

DATE 06/22/2005

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000023303

APPLICANT LINDA RODER PHONE 752.2281
ADDRESS 387 SW KEMP CT LAKE CITY FL 32024
OWNER ERKINGER HOME BLDRS,INC. PHONE 754.5555
ADDRESS 385 SW WILSHIRE DRIVE LAKE CITY FL 32024
CONTRACTOR MATTHEW ERKINGER,SR. PHONE 754.5555
LOCATION OF PROPERTY SR 247-S TO CALLAHAN RD,TL GO TO PHEASANT,TR TO WILSHIRE,TR
IT'S THE 7TH LOT ON R.

TYPE DEVELOPMENT SFD/UTILITY ESTIMATED COST OF CONSTRUCTION 104100.00
HEATED FLOOR AREA 2082.00 TOTAL AREA 2853.00 HEIGHT 20.11 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 7'12 FLOOR CONC
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 0 FLOOD ZONE XPP DEVELOPMENT PERMIT NO.

PARCEL ID 15-4S-16-03023-392 SUBDIVISION CALLAWAY
LOT 92 BLOCK PHASE III UNIT TOTAL ACRES .50

00000705 N RR067135 Linda Roder
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
18"X32"MITERED 05-0601-N BLK N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE
1 FOOT ABOVE ROAD.

Check # or Cash 14856

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 525.00 CERTIFICATION FEE \$ 14.27 SURCHARGE FEE \$ 14.27
MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ WASTE FEE \$
FLOOD ZONE DEVELOPMENT FEES \$ CULVERT FEE \$ 25.00 TOTAL FEE 628.54
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

Revised 9-23-04

Callaway Lot 92

For Office Use Only Application # 0506-25 Date Received 6-9-05 By LH Permit # 705/23303
Application Approved by - Zoning Official BLK Date 21.06.05 Plans Examiner OK JTH Date 6-13-05
Flood Zone Xempt Development Permit N/A Zoning RSF-2 Land Use Plan Map Category RES. L. Dev
Comments _____

Applicants Name Linda Roder Phone 752-2281
Address 387 S.W. - Kemp Ct. Lake City FL 32024
Owners Name Erkinger Home Builders Inc. Phone 754-5555
911 Address 385 S.W. - Wilshire Dr. Lake City FL 32024
Contractors Name Erkinger Home Builders, Inc. Phone 754-5555
Address 248 S.E. Nassau St. Lake City FL 32025
Fee Simple Owner Name & Address NA
Bonding Co. Name & Address NA
Architect/Engineer Name & Address Matthew Erkinger / Mark Disosway
Mortgage Lenders Name & Address 1st Federal
Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
Property ID Number 03023-392 Estimated Cost of Construction 94,370
Subdivision Name Callaway Lot 92 Block _____ Unit 3 Phase _____
Driving Directions 247 to Callahan, go L, R on Pheasant, R on Wilshire, 7th House on R
Type of Construction SFD Number of Existing Dwellings on Property 0
Total Acreage .500 Lot Size _____ Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive
Actual Distance of Structure from Property Lines - Front 30' Side 24' Side 27' Rear 81'
Total Building Height 20'-11" Number of Stories 1 Heated Floor Area 2082 Roof Pitch 7-12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor) Linda R. Roder

STATE OF FLORIDA
COUNTY OF COLUMBIA



Commission #DD303275
Expires: Mar 24, 2008
Bonded Thru
Atlantic Bonding Co., Inc.

Sworn to (or affirmed) and subscribed before me

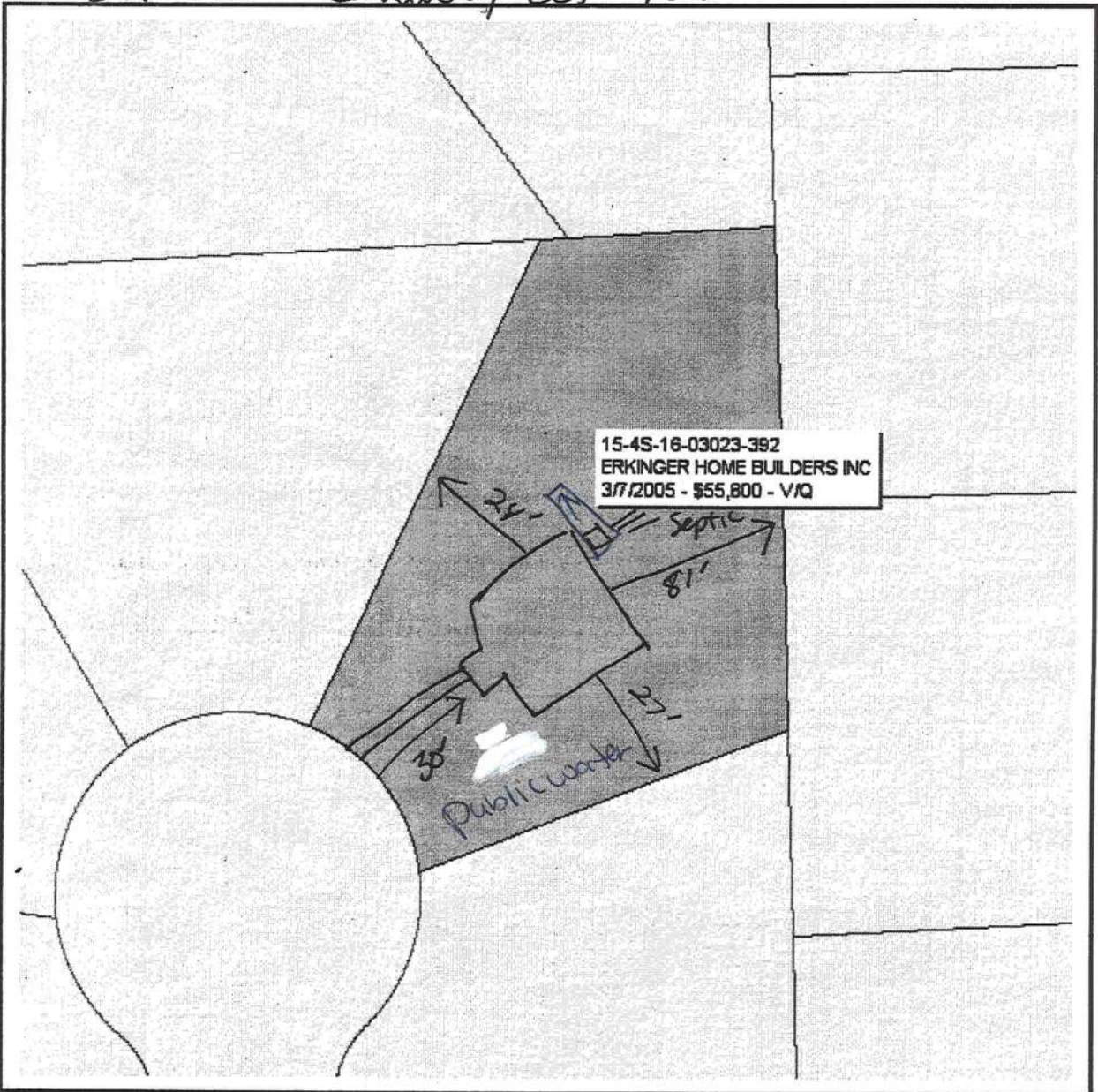
this 6 day of February 2005.

Personally known X or Produced Identification _____

X Matthew Erkinger Pres.
Contractor Signature
Contractors License Number RR-067135
Competency Card Number _____
NOTARY STAMP/SEAL

Linda R. Roder
Notary Signature

Site Plan Callaway Lot 92



Columbia County Property Appraiser
J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 15-4S-16-03023-392 - VACANT (000000)
LOT 92 CALLAWAY S/D PHASE 3. WD 1040-247.

Name: ERKINGER HOME BUILDERS INC	LandVal	\$21,500.00
Site: WILSHIRE	BldgVal	\$0.00
Mail: 248 SE NASSAU ST	ApprVal	\$21,500.00
LAKE CITY, FL 32025	JustVal	\$21,500.00
Sales Info 3/7/2005 \$55,800.00 V / Q	Assd	\$21,500.00
	Exmpt	\$0.00
	Taxable	\$21,500.00

0 23 46 69 ft

This information, GIS Map Updated: 5/2/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID 05-190
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

Property Appraiser's
Identification Number: Part of R03023-099

Inst:2005005545 Date:03/09/2005 Time:12:34
Doc Stamp-Deed : 390.60
MK DC, P. Dewitt Cason, Columbia County B:1040 P:247

WARRANTY DEED

THIS INDENTURE, made this 7th day of March, 2005, BETWEEN DANIEL CRAPPS, as Trustee under Trust Agreement dated January 14, 1996, known as CALLAWAY LAND TRUST, whose post office address is 2806 W. US Highway 90, Suite 101, Lake City, FL 32055, of the County of Columbia, State of Florida, grantor*, and ERKINGER HOME BUILDERS, INC., A Florida Corporation, whose post office address 248 SE Nassau Street, Lake City, FL 32025, of the State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lots 92 & 96, CALLAWAY PHASE III, a subdivision according to the plat thereof as recorded in Plat Book 7, Pages 145-146 of the public records of Columbia County, Florida.


SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.


and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.


*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand
and seal the day and year first above written.

Signed, sealed and delivered
in our presence:


(Signature of First Witness)
Terry McDavid
(Typed Name of First Witness)

 (SEAL)
Grantor
DANIEL CRAPPS, as Trustee
Printed Name



(Signature of Second Witness)
Crystal L. Brunner
(Typed Name of Second Witness)

Inst:2005005545 Date:03/09/2005 Time:12:34
Doc Stamp-Deed : 390.60
DC,P.Dewitt Cason,Columbia County B:1040 P:248

STATE OF Florida
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 7th
day of March, 2005, by DANIEL CRAPPS, as Trustee under Trust
Agreement dated January 14, 1996, known as CALLAWAY LAND TRUST who
is personally known to me and who did not take an oath.

My Commission Expires:


Notary Public
Printed, typed, or stamped name:



THIS INSTRUMENT WAS PREPARED BY: Inst: 2005011676 Date: 05/18/2005 Time: 11:41
TERRY McDAVID 05-190 FILE DC, P. Dewitt Cason, Columbia County B: 1046 P: 1137
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

PERMIT NO. _____

TAX FOLIO NO.: Part of R03023-099NOTICE OF COMMENCEMENT

STATE OF FLORIDA
COUNTY OF COLUMBIA

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property:

Lot 92, CALLAWAY UNIT III, a subdivision according to the plat thereof recorded in Plat Book 7, Pages 145-146 of the public records of Columbia County, Florida.

2. General description of improvement: Construction of Dwelling

3. Owner information:

a. Name and address: ERKINGER HOME BUILDERS, INC.,
248 SE Nassau Street, Lake City, FL 32025

b. Interest in property: Fee Simple

c. Name and address of fee simple title holder (if other than Owner): None

4. Contractor: ERKINGER HOME BUILDERS, INC.
248 SE Nassau Street, Lake City, FL 32025

5. Surety n/a

a. Name and address:
b. Amount of bond:

6. Lender: CHARLIE SPARKS, as Trustee of THE CHARLIE SPARKS 401K PLAN
Post Office Box 3566, Lake City, FL 32056

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes: None

8. In addition to himself, Owner designates CHARLIE SPARKS, as Trustee of THE CHARLIE SPARKS 401K PLAN, Post Office Box 3566, Lake City, FL 32056 to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified). May 13, 2006.

ERKINGER HOME BUILDERS, INC.

Matthew A. Erkinger, Sr.
By: MATTHEW A. ERKINGER, SR.,
President

The foregoing instrument was acknowledged before me this 13th day of May, 2005, by MATTHEW A. ERKINGER, SR., as President of ERKINGER HOME BUILDERS, INC., who is personally known to me and who did not take an oath.

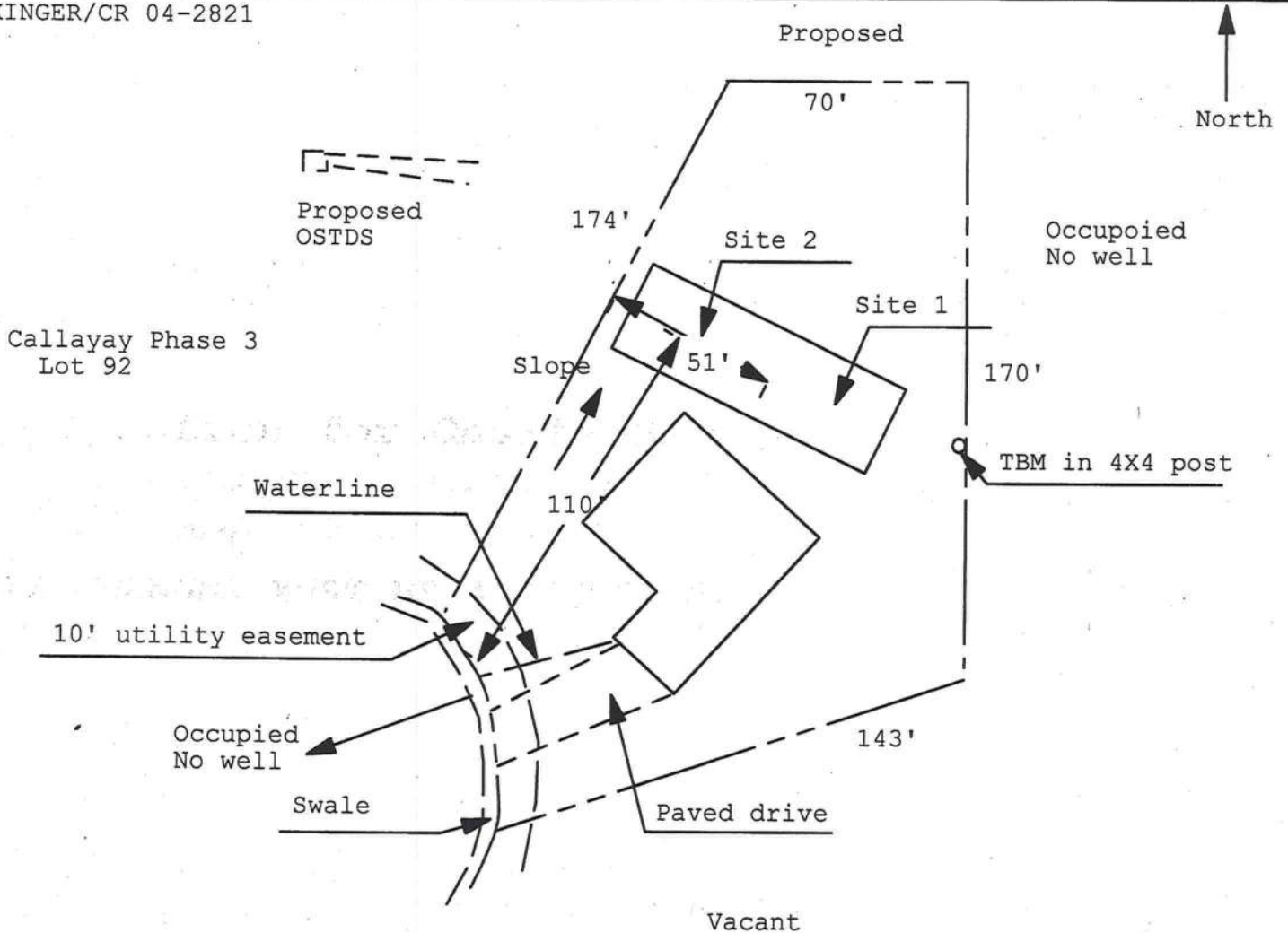


Terry McDavid
Notary Public
My commission expires: _____

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 05-0601N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

ERKINGER/CR 04-2821



1 inch = 50 feet

Site Plan Submitted By Paul Lloyd Date 5/12/05
Plan Approved ☒ Not Approved ☐ 6-7-05

By Mr. S. L. Columbia CPHU

Notes: _____

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs Residential Whole Building Performance Method A

Project Name:	Lt 92 Callaway	Builder:	Erkinger Homes
Address:		Permitting Office:	COLUMBIA
City, State:	Lake City, FL	Permit Number:	= 23303 =
Owner:	Erkinger Homes	Jurisdiction Number:	221000
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 36.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 10.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	No	c. N/A	
6. Conditioned floor area (ft²)	1650 ft²	13. Heating systems	
7. Glass area & type	Single Pane Double Pane	a. Electric Heat Pump	Cap: 36.0 kBtu/hr
a. Clear glass, default U-factor	0.0 ft² 190.0 ft²		HSPF: 7.00
b. Default tint, default U-factor	0.0 ft² 0.0 ft²	b. N/A	
c. Labeled U-factor or SHGC	0.0 ft² 0.0 ft²	c. N/A	
8. Floor types		14. Hot water systems	
a. Slab-On-Grade Edge Insulation	R=0.0, 170.0(p) ft	a. Electric Resistance	Cap: 40.0 gallons
b. N/A			EF: 0.91
c. N/A		b. N/A	
9. Wall types		c. Conservation credits	
a. Frame, Wood, Exterior	R=11.0, 1199.0 ft²	(HR-Heat recovery, Solar	
b. Frame, Wood, Adjacent	R=0.0, 213.0 ft²	DHP-Dedicated heat pump)	
c. N/A		15. HVAC credits	
d. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
e. N/A		HF-Whole house fan,	
10. Ceiling types		PT-Programmable Thermostat,	
a. Under Attic	R=30.0, 1650.0 ft²	MZ-C-Multizone cooling,	
b. N/A		MZ-H-Multizone heating)	
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH: Interior	Sup. R=6.0, 200.0 ft		
b. N/A			

Glass/Floor Area: 0.12

Total as-built points: 25260

Total base points: 25904

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Karl Christ
DATE: 2-16-05

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: Guida Noller
DATE: 2-21-05

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: _____
DATE: _____

SUMMER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ormt Len Hgt		Area X SPM X SOF = Points				
.18	1650.0	20.04	5951.9	Double, Clear	N	1.5	8.0	45.0	19.20	0.97	835.7
				Double, Clear	E	1.5	8.0	24.0	42.06	0.96	966.7
				Double, Clear	S	1.5	8.0	117.0	35.87	0.92	3874.5
				Double, Clear	W	1.5	8.0	4.0	38.52	0.96	147.6
				As-Built Total:						190.0	5824.5
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	213.0	0.70	149.1	Frame, Wood, Exterior	11.0		1199.0	1.70	2038.3		
Exterior	1199.0	1.70	2038.3	Frame, Wood, Adjacent	0.0		213.0	2.20	468.6		
Base Total:		1412.0	2187.4	As-Built Total:				1412.0	2506.9		
DOOR TYPES Area X BSPM = Points				Type	Area X SPM = Points						
Adjacent	19.0	2.40	45.6	Exterior Wood	21.0 6.10 128.1						
Exterior	21.0	6.10	128.1	Adjacent Wood	19.0 2.40 45.6						
Base Total:		40.0	173.7	As-Built Total:				40.0	173.7		
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	1650.0	1.73	2854.5	Under Attic	30.0		1650.0	1.73 X 1.00	2854.5		
Base Total:		1650.0	2854.5	As-Built Total:				1650.0	2854.5		
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	170.0(p)	-37.0	-6290.0	Slab-On-Grade Edge Insulation	0.0		170.0(p)	-41.20	-7004.0		
Raised	0.0	0.00	0.0								
Base Total:		-6290.0		As-Built Total:				170.0	-7004.0		
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
		1650.0	10.21					1650.0	10.21	16846.5	

SUMMER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, Fl,

PERMIT #:

BASE				AS-BUILT							
Summer Base Points: 21724.0				Summer As-Built Points: 21202.1							
Total Summer Points	X	System Multiplier	= Cooling Points	Total Component	X	Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Cooling Points	
21724.0		0.4266	9267.5	21202.1		1.00	(1.090 x 1.147 x 0.91)	0.341	1.000	8232.8	
				21202.1		1.00	1.138	0.341	1.000	8232.8	

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	1650.0	12.74	3783.8	Double, Clear	N	1.5	8.0	45.0	24.58	1.00	1107.0
				Double, Clear	E	1.5	8.0	24.0	18.79	1.02	460.0
				Double, Clear	S	1.5	8.0	117.0	13.30	1.04	1619.7
				Double, Clear	W	1.5	8.0	4.0	20.73	1.01	83.8
				As-Built Total:				190.0	3270.5		
WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Adjacent	213.0	3.60	766.8	Frame, Wood, Exterior	11.0		1199.0	3.70	4436.3		
Exterior	1199.0	3.70	4436.3	Frame, Wood, Adjacent	0.0		213.0	10.40	2215.2		
Base Total:				As-Built Total:				1412.0	6651.5		
DOOR TYPES Area X BWPM = Points				Type	Area X WPM = Points						
Adjacent	19.0	11.50	218.5	Exterior Wood				21.0	12.30	258.3	
Exterior	21.0	12.30	258.3	Adjacent Wood				19.0	11.50	218.5	
Base Total:				As-Built Total:					40.0	476.8	
CEILING TYPESArea X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points				
Under Attic	1650.0	2.05	3382.5	Under Attic	30.0		1650.0	2.05 X 1.00	3382.5		
Base Total:				As-Built Total:					1650.0	3382.5	
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points				
Slab	170.0(p)	8.9	1513.0	Slab-On-Grade Edge Insulation	0.0		170.0(p)	18.80	3196.0		
Raised	0.0	0.00	0.0								
Base Total:				As-Built Total:					170.0	3196.0	
INFILTRATION Area X BWPM = Points				Area X WPM = Points							
1650.0 -0.59 -973.5				1650.0 -0.59 -973.5							

WINTER CALCULATIONS
Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT						
Winter Base Points:		13385.7		Winter As-Built Points:				16003.8		
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points
13385.7		0.6274	8398.2	16003.8		1.000	(1.069 x 1.169 x 0.93)	0.487	1.000	9060.5
				16003.8		1.00	1.162	0.487	1.000	9060.5

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , Lake City, Fl,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

**Columbia County Building Department
Culvert Permit**

**Culvert Permit No.
000000705**

DATE 06/22/2005 PARCEL ID # 15-4S-16-03023-392
APPLICANT LINDA RODER PHONE 752.2281
ADDRESS 387 SW KEMP COURT LAKE CITY FL 32024
OWNER ERKINGER HOME BILDRS,INC. PHONE 754.5555
ADDRESS 385 SW WILSHIRE DRIVE LAKE CITY FL 32024
CONTRACTOR MATTHEW ERKINGER,SR. PHONE 754.5555
LOCATION OF PROPERTY SR 247-S TO CALLAHAN RD,TL GO TO PHEASANT,TR THEN TO WILSHIRE,TR
7TH LOT ON R.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT CALLAWAY 92 III

SIGNATURE

Linda Roder

INSTALLATION REQUIREMENTS



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other _____

ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALLATION OF THE CULVERT.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



Notice of Intent for Preventative Treatment for Termites

(As required by Florida Building Code (FBC) 104.2.6)

Aspen Pest Control, Inc.
(386) 755-3611
State License # - JB109476
State Certification # - JF104376

385 SW Wilshire Drive – Lake City, FL 32024 *Permit # 23303*
Address of Treatment or Lot/Block of Treatment

Bora-Care Wood Treatment – 23% Disodium Octaborate Tetrahydrate

Method of Termite Prevention Treatment – Soil Barrier, Wood Treatment, Bait System, Other

Application onto Structural Wood

Description of Treatment

The above named structure will receive a complete treatment for the prevention of subterranean termites at the dried-in stage of construction. Treatment is done in accordance with the rules and laws established by the Florida Department of Agriculture and Consumer Services and according to EPA registered label directions as stated in Florida Building Code Section 1861.1.8.

Shannon Ferguson
Authorized Signature

6/30/05
Date

**COLUMBIA COUNTY
FLORIDA
CALLAWAY**

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 15-4S-16-03023-392

Building permit No. 000023303

Use Classification SFD/UTILITY

Fire: 53.28

Permit Holder MATTHEW ERKINGER, SR.

Waste: 110.25

Owner of Building ERKINGER HOME BLDGS, INC.

Total: 163.53

Location: 385 SW WILSHIRE DR(CALLAWAY, LOT 92)

Date: 01/26/2006


Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)





GTC Design Group, LLC
P.O. Box 187
Live Oak, FL 32064
(Phone) 386.362.3678
(Fax) 386.362.6133
cwilliams3@alltel.net

Permit# 23303

Finish Floor Elevation Certification

Contractor: Erkinger Home Builders, Inc.
Matthew Erkinger


Description: Lot 92, Calloway Subdivision

Foundation Requirements:

For protection against water damage, the minimum finish floor elevation of the proposed structure shall be 12 inches above the existing ground at any point along the perimeter of the proposed structure. In no case shall the finish floor elevation be more than 96 inches below the centerline of the adjacent roadway.

The ground around the proposed structure shall be graded such as to convey all stormwater runoff away from the proposed structure.

The above elevations are based on the structure's current staked location, approximately +/- 50 feet North West from the adjacent county road's right of way.



Gary J. Gill
P.E. License Number: 51942
July 19, 2005

28 Jul 05

Permit # 23303

Building Inspector, Columbia Co., Florida

Re: Foundation Inspection, Permit #23303C, Columbia County, FL , Erkinger Builders, Spec House, Lot 92, Callaway SD

Dear Building Inspector:

This letter is in reference to a foundation inspection issue for #23303C, Columbia County, FL , Erkinger Builders, Spec House, Lot 92, Callaway SD, Windload Engineering Job No. MD502081.

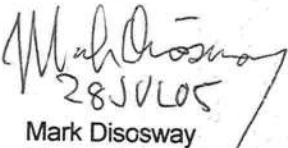
The "Windload Engineering", Job No. 502081, sheet S-2 specifies a reinforced 8" CMU stem wall foundation with #5 vertical at 8'OC and height maximum 5 courses. The footing steps down on part of the house and the stem wall is higher than 5 courses. Also, the foundation plan calls for F5 mono footing at rear porch. Please accept this letter as addendum to plans to change it to a stem wall foundation with formed slab and reinforcement per table below.

Please accept this letter as addendum to the plans to allow a reinforced 8" CMU stem wall foundation with reinforcement schedule per the attached table. The table assumes 60 ksi reinforcing bars with 6" hook in the footing and bent 24" into the reinforced slab at the top. The vertical steel is to be placed toward the tension side of the CMU wall (away from the soil pressure, within 2" of the exterior side of the wall). If the wall is over 8' high, add Durowall ladder reinforcement at 16"OC vertically or a horizontal bond beam with 1#5 continuous at mid height. For higher parts of the wall 12" CMU may be used with reinforcement as shown in the table below.

Note: The highest point in the stem wall is 7 courses or 4'8" which requires 1#5 at 88"OC. Since the stem wall has already been fully grouted it would be difficult to add rebar to the CMU cell. Please drill into the footing and epoxy additional rebar slap against the outside of the CMU and chip the top corner of the wall when bending it into the slab, see sketch. Use hot dip galvanize or epoxy coated rebar or coat the exposed part with corrosion resistant paint.

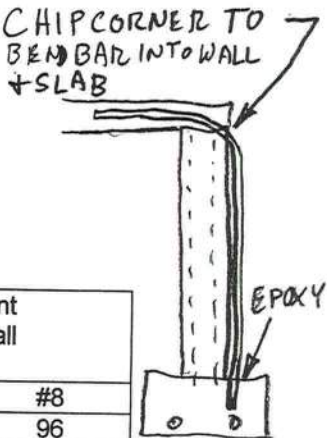
Important: The slab braces the top of the stem wall against outward pressure of backfill. The wall should be temporarily braced as the backfill is compacted.

Sincerely,


28 JUL 05

Mark Disosway
Florida Professional Engineer No. 53915

cc Erkinger Builders, Contractor 719-9899F



Stemwall Height (Feet)	Unbalanced Backfill Height	Vertical Reinforcement For 8" CMU Stemwall (Inches OC)			Vertical Reinforcement For 12" CMU Stemwall (Inches OC)		
		#5	#7	#8	#5	#7	#8
3.3	3.0	96	96	96	96	96	96
4.0	3.7	96	96	96	96	96	96
4.7	4.3	88	96	96	96	96	96
5.3	5.0	56	96	96	96	96	96
6.0	5.7	40	80	96	80	96	96
6.7	6.3	32	56	80	56	96	96
7.3	7.0	24	40	56	40	80	96
8.0	7.7	16	32	48	32	64	80
8.7	8.3	8	24	32	24	48	64
9.3	9.0	8	16	24	16	40	48