DATE 11/17/2	2005		•	Building Popular From the Date of		PERMIT 000023868
APPLICANT I	DAN RENT2	Z/PHILADEPHIA N	1EMBER	PHONE	386.755.6246	
		SW CR 242	_	LAKE CITY		FL 32024
Personal Control Contr		IIA BAPTIST CHU	RCH	- PHONE	386.755.6246	
	<del></del> "	SW CR 242	<del></del>	LAKE CITY		FL 32024
CONTRACTOR	PHILA	DEPHIA BAPTIST	CHURCH	PHONE	386.755.6246	
LOCATION OF	PROPERTY	I special state that the second state of the s		LES @ CAUTION LIGH	T,BEAR TO THI	E
TVDE DEVELO	DATE	77	SEE THE CHURCH (			1212220
TYPE DEVELO		DETACHED GAR		TIMATED COST OF CO	NSTRUCTION	12000.00
HEATED FLOO	OR AREA	-	TOTAL ARE	EA	HEIGHT 8	STORIES 1
FOUNDATION	CONC	WALI	.S R	ROOF PITCH 4'12	FL	OOR CONC
LAND USE & Z	ONING	<u>A-3</u>		MAX	. HEIGHT 3	35
Minimum Set Ba	ick Requirme	nts: STREET-I	FRONT 30.00	REAR	25.00	SIDE 25.00
NO. EX.D.U.	1	FLOOD ZONE		DEVELOPMENT PER	MIT NO.	
PARCEL ID 2	26-4S-15-004	04-000	SUBDIVISIO	N		
LOT I	BLOCK _	PHASE _	UNIT _	тотл	AL ACRES2.	25
	NOC ON FIL	ptic Tank Number E. SECTION 4.2.4. D TO MR.RENTZ.		g checked by App TER FROM PASTOR. I	Check # or Ca	
		FOR BUI	ILDING & ZONIN	G DEPARTMENT		
Temporary Power		TORBO	Foundation	O DEPARTMENT		(footer/Slab)
		ate/app. by	_	date/app. by	_ Wolfolithic	date/app. by
Under slab rough-	in plumbing	S	Slab		Sheathing/N	Nailing
Framing		date/app	. by	date/app. by	1-034	date/app. by
	date/app. by		Rougn-in plumbing abo	ove slab and below wood	floor	date/app. by
Electrical rough-in	-		Heat & Air Duct	i i	Peri. beam (Lintel	REPROJECTION DE VICAULEN
_		e/app. by	_	date/app. by	on beam (Enter	date/app. by
Permanent power	date/aj	op. by	C.O. Final	ate/app. by	Culvert	date/app. by
M/H tie downs, blo		icity and plumbing		2000 2000 	Pool	date/app. by
Reconnection			date/app.	by Utility Pole		date/app. by
_	date/	app. by		ipp. by	date/app. by	-
M/H Pole date/a	ipp. by	Trave	el Trailerda	te/app. by	Re-roof	date/app. by
	W W S W	ga sa				
BUILDING PERM				\$		FEE \$
MISC. FEES \$	.00	ZONING C	ERT. FEE \$	FIRE FEE \$00	WASTE	FEE \$
FLOOD DEVELOR	PMENT FEE	\$ ALOO	D ZONE FEE \$	CULVERT FEE \$	TOTA	AL FEE 60.00
INSPECTORS OF	FICE (	()()()		CLERKS OFFICE	(1)	
NOTICE: IN ADD	OITION TO THI	E REQUIREMENTS O	F THIS PERMIT, THERE !	MAY BE ADDITIONAL RES	TRICTIONS APPLI	CARLE TO THIS

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

Was how have a second of the s

161 NW Madison St Suite #102 Lake City, FL 32055 Phone: 386-758-4209 Fax: 386-758-4290

Freeman Design Group, Inc.



To: John Kearse				From:	Jerry T. Delk, Jr.	
Fax:	386-	758-2160		Date:	January 11, 2006	-
Phone				Pages:	2	
Re:	Phila	adelphia Baptist Chu	ırch	CC:		
□ Urge	ent	☑ For Review	☐ Please Con	nment	☐ Please Reply	☐ Please Recycle
			ac or	-		

•Comments: Per our conversation on Tuesday, January 10, 2006

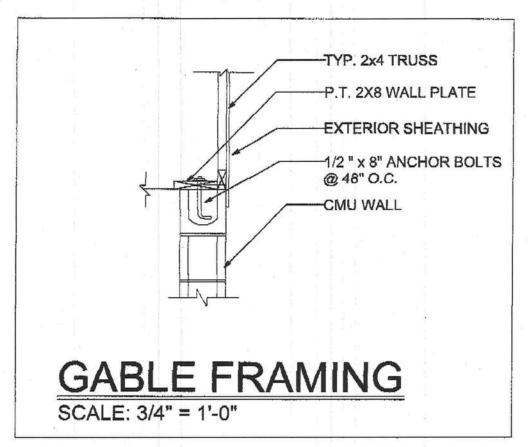
# 23968/



Engineers • Planners

161 N.W. Madison St., Suite 102
 Lake City, Florida 32055
 Tel: 386-758-4209
 Fax: 386-758-4290

Tuesday, January 10, 2006



TO:

John Kearse

FROM:

Jerry @ Freeman Design Group, Inc.

John,

Per our discussion on the phone earlier today, here is the detail that we discussed. Daniel Rentz of the Philadelphia Baptist Church project has agreed to use the design criteria portrayed in this detail for his gable-end framing/construction. If you have any further questions or regards, please direct them to Bill or me at any time.

Cordially.

22868

Revised 9-23-0
For Office Use Only Application # 0511-20 Date Received 1/4/05 By Tu Permit # 23668
Application Approved by - Zoning Official Bak Date 5-165 Plans Examiner Of The Date 15-165
Flood Zone Development Permit Zoning Land Use Plan Map Category 3
Comments Section 4.2.4
dec Day Brown a
Applicants Name PHILADELPHIA BAPTIST CHURCH ANIC From Phone 386 755-6246
Address 8406 COUNTY ROAD 242 P. O. BOX 1594 LAKE CITY, FL 32056
Owners Name PHILADELPHIA BAPTIST CHURCH
rnone 300 /55-6246
911 Address 8406 SW COUNTY ROAD 242 LAKE CITY, FL 32024
Contractors Name ILADELPHIA BAPTIST CHURCH Phone 755-6246
Address 6406 SW COUNTY ROAD 242 LAKE CITY, FL 32024
Fee Simple Owner Name & Address N
Bonding Co. Name & Address
Architect/Engineer Name & Address FREEMON DESIGN GROUP 161 NW MADISON ST LAKE CITY FL
Mortgage Lenders Name & Address MA
Circle the correct power company - FL Power & Light - Clay Elee Suwannee Valley Elec Progressive Energy
Property ID Number SEC 26, TS 4S, R 15E - CHANGE Estimated Cost of Construction \$ 12,000
* Subdivision Name
Energy 2470 to 2420 to 500 to
Bank to the 1+ff - 9011/1 WES WE AND ON
COME MAIN . ~
DETALNED
pe of Construction MASORY/WOOD - GARAS E Number of Existing Dwellings on Property
Stal Acreage 2.25ac Lot Size 98,010 Do you need a - Culvert Permit or Culvert Waiver of Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 259 Side 290' Side 279'13' Rear 14'4'
Total Building Height Number of Stories Heated Floor Area Roof Bitch 4'12'
376 GATAGE TOTAL 576 SA FT
Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or
installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information to a second and a second a
compliance with all applicable laws and regulating construction and zoning.
WARNING TO OWNER: YOUR FAILURE TO DECORD A NOTICE OF CONTRACT
LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.
Darl first
Owner Builder or Agent (Including Contractor)  Contractor Signature
Contractors License Number
COUNTY OF COLUMBIA  LAURIE OF FLORIDA  LAURIE OF FLORIDA  MY COMMISSING TAMP/SEAL
Sworn to (or affirmed) and subscribed before me
this day of 11 20 05 .
Personally known - Car Produced Identify in
Personally known or Produced Identification Notary Signature

Show

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ani 355, 431593 OFFICIAL REGORDS

This Quit-Claim Deed, Executed this Attaday of January,

, A. D. 19 74 , by

LENVIL H. DICKS and JULIA R. DICKS, his wife,

first party, to JOHNNIE L. JOHNSON, MOSES JOHNSON, FESS RENTZ, JR., AUGUSTA RENTZ and LONNIE RENTZ and their successors in office as Trustees of Philadelphia Baptist Church,
whose postoffice address is Lake City, Florida,

second party:

(Wherever used herein the terms "first party" and "second party" shall include singular and plural, heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Willessell, That the said first party, for and in consideration of the sum of \$ 10.00 in hand paid by the said second party, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said second party forever, all the right, title, interest, claim and demand which the said first party has in und to the following described lot, piece or parcel of land, situate, lying and being in the County of Columbia State of Florida

Lands in Section 26, Township 4 South, Range 15 East, Columbia County, Florida, described as follows:

Commence at the Southwest Corner of the NW 1/4 of Section 26, Township 4 South, Range 15 East, Columbia County, Florida, and run N 0°3'0" E along the West line of Section 26 a distance of 2,354.54 feet to the Southwest Corner of a lot owned by the existing church and cemetery occupying land; thence N 81°11'30" E along the South line of aforementioned church property and along the existing fence line 275.44 feet to the POINT OF BEGINNING; thence N 6°17'30" E still along said church property line and existing fence line 274.28 feet to the South right-of-way line of State Road No. S-242, said point being on the arc of a curve concave to the right and having a radius of 22,878.31 feet and a total central angle of 2°24'; thence Southeasterly along the arc of said curve and along said Southerly right-of-way line 60.33 feet; thence S 6°17'30" W 267.22 feet; thence S 81°11'30" W 60 feet to the POINT OF BEGINNING.

7.21s Instrument Prepared By:
S. AJSTIN PLEIE
JOPLING, D'REN, FESIE & PAGE
327 Recth Harmando Elves
Lake Gry., Florida 2003

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To Have and to Hold the same together with all and singular the appurtenances thereuning belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity, and claim what-soever of the said first party, either in law or equity, to the only proper use, benefit and behoof of the said second party forever.

In Wilness Whereof, The said first party has signed and sealed these presents the day and of first above written.

Signed, sealed and delivered in presence of:

STATE OF FLORIDA, COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an

10110

duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, personally appearance of the county aforesaid to take acknowledgments, personally appearance of the county aforesaid to take acknowledgments, personally appearance of the county aforesaid to take acknowledgments, personally appearance of the county aforesaid to take acknowledgments, personally appearance of the county aforesaid to take acknowledgments, and the county aforesaid to take acknowledgments. LENVIL H. DICKS and JULIA R. DICKS, his wife,

to me known to be the person described in and who executed the foregoing instrument and they before me that they executed the same

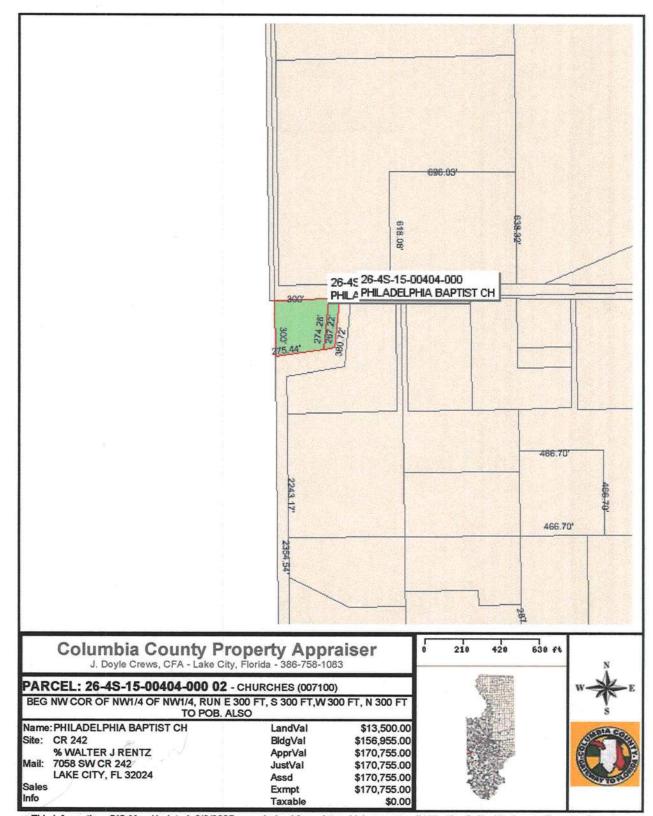
WITNESS my hand and official seal in the County and State last aforesaid this January, A. D. 19 74.

Notary Public, State

Notary Public, State of Florida

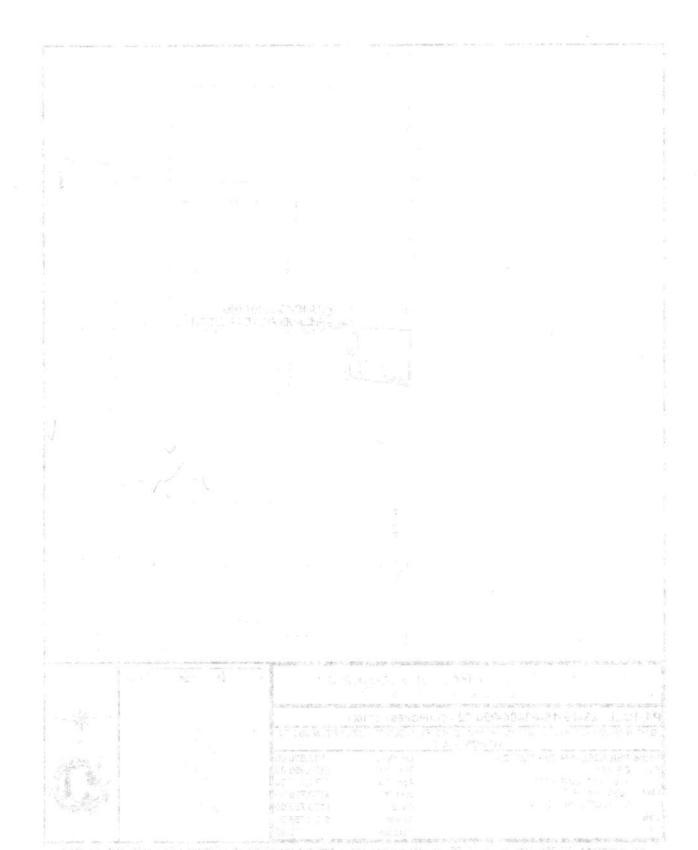
My commission expires:

OS FLOSIO SEALL



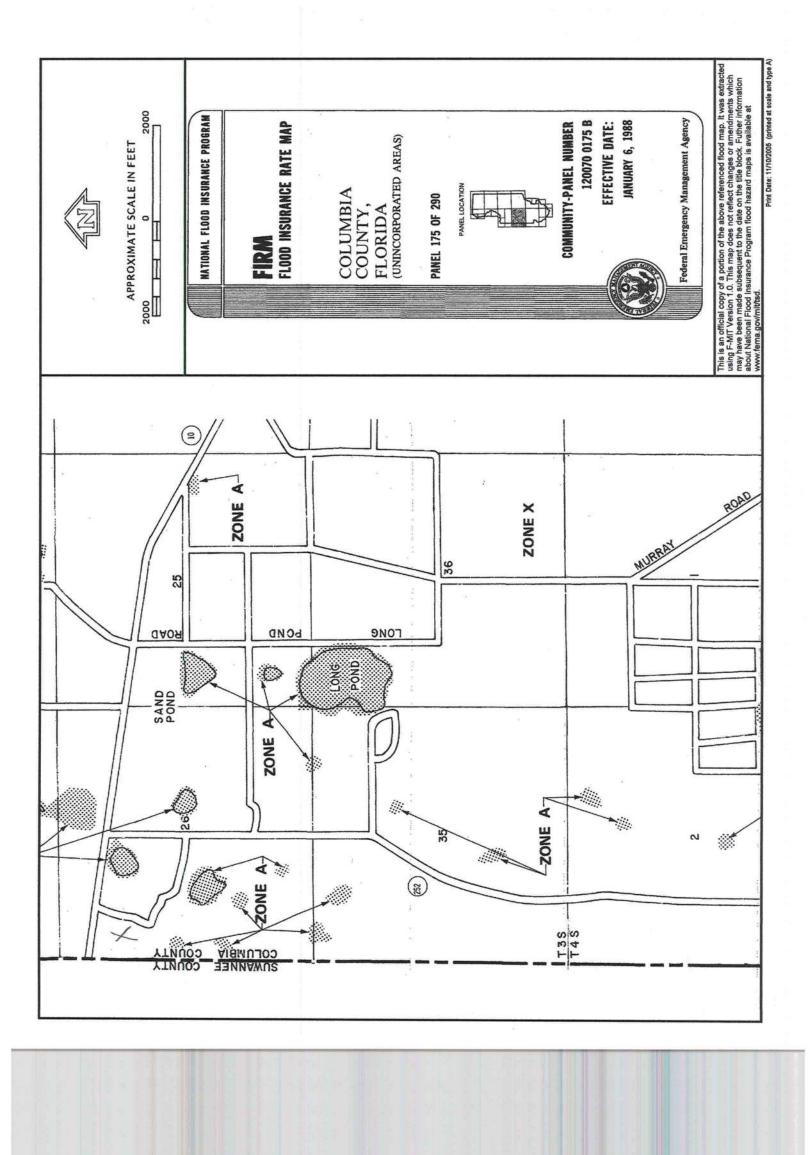
This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser
Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a
determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data
herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the
Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad
valorem assessment purposes.

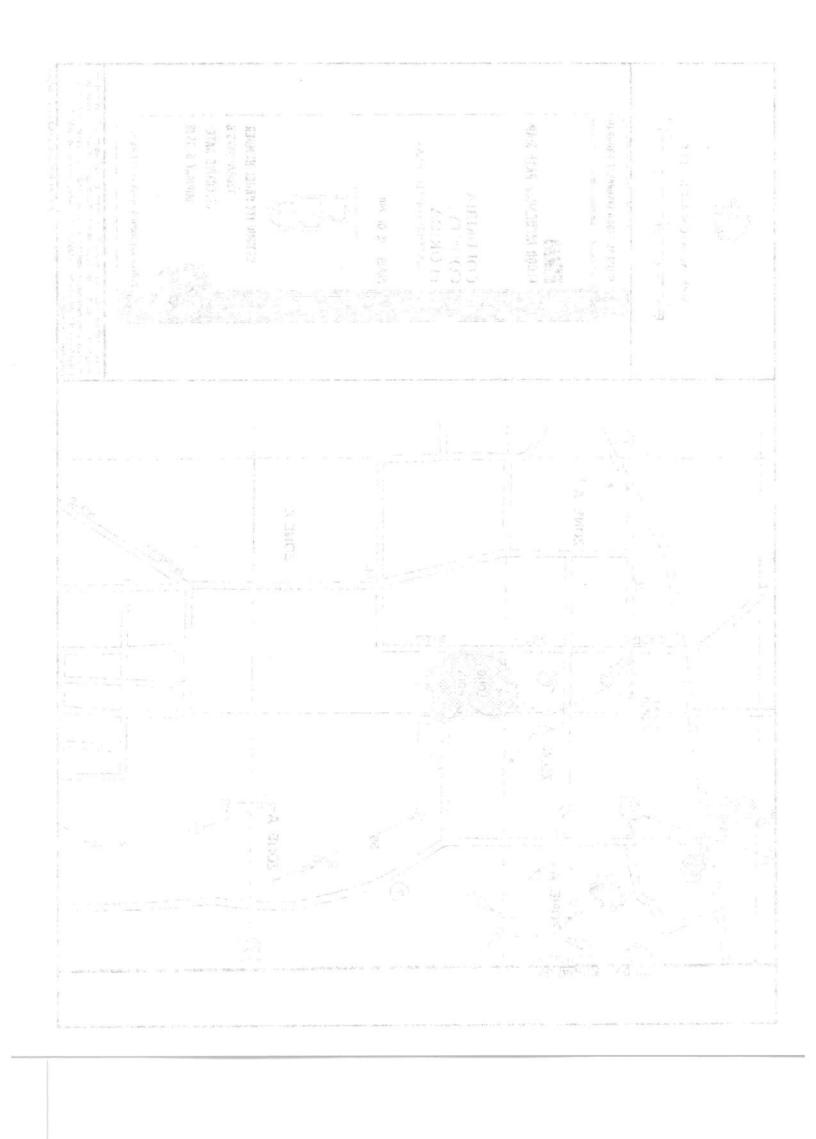
http://appraiser.columbiacountyfla.com/GIS/Print\_Map.asp?pjbnlkplhgmeclpofffddhfacb... 11/10/2005



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e notice that improvement will be made to certain real property, and in accordance Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement. 26-45-15-00404-000 Tax Parcel ID Number 1. Description of property: (legal description of the property and street address or 911 address) NW 1/4 SEC 26, TS 4S, R15E 8406 COUNTY ROAD 242 LAKE CITY, FL 32024 General description of improvement: \_ GARAGE AND STORAGE PHILADELPHIA BAPTIST CHURCH Owner Name & Address 8406 SW COUNTY ROAD 242 LAKE CITY, FL 32024 Interest in Property 4. Name & Address of Fee Simple Owner (if other than owner): PHILADELPHIA BAPTIST CHURCH 5. Contractor Name Phone Number 386 6. Surety Holders Name **Phone Number** Address Inst:2005027801 Date:11/08/2005 Time:09:52 Amount of Bond \_\_DC,P.DeWitt Cason,Columbia County B:1064 P:1038 7. Lender Name Address 8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes: Name \_\_\_\_ Phone Number Address In addition to himself/herself the owner designates to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -(a) 7. Phone Number of the designee 10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) \_ NOTICE AS PER CHAPTER 713, Florida Statutes: The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead. Sworn to (or affirmed) and subscribed before day of , 20 05 LAURIE HODSON LMY COMMISSION # DD 333503 NOTARY ST Signature of Owner ..DANIEL RENTZ.. EXPIRES: June 28, 2008 aded Thru Notary Public Underwrit PHILADEPHIA BAPTIST Signature of Notary

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#### DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THER OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with

all applicable laws, ordinances, buildin	ng codes, and zoning regulations.
() Single Family Dwelling () Farm Outbuilding () New Construction	() Two-Family Residence  () Other GARAGE  () Addition, Alteration, Modification or other Improvement
NEW CO	NSTRUCTION OR IMPROVEMENT
for exemption from contractor licensin	, have been advised of the above disclosure statement g as an owner/builder. I agree to comply with all requirements .103(7) allowing this exception for the construction permitted by mber
Signature .	11/4/65 Date
F	FOR BUILDING USE ONLY
I hereby certify that the above listed over Florida Statutes ss 489.103(7).  Date //- 04. 2005 Building Of	wner/builder has been notified of the disclosure statement in  fficial/Representative

From:

The Columbia County Building Department

Plans Review

135 NE Hernando Av.

P. O Box 1529

Lake City Florida, 32056-1529

Reference to: Build permit application Number: 0511-20

Philadelphia Baptist Church Owners Philadelphia Baptist Church 8406 CR 242

On the date of November 10, 2005 application 0511-20 and plans for construction of a out building (storage garage) were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

#### Please include application number 0511-20 when making reference to this application.

- 1. Application 0511-20 which was filed with the building department on the date of November 4, 2005 will be reviewed under the Florida Building Code 2004. The Wind Load design by Freeman Design Group was design under the Florida Building Code 2001. The wind Load design should reflect the code sections of the Florida Building Code 2004 that relate to wind Load design code requirements.
- 2. Please show a design detailing the method of bracing the gable end truss.
- 3. On the electrical plan show the garage interior and exterior receptacles to have GFCI electrical circuit protection.

Thank you,

Joe Haltiwanger Plan Examiner

Columbia County Building Department

From Line Columbia Scardy Bulling, prepara Plans Person 135 Nd Han and Av Pitt Pox 180s I alse Charles on 12055, 500

sees, a server Berlit normal analogation Murber 10511-20
Pet task finished Samuel Church Owners Physicial Science Security Cleans:

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Thank you

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Columb - Leate Building Department

4. Show compliance with the FRC-2004 section R309: Garages and Carports: R309.1:

Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors. R309.1.1 Duct penetration: Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage. R309.2 Separation required: The garage shall be separated from the residence and its attic area by not less than ½-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than ½-inch (12.7 mm) gypsum board or equivalent.

Thank you,

Joe Haltiwanger Plan Examiner,

Columbia County Building Department

Show contributes with the PRI - 2004 sendout RAGE. Congres and uniquest RAGE. Opening properties in Copining them is private prospected directly have a room used for discipling properties and the properties. Solid in the private properties that the properties and the selections of the properties and the selections. Solid on hone provide and looks that the last that the selection of the solid or hone; and the solid whore the less than the selection in the grange and direct at the walls or contract RAGE. It that percentation the shape and direct properties at the walls or contract and the selection that the grange shall be constructed in a minimum. Not 2n gage if 48 mm) sheet succion which are proved underlied and whe't have the openings late the garage. RAGE 2 Separation required. The garage shall be separated from the residence and its sure area by not less than brinch (12.7 mm) supermed from all habitable tooms above by not less than 508-inch (15.9 mm). Type X separated from all habitable tooms above by not less than 508-inch (15.9 mm). Type X separated from board or equivalent. Where the separation is a hoor-colling assembly, the structure supporting the separation is a hoor-colling assembly, the

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Plan Fox piner

Colombia County Building Department:

### PHILADELPHIA BAPTIST CHURCH 8406 SW COUNTY ROAD 242 LAKE CITY, FLORIDA 32024 (386) 755-6246

REV. I. L. WILLIAMS, PASTOR/TEACHER

#### 6 NOVEMBER 2005

TO: BUILDING AND ZONING COMMISSION COLUMBIA COUNTY COURTHOUSE LAKE CITY, FLORIDA

Dear Commission,

Mr. Daniel Rentz, a member of the Philadelphia Baptist Church has been given permission by the Pastor, Trustee Ministry, and Church Body to construct a Garage on the Church's property adjacent to the existing Sanctuary and Fellowship Hall.

Thank you for you understanding in this matter.

**DEACON ERVIN FLEMING, CHAIRMAN,** 

Respectfully yours,

**IRUSTEE MINISTRY** 

PASTOR I. L. WILLIAMS		
PHILADELPHIA BAPTIST CHURCH		
CC: MRS. SHIRLEY RENTZ, CLERK  STATE OF FLORIDA COUNTY OF COLUMBIA  Personally known or Produced Identification Type of Identification Produced:		
Sworn to (or affirmed) and subscribed before me this day of North , 2005.  Shaley M. Rond  NOTARY PUBLIC SIGNATURE  My Commission	6th Expires:	_
Shirley M. Rentz, Notary Public My Commission	ientz ielon DD197727	

Braga august 1860 (Braga) Lie et Kifajin a des Lieungages d'origen l'aracteur d'openie à acte d'Estat que et april d'origen au la réferance d'aracteur de l'aracteur de l'aracteur de l'aracteur d'aracteur d'ara

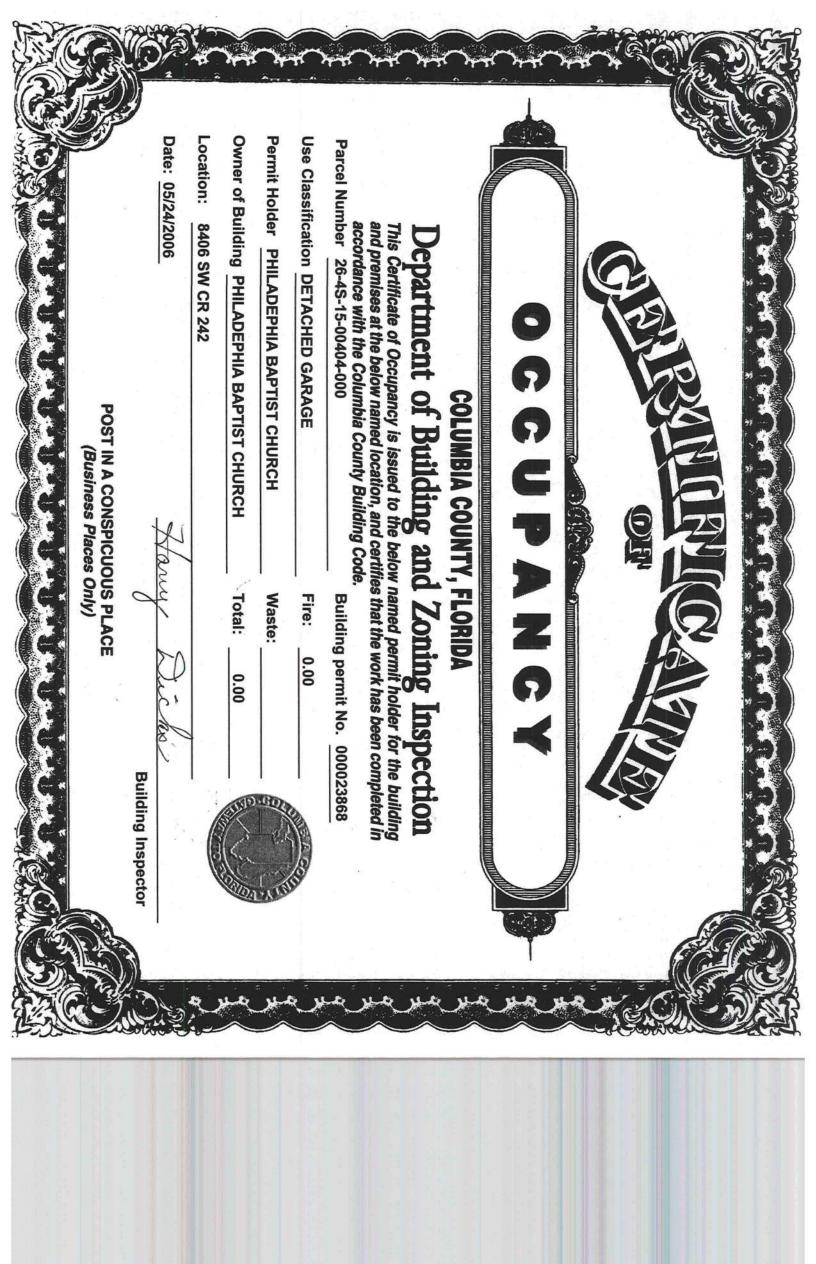
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 " NA	Fire Suppression Systems shall include: (To be reviewed by Fire Department)  a) Fire sprinklers  b) Fire alarm system (early warning) with name of licensed installer. If not shown on plans or not known at time of permitting, a separate permit shall be required by the licensed installer  c) Smoke evacuation system schematic
	d) Stand-pipes Pre-engineered system Riser diagram
	Life Safety Systems shall include: (To be reviewed by Fire Department) a) Occupancy load and egress capacity b) Early warning
uA	c) Smoke control d) Stair pressurization e) Systems schematic
o uA	Occupancy Load/Egress Requirements shall include:  a) Occupancy load (gross and net) b) Means of egress
	exit access, exit and exit discharge c) Stair construction/geometry and protection d) Doors
	e) Emergency lighting and exit signs f) Specific occupancy requirements 1. Construction requirements 2. Horizontal exits/exit passageways
	Structural Requirements shall include:
	a) Soil conditions/analysis
	b) Show type of termite treatment (termicide or alternative method)     c) Design loads
	d) Wind requirements
	e) Building envelope
	f) Structural calculations
	g) Foundations
The same	h) Wall systems i) Floor systems
	j) Roof systems
· uA	k) Threshold inspection plan (if applicable)
0 ntt	I) Stair systems
	Materials shall include:
	a) Wood
	b) Steel
	c) Aluminum
	d) Concrete
	e) Plastic
	Glass (mfg. Listing for wind zone including details for installation and attachments     Mesonne
	g) Masonry h) Gypsum board and plaster
	i) Insulating (mechanical)
	j) Roofing (mfg. Listed system for wind zone with installation and attachments)
	k) Insulation

	· KA	Accessibility Requirements shall include:  a) Site requirements b) Accessible route c) Vertical accessibility d) Toilet and bathing facilities e) Drinking fountains f) Equipment g) Special occupancy requirements h) Fair housing requirements
	<u></u>	Interior Requirements shall include:  a) Interior finishes (flame spread/smoke develop) b) Light and ventilation c) Sanitation
	o NA	Special Systems shall include: a) Elevators b) Escalators c) Lifts
w)	'nН	Swimming Pools – Commercial – Plans shall be signed and sealed by a Professional Engineer registered in the State of Florida and approved by the Department of Business and Professional Regulation/Health Department Indicating compliance with the Florida Administrative Code, Chapter 64E-9 And Section 424 of the Florida Building Code
		Electrical:  a) Electrical wiring, services, feeders and branch circuits, over-current protection, grounding, wiring methods and materials, GFCIs b) Equipment c) Special Occupancies d) Emergency Systems e) Communication Systems f) Low Voltage g) Load calculations h) Riser diagram
	ooooonA	Plumbing: a) Minimum plumbing facilities b) Fixture requirements c) Water supply piping d) Sanitary drainage e) Water heaters f) Vents g) Roof drainage h) Back flow prevention i) Irrigation j) Location of water supply
	_ _ _	k) Grease traps l) Environmental requirements m) Plumbing riser

F . . . . . . . .

Π,			a) Energy calculation (signed and sealed by Architect or Engineer, registered in the State of Florida)
			b) Exhaust systems (clothes dryer exhaust, kitchen equipment exhaust,
	0000000000000	NA	Specialty equipment exhaust) c) Equipment d) Equipment location e) Make-up air f) Roof mounted equipment g) Duct systems h) Ventilation i) Combustion air j) Chimneys, fireplaces and vents k) Appliances l) Boilers m) Refrigeration n) Bathroom ventilation o) Laboratory
		NA	Gas: a) Gas piping b) Venting c) Combustion air d) Chimney's and vents e) Appliances f) Type of gas g) Fireplaces h) LP tank locations i) Riser diagram/shut offs
			Disclosure Statement for Owner Builders
		*	**Notice of Commencement Required Before Any Inspections will be Done
			Private Potable Water:  a) Size of pump motor b) Size of pressure tank c) Cycle stop valve if used



RE: RENTD - PHILADELPHIA BAPTIST CHURCH

MiTek Industries, Inc.

1801 Massaro Blvd. Tampa, Fl 33619 Phone: 813/675-1200 Fax: 813/675-1148

Site Information:

Project Customer:

Project Name:

Lot/Block:

Subdivision:

Address: City:

State:

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

Name:

License #:

Address:

City:

State:

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2001/TPI2002

Design Program: MiTek 20/20 6.2

Wind Code: ASCE 7-98 Wind Speed: 85 mph Roof Load: 40.0 psf Design Method: Main Wind Force Resisting System ASCE 7-98

Floor Load: N/A psf

This package includes 2 individual, dated Truss Design Drawings and 0 Additional Drawings. With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

No.	Seal#	Job ID#	Truss Name	e Date	
1	T1752522	RENTD	A	9/19/05	
2	T1752523	RENTD	AET	9/19/05	

The truss drawing(s) referenced above have been prepared by MiTek Industries, Inc. under my direct supervision based on the parameters provided by Santa Fe Truss.

Truss Design Engineer's Name: Zhang, Guo-jie

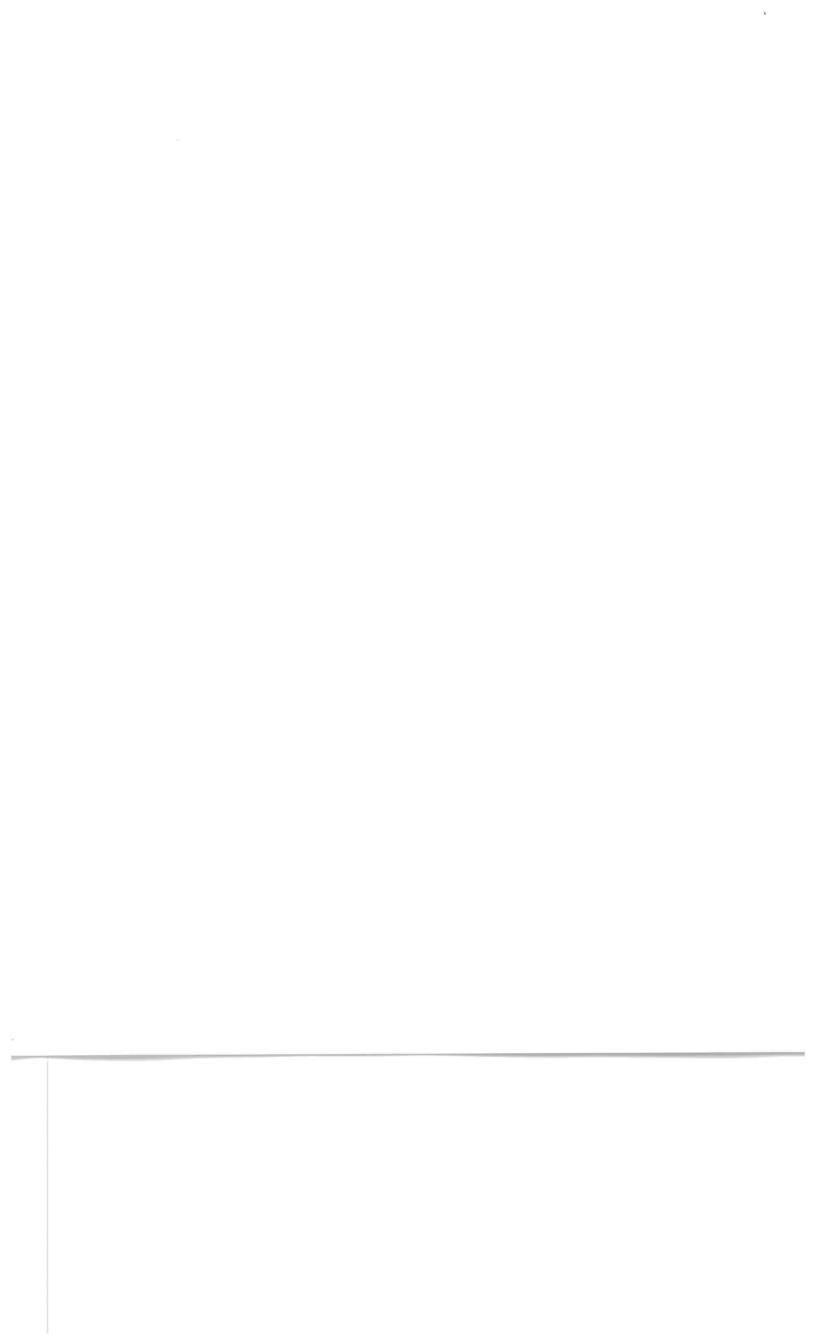
My license renewal date for the state of is February 28, 2007.

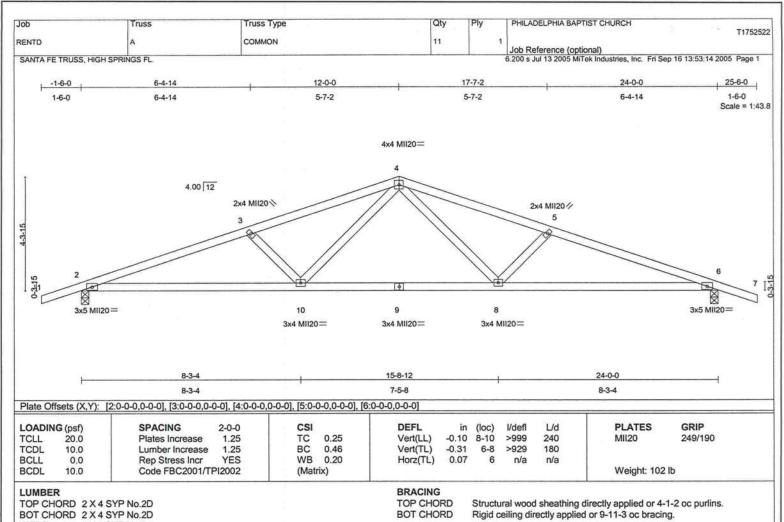
NOTE: The seal on these drawings indicate acceptance of professional engineering responsibility solely for the truss components shown. The suitability and use of this component for any particular building is the responsibility of the building designer, per ANSI/TPI-1995 Sec. 2.

1 of 2

Zhang, Guo-jie

September 19,2005





TOP CHORD 2 X 4 SYP No.2D BOT CHORD 2 X 4 SYP No.2D 2 X 4 SYP No.3

REACTIONS (lb/size) 2=1047/0-3-8, 6=1047/0-3-8

fax Horz 2=82(load case 4)

Max Uplift2=-299(load case 2), 6=-299(load case 3)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD BOT CHORD 1-2=0/27, 2-3=-2230/475, 3-4=-1960/408, 4-5=-1960/408, 5-6=-2230/475, 6-7=0/27 2-10=-426/2056, 9-10=-217/1404, 8-9=-217/1404, 6-8=-365/2056

WEBS 3-10=-387/210, 4-10=-101/614, 4-8=-102/614, 5-8=-387/211

NOTES

1) Unbalanced roof live loads have been considered for this design.
2) Wind: ASCE 7-98; 110mph (3-second gust); h=18ft; TCDL=5.0psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFRS interior zone; Lumber DOL=1.33 plate grip DOL=1.33.

3) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.

4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 299 lb uplift at joint 2 and 299 lb uplift at joint

LOAD CASE(S) Standard

Guo-Jie Zhang, FL Lic #47744 MiTek Industries, Inc. 1801 Massaro Blvd Tampa FL 33619 FL Cert.#6634

September 19,2005

WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.

Design valid for use only with MiTek connectors. This design is based only upon parameters shown, and is for an individual building component. Applicability of design parameters and proper incorporation of component is responsibility of building designer - not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing, consult ANSI/TPI1 Quality Criteria, DSB-89 and BCSI1 Building Component Safety Information available from Truss Plate Institute, 583 D'Onofrio Drive, Madison, WI 53719.

1801 Massaro Blvd. Tampa, FL 33619

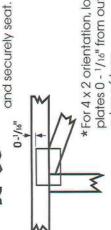


## Symbols

## PLATE LOCATION AND ORIENTATION



Apply plates to both sides of truss Dimensions are in ft-in-sixteenths. \*Center plate on joint unless x,y offsets are indicated.



For 4 x 2 orientation, locate plates 0 - 1/16" from outside edge of truss.

11

required direction of slots in This symbol indicates the connector plates, \* Plate location details available in MiTek 20/20 software or upon request.

### PLATE SIZE

4×4

dimension is the length parallel perpendicular to slots. Second The first dimension is the width to slots.

## LATERAL BRACING



by text in the bracing section of the Indicated by symbol shown and/or output. Use T, I or Eliminator bracing f indicated

### BEARING



indicates location where bearings (supports) occur. Icons vary but number where bearings occur. reaction section indicates joint

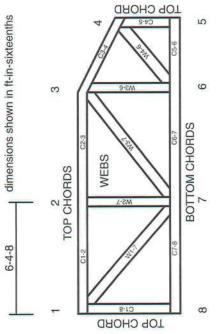
## Industry Standards:

Plate Connected Wood Truss Construction. ANSI/TP11: National Design Specification for Metal

DSB-89: BCSI1:

Building Component Safety Information, Guide to Good Practice for Handling, installing & Bracing of Metal Plate Design Standard for Bracing. Connected Wood Trusses.

## Numbering System



IOINTS ARE GENERALLY NUMBERED/LETTERED CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

## CONNECTOR PLATE CODE APPROVALS

96-31, 95-43, 96-20-1, 96-67, 84-32 BOCA

4922, 5243, 5363, 3907 SBCCI ICBO

9667, 9730, 9604B, 9511, 9432A





# **Ageneral Safety Notes**

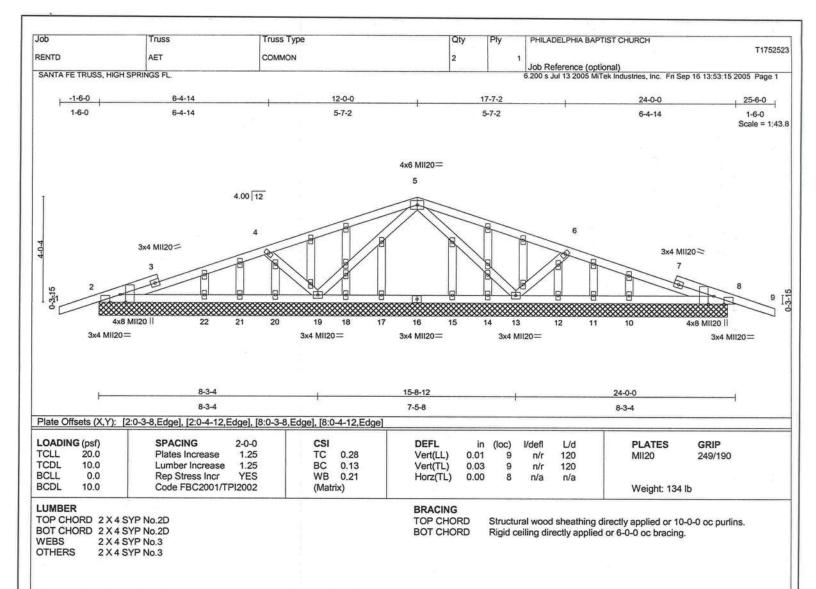
## Additional stability bracing for truss system, e.g. diagonal Failure to Follow Could Cause Property Damage or Personal Injury

or X-bracing, is always required. See BCSI1

Never exceed the design loading shown and never stack

- Provide copies of this truss design to the building materials on inadequately braced trusses
  - designer, erection supervisor, property owner and all other interested parties.
- Cut members to bear tightly against each other.
- Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TPI1.
- Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI1
- 7. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
- Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
- Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
- Plate type, size, orientation and location dimensions shown indicate minimum plating requirements. 10.
- Lumber used shall be of the species and size, and in all respects, equal to or better than that specified. Ξ
- Top chords must be sheathed or purlins provided at spacing shown on design. 12
- Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted. 13.
- Connections not shown are the responsibility of others. 14.
- Do not cut or after truss member or plate without prior approval of a professional engineer. 15.
- Install and load vertically unless indicated otherwise. 16.

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REACTIONS (lb/size) 2=258/23-8-8, 8=258/23-8-8, 19=583/23-8-8, 13=583/23-8-8, 17=47/23-8-8, 18=15/23-8-8, 20=48/23-8-8, 21=-44/23-8-8, 22=143/23-8-8, 15=47/23-8-8, 14=15/23-8-8, 12=48/23-8-8, 11=-44/23-8-8, 10=143/23-8-8

Max Horz 2=77(load case 4)

Max Uplift2=-139(load case 2), 8=-146(load case 5), 19=-255(load case 4), 13=-246(load case 3), 21=-44(load case 1), 11=-44(load case 1)

Max Grav 2=268(load case 1), 8=268(load case 7), 19=589(load case 6), 13=589(load case 7), 17=47(load case 7), 18=15(load case 1), 20=48(load case 1), 21=19(load case 3), 22=143(load case 1), 15=47(load case 6), 14=15(load case 1), 12=48(load case 1), 11=19(load case 3), 10=143(load case 1)

FORCES (lb) - Maximum Compression/Maximum Tension

TOP CHORD BOT CHORD

1-2=0/27, 2-3=-39/70, 3-4=-28/129, 4-5=-131/435, 5-6=-103/435, 6-7=-29/129, 7-8=-38/70, 8-9=0/27 2-22=-70/102, 21-22=-70/102, 20-21=-70/102, 19-20=-70/102, 18-19=-76/125, 17-18=-76/125, 16-17=-76/125, 15-16=-76/125, 14-15=-76/125, 13-14=-76/125, 12-13=-70/63, 11-12=-70/63, 10-11=-70/63, 8-10=-70/63

4-19=-420/230, 5-19=-406/164, 5-13=-406/153, 6-13=-420/231

WEBS

#### NOTES

- Unbalanced roof live loads have been considered for this design.
   Wind: ASCE 7-98; 110mph (3-second gust); h=18ft; TCDL=5.0psf; BCDL=5.0psf; Category II; Exp C; enclosed; MWFRS interior zone; Lumber DOL=1.33 plate grip DOL=1.33.
   Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see MiTek "Standard Gable
- End Detail\*

4) All plates are 2x4 MII20 unless otherwise indicated.

5) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.

5) This truss requires plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection.
6) Gable studs spaced at 1-4-0 oc.
7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 139 lb uplift at joint 2, 146 lb uplift at joint 8, 255 lb uplift at joint 19, 246 lb uplift at joint 13, 44 lb uplift at joint 21 and 44 lb uplift at joint 11.
8) Non Standard bearing condition. Review required.

LOAD CASE(S) Standard

Guo-Jie Zhang, FL Lic #47744 MiTek Industries, Inc. 1801 Massaro Blvd Tampa FL 33619 FL Cert.#6634 September 19,2005

WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.

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1801 Massaro Blvd. Tampa, FL 33619

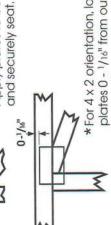


## Symbols

## PLATE LOCATION AND ORIENTATION



Apply plates to both sides of truss Dimensions are in ft-in-sixteenths. \*Center plate on joint unless x,y offsets are indicated.



For 4 x 2 orientation, locate plates 0 - 1/16" from outside edge of truss.

|

required direction of slots in This symbol indicates the connector plates. Plate location details available in MiTek 20/20 software or upon request.

### PLATE SIZE

4 × 4

dimension is the length parallel perpendicular to slots. Second The first dimension is the width to slots.

## LATERAL BRACING



by text in the bracing section of the Indicated by symbol shown and/or output. Use T, I or Eliminator bracing f indicated

### BEARING



ndicates location where bearings (supports) occur, Icons vary but reaction section indicates joint number where bearings occur.

## Industry Standards:

Plate Connected Wood Truss Construction. ANSI/TP11: National Design Specification for Metal

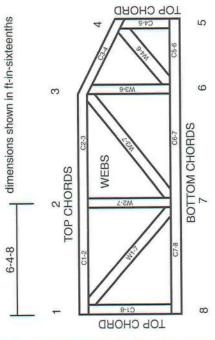
DSB-89: BCSI1:

Installing & Bracing of Metal Plate

Connected Wood Trusses.

Building Component Safety Information, Guide to Good Practice for Handling, Design Standard for Bracing.

## Numbering System



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CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

## CONNECTOR PLATE CODE APPROVALS

96-31, 95-43, 96-20-1, 96-67, 84-32 BOCA

4922, 5243, 5363, 3907 ICBO

9667, 9730, 9604B, 9511, 9432A SBCCI





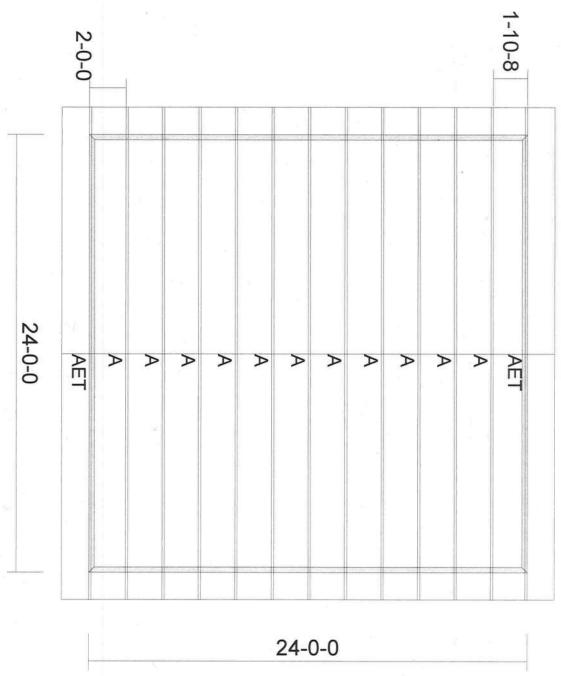
# **A**General Safety Notes

## Failure to Follow Could Cause Property Damage or Personal Injury

- 1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI1
- Never exceed the design loading shown and never stack materials on inadequately braced trusses.
  - designer, erection supervisor, property owner and all Provide copies of this truss design to the building other interested parties.
- Cut members to bear tightly against each other.
- Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TPI1. 5
- Design assumes trusses will be suitably protected from the environment in accord with ANSI/TPI1
- Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
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- Connections not shown are the responsibility of others. 14.
- Do not cut or alter truss member or plate without prior approval of a professional engineer 15.
- Install and load vertically unless indicated otherwise. 16.

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D.A.M.	DESIGNER	PH#(386)454-7711	FX#(386)454-1055
PHILADELPHIA BAPTIST CHURCH	JOB NAME	HIGH SPRINGS, FL 32655	HIGH SPRING
9/16/05	DATE	410 SW POE SPRINGS RD.	410 SW POE
DANIEL RENTZ	CUSTOMER	Santa Fe Truss	Santa F



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RENTZ,	DANI	EL		JO	B NAME: P	HILADE	LPHIA	BAPTI	ST CHU	RCH		LOT#	S	UBDIV:		
MODEL:				DEL:	TAG: JOB CATEGOR											
RENTZ, DANIEL JOB NAMI MODEL: DELIVERY I					LIVERY INST	RUCTIO	NS:							Ÿ		
(000) 70	16-			SPE	ECIAL INSTR	RUCTION	S:								BY	2455
UILDING DE	PART	MENT	OVER	HANG INFO	HEEL HEI	GHT	00-04-0	13	REQ. LA	YOUTS	PEO	ENGINEE	PING	QUOTE	ВТ	DATE
			END CU					_	The Later La	10010	IXE G.	0.00		LAYOUT		11
			PLUMB		GABLE ST	UDS	16 IN. 0	OC MAI	L 3			NONE		CUTTING	DM	09/16/05
ROOF T			) IN	ADING FORMATIO	_	,0.0,10.0			RO	OF TRUSS	SPACIN	NG:24.0	IN. O.C.	(TYP.)		
PROFILE	QTY PLY		СН	TYPE	BASE			MBER		RHANG		ILEVER		STUB		
	PLT	TOP	BOT	COMMON		SPA	TOP	ВОТ	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT		
	11	4.00	0.00	A	24-00-00	24-00-	-00 2 X	4 2 X 4	01-06-00	01-06-00					100	
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ADDRESS:

PHONE:

DATE:

BY:

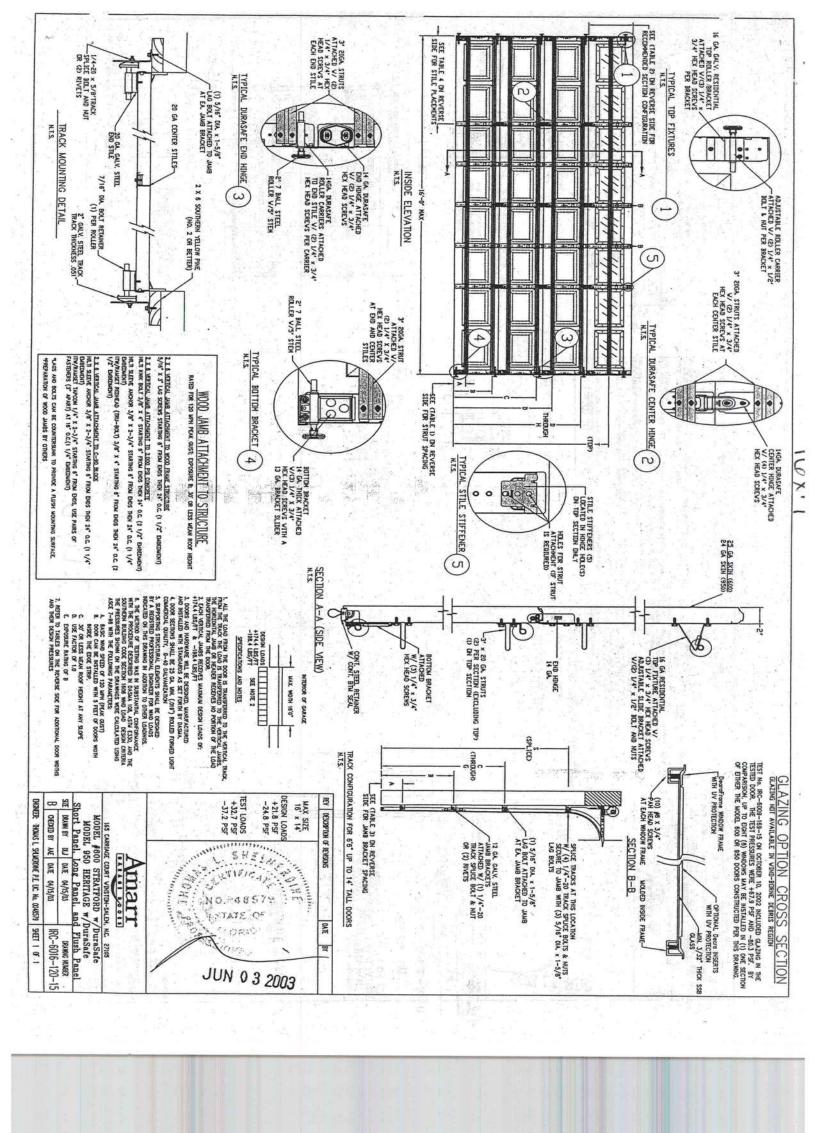
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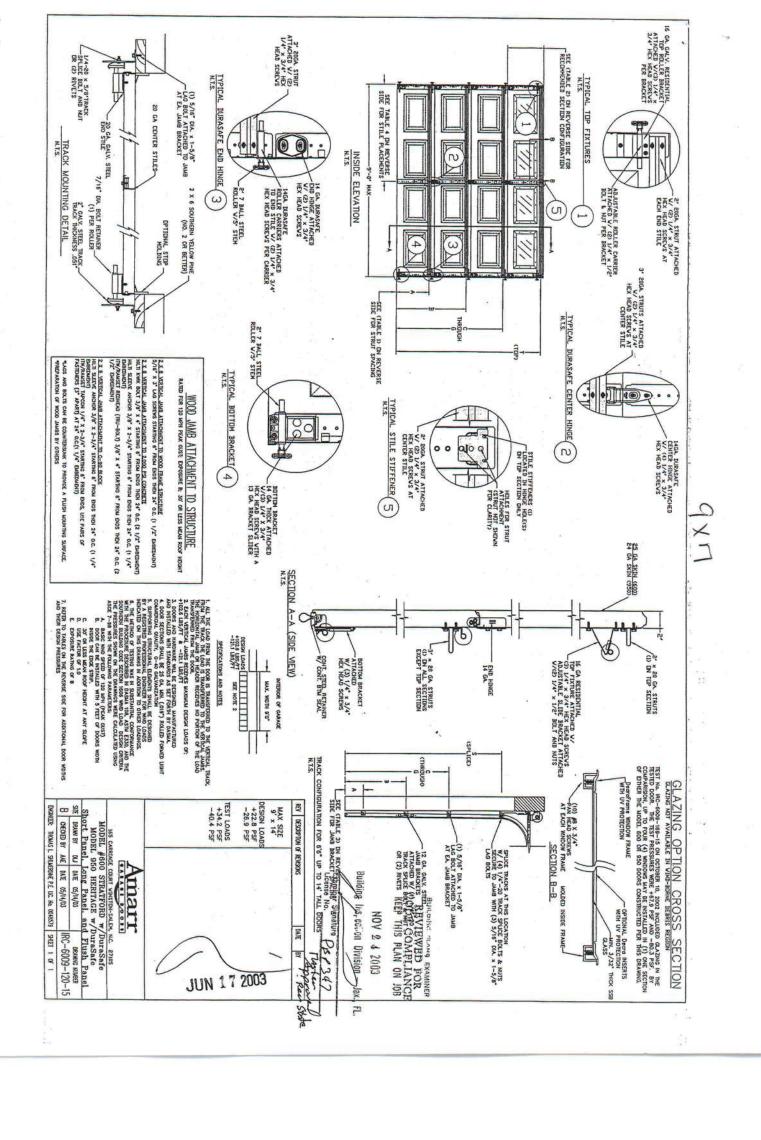
DATE OF ACCEPTANCE:

DATE 09/16/05 PAGE 1

**GRAND TOTAL** 

\$880.0





#### TABLE 1

DOOR	STRUT SPACING (BASED ON RECOMMENDED SECTION CONFIGURATION)											
HEIGHT	Α	В	С	D	E	F	G	Т				
6//6"	18 1/4"	36 1/4	54 1/4"	25	STATE OF		法领域的政策	76:1/2"				
7'	18 1/4"	39 1/4"	60 1/4"	85 to 458	Nº 15De	T. C. C. S	Lin ordered months also of	82 1/2"				
7/6!	15 1/4"	33 1/4/	51 1/4"	69 174"			<b>哈特尔尔克斯</b>	88,1/2"				
8'	18 1/4"	36 1/4"	54 1/4"	72 1/4"	halfe med a A their	Charlest Section of the Section of	ALESCHICA PRODUCT	94 1/2"				
81.6!	18 1/4"	39 1/48	60/1/4%	78/1/4/		10 A 10 A 10	er with the term	100-1/2				
9'	15 1/4"	33 1/4"	51 1/4"	69 1/4"	87 1/4"	25 thing hearpaper, agost	the Dimpley for the Part	106 1/2"				
9' 6!'	18 1/4"	36-1/4"	54,1/4"	72 1/4"	90 1/4"		25936	112 1/2"				
10'	18 1/4"	39 1/4"	60 1/4"	78 1/4"	96 1/4"	Severa dell'Additional	SSECOND SPECIAL PROPERTY OF SPECIAL PROPERTY O	118 1/2"				
10'.6"	18 1/4"	39 1/4%	60/4/4/	81 1/4	102:1/4"	(4) (4) (4)		124 1/2"				
11'	18 1/4"	36 1/4"	54 1/4"	72 1/4"	90 1/4"	108 1/4"	New Control of the Control	130 1/2"				
141.61	1841/4"	39/1/4/	60-1/44	78 1/4"	96 1/4"	114 1/4"		136 1/2				
12'	18 1/4"	39 1/4"	60 1/4"	81 1/4"	102 1/4"	120 1/4"	AND AND DESCRIPTION OF STREET	142 1/2"				
12/6/	18 1/4"	36 1/4"	54 1/4"	72 1/4	90 1/4"	108-1/4"	126-1/4"	148 1/2"				
13'	18 1/4"	39 1/4"	60 1/4"	78 1/4"	96 1/4"	114 1/4"	132 1/4"	154 1/2"				
13' 6"	18:1/4"	39 1/4"	60-1/40	81.1/4%	102 1/4"	120 1749	138 1/4"	160 1/2				
14'	18 1/4"	39 1/4"	60 1/4"	81 1/4"	102 1/4"	123 1/4"	144 1/4"	166 1/2"				

#### TABLE 2

ABLE 2								
DOOR			SEC	TION	HEIG	HTS	-	C-COLD
HEIGHT	Btm	#2	#3	#4	#5	#6	#7	#8
14/10/	21"	21"	211	21"	214	21"	21	21"
13' 6"	21"	21"	21"	21"	21"	18"	18"	21"
13' 0"	21"	21"	21"	18"	18	481	184	21"
12' 6"	21"	18"	18"	18"	18"	18"	18"	21"
12' 0"	21"	21"	21"	21!	212	18"	21"	
11' 6"	21"	21"	21"	18"	18"	18"	21"	300
11' 0"	21"	18"	18"	18"	18"	18"	21"	6 6
10' 6"	21"	21"	21"	21"	21"	21"		
10'0"	21"	21"	21	18"	18"	21%		
9'6"	21"	18"	18"	18"	18"	21"		
9,0	18"	18"	18"	18"	18"	18!		
8' 6"	21"	21"	21"	18"	21"			
81.0"	21.	. 18"	18"	-18"4	21			
7' 6"	18"	18"	18"	18"	18"			
7' 0"	-21"	214	21"	21"				
6' 6"	21"	18"	18"	21"	3 7 2 1			

#### TABLE 3

DOOR		TRACK ATTACHMENT					SPLICE	
HEIGHT	Α	В	C	D	E	F	G	S
6167	10	38"	58	BACK!	<b>建物理</b>	<b>我们</b>	2000年	70"
7'	10"	38"	58"	-	21			76"
7'6"	- 4"	28"	521	176%	100	600	49.6	82"
8'	10"	34"	58"	82"				88"
8'6"	4"	28"	52"	976"	調物	集生学校		94"
9'	10"	34"	58"	82"				100"
9'.6"	4"	28"	52	276"	100"	2.53	<b>多</b> 是被	2:106"
10'	10"	34"	58"	82"	106"			112"
10/6"	4"	28!	52"	7.6"	100	W 2.	(S. 14)	118"
11'	10"	34"	58"	82"	106"			124"
411/6/4	4	28!	52"	76"	1,00"	124"	100	130"
12'	10"	34"	58"	82"	106"	130"		136"
12'6"	45	28"	52"	76	100	124"	经系统	142"
13'	10"	34"	58"	82"	106"	130"		148"
13.64	4間	3281	52"	76"	100!	124"	148"	154"
14'	10"	34"	58"	82"	106"	130"	154"	160"

TABLE 4

Section	Panel Type	Center Stile Location (Measured from Left	Max Design Loads Allowed		
Width (ft)	(ft)	Edge)	Positive (PSF)	Negitive (PSF)	
48/0	Short	48,000	25:5	30:1	
8' 0	Long	48.000	25.5	30.1	
8-2	Short	49,000	25.0	29.5	
8' 2	Long	49.000	25.0	29.5	
8,4	Short	50,000	24/5	28.9	
8' 4	Long	50.000	24.5	28.9	
8 6	Short S	51,000	24.0	28.3	
8' 6	Long	51.000	24.0	28.3	
8'8	Short	52,000	23.6	27.8	
8' 8	Long	52.000	23.6	27.8	
18 10	Short Short	53,000	23/1	27:3	
8' 10	Long	53.000	23.1	27.3	
91.0	Short #	54 000	22.8	126.9	
9'0	Long	54.000	22.8	26.9	

### 2386 Notice of Prevention for Subterranean Termites (As required by Florida Building Code (FBC) 104.2.6)



17856 U.S. 129 • McALPIN, FLORIDA 32062 T CONTROL, INC. (386) 362-3887 • 1-800-771-3887 • Fax: (386) 364-3529

Philadethia	Brotist Church &	7406 Skl 242
	Address of Treatment or Lot/Block of	Treatment
11/25	205	Hoy
Date	Time	Applicator
Premie	Cyperne thris	80
Product Used	Chemical used (active ingredient)	Number of gallons applied
.25%	576	96(Fouler)
Percent Concentration	Area treated (square feet)	Linear feet treated
Horizo Int		
	al, Vertical, Adjoining Slab, retreat of di	
completed prior to final building	cal barrier method for Subterranean termite papproval. terior treatment, initial and date this line.	revention is used, final exterior treatment shall b