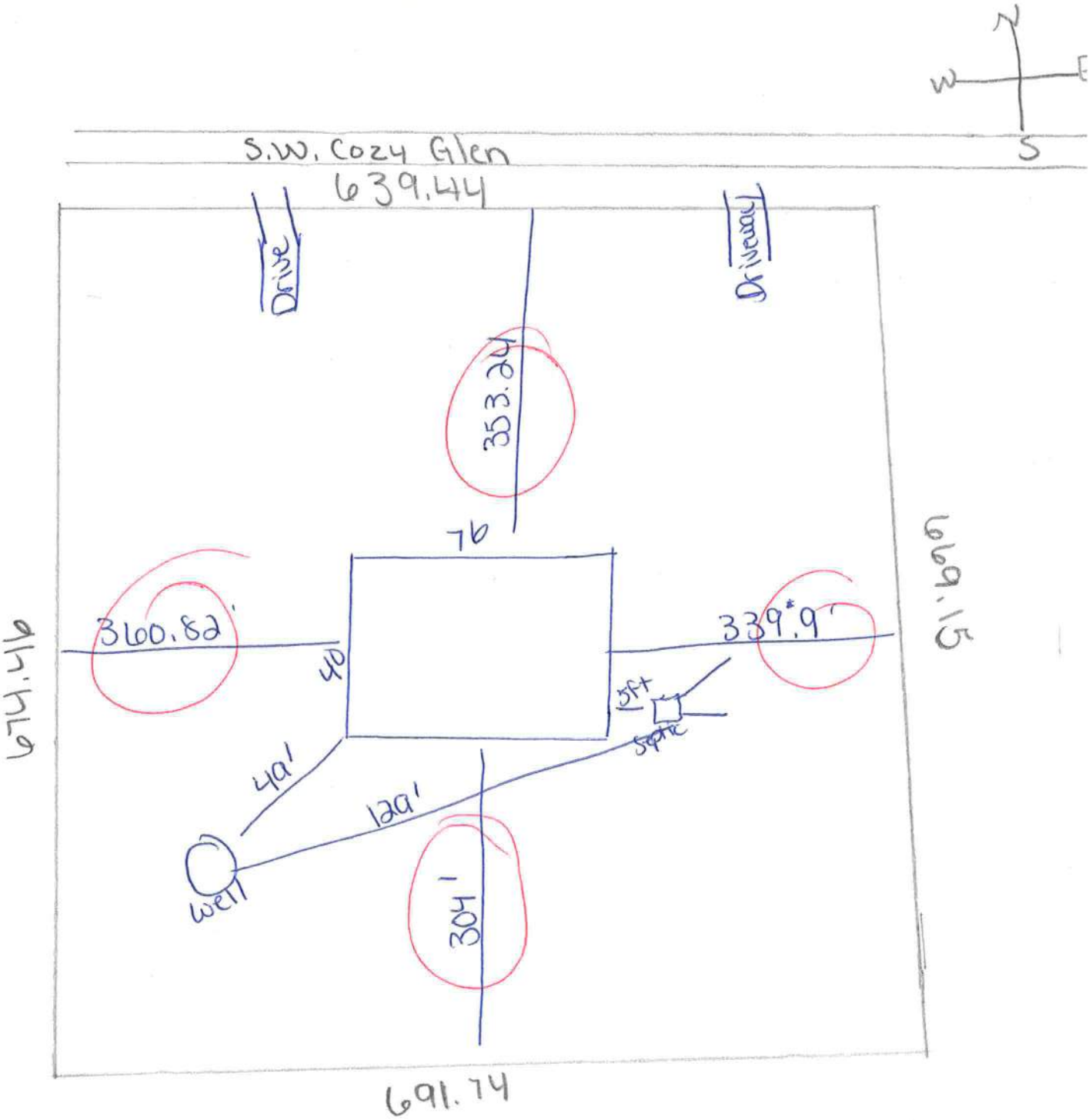
DONNA M DOANE
MY COMMISSION # DD675145
EXPIRES May 16, 2011
(407) 398-0153 FloridaNotaryService.com

State of Florida
County of Suwannee

The foregoing instrument was acknowledged before me this 26th day of October, 2010, by Jerri S. Haines, who is/are personally known to me or who has produced Florida DL as identification.

Cheryl E. Beaty
Notary Public
Print Name: Cheryl E. Beaty
My Commission Expires: 7-31-2012

Notary Public State of Florida
Cheryl E Beaty
My Commission DD810561
Expires 07/31/2012


N
W
E
S
S.W. Cozy Glen
639.44
Drive
Driveway
353.24
76
669.15
674.46
360.82'
40
339.9'
5ft
Septic
40'
129'
well
304'
691.74

10.03 AC

A&B Well Drilling, Inc.

5673 NW Lake Jeffery Road
Lake City, FL 32055
Telephone: (386) 758-3409
Cell: (386) 623-3151
Fax: (386) 758-3410
Owner: Bruce Park

March 29, 2011

To: Columbia County Building Department

Description of Well to be installed for Customer Scott Johns

Located @ Address: 354 SW Cozy Glen Lake City, Fl. 32025

1 HP 15 GPM submersible pump, 1 ¼" drop pipe, 86 gallon captive tank, and backflow prevention. With SRWMD permit.

Bruce N Park

Sincerely,
Bruce N. Park
President

PURCHASE AGREEMENT

SHOWCASE HOMES DIRECT

P. O. Box 2736 • Hwy. 252 S. - Pinemount Road
Lake City, FL 32056
386-758-9538 Office • 386-758-6889 Fax
Toll Free: 1-888-313-2899

Locally Owned and Operated

DATE OF BIRTH
HIM: 1-22-1965
HER: 9-01-1969

DRIVER'S LICENSE
HIM: J520317650220
HER: J520794698210

SOLD TO Scott & Stephanie Johns PHONE DATE 2-11-11

ADDRESS 169 NW Lakeside CT. COUNTY Columbia SALESMAN Jamie

Subject to the Terms and Conditions Stated on Both Sides of this Agreement Seller Agreement Seller Agrees to Sell and the Purchaser Agrees to Purchase the Following Described Property:

MAKE	MODEL	B. ROOMS	FLOOR SIZE	HITCH SIZE
Palm Harbor	John 376 (Special)	4/3	L 76 W 40	L 30 W 40

SERIAL NUMBER	☑ NEW ☐ USED	COLOR	PROPOSED DELIVERY DATE

OPTIONAL EQUIPMENT, LABOR AND ACCESSORIES

ON Frame modular
concrete footers
5 Ton
4/12
Setup
Delivery
Steps 2 sets SJ
3,995 to order prints
Timberland standards with said options backlog 17457217 2-10-11

VA Fees include
water test - 300
pest inspection - 450
Total - 750.00
Improvements include
Septic - 2,550
well - 2,600
pad 1,000
permits 1,000
hookups 850
Total - 8,000

PRICE OF UNIT		$179,900
OPTIONAL EQUIPMENT		
COST OF SET-UP PARTS		
SUB-TOTAL		
SALES TAX		
Improvements		8,000.00
VA Fees NON-TAXABLE ITEMS		750.00
VARIOUS FEES		
1. CASH PRICE		$188650.00
TRADE-IN ALLOWANCE	$	
LESS BAL. DUE ON ABOVE	$	
NET ALLOWANCE		
CASH DOWN PAYMENT		
2. LESS TOTAL CREDITS		
3. UNPAID BALANCE OF CASH SALE PRICE		188,650.00

Title to said equipment shall remain in the Seller until the agreed purchase price therefor is paid in full in cash or by the execution of a Retail Installment Contract, or a Security Agreement and its acceptance by a financing agency; thereupon title to the within described unit passes to the buyer as of the date of either full cash payment or on the signing of said credit instruments even though the actual physical delivery may not be made until a later date.

IT IS MUTUALLY UNDERSTOOD THAT THIS AGREEMENT IS SUBJECT TO NECESSARY CORRECTIONS, AND ADJUSTMENTS CONCERNING CHANGES IN NET PAYOFF ON TRADE-IN TO BE MADE AT THE TIME OF SETTLEMENT.

Purchaser represents he/she examined the product and found it suitable for his/her particular needs, and that it is of acceptable quality and that purchaser relied upon his/her judgement and inspection in making this determination.

There is no assurance a mobile home can remain level when placed, upon any surface other than of blacktop or concrete.

Purchasers certify that the matter printed on the back hereof has been read and agreed to as a part of this agreement the same as though it were printed above the signatures: that buyers are of statutory age or older; or have been legally emancipated; that the within described merchandise, the optional equipment and accessories thereon and, insurance if included, has been voluntarily purchased. The property being traded in is free from all encumbrances whatsoever, except as noted above. Purchaser agrees each paragraph and provision of this contract on both front and back is severable; if one portion thereof is invalid the remaining portion shall, nevertheless, remain in full force and effect.

Seller is not permitted to make plumbing or electrical connections, or connecting of certain natural gas or propane appliances where state or local ordinances require a licensed plumber or electrician so to do. Special building ordinances or laws requiring plumbing, electrical or construction changes are not the responsibility of Seller or the manufacturer. Seller is not responsible for obtaining health or sanitation permits, nor for local, county or state permits involving restrictive zoning. Cost of changes needed for compliance must be borne by Buyer. It is solely the Buyers responsibility to assure their chosen home site is acceptable for home placement without violation of any local, state, or federal guidelines.

Seller is not responsible or liable for any delays caused by the manufacturer, accidents, strikes, fires, Acts of God or any other cause beyond Seller's control.

TRADE-IN DEBT TO BE PAID BY ☐ DEALER ☐ CUSTOMER

SHOWCASE HOMES DEALER
Net Valid Unless Signed and Accepted by an officer of the Company

By [signature]
Approved, Subject to acceptance of financing by bank or finance company.

I, OR WE, HEREBY ACKNOWLEDGE RECEIPT OF A COPY OF THIS ORDER

SIGNED X [signature] PURCHASER

SIGNED X [signature] PURCHASER

HWC

ENGINEERING • INSPECTIONS
CERTIFICATIONS • TESTING

April 21, 2011

Palm Harbor Homes
605 South Frontage Road
Plant City, FL 33563

COLUMBIA COUNTY BUILDING DEPARTMENT
Received for FILE COPY
Code Compliance
PLANS EXAMINER

RE: Manufacturer: Palm Harbor Homes
S/N Size & Occupancy: C9443D; 40' x 76'; R-3
HWC Plan#: 2102-0925F

To Whom It May Concern:

This is to certify that the plans for the referenced manufactured building have been reviewed and approved as being in compliance with the 2007 Florida Codes and Standards, with 2009 supplements, as noted on the approved drawings, subject to the following limitations:

1. Approval covers factory-built structure only. (Note: Any alterations to factory built structure on site voids state approval)
2. Items installed at the site are subject to review, approval, and inspection by the local authority having jurisdiction.
3. The Chapter 633 Plan Review and Inspection shall be conducted by the local fire safety inspector.
4. Signed and sealed plans shall be on file with HWC Engineering.
5. NOT Approved for High Velocity Hurricane Zone (i.e. Broward and Dade Counties)

Sincerely,
HILBORN, WERNER, CARTER & ASSOCIATES, INC.

Plan Reviewer

HILBORN, WERNER, CARTER AND ASSOCIATES, INC.
1627 SOUTH MYRTLE AVENUE CLEARWATER, FLORIDA 33756
(727) 584-8151
FAX: (727) 586-3343 / (727) 585-2392 / (727) 587-0447
Modular Capla Inspection

FLORIDA
STRUCTURAL LOAD LIMITATIONS:

1. FLOOR LIVE LOAD
   40 PSF
2. ROOF LIVE LOAD
   20 PSF

NOTE:
1. NON-ELEVATED SET - 20 FT. M.R.H. MAX.
2. ELEVATED SET - 30 FT. M.R.H. MAX - OFF FRAME ONLY

3. WIND LOAD:
   130 mph WIND SPEED (3 sec gusts)(Refer to FloorPlan) FOR OFF FRAME
   130 mph WIND SPEED MAX. FOR ON-FRAME UNITS
4. Iw = 1.0 WIND IMPORTANCE FACTOR
   BUILDING CATEGORY II, ENCLOSED.
5. WIND EXPOSURE CATEGORY "C"
6. GCpi = 0.18 INTERNAL PRESSURE COEFFICIENT(ENCLOSED)
7. D.W.P FOR C/C PSF

E = elevated set

Pr=Roof C&C load (EA=50)	
Wind speed	130
Zone 1	-33.5
Zone 2	-50.8
Zone 3	-78.4
Roof Overhang (EA=10)	
Zone 2	-73.2
Zone 3	-123.1
Pw Wall C&C load, Wdws & Doors (EA=10)	
Zone 4	+42.6
Zone 5	-52.5

Note:
1. Design pressures (DP) apply only for wind speeds > 109 mph.
2. Window and Door DP ratings must meet or exceed those listed above for windzone 5 (within 4ft of ea corner) and Zone 4 (interior), for desired wind speed.
3. On-frame, pierced units (pierced units where frames remain in place) are limited to 130 & 140 mph and non-elevated design pressures only. Elevated pressures and pressures over 140 do not apply to on-frame, pierced units.

8. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT

WHEN PLAN INCLUDES A PORCH
Porch Uplift
(Partially Enclosed - GCpi = 0.55)

Wind speed	130
Zone 1	-52.4
Zone 2	-72.6
Zone 3	-105.1

9. FLOOD LOAD:
   THIS BUILDING MAY BE LOCATED IN A FLOOD HAZARD AREA PROVIDED NO MODULAR PORTION OF THE BUILDING IS LOCATED BELOW A BASE FLOOD ELEVATION.

Note: For units located within a distance of 600 feet of inland bodies of water that represent a fetch of 1 mile or more or inland bodies of water or rivers with a width of 1 mile or more, or located seaward of a costal construction line, roof sheathing and its fastening to trusses, truss designs and fastening to ridge beams and roof to wall connection shall be linked to the mapped wind speed corresponding to the design wind speed of the unit in the chart below.

DESIGN WIND OF UNIT	EQUIVALENT WIND SPEED FOR ROOF LOCATED NEAR WATERWAYS AS DESCRIBED ABOVE
130 MPH	119 MPH

Refer to Florida Wind Map for speed as interpolated for specific location near waterway.

CODE SUMMARY

STATE: FLORIDA

RESIDENTIAL: 2007 FBC RESIDENTIAL w/2009 SUPPLEMENTS	FIRE PREVENTION: 2007 FL. FIRE PREVENTION
ELECTRICAL: 2008 N.E.C.	LIFE SAFETY: 2006 NFPA 101 LIFE SAFETY CODE
MECHANICAL: 2007 FBC RESIDENTIAL w/2009 SUPPLEMENTS	FUEL: 2007 FBC RESIDENTIAL w/2009 SUPPLEMENTS
PLUMBING: 2007 FBC RESIDENTIAL w/2009 SUPPLEMENTS	ACCESSIBILITY: 2007 FBC CHAPTER 11 2007 FL. ACCESSIBLITY CODE w/2009 SUPPLEMENTS
ENERGY: 2007 FL. ENERGY EFFICIENCY CODE w/2009 SUPPLEMENTS	

INDEX of Drawing Package

DESCRIPTION	PAGE(s)
Cover Sheet	CS-1
Exterior Elevations	FP-1
Exterior Elevations	FP-1.1
Floor Plan	FP-2
Floor Plan Shear Wall Notes	FP-2.3
Electrical Plan	FP-3
Drain/Waste/Vent System	FP-4
Water Supply Hot	FP-5
Water Supply Cold	FP-5.1
Roof Plan - And Duct Layout	FP-6
Typ. Foundation Layout Opt. On-Frame	FP-7
Typ. First Story Floor Layout	FP-9
Typical Cross Section Opt. On-Frame Foundation	FP-13
Typical Cross Section Notes Opt. On-Frame Foundation	FP-13.1
ATTACHMENTS:	
Florida Energy Calculations	

Approximate Square Footage of Building:
3040 Square Feet

Palm Harbor Homes
605 South Frontage Road
Plant City, FL 33563
© COPYRIGHT 2009

The 1st letter of the model number designates the State. The 2nd is a series designation and can change without reapproval.

Date 4-21-11 Plan No. 2102-0925F
Approved By: SCOTT S. FRANCIS
Modular Building Plans Examiner
Florida License No. SMP-42

These details and plans are confidential and proprietary materials. These materials are provided to the recipient for specific purposes and shall not be copied or otherwise reproduced and/or distributed to others for any purpose other than intended by Palm Harbor, PC. Buildings may be marketed under both the "Palm Harbor Homes" and "Discovery Custom Homes" brand names.

General Notes - 2007 Florida Building Code Residential W/2009 SUPPLEMENTS.

1. Designs per the Florida Building Code in effect at time of production.
2. Calculations are based on Exposure 'C'.
3. Reserved.
4. Occupancy is Residential (R-3)
5. Construction is type V-B.
6. Occupant load is based upon one person for each 200 sq. ft. of floor area.
7. Floor Live Load = 40 p.s.f.
8. Roof Live Load = 20 p.s.f.
9. Wind speed = 130 mph (3 sec. gusts) Exposure 'C' OFF FRAME & 130 mph ON-FRAME. See details in this approved package for specifics.
10. All glazing within a 24 inch arc of doors, whose bottom edge is less than 60 inches above the floor, and all glazing in doors shall be tempered OR acrylic plastic sheet.
11. All materials covered by the Florida Building Commission chapter 9N-3 rules shall have current Florida Product Approvals.
12. Minimum corridor width is 36 inches.
13. Windows, glass and doors shall comply with AAMA / NWWDA 101 / I.S.2.-97
14. Unless specifically noted on the approved plans and details, this building is NOT designed (nor intended) to be located in "High Velocity Hurricane Zones" (Dade and Broward counites).

It is the responsibility of the contractor and/or retailer to verify that each home is installed in the region for which it has been designed and constructed and that NO home is installed into "High Velocity Hurricane Zones" (Dade or Browad county). This modular building may be sited in "Regulatory Flood Plain Areas" and/or "V-Zone Areas" only when the foundation has been designed, engineered and constructed to comply with the Florida Building Codes governing those specific zones, areas or regions. No part of the modular building may be placed below base flood elevation. Palm Harbor Homes and its third party approval agency(s), along with the architect and/or the engineer of the building plans, shall not be held responsible or liable, if a contractor and/or retailer installs a home into a region for which it has not been designed and/or constructed. The contractor and/or retailer shall bear sole responsibility.

15. Data plate, state label shall be located on the inside cover of or near the electrical panel.
16. Raised seal prints are on file in the office of HWC, Inc.
17. Plan review and inspection required by Chapter 633 F.S. to be handled by local fire inspector.
18. This building is designed for a permanent foundation and is NOT intended to be moved once so installed.
19. These plans may be mirrored or flipped about any axis without reapproval.

Mechanical Notes - 2007 FBC, Residential.

1. All supply air registers are adjustable, except where otherwise specified on the plans.
2. Reserved
3. Restroom vent fans shall provide 50 cfm minimum of ventilation.
4. Vent fans shall be ducted to the exterior of home.
5. Reserved
6. ALL ducts and duct system components installed in the attic area with insulation shall have a minimum R-value of R-6.0.
7. ALL ducts and duct system components installed on the exterior of the building (including the crawl space below), shall have a minimum R-value of R-8.0. NOTE:If this building is located in a jurisdiction that has adopted the ordinance for RADON RESISTANT CONSTRUCTION, RULE 9B-67, FLORIDA STATUTE 553.98, return air ducts and plenums shall be not be located in the crawl spaces.
8. ALL HVAC components installed on-site, shall be installed by a licensed HVAC contractor.

Attention Local Building Inspections Department:

The following items have not been completed by the manufacturer, have not been inspected by HWC and are not certified by the State of Florida, Department of Community Affairs Insignia (label). Note: This list does not necessarily limit the items, work and/or materials that may be required for a complete installation. ALL SITE INSTALLED ITEMS ARE SUBJECT TO APPROVAL BY THE LOCAL JURISDICTION HAVING AUTHORITY. Code compliance for those site installed items shall be determined at the local level and are the responsibility of the licensed contractor installing the building and NOT Palm Harbor Homes.

Plumbing Systems - 2007 Residential.

1. All systems shall be constructed with the materials listed in FBC, Residential - Plumbing with materials listed in chapters 25 through 33.
2. DWV systems may be ABS OR PVC piping.
3. Tub access provided under home, unless otherwise noted.
4. Building drain and clean-outs, when designed and site installed by others, are subject to local jurisdiction approval.
5. Water heater shall have a safety pan with 1 inch minimum drain to the exterior.
6. Water heater T & P relief valve to drain to exterior.
7. Thermal Expansion device, if required by water heater installation instructions, and if NOT shown on the approved plumbing plan, shall be designed and installed on-site, by others and is subject to local approval.
8. All plumbing fixtures to have separate shutoff valves, except tubs and showers.
9. Shutoff valve to be installed within three feet of the fresh water inlet to the home (site installed, by others).
10. Water supply pipes installed in a wall exposed to the exterior shall be located on the heated side of the wall insulation. Water lines located in unconditioned spaces to be insulated with minimum R-6.5 insulation.
11. Water supply lines shall be PEX, polybutylene, CPVC or copper.
12. ALL supply 'crossover' piping to be connected on-site by others.
13. Shower stalls shall be covered with a nonabsorbent material to a height of 70 inches above finished floor (may be on-site).
14. Showers shall be controlled by an approved mixing valve with a maximum outlet temperature of 120° F (49° C).
15. ALL on-site plumbing shall be installed by a licensed plumbing contractor. ALL on-site plumbing is subject to inspection and approval by the local authority having jurisdiction.
16. Water hammer arrestors are required with quick closing valves.

Site Installed Items:

(This list contains examples and shall not be considered all inclusive)

1. The complete foundation and tie-down systems.
2. Ramps, stairs and general access to the building.
3. Building drains, clean-outs and hookup to the plumbing system.
4. Any portable fire extinguisher(s) that may be required.
5. Electrical service hookup (including feeders) to the building.
6. Feeders to the main electrical panel and crossovers (multi-section units).
7. Structural and aesthetic interconnections between modules (multi-section units).
8. Exterior siding and/or roofing may be installed in the factory or left off to be installed on-site, by-others.
9. Exterior wall finish and soffit materials.
10. Window protection, storm shutters.
11. Bottom of floor wind protection (when required).
12. Crossover duct and connections (HVAC).
13. HVAC disconnect.
14. Fireplace chimney.
15. Gable wall framing, chimney.
16. HVAC equipment.
17. Combustion Gas Venting, Combustion Air Intake.
18. A.A.V. (Air Admittance Valves)

Some of these items may be installed in the factory at the discretion of plant management. If the items are installed and inspected at the production facility, then local approval is not required.

These details and plans are confidential and proprietary materials. These materials are provided to the recipient for specific purposes and shall not be copied or otherwise reproduced and/or distributed to others for any purpose other than intended by PHH

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	CS-1
Designation:	Cover Sheet
Rev. By: --	
Revision: --	

04/19/2011

Approvals

P.E.
John C. Doeden
P.E.
15133 County Rd.22
Goshen, IN 46528
FL. Lic. No. 45484
Phone 574-825-7663

3rd Party:
Hilborn,Werner,Carter and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

LISTING AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F

FRONT ELEVATION

Notes:

1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
5. Siding may be approved vinyl or cementious and either vertical or horizontal per manufacture's instructions.
6. Steps and handrails are installed onsite by others or at the factory at the factory's discretion..

108" SIDEWALL

Notes:

Site Installation Details

(A) Gable End Close Up – See RF 3.1 and 3.2
(B) Close Up at Peak – See RF 1.3& 1.3.4.1
(C) DORMER DETAILS – See RF 4.1

FIBERGLASS EXTERIOR DOORS
FIBERGLASS SHINGLES "CLASS A"
LOW-E INSULATED WINDOWS

REAR ELEVATION

1' 4'

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-1
Designation:	Elevations Front & Rear
Rev. By: Revision:	

Approvals

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1627 South Myrtle Ave
Clearwater, FL. 33756

LISTING AGENCY APPROVAL

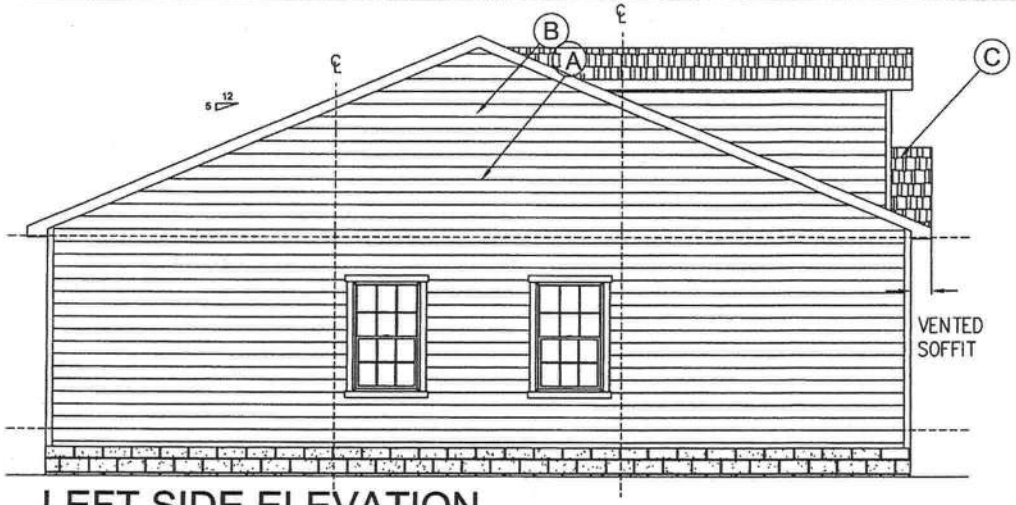
These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4·21·11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F



LEFT SIDE ELEVATION

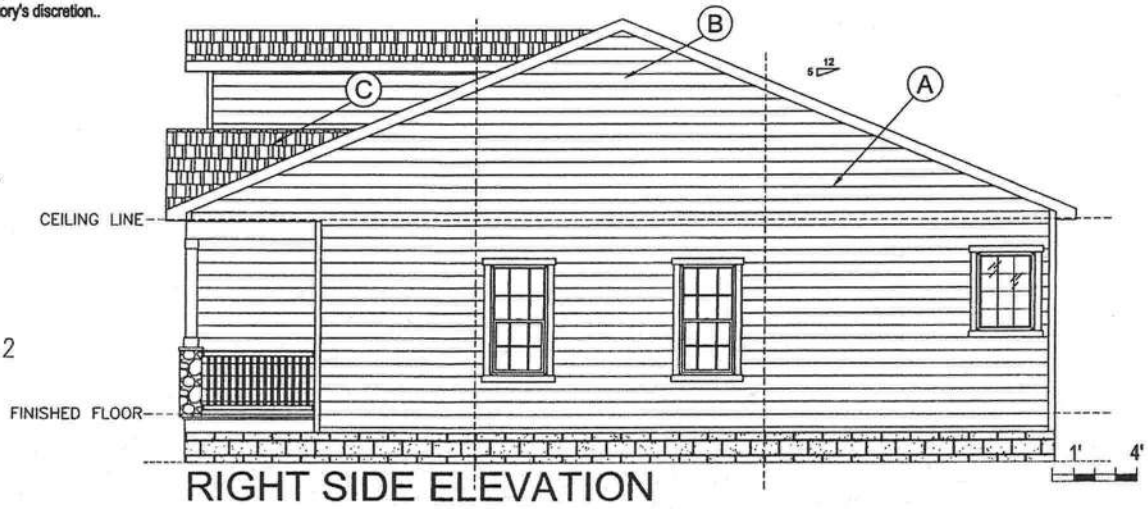
Notes:

1. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
2. Roof overhang (eave) sizes may vary. Roof overhangs are typically a nominal 12" eave or approximately 11 1/4" wide.
3. Bath exhaust fans (ventilated air) shall exhaust directly to the exterior of the home and shall not exhaust into the roof and/or other concealed cavity or area.
4. The elevations shown above are typical and may vary due to optional and/or custom features or specific customer requests.
5. Siding may be approved vinyl or cementious and either vertical or horizontal per manufacture's instructions.
6. Steps and handrails are installed onsite by others or at the factory at the factory's discretion..

108" SIDEWALL

FIBERGLASS EXTERIOR DOORS
FIBERGLASS SHINGLES "CLASS A"
LOW-E INSULATED WINDOWS

Notes:
Site Installation Details
(A) Gable End Close Up – See RF 3.1 and 3.2
(B) Close Up at Peak – See RF 1.3& 1.3.4.1
(C) DORMER DETAILS – See RF 4.1



RIGHT SIDE ELEVATION

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Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-1.1

Designation:

Elevations
Left & Right

Rev. By:
Revision:

Approvals

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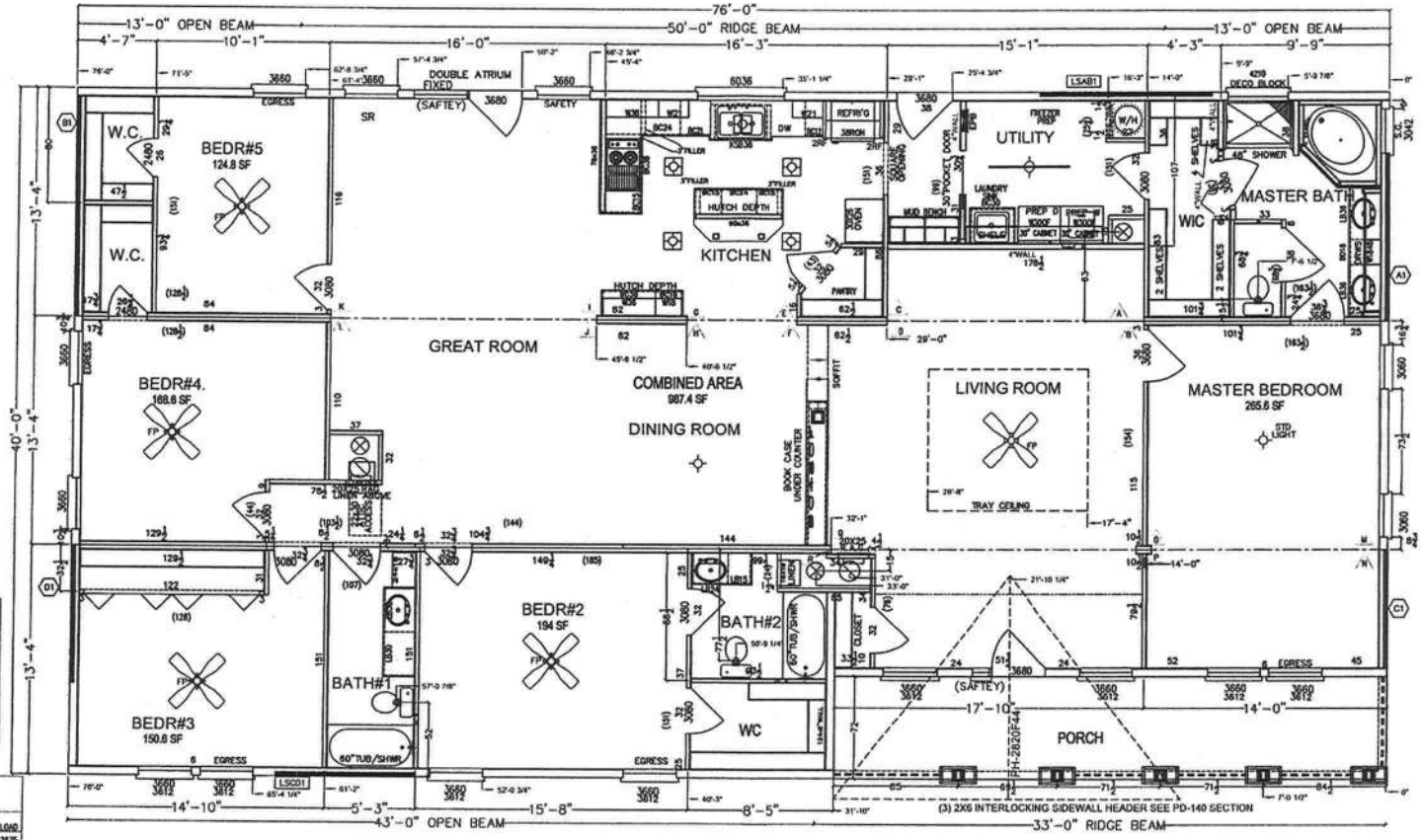
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F

SQUARE FOOTAGE BREAKDOWN FOR PROJECT		
DESCRIPTION	AREA (Sq. Ft.)	PERIMETER (Ft.)
PORCH SQUARE FEET	191.03 SF	75.7
SQUARE FEET A.C.	2848.98 SF	232
	3040.01 SF	307.7



WINDOW/DOOR CHART

SIZE	LIGHT AND VENT	
36x60	12.2 S.F. LIGHT	6.14 S.F. VENT
36x12	2.17 S.F. LIGHT	0.00 S.F. VENT
30x60	9.95 S.F. LIGHT	5.03 S.F. VENT
30x36	5.55 S.F. LIGHT	2.76 S.F. VENT
30x12	1.75 S.F. LIGHT	0.00 S.F. VENT
14x36	2.48 S.F. LIGHT	1.30 S.F. VENT
30X42	6.55 S.F. LIGHT	0.00 S.F. VENT
S.G.D.	32.18 S.F. LIGHT	16.33 S.F. VENT
36X80	4.9 S.F. LIGHT	0.00 S.F. VENT
60X36	12.2 S.F. LIGHT	3.07 S.F. VENT

COLUMNS RANCH STORY
ROOF LOAD: 20 PSF
WIND SPEED: 130 MPH

NO.	26 GA STRAP	TYP	STUD HUM	LENGTH	SIZE	BLK	FLOOR NO/TH	SPAN	LOAD
A	3	1	4	105	2x3	N	160	17'-10"	2675
B	3	1	4	105	2x3	N	160	17'-10"	2675
C	3	1	4	105	2x3	N	160	17'-10"	2675
D	3	1	4	105	2x3	N	160	17'-10"	2675
E	1	1	2	105	2x3	N	160	6'-9"	1012
F	1	1	2	105	2x3	N	160	6'-9"	1012
G	1	1	2	105	2x3	N	160	6'-9"	1012
H	1	1	2	105	2x3	N	160	6'-9"	1012
I	2	1	4	105	2x3	N	160	15'-5"	2312
J	2	1	4	105	2x3	N	160	15'-5"	2312
K	2	1	4	105	2x3	N	160	15'-5"	2312
L	2	1	4	105	2x3	N	160	15'-5"	2312
M	3	2	1	105	2x6	N	160	12'-7"	1888
N	3	2	1	105	2x6	N	160	12'-7"	1888
O	4	1	2	105	2x3	N	160	31'-7"	4738
P	4	1	2	105	2x3	N	160	31'-7"	4738
Q	3	1	4	105	2x3	N	160	17'-5"	2612
R	3	1	4	105	2x3	N	160	17'-5"	2612

See Page FP-2.3 For Shear wall Notes

Shear Wall Requirements

A & B
Wind Speed: 130 Side Wall HT: 93 Exposure: C Max Elev: 24 24" O.C.-TYP Framing: 2x6

Shear Wall	Min. PLF (1)	Sheathed Sides # (2)	Nails (3)	Spacing (4)	SW Sections (5)	End Stud # (6)	Rows of Nails in Overlap # (7)	# of Straps at SW End Stud (7a)	#10 Screws/ft Each Row (8)	Top Plate to Rafter (9)	Porch Truss (10)
A1	277	1	8d	6/6	117.5	1	1		or 1/2	5 5/8	N/A
B1	212	1	8d	6/6	154	1	1		or 1/1	7 3/8	N/A
LSAB1	276	1	8d	6/6	120	N/A	1		or 1/1	5 3/4	N/A
C1	398	1	8d	6/6	82	1	2		or 1/4	4	N/A
D1	340	1	8d	6/6	96	1	2		or 1/3	4 5/8	N/A
LSCD1	345	1	8d	6/6	96	N/A	2		or 1/2	4 5/8	N/A

T - TRANSOM WINDOW
E - EGRESS WINDOW
INDICATES SHEARWALL LOCATIONS.

Truss Spacing: 24
Minimum Roof Diaphragm Connections using: 8d BOX

Diaphragm Connections			Spacing w/Single Fasteners				
Shear Wall	Dbl Fast'g	Req'd Spacing	A	B	C	D	E
A	N/A	3/3	3/3	3/6	3/12	4/12	6/12
B	N/A	3/3		6	9	13	18
C	N/A	3/3		6	9	13	18
D	N/A	3/3		6	9	13	18

SQUARE FOOTAGE BREAKDOWN FOR PROJECT		
DESCRIPTION	AREA (Sq. Ft.)	PERIMETER (Ft.)
SQUARE FEET A.C.FIRST STORY	1013.33 SF	178.7
SQUARE FEET A.C.FIRST STORY	822.31 SF	178.7
SQUARE FEET A.C.FIRST STORY	1013.33 SF	178.7
	2848.98 SF	536

1' 4

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Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-2
Designation:	Floor Plan
Rev. By:	
Revision:	

Approvals

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WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC
COA # 1025

PLAN NUMBER:2102-0925F

Shear Wall Table Notes:

Numbers shown in table column headings ((1) through (9) for one story, (1) through (11) for 2 story), correspond with note numbers.Refer to floor plan(s) for shear wall locations corresponding to alpha-numeric designation in 1st column of table.

1. Design Shear Values are based on the WFCM - 2001 Edition. All values for DSV and fastening is based on S-P-F lumber, unless otherwise specified.
2. Indicates whether sheathing is required one side only with interior covering, or required both sides of wall with interior covering over sheathing.
3. Nails may either be 6d Common (0.113x1 5/8) or 8d Common (0.131x 1 3/4). 8d nails yield better DSV's.
4. Edge / Field spacing. Edge fastening is into each framing member. When sheathing overlap onto rim joist is not used and 2/12 shearwall sheathing fastening is required, it also requires double top and bottom plates.
5. Number and minimum length of each shear wall section within each end wall.
6. indicates number of framing members required each end of each shear section. Minimum framing as indicated in table header.
7. indicates the number of rows of nails spaced @ 2" o.c., through the sheathing overlap onto the floor framing.
8. Alternatively, screws may be used at x/y, where x=number of rows and y=number of screws per foot for each row. Connection is through the bottom plate into floor joists with minimium 2-1/2" penetration. When double plates are required per Note (6), make sure to increase fastener length.
9. Top plate to rafter or ceiling joist is the spacing (inches o/c) with #8 screws or 0.131" diameter nails with 1-3/8" minimum penetration into receiving member.
10. **For 2 story only:** The 2x , factory installed bearing plate at each end at the very top of the lower story must be fastened to the ceiling framing with #10 x 3" screws spaced (inches on center) per table. Factory installed. Note: column 10 is not displayed for one story or cape applications.
11. **For 2 stories, on-site connection** is required between the upper and lower story using #10x3" screws (toed), installed through the upper storyend joist into the lower story, factory installed 2x bearing plate of the lower story, spaced per column 11.

Special Note: With hinged roof, the truss above the end wall (shear wall) must be sheathed after erection. In the case of a porch, the truss above the end wall at the main roof to porch transition, must be sheathed for a minimum of 48" length, anywhwere along the truss and fastened to truss chords with 8d common nails spaced per column **"Porch Truss"**. Sheathing in spaces between the chords greater than 24" must be stiffened with a 2x3 vertical member, fastened to sheathing with the same nails at 2" o.c.

Shear Wall General Notes:

1. LSAB1 and 2 represent longitudinal shear sections for unit with A and B end shearwalls.LSCD1 and 2 represent longitudinal shear sections for unit with C and D end shearwalls, respectively. The table notes above (except (6)) apply.
2. How to read Roof Diaphragm Connection Table: Check "Dbl Fast'g" column. If "N/A" is displayed, no special fastening required in End Zone.Use the required spacing column for at least the distance tabulated in the first non-zero column, then the spacing in that column is required to the distance in the next column to the right and so forth or the Req'd Spacing can be used throughout.If double fastening is required for any of the shear wall conditions (A,B,C or D), the fastening must be maintained to the first truss at or beyond the distance shown in the first column (A) of the single fastener spacing table, for the respective shear wall, or, when that column is zero, to the first non-zero distance of any of the other columns (B to E) to a distance of any of the other tabulated fastening requirements (Columns B to E).
3. When Roof Diaphragm construction requires special fastening within the end zone(s), the fastening displayed is doubled, ie: 2 fasteners @ each location.Example: Dbl@6/6 means 2 fasteners each at 6" o.c. field and 2 each at 6" o.c. perimeter. The fastening is required within distance from the roof end as displayed (ft) or next truss. 'N/A' means the end zone fastening is the same as normal.

See Page FP-2 For Shear wall Tables

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Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-2.3
Designation:	Floor Plan Notes
Rev. By: -- Revision: --	

Approvals

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LISTING AGENCY APPROVAL

These plans comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

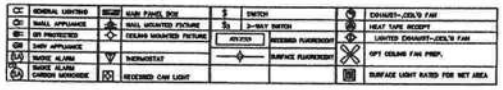
CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	120 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

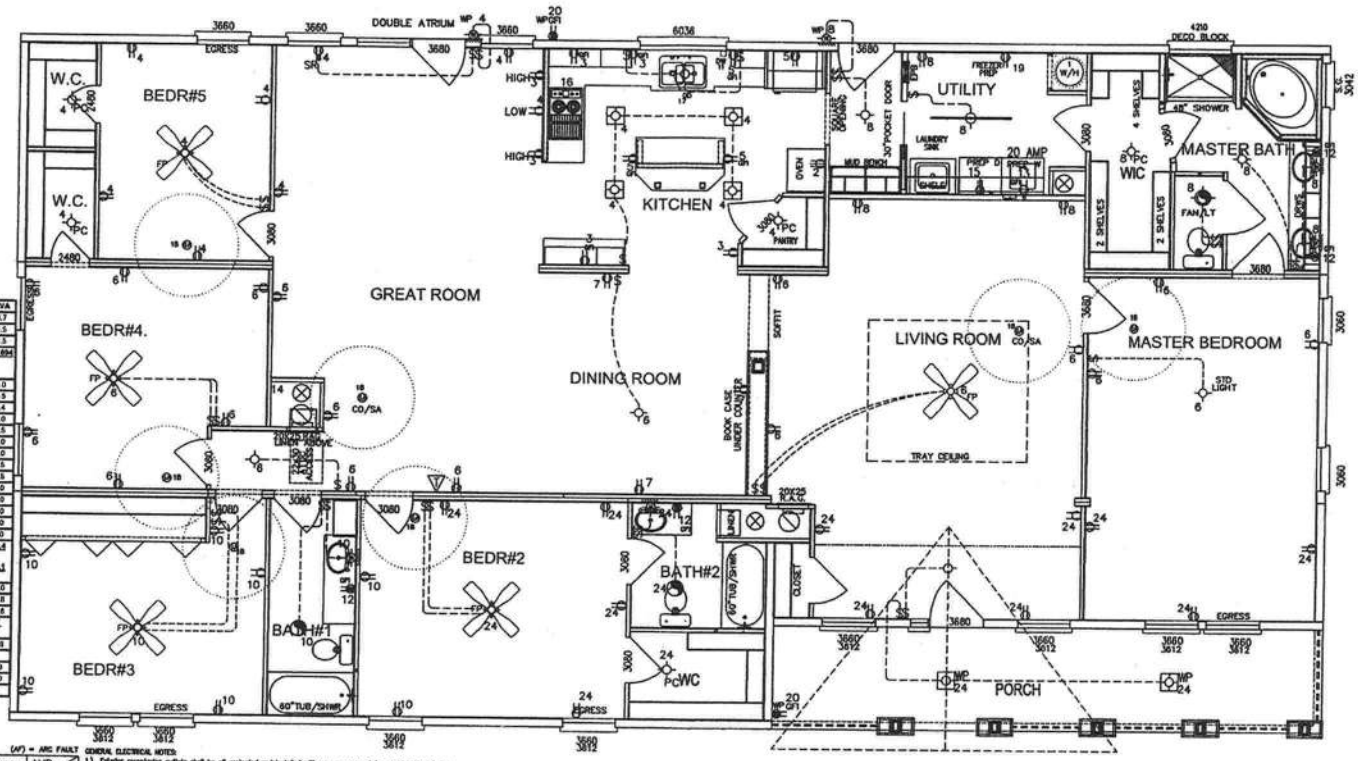
HWC

COA # 1025

PLAN NUMBER:2102-0925F

ALL SMOKE ALARMS ARE HUSH BUTTON TYPE.
NOTE: SMOKE ALARMS ARE INTERCONNECTED FOR SIMULTANEOUS ACTIVATION WITH BATTERY BACK-UP.





SERIAL NUMBER: N/A
MODEL NUMBER: C9443-D

GENERAL LOADS		VA	KVA
TOTAL UNIT A.C. SQUARE FEET	2,698	8,094	8.7
NO. OF 20-AMP APPLIANCE OUTLET CIRCUITS	3	4,500	4.5
LAUNDRY CIRCUIT	1	1,500	1.5
SUBTOTAL		14,094	14.694
NAME PLATE RATINGS			
RANGE	0	0	0.0
WATER HEATER	1	5,500	5.5
DISH WASHER	1	1,400	1.4
CLOTHES DRYER	1	5,000	5.0
GARBAGE DISPOSAL	1	1,500	1.5
COOK TOP	1	8,000	8.0
WALL OVEN	1	8,000	8.0
MICROWAVE	1	1,000	1.0
OPT FREEZER	1	1,500	1.5
JACUZZI	0	0	0.0
ELEVATOR	0	0	0.0
RESERVED	0	0	0.0
RESERVED	0	0	0.0
RESERVED	0	0	0.0
SUBTOTAL		32,400	32.4
TOTAL GENERAL & NAME PLATE		47,094	47.1
FIRST 10 KVA AT 100%		10,000	10.0
REMAINDER AT 40%		14,838	14.8
WORST CASE HVAC AT 100% (ASSUMED)	1	15,800	15.8
NOTE: LOCAL SITE ELECTRICIAN/HVAC CONTRACTOR TO VERIFY ADEQUACY OF HVAC ELECTRICAL LOAD IN PANEL CALCULATIONS.			
TOTAL PANEL BOX LOAD		40,038	40.0
MINIMUM PANEL BOX AMPERAGE/SIZE 40,038 /240 =			169
SIZE AMP PANEL BOX INSTALLED 120/240 V, 1ø			200
MIN. NO. OF GENERAL LIGHTING CIRCUITS			6

NEC – 2008 MAIN BREAKER 200 AMP

(AF) = ARC FAULT

AMP.	WIRE SIZE	DESCRIPTION	CIR. NO.	PANEL SPACE		CIR. NO.	DESCRIPTION	AMP.	WIRE SIZE
PER MFG		WATER HEATER (4500W/240V)	1	*	*	2	RANGE OR OVEN		PER MFG
				*	*				
20	12-2+	APPLIANCE	3	*	**	4(AF)	GEN. LIGHTING	15	14-2+
20	12-2+	APPLIANCE	5	*	**	6(AF)	GEN. LIGHTING	15	14-2+
20	12-2+	APPLIANCE	7(AF)	**	**	8(AF)	GEN. LIGHTING	15	14-2+
20	12-2+	APPLIANCE (SPARE)	9(AF)	*	**	10(AF)	GEN. LIGHTING	15	14-2+
15	14-2+	OPT. D.W.	11	*	*	12	BATH G.F.I.	20	12-2+
20	12-2+	LAUNDRY	13	**	*	14	ELECTRIC HEAT-A/C		PER MFG
30 2 POLE	10-3+	CLOTHES DRYER	15	*	*				
				*	*	16	COOK-TOP		PER MFG
15	14-2+	OPT. DISPOSAL	17	*	*				
20	12-2+	OPT. FREEZER	19	*	**	18(AF)	SMOKE ALARMS	15	14-2+
15	14-2+	OPT JACUZZI G.F.I.	21	*	*	20	EXTERIOR GFI	20	12-2+
20	12-2+	OPT. MICROWAVE	23	*	**	24(AF)	SPARE	15	14-2+
20	12-2+	SPARE	25(AF)	*	**	26(AF)	SPARE	15	14-2+

GENERAL ELECTRICAL NOTES:

1.) Exterior receptacles outlets shall be gfi protected and installed with covers approved for outdoor installation.
2.) Cross over connection between modules is accomplished by using "snap" wire connectors, supplied by connector manufacturer.
3.) All electrical components must be u.l. approved and installed per listing and manufacturer's installation instructions.
4.) Smoke alarms are interconnected for simultaneous activation with battery backup. All smoke alarms are equipped with a "hush button" feature.
5.) All 125 volt, single phase, 15 and 20 ampere receptacles serving countertop surfaces in kitchen area to have ground-fault circuit interrupter protection for personnel.
6.) All wiring is non-metallic unless otherwise noted.
7.) All bath exhaust fans must exhaust directly to the exterior.
8.) Additional outlets and lights may be added (in addition to those shown on the approved details) without re-approval.
9.) 15A general purpose outlets are required to be on arc-fault circuits, except kitchen and bathrooms.
10.) *Items used at fixtures in the ceiling must be rated for a minimum of 50 pounds. When lights are installed on the wall, the box must be listed for that purpose and list its weight capacity, if less than 50 pounds. Fixtures weighing more than 50 pounds will be supported independently of the box.
11.) *Uninterrupted path must be maintained to the panel box.
12.) *Tamper resistant receptacles must be installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, sunrooms, bedrooms, recreation rooms, or similar rooms, or areas of a dwelling unit.
13.) * Exterior receptacle are required at every balcony, deck, and porch regardless of where it is on the building. The receipt is not required if the balcony, deck, or porch is less than 20 s.f.

ADDITIONAL GENERAL ELECTRICAL NOTES:

14.) ALL circuits and equipment shall be installed and grounded in accordance with the appropriate articles of the National Electrical Code (NEC) that is adopted by the State of Florida, at the time of construction of the building.
15.) When light fixtures are installed in closets, they shall be surface mounted or recessed. Incandescent fixtures shall have completely enclosed lamps. Surface mounted incandescent fixtures shall have a minimum clearance of 12 inches and all other fixtures shall have a minimum clearance of 6 inches from any "storage area" as defined by NEC 410-8 (a).
16.) When water heaters are installed, they shall be provided with readily accessible disconnects adjacent to the water heaters served. The branch circuit switch OR circuit breaker shall be permitted to be as the disconnecting means only where the switch OR circuit breaker is within sight of the water heater OR is capable of being locked in the open position. When water heaters are not installed at the factory, the means of disconnect shall be designed and installed on-site, by others.
17.) HVAC shall be provided with readily accessible disconnects (installed on-site, by others) adjacent to the equipment being served. A unit switch with a marked "OFF" position that is part of the HVAC equipment and disconnects ALL ungrounded conductors shall be permitted to be as the disconnecting means where other disconnecting means are also provided by a readily accessible circuit breaker.
18.) When the main electrical service panel is not installed at the factory, the main electrical panel and heaters are to be designed by others, site installed and subject to local jurisdiction approval.
19.) ALL circuits crossing over module mortage line(s), shall be site connected with approved accessible junction boxes OR cable connectors.
20.) ALL receptacles installed in wet locations (exterior) shall have a weather proof (wp) enclosure (cover), the integrity of which is not affected when an attachment plug cap is inserted or removed.
21) Ceiling fans shall be 80 inches minimum, from the bottom of the blades to the finished floor.
22.) ALL electrical components shall be U.L. Listed and installed in accordance with that listing.
23.) Receptacles intended to service bathroom lavatories shall not be located more than 36" away from sink lavatory.
24.) Breakers and wire sizing may be changed if optional or custom appliances or devices are installed in the building. ALL breakers and wiring shall be sized in accordance with applicable sections of the N.E.C.
25.) Switches, receptacles, and other fixtures or devices may be relocated from the locations shown on the approved details due to construction restraints. ALL locations shall comply with applicable sections of the N.E.C.
26.) Refer to the cover sheet for additional electrical notes.

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Page Number:	FP-3
Designation:	Electrical Layout
Rev. By: –	
Revision: –	

Approvals

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MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

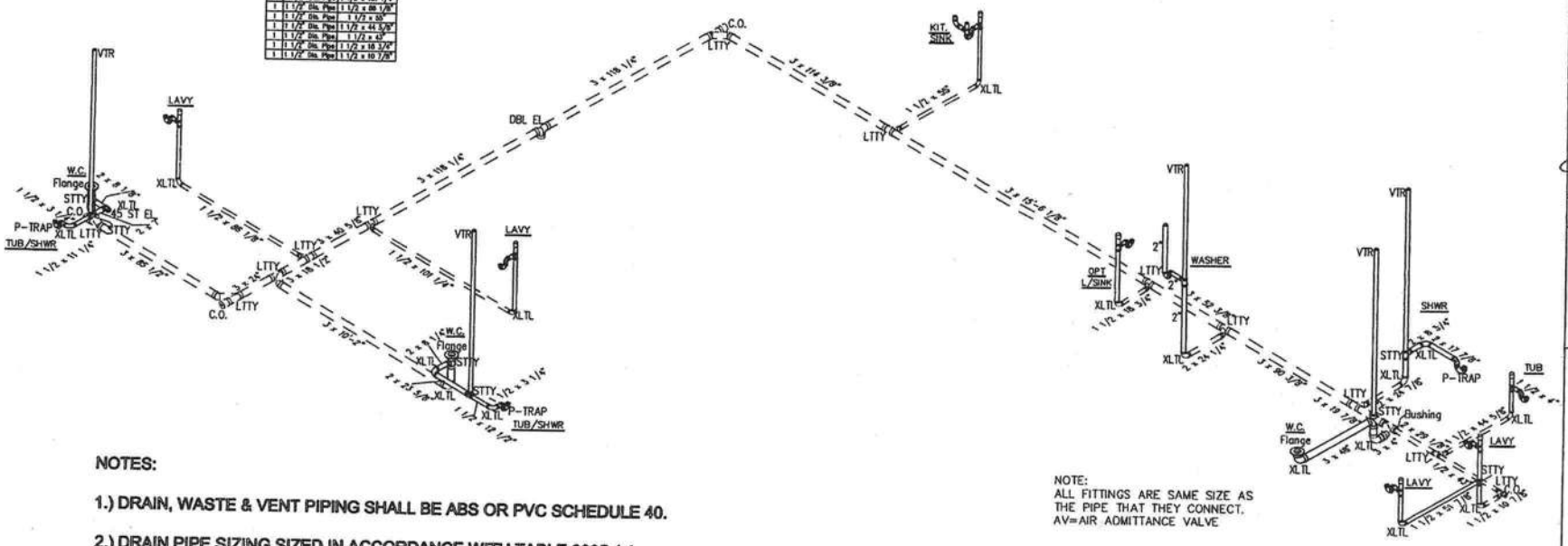
HWC

COA # 1025

PLAN NUMBER:2102-0925F

QTY	Description	Pipe Length
1	3" Dia. Pipe	3 x 19'-6 1/8"
1	3" Dia. Pipe	3 x 10'-2"
2	3" Dia. Pipe	3 x 118 1/4"
1	3" Dia. Pipe	3 x 114 3/8"
1	3" Dia. Pipe	3 x 90 3/8"
1	3" Dia. Pipe	3 x 85 1/2"
1	3" Dia. Pipe	3 x 52 3/8"
1	3" Dia. Pipe	3 x 40 5/8"
1	3" Dia. Pipe	3 x 2"
1	3" Dia. Pipe	3 x 19 7/8"
1	3" Dia. Pipe	3 x 18 1/2"
1	3" Dia. Pipe	3 x 4"
1	2" Dia. Pipe	2 x 28 1/8"
1	2" Dia. Pipe	2 x 24 7/8"
1	2" Dia. Pipe	2 x 24 1/4"
1	1 1/2" Dia. Pipe	1 1/2 x 101 1/4"
1	1 1/2" Dia. Pipe	1 1/2 x 88 1/8"
1	1 1/2" Dia. Pipe	1 1/2 x 60"
1	1 1/2" Dia. Pipe	1 1/2 x 44 3/8"
1	1 1/2" Dia. Pipe	1 1/2 x 43"
1	1 1/2" Dia. Pipe	1 1/2 x 18 3/4"
1	1 1/2" Dia. Pipe	1 1/2 x 10 7/8"

QTY	Description
1	Bushing 3" x 2"
1	Clean Out 1-1/2"
3	Clean Out 3"
1	Double Elbow 3"
6	Elbow 1 1/2" 90 Degree XLT
2	Elbow 2" 90 Degree XLT
2	Elbow 3" 90 Degree XLT
1	LTTY 1-1/2"
1	LTTY 2" x 1-1/2" x 1-1/2"
5	LTTY 3"
4	LTTY 3" x 3" x 1-1/2"
2	LTTY 3" x 3" x 2"



NOTE:
ALL FITTINGS ARE SAME SIZE AS THE PIPE THAT THEY CONNECT.
AV=AIR ADMITTANCE VALVE

NOTES:

1.) DRAIN, WASTE & VENT PIPING SHALL BE ABS OR PVC SCHEDULE 40.

2.) DRAIN PIPE SIZING SIZED IN ACCORDANCE WITH TABLE 3005.4.1.

3.) INTERCONNECTION OF VENTS ABOVE CEILINGS SHALL BE MADE IN THE FACTORY WHERE PRACTICAL.

4.) BELOW FLOOR PLUMBING SHALL BE PROVIDED AND INSTALLED BY OTHERS AT SITE TO STATE AND LOCAL CODES.

5.) CHANGE IN DIRECTION IN DRAINAGE PIPING SHALL BE MADE THROUGH THE APPROPRIATE USE OF SANITARY TEES, WYES, SWEEPS, BENDS OR BY A COMBINATION OF THESE FITTINGS.

6.)DRAIN PIPING RAN HORIZONTALLY SHALL BE SUPPORTED A MIN. OF 4'-0" O.C.

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-4
Designation:	DWV Schematics
~~Rev. By:~~ Revision:	04/19/11

Approvals

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FL. Lic. No. 45484
Phone 574-825-7663

3rd Party:

Hilborn, Werner, Carter and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

LISTING AGENCY APPROVAL

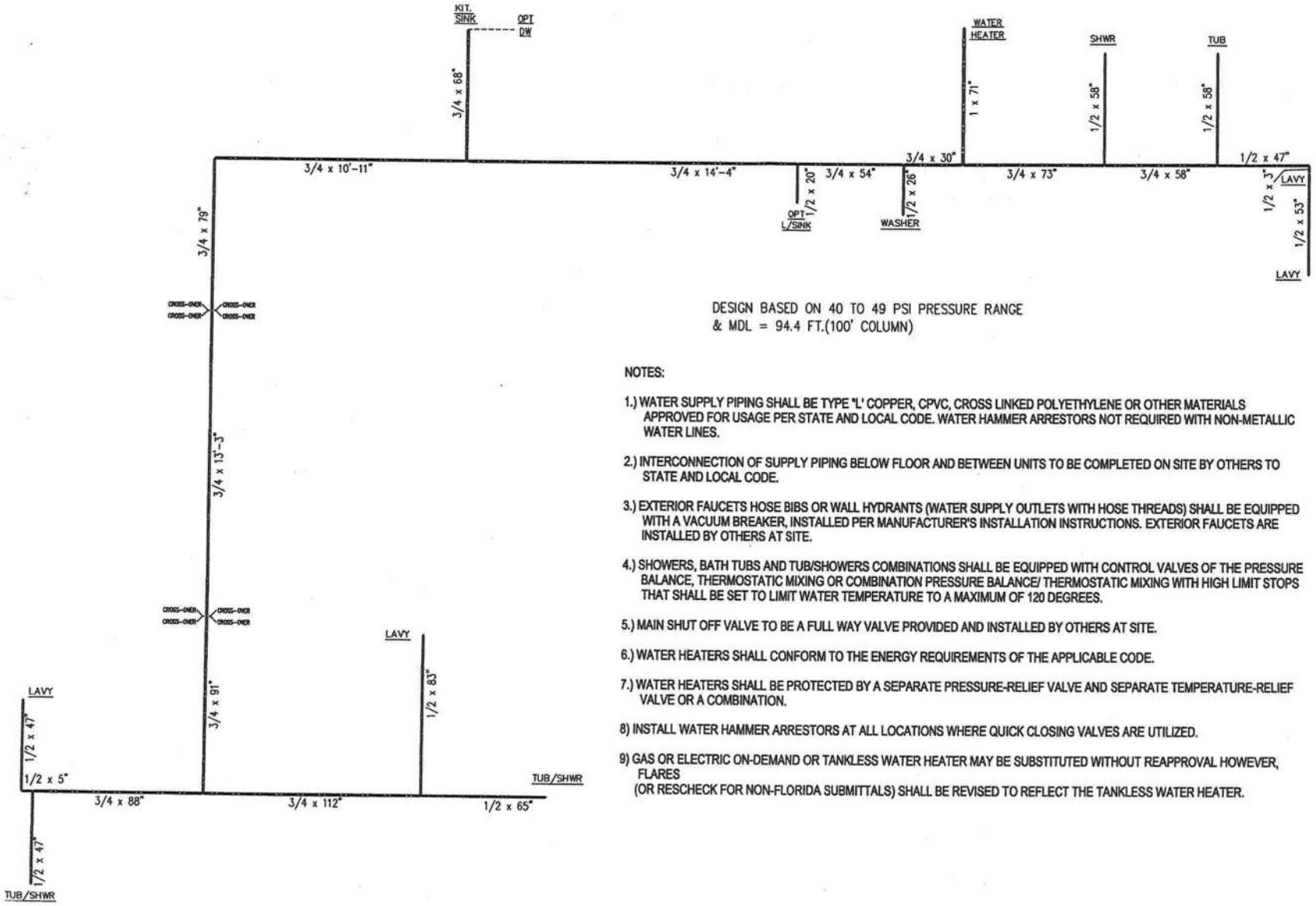
These plans comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F



DESIGN BASED ON 40 TO 49 PSI PRESSURE RANGE
& MDL = 94.4 FT.(100' COLUMN)

NOTES:

1.) WATER SUPPLY PIPING SHALL BE TYPE "L' COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE. WATER HAMMER ARRESTORS NOT REQUIRED WITH NON-METALLIC WATER LINES.

2.) INTERCONNECTION OF SUPPLY PIPING BELOW FLOOR AND BETWEEN UNITS TO BE COMPLETED ON SITE BY OTHERS TO STATE AND LOCAL CODE.

3.) EXTERIOR FAUCETS HOSE BIBS OR WALL HYDRANTS (WATER SUPPLY OUTLETS WITH HOSE THREADS) SHALL BE EQUIPPED WITH A VACUUM BREAKER, INSTALLED PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. EXTERIOR FAUCETS ARE INSTALLED BY OTHERS AT SITE.

4.) SHOWERS, BATH TUBS AND TUB/SHOWERS COMBINATIONS SHALL BE EQUIPPED WITH CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC MIXING OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING WITH HIGH LIMIT STOPS THAT SHALL BE SET TO LIMIT WATER TEMPERATURE TO A MAXIMUM OF 120 DEGREES.

5.) MAIN SHUT OFF VALVE TO BE A FULL WAY VALVE PROVIDED AND INSTALLED BY OTHERS AT SITE.

6.) WATER HEATERS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE APPLICABLE CODE.

7.) WATER HEATERS SHALL BE PROTECTED BY A SEPARATE PRESSURE-RELIEF VALVE AND SEPARATE TEMPERATURE-RELIEF VALVE OR A COMBINATION.

8) INSTALL WATER HAMMER ARRESTORS AT ALL LOCATIONS WHERE QUICK CLOSING VALVES ARE UTILIZED.

9) GAS OR ELECTRIC ON-DEMAND OR TANKLESS WATER HEATER MAY BE SUBSTITUTED WITHOUT REAPPROVAL HOWEVER, FLARES
(OR RESCHECK FOR NON-FLORIDA SUBMITTALS) SHALL BE REVISED TO REFLECT THE TANKLESS WATER HEATER.

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-5
Designation:	Hot Water Distribution Layout
Rev. By:	
Revision:	

Approvals

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LISTING AGENCY APPROVAL

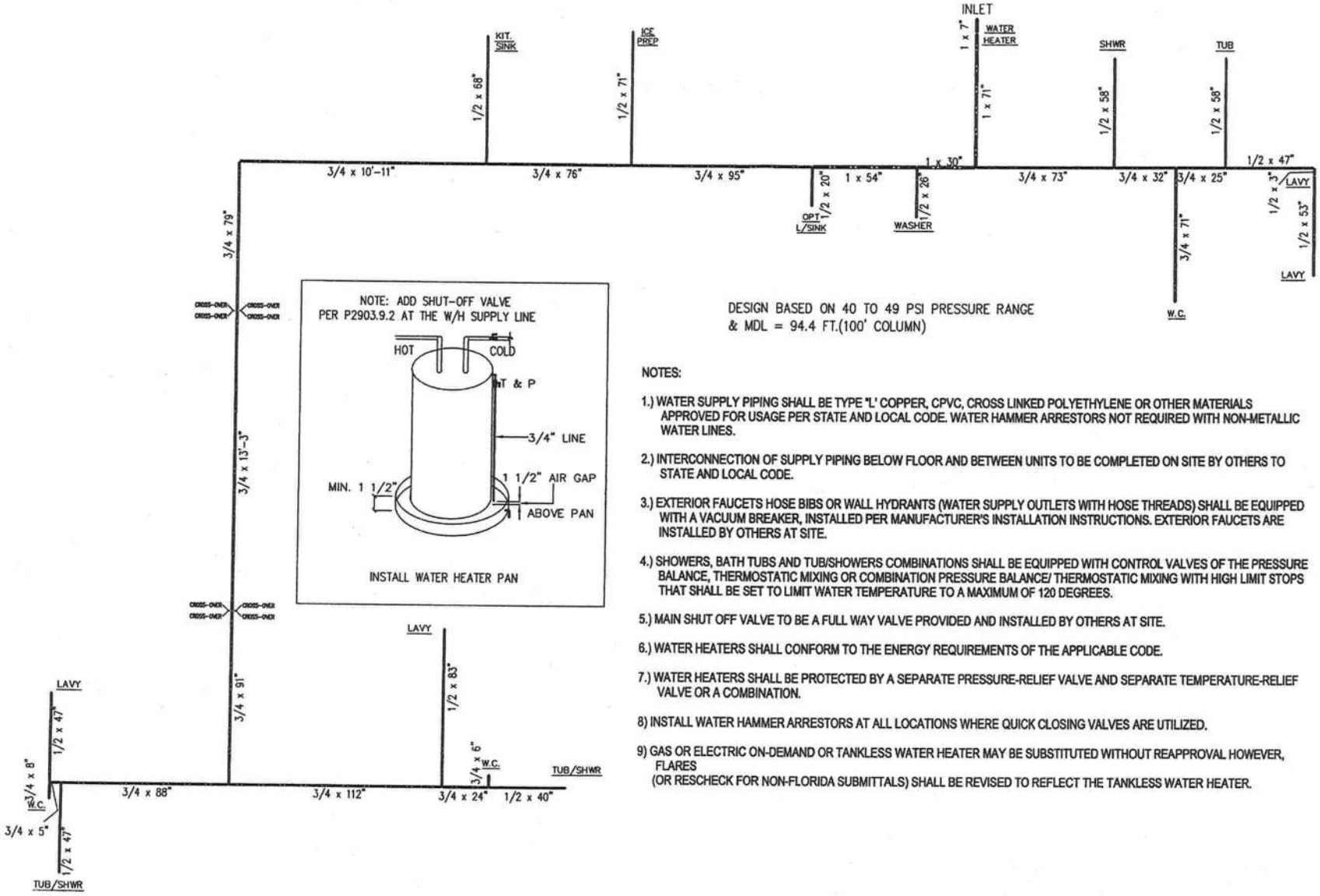
These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4·21·11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F



DESIGN BASED ON 40 TO 49 PSI PRESSURE RANGE
& MDL = 94.4 FT.(100' COLUMN)

NOTES:

1.) WATER SUPPLY PIPING SHALL BE TYPE "L' COPPER, CPVC, CROSS LINKED POLYETHYLENE OR OTHER MATERIALS APPROVED FOR USAGE PER STATE AND LOCAL CODE. WATER HAMMER ARRESTORS NOT REQUIRED WITH NON-METALLIC WATER LINES.

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(OR RESCHECK FOR NON-FLORIDA SUBMITTALS) SHALL BE REVISED TO REFLECT THE TANKLESS WATER HEATER.

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-5.1
Designation:	Cold Water Distribution Layout
Rev. By: Revision	04/19/2011

Approvals

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Clearwater, FL. 33756

LISTING AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F

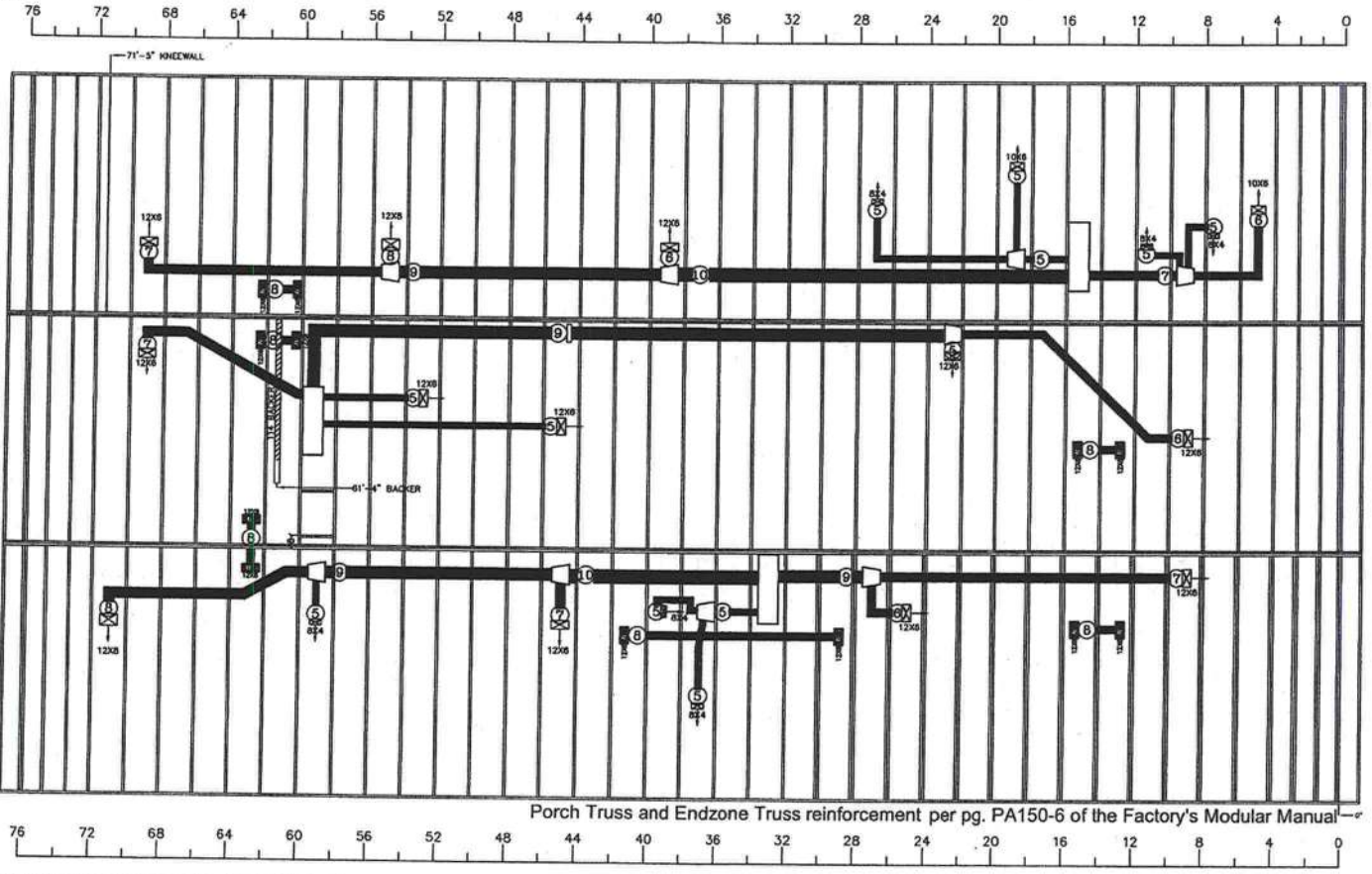
Minimum Return Air Path:
The minimum return air path is determined by the total cfm's delivered through supply duct into the space closed off from the main return. Return duct and grill capacities must be equal to or greater than the cfm's delivered into the space.The following are acceptable methods of return air provisions and may be used in combination.Each method is described in detail below.
a) In-ceiling return air grills
b) Return air grills in walls
c) Openings above door and/or walls without grills.

TRUSSES SPACED 24" O.C. FOR 130 MPH INTERIOR ZONE
16" O.C. FOR 130 MPH END ZONE.

TRUSS NUMBERS
TRUSS # P899101
TRUSS # P734702

RIDGE BEAM: 4 LAYER OF 15/32" x 16" HIGH (3 LAYER /3 PLY) PLYWOOD ALL PLIES GROUP I (32/16 INDEX)

GABLE ENDWALL TRUSS W/DIAGONAL BRACING WHEN HINGED TRUSS IS APPLICABLE SEE PAGE RF-150-3 OF THE FL MODULAR MANUAL



Notes:
1. HVAC duct systems, when installed, consist of either insulated fiberglass duct board, or insulated flexible duct or a combination of both, minimum R-6 in the roof attic.
2. Ducts shall be installed in accordance with the manufacturer's installation instruction and shall bear a listing and label indicating compliance with UL 181 and UL 181 A (rigid) or UL 181 B (flexible).
3. Joints and seams are to be made substantially air-tight by means of tapes mastics or other systems as approved in the manufacturers' installation instructions(e.g. plastic tie straps).
4. Duct installed in floors supported as required by manufacturer. Ducts installed in attic are supported by the truss framing members and need no additional supports. Register boxes are fastened to ceiling gypsum and need no additional securement.
5. All duct work installed outside the conditioned envelope shall have a minimum R-8 and be listed for use as exterior duct.
6. Return air balance (from room to room) may be achieved through the installation of "jump ducts" (in ceiling return air pathways) , undercut doors, and/or return air grills.
7. All gable endwalls shall be braced in accordance with Palm Harbor Home's Florida Modular Construction Manual.
8. All exhaust fans/vents shall be ducted to the exterior of the structure.
7. Roof ventilation may be accomplished through the use of either ventilated eaves, roof vents or ridge ventilation. Either or all of these methods may also be used separately or in combination to provide the minimum required roof ventilation of 1/150.
8. All air supply registers are adjustable, except where otherwise specified on the plans (in ceiling "jump ducts" for return air purposes are NOT adjustable and remain in the always open position).
9. All Return Air Grills to be 21" x 26" unless noted otherwise on the plans.
10. Roof trusses installed at 16" o.c. maximum spacing are allowed in buildings designed to comply with a maximum 150 mph wind load. Windloads upto and including 130 mph are 24" O.C.

1' 4'

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-6
Designation:	ROOF Layout
Rev. By:	
Revision:	-

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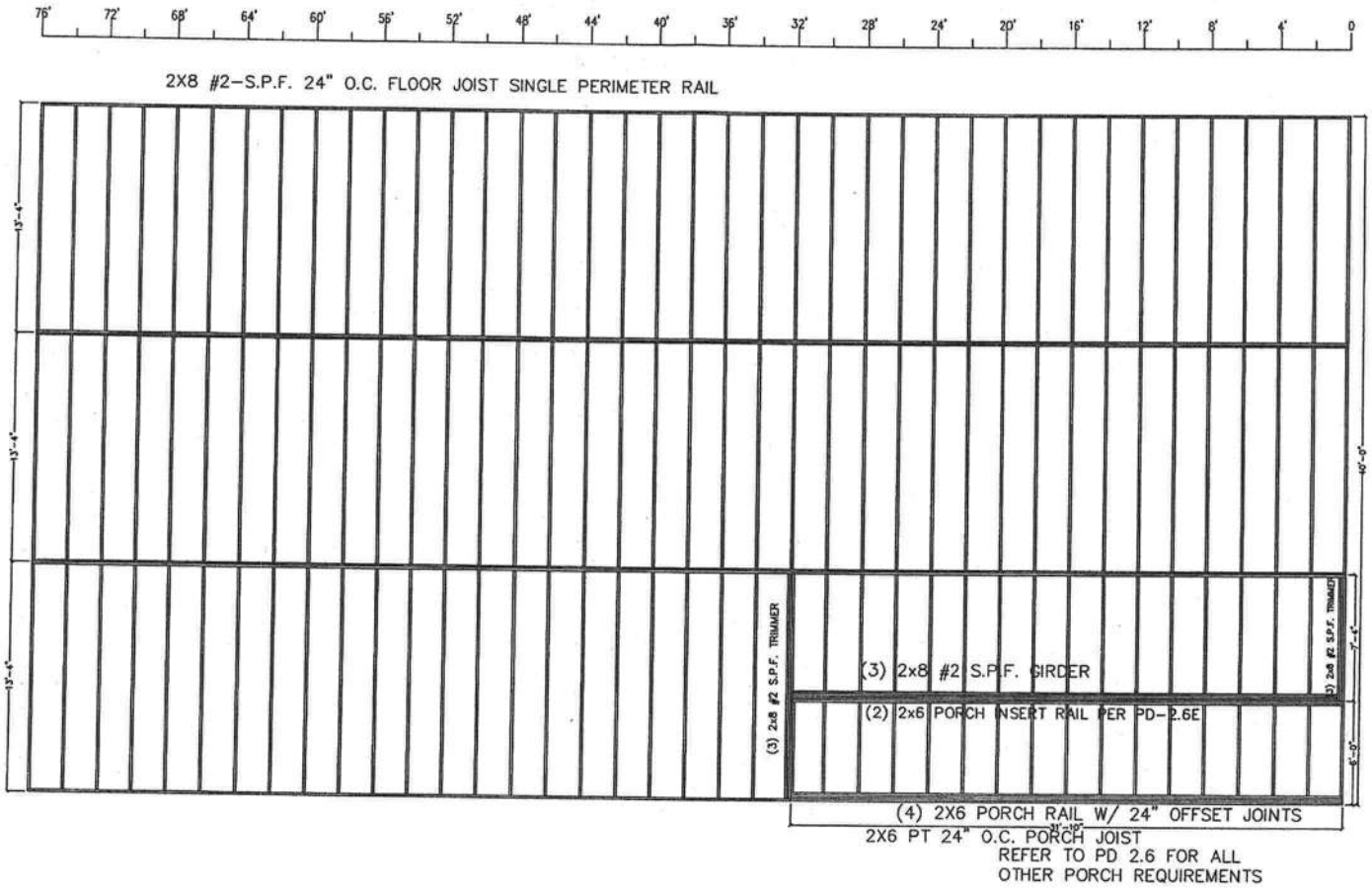
1627 South Myrtle Ave
Clearwater, FL. 33756

LISTING AGENCY APPROVAL
These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC
COA # 1025

PLAN NUMBER:2102-0925F



Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-9

Designation:

FLOOR JOIST LAYOUT

Rev. By: -
Revision: -

Approvals

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Clearwater, FL. 33756

LISTING AGENCY APPROVAL

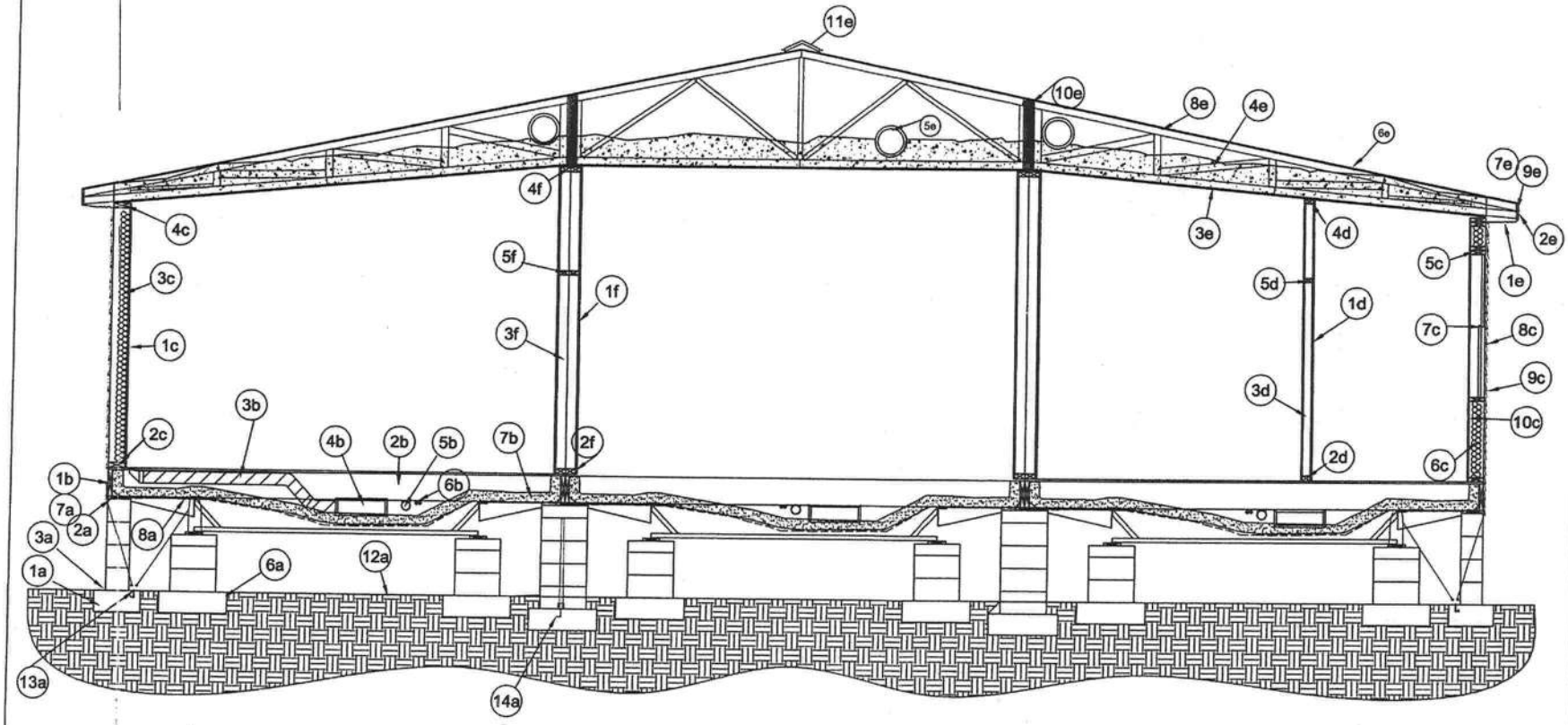
These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-21-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F



Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-13

Designation:
Typical Cross Section
ON FRAME

Rev. By:
Revision: -

Approvals

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Phone 574-825-7663

3rd Party:

Hilborn,Werner,Carter and Associates(HWC)
1627 South Myrtle Ave
Clearwater, FL. 33756

LISTING AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4-22-11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1625

PLAN NUMBER:2102-0925F

Foundation System

1a. Concrete runner and piers
2a Pressure treated sill plate blocking as required
3a. Termite Shield around full perimeter
4a/5a Pier support and footers @ columns
6a Concrete pad and piers
7a Termite shield around full perimeter
8a Lags/washers @ I-beam to joists (factory installed)
9a Main Frame I-beam
10a Factory outriggers
11a Factory cross members
12a 6-mill poly
13a Double head J-anchors along each sidewall footer
14a Double head J-anchors at centerline column footers for large openings

Floor System

Floor Joists

1b. Single rim joist - opt. double.
2b Floor joists:
Up to 164" unit width, 2x6 #2 S-P-F 16" O.C. max.
Up to 186" unit width, 2x8 #2 S-P-F 16" O.C. max.
3b. Insulated duct - sized per manual D
4b. Insulated, fiberglass duct board
5b. Drain lines, see model layout for material types and sizes
6b. PEX water distribution system - see model layout for sizing
7b. Floor insulation, fiberglass batts or blanket, cellulose, or foam - see Energy Calculations for R-value
8b. Floor sheathing - OSB or Plywood, ⅝" or ¾".
9b. Floor covering - vinyl, carpet, wood laminate, or ceramic tile
10b. Bottom board vapor and air barrier

Exterior wall

1c. ½" or ⅜" gypsum, painted or vinyl clad
2c. Min. 2x4 bottom plate, 2x6 optional
3c. 2x4 wall studs, optional 2x6
4c. Double top plate on 2x4 walls, single top plate 2x6 walls
5c. Opening headers
6c. Insulation per approved calculations with model package
7c. Windows and doors
8c. Rated sheathing
9c. Exterior siding - vertical or horizontal cementious, or vertical or horizontal vinyl - requires weather-resistive (house wrap)
10c Vapor barrier, may be omitted with foam insulation

Interior walls

1d ½" or ⅜" gypsum, painted or vinyl clad
2d Min. 2x3 bottom plate
3d Min. 2x3 wall studs
4d Min. 2x3 top plates
5d Opening header when required

Roof System

1e. Soffit
2e. Fascia
3e. ½" high strength gypsum or approved suspended ceiling material.
4e. Engineered trusses spaced per truss and model design or factory taper-cut trusses
5e. Optional overhead ducts
6e. Shingles or ribbed metal over OSB roof sheathing
7e. Truss rim rail
8e. Insulation per approved calculations with model package
9e Minimum 1x6 sub-fascia.
10e Ridge beam
3 Layer Beam
4 Layer Beam
Open Beam
LVL or LSL
11e Upper Roof Vent Handle as:
Vented Ridge cap (as shown)
Roof caps

Marriage Wall

1f 1/2" gypsum - Factory finished or finished on site:
Alternate Drywall: Vinyl covered gypsum.
2f Min. 2x3 Bottom plate
3f Min. 2x3 Wall stud
4f Min. 2x3 top plate
5f Window or door header

Palm Harbor Homes

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Plant Location:	PLANT CITY, F
Plant Number:	06/09
Drawn By:	GRS
Date:	4/7/11
Series:	TIMBERLAND LTI
Model Number:	C9443-D
Page Number:	FP-13.1

Designation: Typical Cross Section Notes ON FRAME

Rev By: –
Revision: –

Approvals

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Phone 574-825-7663

3rd Party:

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1627 South Myrtle Ave
Clearwater, FL. 33756

LISTING AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

CONST. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1
WIND VELOCITY	130 (3 sec)
FIRE RATING OF EXT. WALLS	0
PLAN NO.	2102-0925F
ALLOW. FLOOR LOAD	40
APPROVAL DATE	4.21.11
MANUFACTURER	PHH
HIGH VELOCITY HURRICANE ZONE	NO

HWC

COA # 1025

PLAN NUMBER:2102-0925F

COLUMBIA COUNTY BUILDING DEPARTMENT
Received for FILE COPY
Code Compliance
PLANS EXAMINER

2102-0925P

FORM 1100A-08

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Performance Method A

Project Name:	C9443-D NORTH	Builder Name:	PALM HARBOR HOMES
Street:		Permit Office:	
City, State, Zip:	, FL ,	Permit Number:	29437
Owner:		Jurisdiction:	221000
Design Location:	FL, Jacksonville		

1. New construction or existing	New (From Plans)
2. Single family or multiple family	Single-family
3. Number of units, if multiple family	1
4. Number of Bedrooms	4
5. Is this a worst case?	Yes
6. Conditioned floor area (ft²)	2849

7. Windows(295.7 sqft.)	Description	Area
a. U-Factor:	Dbl, U=0.35	275.25 ft²
SHGC:	SHGC=0.30	
b. U-Factor:	Dbl, U=0.47	20.48 ft²
SHGC:	SHGC=0.34	
c. U-Factor:	N/A	ft²
SHGC:		
d. U-Factor:	N/A	ft²
SHGC:		
e. U-Factor:	N/A	ft²
SHGC:		

8. Floor Types (2849.0 sqft.)	Insulation	Area
a. Raised Floor	R=19.0	2849.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

9. Wall Types (2088.0 sqft.)	Insulation	Area
a. Frame - Wood, Exterior	R=23.0	2088.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²
d. N/A	R=	ft²

10. Ceiling Types (2849.0 sqft.)	Insulation	Area
a. Under Attic (Vented)	R=30.0	2849.00 ft²
b. N/A	R=	ft²
c. N/A	R=	ft²

11. Ducts
a. Sup: Attic Ret: Interior AH: Interior Sup. R= 6, 569.8 ft²

12. Cooling systems
a. Central Unit — Cap: 42.4 kBtu/hr, SEER: 13

13. Heating systems
a. Electric Heat Pump — Cap: 55.0 kBtu/hr, HSPF: 7.7

14. Hot water systems
a. Electric — Cap: 50 gallons, EF: 0.91

b. Conservation features
None

15. Credits — None

Glass/Floor Area: 0.104

Total As-Built Modified Loads: 49.91
Total Baseline Loads: 71.43

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Bruce Burnell
DATE: 04/18/11 Rater ID 608

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____
DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

GREAT SEAL OF THE STATE OF FLORIDA — IN GOD WE TRUST

BUILDING OFFICIAL: _____
DATE: _____

Date _____ Plan No. _____
Approved By SCOTT S. FRANCIS

Modular Building Plans Examiner
Florida License No. SMP-42

04/19/2011
JOHN C. DOEDEN, P.E.
FL LIC. NO. 45484

SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA.

29437

NOTICE OF COMMENCEMENT

Clerk's Office Stamp

Inst:201112009737 Date:6/27/2011 Time:3:37 PM
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1217 P:78

Tax Parcel Identification Number:

26-3S-15-06242-001

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property *(legal description)*: Section 26-Twn 3S-R15E
   a) Street *(job)* Address: 354 SW Cozy Glen Lake City, Fl 32025
2. General description of improvements: on frame modular home
3. Owner Information
   a) Name and address: Tracy S. + Stephanie Johns
   b) Name and address of fee simple titleholder (if other than owner)
   c) Interest in property
4. Contractor Information
   a) Name and address: Christopher Scott Collins-406 NW Old mill Rd. L.C. Fl. 32025
   b) Telephone No.: 386-466-9615 Fax No. (Opt.)
5. Surety Information
   a) Name and address:
   b) Amount of Bond: 25,000
   c) Telephone No.: 407-647-16116 Fax No. (Opt.)
6. Lender
   a) Name and address: First Federal 4705 SW US Hwy 90 Lake City, Fl 32056
   b) Phone No. 386-755-0600
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
   a) Name and address: N/A
   b) Telephone No.: Fax No. (Opt.)
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
   a) Name and address:
   b) Telephone No.: Fax No. (Opt.)
9. Expiration date of Notice of Commencement **(the expiration date is one year from the date of recording unless a different date is specified)**:

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Stephanie Johns
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

Stephanie Johns
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 21st day of May, 2011, by: Stephanie Johns as (type of authority, e.g. officer, trustee, attorney fact) for (name of party on behalf of whom instrument was executed).

Personally Known ✓ OR Produced Identification ____ Type

Notary Signature Kent Gardner Notary Stamp

KENT GARDNER
Comm# DD0763119
Expires 3/27/2012
Florida Notary Assn., Inc

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Stephanie Johns
Signature of Natural Person Signing (in line #10 above.)

CERTIFICATE OF

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 26-3S-15-00242-009 **Building permit No.** 000029437

Permit Holder C. SCOTT COLLINS

Owner of Building SCOTT & STEPHANIE JOHNS

Location: 354 SW COZY GLEN, LAKE CITY, FL 32024

Date: 07/13/2011

Harry Dicks

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)