

PERMIT  
000032516

**The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.**



☒ SCNNABEL

☒ TAUSS REPORT <sup>7.C.</sup> Before Issue  
☒ ENERGY CODE

☒ WALKER Update  
☒ TAYLOR Update

Columbia County Building Permit Application

For Office Use Only Application # 1411-06 Date Received 11/4 By JW Permit # 32516  
Zoning Official BLK Date 18 Nov 2014 Flood Zone X Land Use A-3 Zoning A-3  
FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner 7.C. Date 11-12-14  
Comments \_\_\_\_\_  
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel # \_\_\_\_\_  
☐ Dev Permit # \_\_\_\_\_ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ ☒ Sub VF Form  
Road/Code \_\_\_\_\_ School \_\_\_\_\_ = TOTAL (Suspended) ☐ Ellisville Water ☒ App Fee Paid

Septic Permit No. 14-0537 Cal: 352.24.0970

Name Authorized Person Signing Permit GARRY SPENCE Phone 386-497-4790

Address 190 SW LONGALA LOOP, Ft WHITE, FL 32038

Owners Name GARRY SPENCE & Patricia Spence Phone 386-497-4790

911 Address SAME AS ABOVE

Contractors Name GARRY & Patricia SPENCE Phone SAME AS ABOVE

Address SAME AS ABOVE

Fee Simple Owner Name & Address \_\_\_\_\_

Bonding Co. Name & Address \_\_\_\_\_

Architect/Engineer Name & Address MARTY Numpheies, PE

Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 02-65-15-005 02-118 Estimated Cost of Construction 50K

Subdivision Name Ichetucknee FOREST Lot 18 Block A Unit \_\_\_\_\_ Phase 2

Driving Directions FL 47 S - Right on SR 238 Elim Church Rd  
past Ichetucknee Campground take - Old Spanish Rd to Longala Loop  
turn right 1st driveway on left. Number of Existing Dwellings on Property 1

Construction of SFD / Addition Total Acreage 10.01 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height \_\_\_\_\_

Actual Distance of Structure from Property Lines - Front 500.00' Side 60.0' Side 325.00' Rear 445.00'

Number of Stories 1 Heated Floor Area 489 Total Floor Area 489 Roof Pitch 1 1/2 - 12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2010 and the 2008 National Electrical Code.  
Page 1 of 2 (Both Pages must be submitted together.) Revised 3-15-12

JW LEFT LEAD A MSG ON 11.4.14 - VF SIGNATURE NEEDED  
JW SPENCE & PAT - update on items NEEDED 11.7.14  
JW SPENCE & PAT 11.18.14



Columbia County Building Permit Application

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

  
Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

  
PSPENCE@windscream.net

Inst: 201412018733 Date: 12/4/2014 Time: 3:45 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1285 P: 1822

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 02-65-15-00502-118

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Ichetucknee Forest LOT 18 Block A Phase II  
a) Street (job) Address: 190 SW Lancelata Loop Ft White, FL 32038
2. General description of improvements: SFD Addition
3. Owner Information  
a) Name and address: Garry + Patricia Spence  
b) Name and address of fee simple titleholder (if other than owner)  
c) Interest in property
4. Contractor Information  
a) Name and address: Owner / Builder  
b) Telephone No.: Fax No. (Opt.)
5. Surety Information  
a) Name and address:  
b) Amount of Bond:  
c) Telephone No.: Fax No. (Opt.)
6. Lender  
a) Name and address:  
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address:  
b) Telephone No.: Fax No. (Opt.)
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name and address:  
b) Telephone No.: Fax No. (Opt.)
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY: A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10 Patricia Spence  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Patricia Spence  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 4 day of December, 20 14, by:  
Patricia Spence as Owner (type of authority, e.g. officer, trustee, attorney  
fact) for Self (name of party on behalf of whom instrument was executed).

Personally Known OR Produced Identification ☒ Type Accl

Notary Signature Laurie Hodson Notary Stamp or Seal:

~~AND~~

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of







STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM

APPLICATION FOR CONSTRUCTION PERMIT

CR # 10-5946

PERMIT NO. 14-0537E  
DATE PAID: 10/31/14  
FEE PAID: 125.55  
RECEIPT #: 1104788

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☒ Abandonment ☐ Temporary ☒ MODIFICATION

APPLICANT: GARRY & PATRICIA SPENCE

AGENT: PAUL LLOYD

TELEPHONE: (386) 497-4790

MAILING ADDRESS: 190 SW LONCALA LOOP

FT. WHITE

FL 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 18 BLOCK: A SUBDIVISION: ICHETUCKNEE FOREST P2 PLATTED: \_\_\_\_\_

PROPERTY ID #: 02-6S-15-00502-118 ZONING: AG I/M OR EQUIVALENT: ☐ NO ☐

PROPERTY SIZE: 10.000 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ NO ☐ DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 190 SW LONCALA LOOP

DIRECTIONS TO PROPERTY: SR 47 SOUTH, TURN ON CR 138, PAST STORU GO STRAIGHT ON OLD SPANISH RD. TURN RIGHT ON 1ST. LONCALA LOOP, 1ST DRIVE ON LEFT.

BUILDING INFORMATION ☒ RESIDENTIAL ☐ COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>HOUSE</u>	<u>2</u>	<u>3,279</u>	<u>TOTAL AFTER ADDITION OF ONE BATHROOM</u>
2				<u>AND ONE BED ROOM</u>
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_

SIGNATURE: Paul Lloyd

DATE: 10/31/14

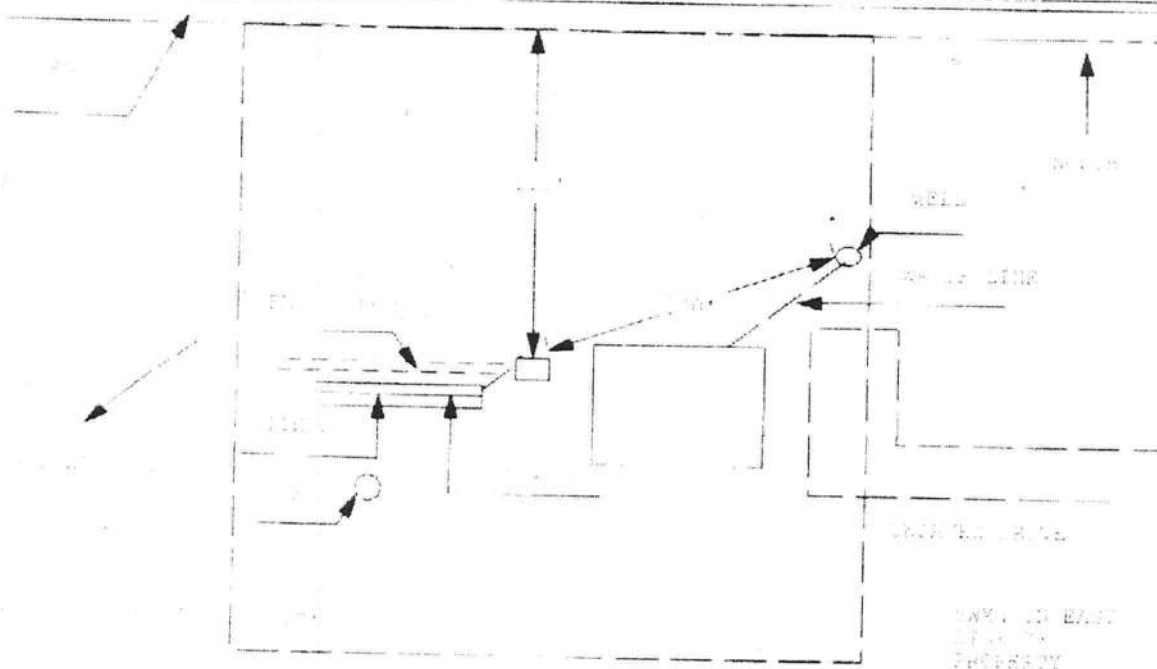
DH 4015, 08/09 (Obsoletes previous editions which may not be used)  
Incorporated 64E-6.001, FAC



OSTDS SITE PLAN  
Page # 1

Application for Onsite Sewage Disposal System  
Construction Permit. Part II Site Plan  
Permit Application Number: 14-0537E

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By Paul Rhyed Date 10/31/14  
Plan Approved ☒ Not Approved ☐ Date \_\_\_\_\_  
By Sallie Ford Env Health Director CPHU  
Note Columbia  
12-4-14



**Columbia County Property  
Appraiser**

CAMA updated: 10/16/2014

## 2014 Tax Year

**Parcel:** 02-6S-15-00502-118

<< Next Lower Parcel      Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

## Parcel List Generator

## Interactive GIS Map

Print

[<< Prev](#)

Search Result: 3 of 38

Next >>

### Owner & Property Info

<b>Owner's Name</b>	SPENCE GARRY D & PATRICIA A		
<b>Mailing Address</b>	190 SW LONCALA LOOP FT WHITE, FL 32038		
<b>Site Address</b>	190 SW LONCALA LOOP		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	2615
<b>Land Area</b>	10.010 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 18 BLOCK A ICHETUCKNEE LOT 18 BLOCK A ICHETUCKNEE FOREST PHASE 2. FOREST PHASE 2.			



### Property & Assessment Values

2014 Certified Values		
Mkt Land Value	cnt: (0)	\$44,840.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$109,617.00
XFOB Value	cnt: (4)	\$1,700.00
Total Appraised Value		\$156,157.00
Just Value		\$156,157.00
Class Value		\$0.00
Assessed Value		\$149,209.00
Exempt Value	(code: HX H3)	\$50,000.00
Total Taxable Value		Cnty: \$99,209 Other: \$99,209   Schl: \$124,209

## 2015 Working Values

**NOTE:**  
2015 Working Values are NOT certified values and therefore are  
subject to change before being finalized for ad valorem  
assessment purposes.

Show Working Values

### Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
			NONE			

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
2	SINGLE FAM (000100)	1999	WD ON PLY (08)	2858	3034	\$107,956.00
	<b>Note:</b> All S.F. calculations are based on exterior building dimensions.					

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	1999	\$250.00	0000001.000	10 x 12 x 0	AP (050.00)
0296	SHED METAL	2005	\$200.00	0000001.000	0 x 0 x 0	AP (050.00)
0190	FPLC PF	2005	\$1,200.00	0000001.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2005	\$50.00	0000001.000	0 x 0 x 0	AP (050.00)

### Land Breakdown





## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

190 SW Lower 600

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.





In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

<b>ELECTRICAL</b> 37	Print Name <u>Donald R. Hollingsworth</u> License #: <u>EC-13005429 Holly Electric Inc.</u>	Signature <u>[Signature]</u> Phone #: <u>386-753-5944</u>
<b>MECHANICAL/A/C</b> 1587	Print Name <u>Spencer Taylor</u> License #: <u>CMC 1250300</u>	Signature <u>[Signature]</u> Phone #: <u>386-497-2665</u>
<b>PLUMBING/GAS</b> 1204	Print Name <u>Daniel Schnabel</u> License #: <u>CFC057788</u>	Signature <u>[Signature]</u> Phone #: <u>386-867-0364</u>
<b>ROOFING</b> 1174	Print Name <u>Lewis Walker</u> License #: <u>RC 0067412</u>	Signature <u>[Signature]</u> Phone #: <u>386-496-0940</u>
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b> Footer	Print Name <u>Tony E. Jordan, SR.</u> License #: <u>000218</u>	Signature <u>[Signature]</u> Phone #: <u>386-755-4919</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	000097	Kenneth Louden	[Signature]
CONCRETE FINISHER	218		
FRAMING	000283	Jonathan Norris	[Signature]
INSULATION			
STUCCO			
DRYWALL	001177	Joseph Ambros	[Signature]
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



## SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1411-06 CONTRACTOR GALLY SENCE PHONE 386-497-4790

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING ✓ 1174	Print Name <u>Lewis Walker</u> License #: <u>RC0067442</u>	Signature _____ Phone #: <u>866 959 7663</u>
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

**F. S. 440.103 Building permits; Identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor Form: 6/09

Alpine, an ITW Company

2400 Lake Orange Drive suite 150 Orlando FL 32837  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1VD1487-Z0109095304



Truss Fabricator: **Anderson Truss Company**  
Job Identification: **14-186A--OWNER BUILDER /Spence Addition -- 190 SW Loncala Loop**  
Truss Count: **2**  
Model Code: **Florida Building Code 2010**  
Truss Criteria: **FBC2010Res/TPI-2007(STD)**  
Engineering Software: **Alpine Software,Version 14.03.**  
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61015-31.003(5a) of the FAC**  
Address: **Roof - 37.0 PSF @ 1.25 Duration**  
Minimum Design Loads: **Floor - N/A**  
**Wind - 120 MPH ASCE 7-10 -Closed**

01/09/2015

Notes:

- Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1**
- The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.**
- As shown on attached drawings; the drawing number is preceded by: HCUSR9114**

Walter P. Finn  
-Truss Design Engineer-

2400 Lake Orange Dr, Suite 150  
Orlando FL, 32837

Details: -

#	Ref	Description	Drawing#	Date
1	01038--A	16'11" Mono	15009003	01/09/15
2	01039-DGA	16'11" Gable	15009004	01/09/15













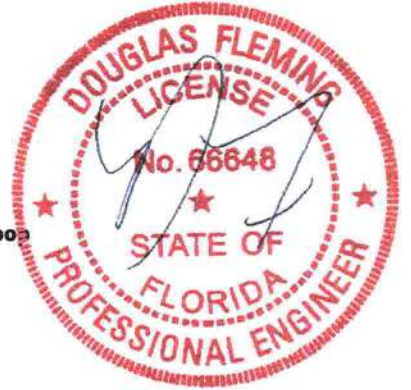
Spence  
Addition  
Permit # 000032516  
1-21-2015





# Alpine, an ITW Company

2400 Lake Orange Drive suite 150 Orlando FL 32837  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1VBH487-Z0114135605



Truss Fabricator: **Anderson Truss Company**  
Job Identification: **14-186--OWNER BUILDER /Spence Addition -- 190 SW Loncala Loop**  
Truss Count: **2**  
Model Code: **Florida Building Code 2010**  
Truss Criteria: **FBC2010Res/TPI-2007(STD)**  
Engineering Software: **Alpine Software,Version 13.02.**  
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61G15-31.003(5a) of the FAC**  
Address: **Roof - 37.0 PSF @ 1.25 Duration**  
Minimum Design Loads: **Floor - N/A**  
**Wind - 120 MPH ASCE 7-10 -Closed**

11/14/2014

Douglas Fleming  
-Truss Design Engineer-

2400 Lake Orange Dr, Suite 150  
Orlando FL, 32837

## Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR9114

Details: 12015EC1-GBLLETIN-GABRST10-

#	Ref	Description	Drawing#	Date
1	14945--A	16'8" Mono	14318001	11/14/14
2	14946--DGA	16'8" Mono	14318002	11/14/14

Value Set: 13B (Effective 6/1/2013)

Top chord 2x4 SP M-30 :T2 2x4 SP #1:

Webs 2x4 SP #3

Webs 2x4 SP #3

Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

## Special loads

----- (Lumber Dur. Fac. = 1.25 / Plate Dur. Fac. = 1.25)

TC-From	54 pif at -2.00 to	54 pif at 16.67

BC- From	4 pif at -2.00 to	4 pif at 0.00

BC- From	20 pif at 0.00 to	20 pif at 9.67
BC- From	20 pif at 0.00 to	20 pif at 9.67

BC- From	30 pif at 9.67 to	30 pif at 12.67
30 pif at 9.67 to	30 pif at 12.67	30 pif at 15.67
30 pif at 12.67 to	30 pif at 15.67	30 pif at 18.67
30 pif at 15.67 to	30 pif at 18.67	30 pif at 21.67
30 pif at 18.67 to	30 pif at 21.67	30 pif at 24.67
30 pif at 21.67 to	30 pif at 24.67	30 pif at 27.67
30 pif at 24.67 to	30 pif at 27.67	30 pif at 30.67
30 pif at 27.67 to	30 pif at 30.67	30 pif at 33.67
30 pif at 30.67 to	30 pif at 33.67	30 pif at 36.67
30 pif at 33.67 to	30 pif at 36.67	30 pif at 39.67
30 pif at 36.67 to	30 pif at 39.67	30 pif at 42.67
30 pif at 39.67 to	30 pif at 42.67	30 pif at 45.67
30 pif at 42.67 to	30 pif at 45.67	30 pif at 48.67
30 pif at 45.67 to	30 pif at 48.67	30 pif at 51.67
30 pif at 48.67 to	30 pif at 51.67	30 pif at 54.67
30 pif at 51.67 to	30 pif at 54.67	30 pif at 57.67
30 pif at 54.67 to	30 pif at 57.67	30 pif at 60.67
30 pif at 57.67 to	30 pif at 60.67	30 pif at 63.67
30 pif at 60.67 to	30 pif at 63.67	30 pif at 66.67
30 pif at 63.67 to	30 pif at 66.67	30 pif at 69.67
30 pif at 66.67 to	30 pif at 69.67	30 pif at 72.67
30 pif at 69.67 to	30 pif at 72.67	30 pif at 75.67
30 pif at 72.67 to	30 pif at 75.67	30 pif at 78.67
30 pif at 75.67 to	30 pif at 78.67	30 pif at 81.67
30 pif at 78.67 to	30 pif at 81.67	30 pif at 84.67
30 pif at 81.67 to	30 pif at 84.67	30 pif at 87.67
30 pif at 84.67 to	30 pif at 87.67	30 pif at 90.67
30 pif at 87.67 to	30 pif at 90.67	30 pif at 93.67
30 pif at 90.67 to	30 pif at 93.67	30 pif at 96.67
30 pif at 93.67 to	30 pif at 96.67	30 pif at 99.67
30 pif at 96.67 to	30 pif at 99.67	30 pif at 102.67
30 pif at 99.67 to	30 pif at 102.67	30 pif at 105.67
30 pif at 102.67 to	30 pif at 105.67	30 pif at 108.67
30 pif at 105.67 to	30 pif at 108.67	30 pif at 111.67
30 pif at 108.67 to	30 pif at 111.67	30 pif at 114.67
30 pif at 111.67 to	30 pif at 114.67	30 pif at 117.67
30 pif at 114.67 to	30 pif at 117.67	30 pif at 120.67
30 pif at 117.67 to	30 pif at 120.67	30 pif at 123.67
30 pif at 120.67 to	30 pif at 123.67	30 pif at 126.67
30 pif at 123.67 to	30 pif at 126.67	30 pif at 129.67
30 pif at 126.67 to	30 pif at 129.67	30 pif at 132.67
30 pif at 129.67 to	30 pif at 132.67	30 pif at 135.67
30 pif at 132.67 to	30 pif at 135.67	30 pif at 138.67
30 pif at 135.67 to	30 pif at 138.67	30 pif at 141.67
30 pif at 138.67 to	30 pif at 141.67	30 pif at 144.67
30 pif at 141.67 to	30 pif at 144.67	30 pif at 147.67
30 pif at 144.67 to	30 pif at 147.67	30 pif at 150.67
30 pif at 147.67 to	30 pif at 150.67	30 pif at 153.67
30 pif at 150.67 to	30 pif at 153.67	30 pif at 156.67
30 pif at 153.67 to	30 pif at 156.67	30 pif at 159.67
30 pif at 156.67 to	30 pif at 159.67	30 pif at 162.67
30 pif at 159.67 to	30 pif at 162.67	30 pif at 165.67
30 pif at 162.67 to	30 pif at 165.67	30 pif at 168.67
30 pif at 165.67 to	30 pif at 168.67	30 pif at 171.67
30 pif at 168.67 to	30 pif at 171.67	30 pif at 174.67
30 pif at 171.67 to	30 pif at 174.67	30 pif at 177.67
30 pif at 174.67 to	30 pif at 177.67	30 pif at 180.67
30 pif at 177.67 to	30 pif at 180.67	30 pif at 183.67
30 pif at 180.67 to	30 pif at 183.67	30 pif at 186.67
30 pif at 183.67 to	30 pif at 186.67	30 pif at 189.67
30 pif at 186.67 to	30 pif at 189.67	30 pif at 192.67
30 pif at 189.67 to	30 pif at 192.67	30 pif at 195.67
30 pif at 192.67 to	30 pif at 195.67	30 pif at 198.67
30 pif at 195.67 to	30 pif at 198.67	30 pif at 201.67
30 pif at 198.67 to	30 pif at 201.67	30 pif at 204.67
30 pif at 201.67 to	30 pif at 204.67	30 pif at 207.67
30 pif at 204.67 to	30 pif at 207.67	30 pif at 210.67
30 pif at 207.67 to	30 pif at	

BC- From 20 pif at 12.67 to 20 pif at 16.67

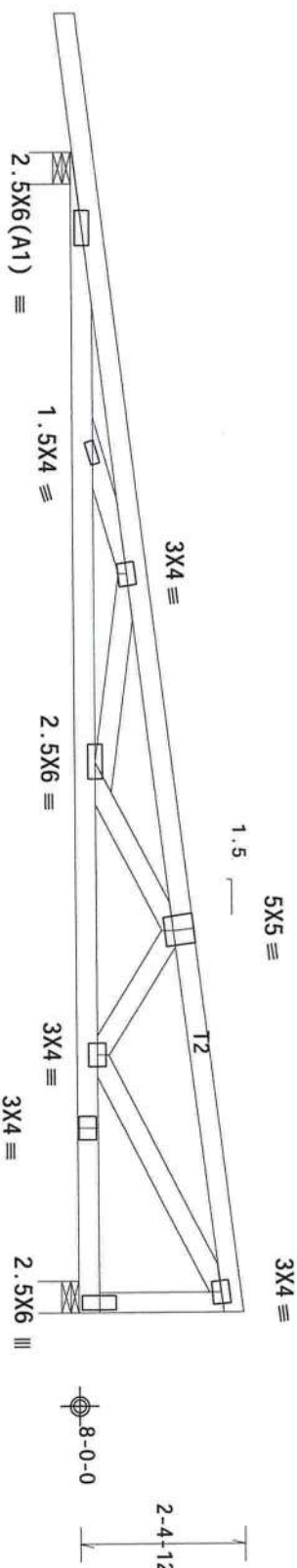
Wind loads and reactions based on MWFRS with additional C&C member design.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP B, wind TC DL=3.5 psf, wind BO DL=5.0 psf, GCPI (+/-)=0.18

Right end vertical not exposed to wind pressure.

Bottom chord checked for 10.00 psf non-concurrent live load

Deflection meets  $L/240$  live and  $L/180$  total load. Creep increase factor for dead load is 1.50.



R=757 U=77 W=5.5"  
RL=42

RL=42

R=624 U=30 W=5.5'

PLT TYP. Wave

Design Crit: FBC2010Res/TP1-2007(STD)  
FT/RT=10%(0%)/0(0)

13.02.07.0228 F19

QTY: 14 FL/-/5/-/-/R/-

Scale = .375"/Ft.

\*\*\*WARNING!\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING!  
 \*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS

[illegible]

A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this drawing for any structure is the responsibility of the Building Designer per ANSI/TP1 1 Sec. 2.

For more information see this Job's general notes page and these web sites:  
ALPINE: [www.alpinetw.com](http://www.alpinetw.com); TPI: [www.tpinust.org](http://www.tpinust.org); WICA: [www.sbcindustry.com](http://www.sbcindustry.com); ICC: [www.iccsafe.org](http://www.iccsafe.org)

2400 Lake Orange Dr., Suite 150  
Orlando, FL 32837  
- FL COA #0278

Orlando, FL 32837  
FL COA #0278

Orlando, FL 32835  
FL COA #0278

11/14/2014





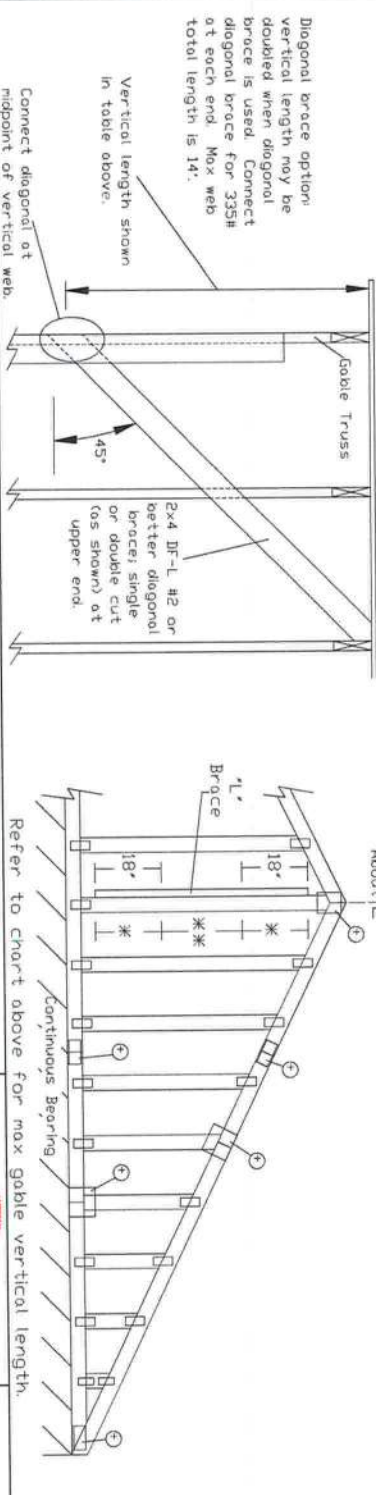


ASCE 7-10: 120 mph Wind Speed, 15' Mean Height, Enclosed, Exposure C, Kzt = 1.00

Dr: 100 mph Wind Speed, 15' Mean Height, Enclosed, Exposure D, Kzt = 1.00

Gable Stud Reinforcement Detail

Gable Vertical Spacing		Brace Species	Grade	No Braces	(1) 1x4 'L' Brace *				(2) 2x4 'L' Brace *				(1) 2x6 'L' Brace *				(2) 2x6 'L' Brace *			
					Group A	Group B	Group A	Group B	Group A	Group B	Group A	Group B	Group A	Group B	Group A	Group B	Group A	Group B	Group A	Group B
24" o.c.	SPF	#1 / #2	#1	4' 10"	8' 2"	8' 6"	9' 8"	10' 1"	11' 6"	12' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			#3	4' 7"	7' 9"	8' 3"	9' 7"	9' 11"	11' 5"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			Stud	4' 7"	7' 8"	8' 2"	9' 7"	9' 11"	11' 5"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			Standard	5' 0"	8' 4"	8' 7"	9' 10"	10' 2"	11' 8"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
16" o.c.	SPF	#1	#1	4' 10"	8' 2"	8' 6"	9' 8"	10' 1"	11' 6"	12' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			#3	4' 7"	7' 9"	8' 3"	9' 7"	9' 11"	11' 5"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			Stud	4' 7"	7' 8"	8' 2"	9' 7"	9' 11"	11' 5"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			Standard	5' 0"	8' 4"	8' 7"	9' 10"	10' 2"	11' 8"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
12" o.c.	SPF	#1	#1	4' 10"	8' 2"	8' 6"	9' 8"	10' 1"	11' 6"	12' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			#3	4' 7"	7' 9"	8' 3"	9' 7"	9' 11"	11' 5"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			Stud	4' 7"	7' 8"	8' 2"	9' 7"	9' 11"	11' 5"	11' 10"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"
			Standard	5' 0"	8' 4"	8' 7"	9' 10"	10' 2"	11' 8"	12' 1"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"	14' 0"



Gable Vertical Plate Sizes	
Vertical Length	No Splice
Less than 4' 0"	1x4 or 2x3
Greater than 4' 0", but less than 11' 6"	2x4
Greater than 11' 6"	3x4

+ Refer to common truss design for peak, splice, and heel plates.

Refer to the Building Designer for conditions not addressed by this detail.

Bracing Group Species and Grades:	
Group A:	Group B:
Spruce-Pine-Fir	Hem-Fir
#1 / #2	#2
Standard	Stud
#3	Standard
Stud	Standard
Standard	Standard

1x4 Braces shall be SBB (Stress-Rated Board).

\*\*\*For 1x4 So. Pine use only Industrial S5 or Industrial 45 Stress-Rated Boards. Group B values may be used with these grades.

Gable Truss Detail Notes:

Wind Load deflection criterion is L/240.

Provide uplift connections for 35 psf over continuous bearing (3 psf TC Dead Load).

Gable end supports load from 4' 0" outlookers with 2' 0" overhang, or 12" plywood overhang.

Diagonal brace option: vertical length may be doubled when diagonal brace is used. Connect diagonal brace for 335H at each end. Max web total length is 14'.

Vertical length shown in table above.

Connect diagonal at midpoint of vertical web.

45°

2x4 DF-L #2 or better diagonal brace; single or double cut (as shown) at upper end.

Refer to chart above for max gable vertical length.

Continuous Bearing

Refer to the Building Designer for conditions not addressed by this detail.

ALPINE AN ITW COMPANY

13389 Lakewood Drive  
Earth City, MO 63045

Trusses require extreme care in fabrication, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCIS Building Component Safety Information, by TPI and SBCA, for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCIS. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have bracing installed per BCIS. Locations shown for permanent bracing shall be applied to each face of the truss. Refer to drawings 160A-2 for standard plate positions.

Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses.

A seal on this drawing or cover page listing this drawing indicates acceptance of professional engineering responsibility solely by the engineer and use of the drawing for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.

For more information see this job's general notes page and these web sites:  
ALPINE: [www.alpineitw.com](http://www.alpineitw.com) TPI: [www.tpi.org](http://www.tpi.org) SBCA: [www.sbcasafety.org](http://www.sbcasafety.org) ICC: [www.iccsafe.org](http://www.iccsafe.org)

DOUGLAS FLEMING  
No. 60848  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
NOV 14 2014

MAX. TOT. LD. 60 PSF

MAX. SPACING 24.0"

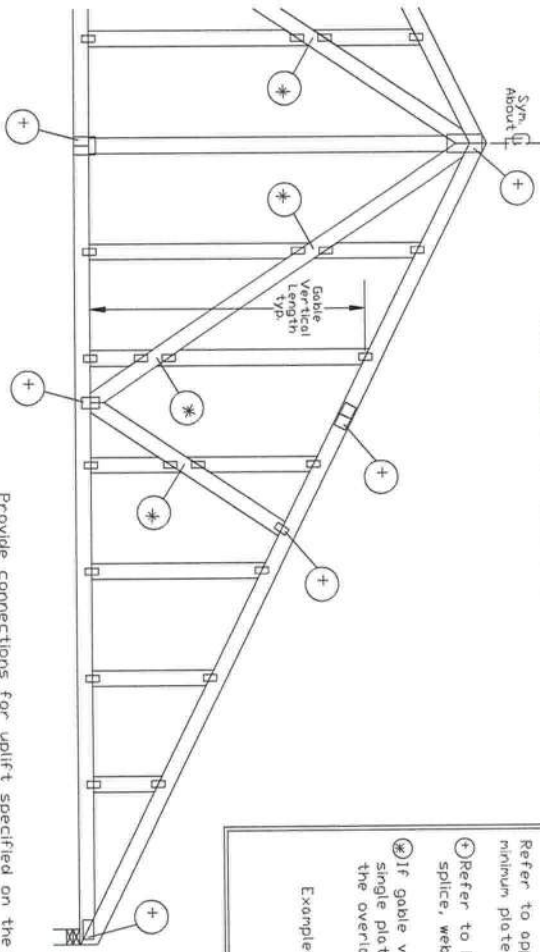
REF ASCE7-10-GAB12015

DATE 10/01/14

DRWG A12015ENC101014



Gable Detail  
For Let-in Verticals

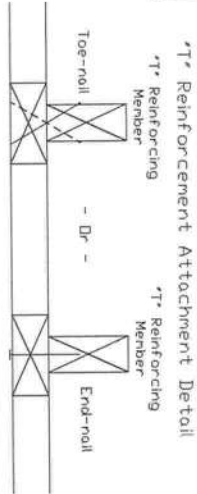


**Gable Truss Plate Sizes**

Refer to appropriate Alpine gable detail for minimum plate sizes for vertical studs.

- ⊕ Refer to Engineered truss design for peak, splice, web, and heel plates.
- ⊗ If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.

Example:



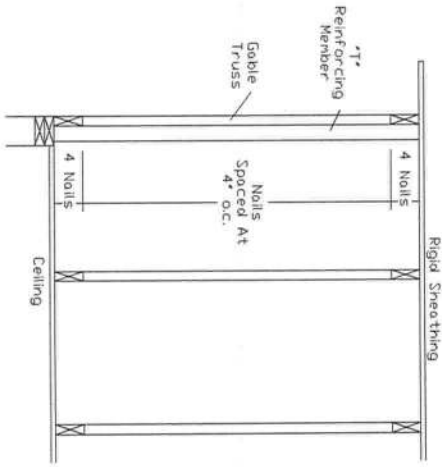
To convert from 'L' to 'T' reinforcing members, multiply 'T' increase by length (based on appropriate Alpine gable detail).

Maximum allowable 'T' reinforced gable vertical length is 14' from top to bottom chord.  
'T' reinforcing member material must match size, specie, and grade of the 'L' reinforcing member.

Web Length Increase w/ 'T' Brace

'T' Reinf. Mem. Size	'T' Increase
2x4	30 %
2x6	20 %

Example:  
ASCE 7-10 Wind Speed = 120 mph  
Mean Roof Height = 30 ft, Kzt = 100  
Gable Vertical = 24' o.c. SP #3  
'T' Reinforcing Member Size = 2x4  
'T' Brace Increase (from Above) = 30% = 1.30  
(1) 2x4 'L' Brace Length = 8' 7"  
Maximum 'T' Reinforced Gable Vertical Length  
1.30 x 8' 7" = 11' 2"



This detail to be used with the appropriate Alpine gable detail for ASCE wind load.

ASCE 7-05 Gable Detail Drawings  
A13015051014, A12015051014, A11015051014, A14015051014, A13030051014, A12030051014, A11030051014, A10030051014, A14030051014  
ASCE 7-10 Gable Detail Drawings  
A11515ENC101014, A12015ENC101014, A14015ENC101014, A16015ENC101014, A18015ENC101014, A20015ENC101014, A20015PED101014, A11530ENC101014, A12030ENC101014, A14030ENC101014, A16030ENC101014, A18030ENC101014, A20030ENC101014, A20030PED101014

See appropriate Alpine gable detail for maximum unreinforced gable vertical length.

\*\*\*IMPORTANT\*\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING. \*\*\*FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to and follow the instructions in the accompanying BCSI Building Component Safety Information, by TPI and SICA, for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSI. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have a properly installed per BCSI section B1, B2 or B3, as applicable, to each face of the truss. Refer to drawings 100A-2 for standard plate positions. Details, unless noted otherwise.

Alpine, a division of ITW Building Components Group Inc, shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & bracing of trusses.  
**A seal on this drawing or cover page listing the truss, indicates acceptance of professional engineering responsibility solely for the design shown. The seal shall be placed on this drawing for any structure. For more information, see this job's opening notes page and these web sites:**  
ALPINE: [www.alpineinc.com](http://www.alpineinc.com) TPI: [www.tpi.com](http://www.tpi.com) SICA: [www.sicainc.com](http://www.sicainc.com) ICC: [www.icc-inc.org](http://www.icc-inc.org)



REF	LET-IN VERT	
DATE	10/01/14	
DRWG	GBLETTIN1014	
MAX. TOT. LD.	60 PSF	
DUR. FAC.	ANY	
MAX. SPACING	24.0"	



13389 Lakeland Drive  
Earth City, MO 63045

ASCE 7-10: 120 mph, 30' Mean Height, Closed, Exposure C  
Common Residential Gable End Wind Bracing Requirements - Stiffeners

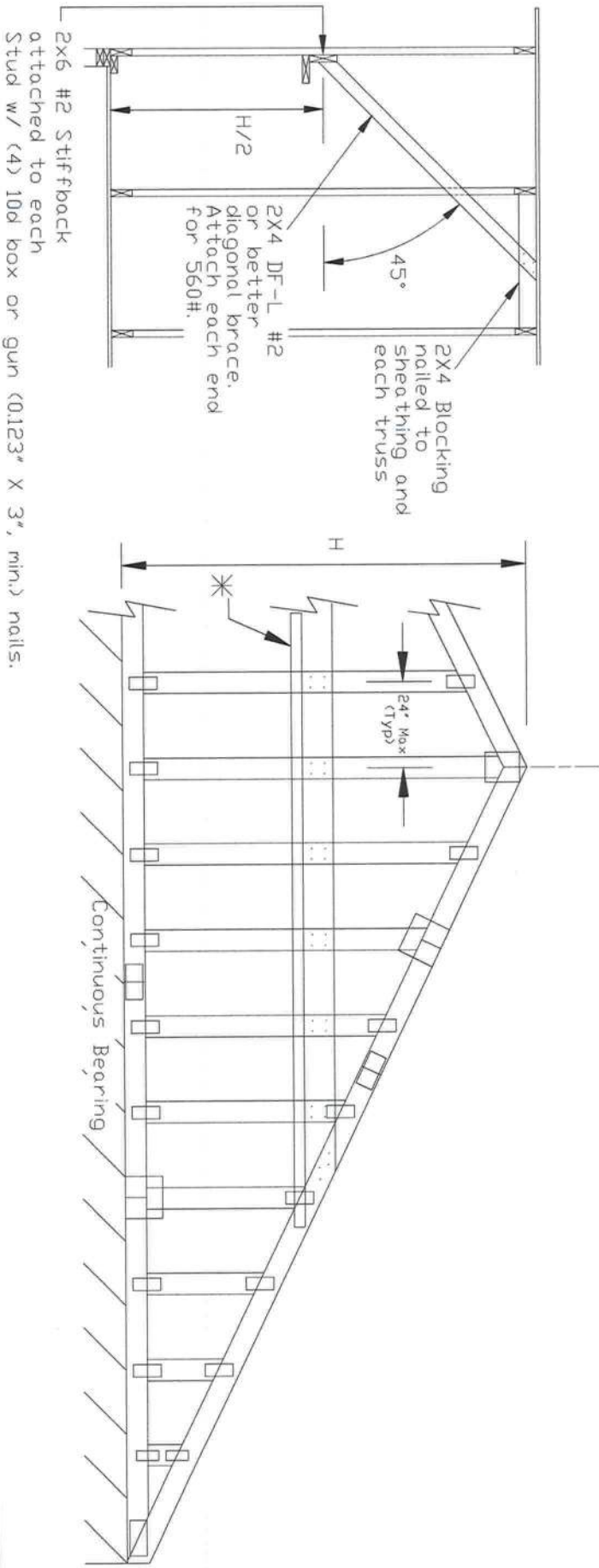
120 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp C, or  
100 mph, 30ft. Mean Hgt, ASCE 7-10, Enclosed, Exp D, or  
100 mph, 30ft. Mean Hgt, ASCE 7-10, Part. Enclosed, Exp C,  
Kzt = 1.00, Wind TC DL=5.0 psf, Wind BC DL=5.0 psf.

Lateral chord bracing requirements  
Top: Continuous roof sheathing  
Bot: Continuous ceiling diaphragm

See Engineer's sealed design referencing this detail  
for lumber, plates, and other information not shown  
on this detail.

Nails: 10d box or gun (0.128"x3", min.) nails.

- H Less than 4'6" - no stud bracing required
- H Greater than 4'6" to 7'6" in length  
provide a 2x6 stiffback at mid-height and brace stiffback  
to roof diaphragm every 6'0" (see detail below or  
refer to DRWG A12030ENC101014).
- H Greater than 7'6" to 12'0" max:  
provide a 2x6 stiffback at mid-height and brace  
to roof diaphragm every 4'0" (see detail below or  
refer to DRWG A12030ENC101014).
- \* Optional 2x L-reinforcement attached  
to stiffback with 10d box or gun  
(0.128" x 3", min.) nails @ 6" o.c.

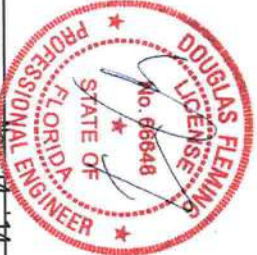


\*\*\*IMPORTANT\*\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.

Trusses require extreme care in fabrication, handling, shipping, installing and bracing. Refer to and follow the latest edition of BCSS (Building Component Safety Information, by TPI and SBCA) for safety practices prior to performing these functions. Installers shall provide temporary bracing per BCSS1. Unless noted otherwise, top chord shall have properly attached structural sheathing and bottom chord shall have a properly attached rigid ceiling. Locations shown for permanent lateral restraint of webs shall have a properly installed per above details. Refer to drawings 150A-2 for standard plate positions. Refer to drawings 150A-2 for standard plate positions. Details, unless noted otherwise.

Alpine, a division of ITW Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure of trusses, installation & bracing of trusses.

A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility solely by the engineer and shall not be construed as a representation of the Building Designer per ANSI/TP1 1 Sect2. For more information see this job's general notes page and these web sites: ALPINE: www.alpineinc.com TPI: www.tpinstitute.org SBCA: www.sbcainc.org/ICC www.iccsafe.org



REF	GE	WHALE
DATE	10/01/14	
DRWG	GABRST101014	
MAX. TOT. LD.	60 PSF	
MAX. SPACING		



-13989 Lakeland Drive  
Earth City, MO 63045





**PROPOSAL FOR:**

**Spence Residence`  
190 SW Loncala Loop  
Fort White, Fl 32038**

Prepared 11/17/2014 using O'Brien Quick Loads Pro - Version 1.01 - SN: QP-070101-41073



Room Name	Square Ft.	Heating Loss BTUH	Hydronic Heat Linear Ft.	Latent / Sensible Gain BTUH	Cooling Gain BTUH	Cooling Tons	Cooling CFM
Main Addition	1170	11239	18.73	1513 / 12799	14311	1.19	477
<b>TOTALS</b>	<b>1170</b>	<b>11239</b>	<b>18.73</b>	<b>1513 / 12799</b>	<b>14311</b>	<b>1.19</b>	<b>477</b>

**Disclaimer**

These computed results should be treated as estimates only and should be viewed as only one of the many tools required for a professional installation. The installing contractor's experience and expert judgement are also major factors in sizing and installing a complete system. The weather, customer usage, duct installation, and structure design may vary on each estimate and should be taken into account. Correct system sizing is based on the systems ability to meet both latent and sensible heat requirements, not just total BTUs.

Prepared 11/17/2014 using O'Brien Quick Loads Pro - Version 1.01 - SN: QP-070101-41073



COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL CHECK LIST

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2010 EFFECTIVE 15 MARCH 2012 AND THE NATIONAL ELECTRICAL 2008 EFFECTIVE 1 OCTOBER 2009

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT 2010 FLORIDA BUILDING CODES RESIDENTIAL, EFFECTIVE 15 MARCH 2012. NATIONAL ELECTRICAL CODE 2008 EFFECTIVE 1 OCTOBER 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES**

**GENERAL REQUIREMENTS:**  
**APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-  
Each Box shall be  
Circled as  
Applicable

		Yes	No	N/A
1	Two (2) complete sets of plans containing the following:	<input checked="" type="checkbox"/>		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	<input checked="" type="checkbox"/>		
3	Condition space (Sq. Ft.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

**Site Plan information including:**

4	Dimensions of lot or parcel of land	<input checked="" type="checkbox"/>		
5	Dimensions of all building set backs	<input checked="" type="checkbox"/>		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	<input checked="" type="checkbox"/>		
7	Provide a full legal description of property.	<input checked="" type="checkbox"/>		

**Wind-load Engineering Summary, calculations and any details are required.**



GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		IIIIII	IIII	IIIIII
8	Plans or specifications must show compliance with FBCR Chapter 3	YES	NO	N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	✓		
11	Wind importance factor and nature of occupancy	✓		
12	The applicable internal pressure coefficient. Components and Cladding	✓		
13	The design wind pressure in terms of psf (kN/m <sup>2</sup> ), to be used for the design of exterior component. cladding materials not specifiably designed by the registered design professional.	✓		

### Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

### Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade	✓		
22	All exterior and interior shear walls indicated			
23	Shear wall opening shown (Windows, Doors and Garage doors)			
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		✓
25	Safety glazing of glass where needed			
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)			
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails			✓
28	Identify accessibility of bathroom (see FBCR SECTION 320)	✓		

**All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plan (see Florida product approval form)**



<b>GENERAL REQUIREMENTS:</b> <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b>		Items to Include- Each Box shall be Circled as Applicable
---	--	--

### **FBCR 403: Foundation Plans**

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	<input checked="" type="checkbox"/>		
30	All posts and/or column footing including size and reinforcing	<input checked="" type="checkbox"/>		
31	Any special support required by soil analysis such as piling.			
32	Assumed load-bearing value of soil _____ Pound Per Square Foot			
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	<input checked="" type="checkbox"/>		

### **FBCR 506: CONCRETE SLAB ON GRADE**

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)			<input checked="" type="checkbox"/>
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports			<input checked="" type="checkbox"/>

### **FBCR 318: PROTECTION AGAINST TERMITES**

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides			
----	--	--	--	--

### **FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)**

37	Show all materials making up walls, wall height, and Block size, mortar type	<input checked="" type="checkbox"/>		
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	<input checked="" type="checkbox"/>		

**Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

### **Floor Framing System: First and/or second story**

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	<input checked="" type="checkbox"/>		
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	<input checked="" type="checkbox"/>		
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	<input checked="" type="checkbox"/>		
42	Attachment of joist to girder	<input checked="" type="checkbox"/>		
43	Wind load requirements where applicable	<input checked="" type="checkbox"/>		
44	Show required under-floor crawl space	<input checked="" type="checkbox"/>		
45	Show required amount of ventilation opening for under-floor spaces	<input checked="" type="checkbox"/>		
46	Show required covering of ventilation opening	<input checked="" type="checkbox"/>		
47	Show the required access opening to access to under-floor spaces	<input checked="" type="checkbox"/>		
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing	<input checked="" type="checkbox"/>		



49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6			
51	Provide live and dead load rating of floor framing systems (psf).			

## **FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls			
53	Fastener schedule for structural members per table IRC 602.3 are to be shown			
54	Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing			
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems			
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per IRC Table 502.5 (1)			
57	Indicate where pressure treated wood will be placed			
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas			
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail			

## **FBCR :ROOF SYSTEMS:**

60	Truss design drawing shall meet section FBCR 802.1.6.1 Wood trusses			
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer			
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters			
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details			
64	Provide dead load rating of trusses			

## **FBCR 802:Conventional Roof Framing Layout**

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

## **FBCR 803 ROOF SHEATHING**

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness			
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas			

## **ROOF ASSEMBLIES FRC Chapter 9**

71	Include all materials which will make up the roof assemblies covering			
72	Submit Florida Product Approval numbers for each component of the roof assemblies covering			



**FBCR Chapter 11 Energy Efficiency Code for residential building**

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
74	Attic space	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
75	Exterior wall cavity	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
76	Crawl space	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**HVAC information**

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
78	Exhaust fans shown in bathrooms <b>Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
79	Show clothes dryer route and total run of exhaust duct	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Plumbing Fixture layout shown**

80	All fixtures waste water lines shall be shown on the foundation plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
81	Show the location of water heater	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

**Private Potable Water**

82	Pump motor horse power	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
83	Reservoir pressure tank gallon capacity	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
84	Rating of cycle stop valve if used	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Electrical layout shown including**

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by <b>Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
87	Show the location of smoke detectors & Carbon monoxide detectors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
88	Show service panel, sub-panel, location(s) and total ampere ratings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.  <b>For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3</b>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



90	Appliances and HVAC equipment and disconnects			
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed <b>Combination arc-fault circuit interrupter</b> , Protection device.			

**Disclosure Statement for Owner Builders** *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

**Notice Of Commencement**

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p align="center"><b>GENERAL REQUIREMENTS:</b>  <b>APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</b></p>	<p align="center">Items to Include-  Each Box shall be  Circled as  Applicable</p>
---	--

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

		YES	NO	N/A
92	<b>Building Permit Application</b> A current On-Line Building Permit Application <a href="http://www.ccpermit.com">www.ccpermit.com</a> is to be completed, by following the Checklist all supporting documents must be submitted. There is a <b>\$15.00</b> application fee.			
93	<b>Parcel Number</b> The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also requested. <a href="http://www.columbiacountyfla.com">www.columbiacountyfla.com</a>			
94	<b>Environmental Health Permit or Sewer Tap Approval</b> A copy of a approved Columbia County Environmental Health (386) 758-1058			
95	<b>City of Lake City</b> A permit showing an approved waste water sewer tap 386-752-2031			
96	<b>Toilet facilities shall be provided for all construction sites</b>			
97	<b>Town of Fort White</b> (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			
98	<b>Flood Information:</b> All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			
99	<b>CERTIFIED FINISHED FLOOR ELEVATIONS</b> will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.			
100	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is <b>\$50.00</b>			
101	<b>Driveway Connection:</b> If the property does not have an existing access to a public road, then an application for a culvert permit ( <b>\$25.00</b> ) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver ( <b>\$50.00</b> ) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.			
102	<b>911 Address:</b> An application for a 911 address must be applied for and <b>received</b> through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125 Ext. 3			



**Spence Addition, Columbia County FL**  
**Wind Load Analysis Requirements**  
**/Code Review**

(In Compliance with the 2010 Florida Building Code and Amendments)

Prepared By: Marty J. Humphries, P.E. # 51976  
7932 240th St., O'Brien, FL 32071  
(386)935-2406

**Description of New Residence:**

Footprint: 489 square ft. addition to existing home see plans by G.D. Spence dated 4-20-14

Walls: 2x6-16" O.C. with 1/2" OSB sheathing doubled, hardiboard siding  
and 1/2" gypsum wall board interior walls.

Roof Structure: Pre-engineered roof trusses and 5/8" OSB sheathing

Roof Type: gable construction (analyzed for 2' eave overhang)

Foundation: concrete footer with masonry stem-wall and interior piers (see sheets S-1, A-4)

**Windload Data and Exposure:**

Basic Wind Speed = 120 mph

Importance Factor = 1.0

Exposure category = B

Height and Exposure Adjustment Coefficient = 1.0

Residential Occupancy = Group R3

Mean roof height = 15'

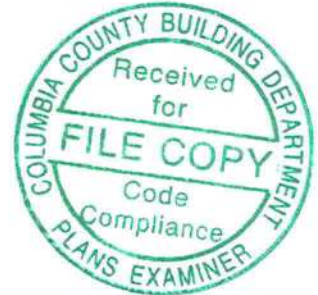
Roof Cross Slope = 1.5:12

Eave Overhang = 2'

Wall Height = 8'

Shear Wall locations = exterior walls only (all walls 3' in length or greater)

Component and Cladding Pressures = Roof (Zone 1=14.9,-23.7, Zone 2=14.9,-41.3, Zone  
3=14.9,-61.0), Wall (Zone 4=25.9,-28.1, Zone 5=25.9,-34.7)(units are psf)




**Nailing Pattern Requirements:**

Wall sheathing: Shall be two layers of 1/2" CDX plywood nailed with 8d common nails 4" on center around edges (including around doors and windows) and 6" on-center interior. Full-depth blocking shall be installed at horizontal joints in sheathing. Stagger joints of double-layers.

Roof sheathing: Shall be 5/8" CDX plywood (OSB) nailed with 8d ring-shank nails 6" on center including overhang areas.

Top wall plate: Nail with 2-12d common nails 12" O.C.(average)

  
10-14-14



### **Strapping and Anchor Requirements:**

Truss to exterior wall plate, Install one Simpson model H10A hurricane anchor at each truss.

Truss to existing stud wall: Install #2 SYP 2x6 horizontal ledger connected to existing stud wall with 2 Simpson 1/4"x 4 1/2" SDS screws 16" on center. Install Simpson LU26 hanger at each bottom chord. Install Simpson H3 clip connecting top chord to existing wall.

wall strap tie requirements: Install 5/8" all-thread from top of sole plate of exterior walls to masonry stemwall, embedded into top of masonry stemwall 4" and epoxied with Simpson SET epoxy. Install a 2" square plate washer, lock washer and nut each location. Spacing shall be 3' on center.

### **Foundation Requirements:**

Stemwall Footer: Footer sizes and reinforcement as shown are structurally adequate. #5 vertical rebar shall be spaced 4' on center.

Masonry Piers: Interior masonry pier shall be 30"x 30"x 10" deep with 6 #5 rebar mat(each way) with 2 #5 rebar verticals,

### **Floor Framing Requirements:**

Floor Joists: Floor joist shall be 2-#2 SYP 2x8's 16" on center(nailed together with 3-12d nails 14" on center. Double floor joists shall be installed under the north exterior wall. If wood beam is used and placed at same height as floor joist hangers for floor joists at center floor beam shall be Simpson HU28-2TF hangers. If joists are placed on top of steel floor beam w nailer as shown in the plans install Simpson H3 clip at each location.

Floor Beam: S8x18.4 steel beam as shown is structurally adequate, beam may be reduced to S6x12.5 or W8x10. Floor beam may also be constructed of 4-#2 SYP 2x10's nailed together with 3-12d nails 12" on center each ply. If steel beam is used connect 2x nailer to top flange with 2-1/4" bolts 16" on center.

Subfloor: double layered 5/8" T&G plywood subfloor as shown in plans is adequate.

### **Header Requirements:**

Windows: Header shall be 2 - #2 SYP 2x10's with #2 SYP 2x6 top and bottom to form a box nailed with 12d nails 6" on center .

Note: Equivalent capacity anchors may be substituted, installed in accordance with the manufacturers requirements.

*Marty S. Dyl*  
16-14-14

**Code Compliance:**

- 1.) Bedroom must have one egress window. Window shall have 5.0 square feet of opening space, it must have a minimum opening height of 24" and a minimum width of 20" and the sill height above finished floor shall not be more than 42".
- 2.) Minimum R19 insulation installed between floor joists and wall studs and minimum of R30 insulation installed between roof trusses.
- 3.) Smoke detectors that are interconnected and have AC and battery backup shall be installed in the hallway outside the bedroom and in the bedroom(2 required). If propane or natural gas is used in the home, detectors shall also detect carbon monoxide.
- 4.) Provide square footage of vent area of crawlspace in accordance with FBC(1 square foot of vent area per 150 square foot of floor area).

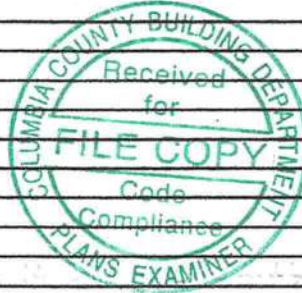
*mtg S. Hy*  
10-14-14



# PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>	N/A		
A. SWINGING			
B. SLIDING			
C. SECTIONAL			
D. ROLL UP			
E. AUTOMATIC			
F. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE HUNG			
B. HORIZONTAL SLIDER	THERMAL WIN INC	40 40 Thermal Double pane Horiz SLDR	FL 12676-02
C. CASEMENT			
D. DOUBLE HUNG			
E. FIXED			
F. AWNING			
G. PASS THROUGH			
H. PROJECTED			
I. MULLION			
J. WIND BREAKER			
K. DUAL ACTION			
L. OTHER			
<b>3. PANEL WALL</b>			
A. SIDING	JAMES HARDIE BLDG/PROD	PANEL SIDING	FL 13192
B. SOFFITS	GA-Pacific	1/2" Plywood	
C. EIFS			
D. STOREFRONTS			
E. CURTAIN WALLS			
F. WALL LOUVER			
G. GLASS BLOCK			
H. MEMBRANE	BARRICADE BLDG PR	BLDG. WRAP UNDERLAYMENT	FL 16453
I. GREENHOUSE			
J. OTHER			
<b>4. ROOFING PRODUCTS</b>			
A. ASPHALT SHINGLES			
B. UNDERLAYMENTS	G. PACIFIC	5/8" DSR	
C. ROOFING FASTENERS	ES PRODUCTS INC	DO-AL-16C NAIL	FL 1173.1
D. NON-STRUCTURAL METAL ROOFING	TRI-COUNTY METALS	BBR - 3.6" PANEL, POLARWHT TSR 59% 29 GA.	FL# 19094.2
E. WOOD SHINGLES AND SHAKES			
F. ROOFING TILES			
G. ROOFING INSULATION	OWENS CORNING	RUSSEL FIBERGLASS INSULATION	
H. WATERPROOFING			
I. BUILT UP ROOFING ROOF SYSTEMS			
J. MODIFIED BITUMEN			
K. SINGLE PLY ROOF SYSTEMS			
L. ROOFING SLATE			
M. CEMENTS-ADHESIVES COATINGS	GARDNER ASPHALT CORP	BLACK ROOF MASTIC	FL 7256



Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
----------------------	--------------	---------------------	--------------------

FLORIDABUILDING.ORG/PR/PR\_APP\_SRCH.ASPX



N. LIQUID APPLIED ROOF SYSTEMS			
O. ROOF TILE ADHESIVE			
P. SPRAY APPLIED * POLYURETHANE ROOF			
Q. OTHER	SIMPSON INC.	PSCL PNL SHUTTING CLIP #40/20	FL180
5. SHUTTERS	N/A		
A. ACCORDION			
B. BAHAMA			
C. STORM PANELS			
D. COLONIAL			
E. ROLL-UP			
F. EQUIPMENT			
G. OTHERS			
6. SKYLIGHTS	N/A		
A. SKYLIGHT			
B. OTHER			
7. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS/ ANCHORS	SIMPSON INC.	HTS TWIST STRAP, TRUSS TO TOP PLATE-TIE	FL 538.1
B. TRUSS PLATES	SIMPSON INC.	MENDING PLATE *MP 36-3"x6"	FL 5363.2
C. ENGINEERED LUMBER	GEORGE-PI...	10' x 2' x 8' SIPS	FL 5363.2
D. RAILING			
E. COOLERS-FREEZERS			
F. CONCRETE ADMIXTURES			
G. MATERIAL			
H. INSULATION FORMS			
I. PLASTICS			
J. DECK-ROOF			
K. WALL			
L. SHEDS			
M. OTHER	SIMPSON INC	TITEN CONC+ MASONRY SCREWS	FL 2355-RA
8. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			
B.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.



APPLICANT SIGNATURE

11/9/14

DATE



# 32516

Alpine, an ITW Company

2400 Lake Orange Drive suite 150 Orlando FL 32837  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1VDE9114Z0222134657



Truss Fabricator: **Anderson Truss Company**  
Job Identification: **14-186A--OWNER BUILDER /Spence Addition -- 190 SW Loncala Loop**  
Truss Count: **1**  
Model Code: **Florida Building Code 2014 or 2010**  
Truss Criteria: **FBC2010Res/TPI-2007(STD)**  
Engineering Software: **Alpine Software,Version 14.03.**  
Structural Engineer of Record: **The identity of the structural EOR did not exist as of the seal date per section 61G15-31.003(5a) of the FAC**  
Address:  
Minimum Design Loads: **Roof - 37.0 PSF @ 1.25 Duration**  
**Floor - N/A**  
**Wind - 120 MPH ASCE 7-10 -Closed**

01/22/2015

Notes:

1. **Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1**
2. **The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.**
3. **As shown on attached drawings; the drawing number is preceded by: HCUSR9114**

William H. Krick  
-Truss Design Engineer-

2400 Lake Orange Dr, Suite 150  
Orlando FL, 32837

Details: 160TL-

#	Ref	Description	Drawing#	Date
1	02499--AR 16'11"	Mono	15022015	01/22/15

(14-186A--OWNER BUILDER /Spence Addition -- 190 SW Loncala Loop - AR 16 '11" Mono)  
Value Set: 13B (Effective 6/1/2013)

Lumber value set "13B" uses design values approved 1/30/2013 by ALSC

Bottom chord checked for 10.00 psf non-concurrent live load.

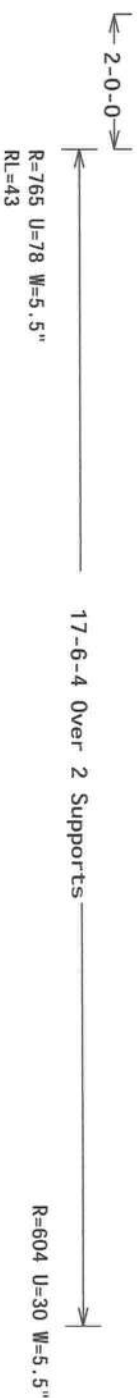
11 GAUGE (0.120")X1.375" nails required for trulox plate attachment. Nails specified in circles must be applied to each face of each truss ply. See DWG 1601L for nailing and trulox plate requirements.

(\*\*) 1 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, located anywhere in roof, RISK CAT II, EXP B, wind TC DL=3.5 psf, wind BC DL=5.0 psf, Gcpl(+/-)=0.18

Wind loads and reactions based on MMFRS with additional C&C member design.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



PLT TYP. Wave, TruIox

Design Crit: FBC2010Res/TP1-2007(STD)  
FT/RT=10%(0%)/0(0)

14.03.01 1120.16

QTY: 14 FL/-/5/-/-/R/-

Scale = .375"/Ft.



2400 Lake Orange Dr., Suite 150  
Orlando, FL 32837  
FL COA #0278

**\*\*IMPORTANT\*\*** FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS

The owner requires steel joists in fabric ceiling, handily shipping, installing and bracing. Since the building is located in a flood plain, the contractor must provide adequate bracing for the joists during construction. The latest edition of BECI Building Component System Information, by TPI and WEA for access to the information, shall have property attached structural sheathing and bottom chord shall have a proprietary attached rigid ceiling. Components shown for permanent lateral restraint of walls shall have bracing indicated per BECI sections B6, B7 or B10 as applicable. Apply plastic sheeting to exterior wall surfaces above grade and below grade. Section 800-2 shall apply to section 800D-2 for standard pipe positions.

Alpine, a division of TW Building Components Group Inc., shall not be responsible for any design drawn from this drawing, any failure to build the Truss in conformance with ANSI/TPI 1, or for handling, shipping and installation & bracing of trusses.

A seal on this drawing or cover page listing title, drawing number, location, name of professional engineer, date of approval and signature of the professional engineer shall be required for the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.

For more information see this job's general notes page and these web sites:  
ALPINE: [www.alpinefw.com](http://www.alpinefw.com); TPI: [www.tpinet.org](http://www.tpinet.org); WICA: [www.theindustry.com](http://www.theindustry.com); ICC: [www.icc.org](http://www.icc.org)

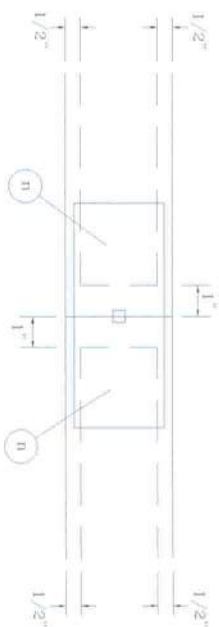
01/22/2015

TC LL	20.0 PSF	REF	R9114- 2499
TC DL	7.0 PSF	DATE	01/22/15
BC DL	10.0 PSF	DRW	HCSUR9114 15022015
BC LL	0.0 PSF	HC-ENG	JB/WHK
TOT.LD.	37.0 PSF	SEQN-	424283
DUR.FAC.	1.25	FROM	JMM
SPACING	24.0"	JREF-	1VDE9114Z02



TRULOX INFORMATION DETAIL

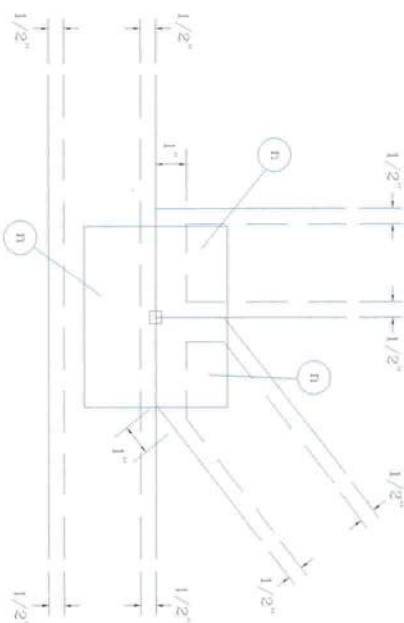
TYPICAL OFF PANEL SPLICE



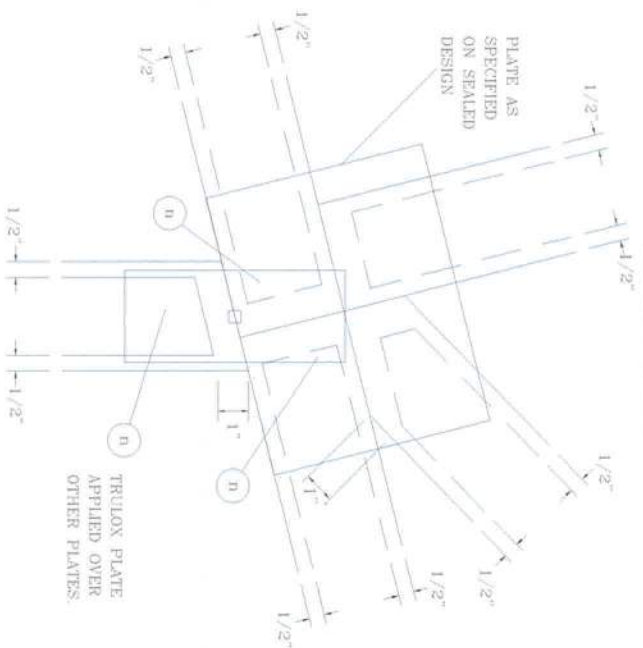
DO NOT APPLY NAILS WITHIN 1/2" OF LUMBER EDGES OR 1" OF LUMBER ENDS ON EACH FACE, AS SHOWN BY DASHED LINES.

NAILS MUST NOT SPLIT LUMBER.

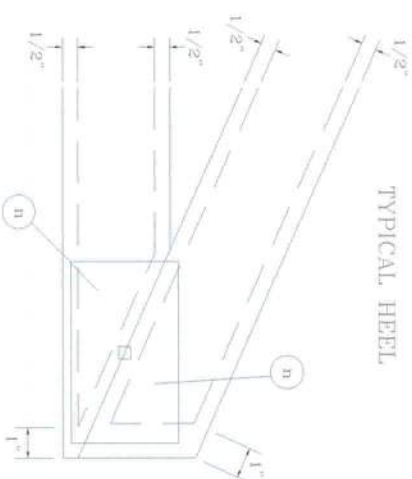
TYPICAL PANEL POINT WITHOUT SPLICE



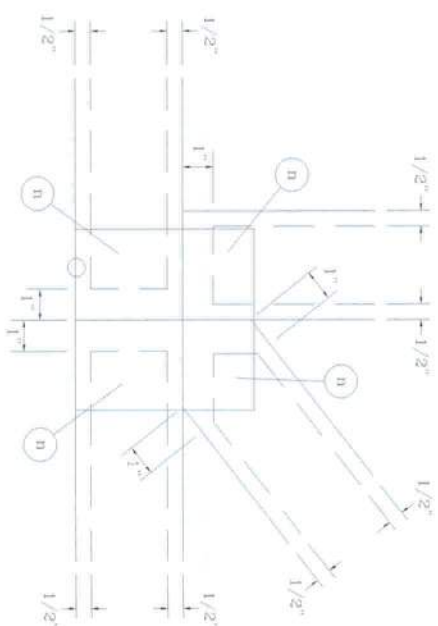
TYPICAL FILLER



TYPICAL HEEL



TYPICAL PANEL POINT SPLICE



- NOTES:
- (n) IS THE REQUIRED NUMBER OF 0.120" X 1.375" NAILS, OR EQUAL, PER FACE PER PLAT AS SPECIFIED ON THE SEALED DESIGN REFERENCING THIS DETAIL.
  - LOCATES PLATE CORNER OR FLUSH EDGE.
  - LOCATES PLATE CENTER.



13389 Lakefront Drive  
Earth City, MO 63045

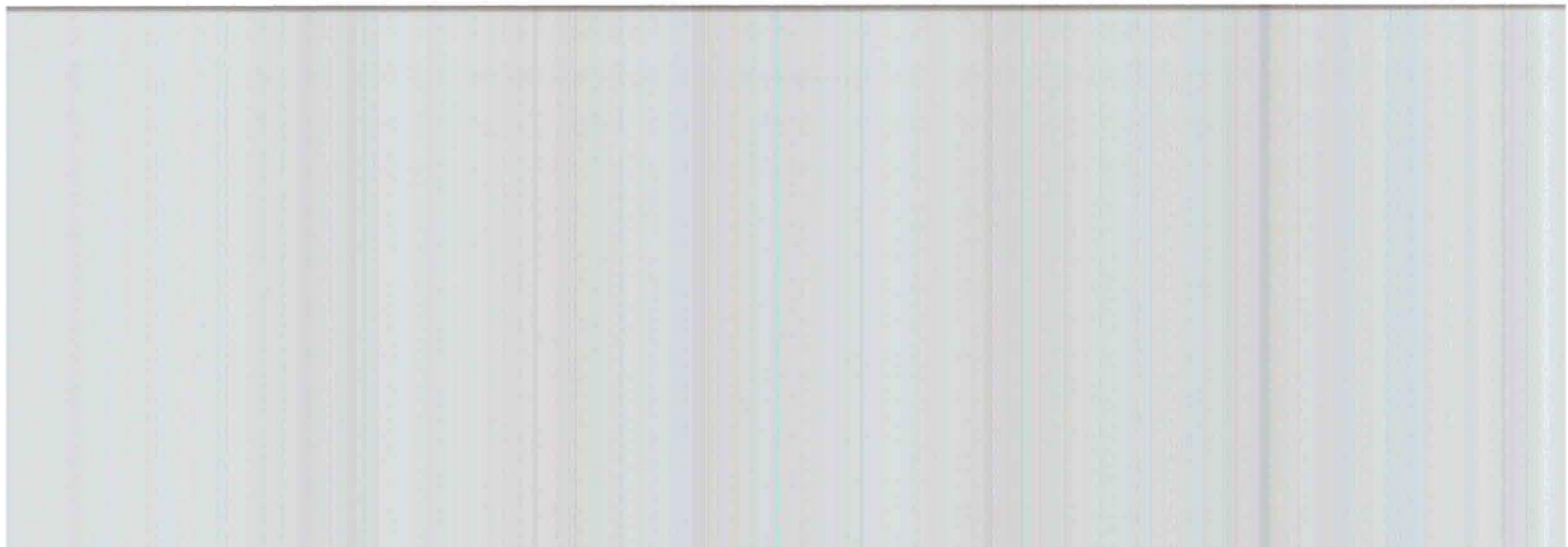
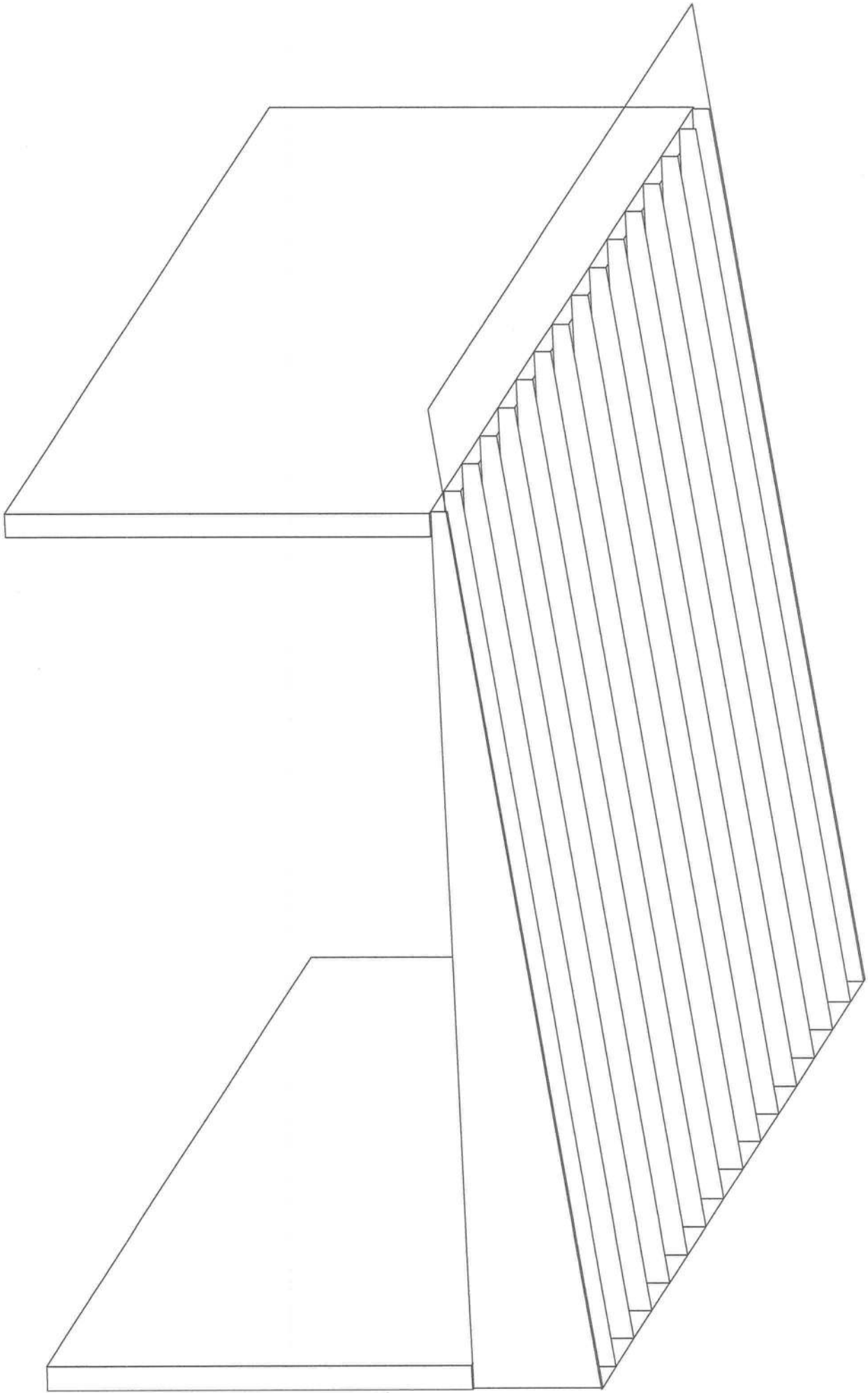


01/22/2015

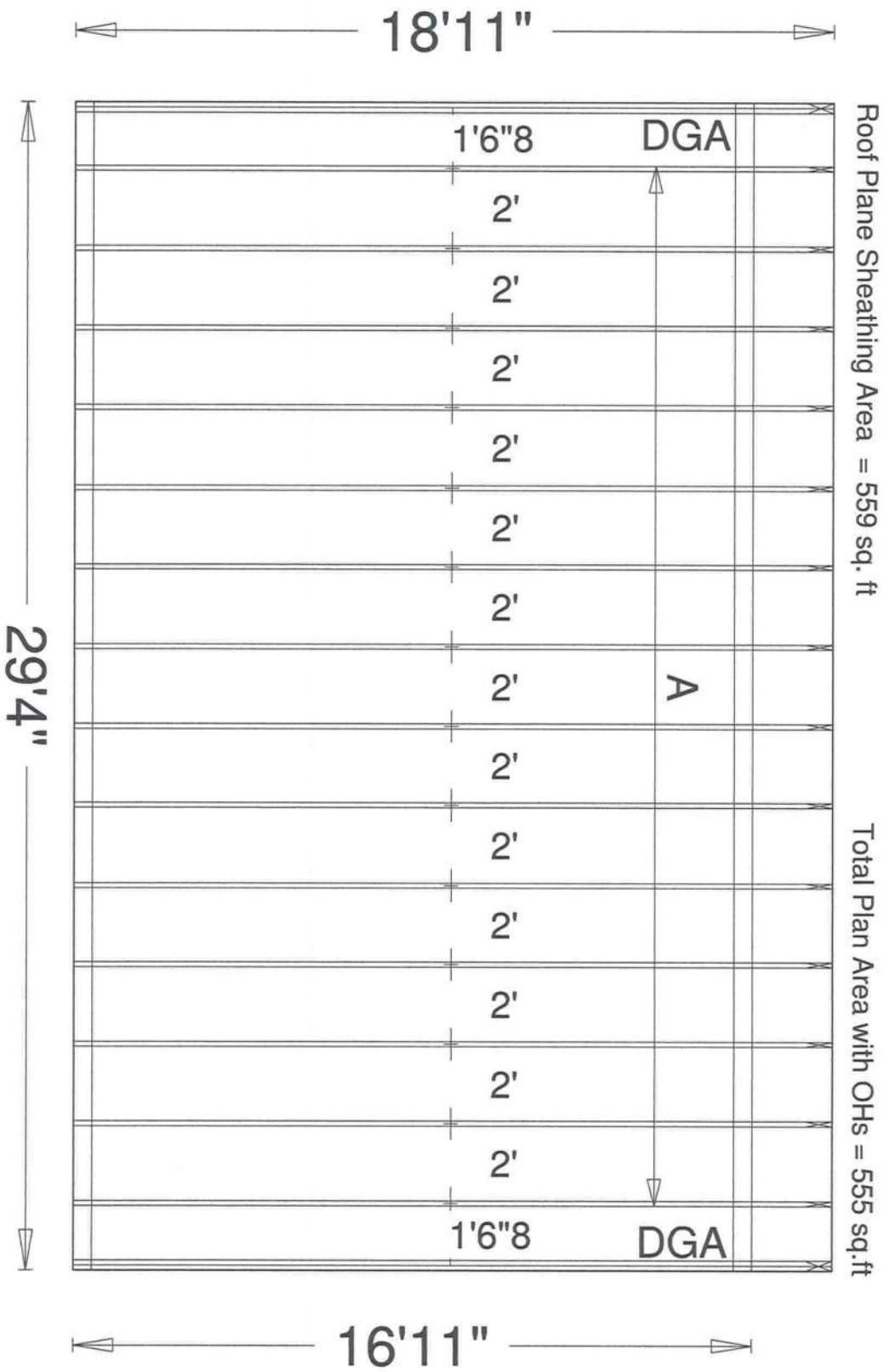
TRULOX PLATING

160  
TT

PAGE 1 OF 1  
DATE 10/01/14







# Spence Addition

Total Truss Quantity = 18.

Total Plan Area with OHs = 555 sq. ft



: Garry Spence  
Created : 01-15-2015  
: <Not Found>

Customer: OWNER BUILDER  
Job Name: Spence Addition  
: 190 SW Loncala Loop  
(386-497-4790)  
Job Numb: 14-186A  
Designer: Jon Williams  
Salesman: CVB

JOB NO:  
14-186A

PAGE NO:  
1 OF 1