

29/80

42



## COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

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I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

#### TYPE OF CONSTRUCTION

- ( ) Single Family Dwelling    ( ) Two-Family Residence    ☒ Farm Outbuilding  
( ) Addition, Alteration, Modification or other Improvement  
( ) Commercial, Cost of Construction \_\_\_\_\_ Construction of \_\_\_\_\_  
( ) Other \_\_\_\_\_

I Billie Heflin, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Billie Heflin  
Owner Builder Signature

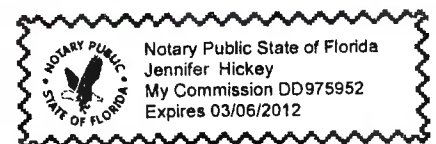
02-01-11  
Date

#### NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification personally known

Notary Signature Jennifer Hickey Date Feb. 1, 2011

(Seal)



#### FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative Z. H.

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

24-55-16-03700-002

Clerk's Office Stamp

Inst: 201112001585 Date: 2/1/2011 Time: 4:31 PM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1209 P: 325

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT**.

1. Description of property (legal description): W1/2, SW1/4 NE1/4, NE1/4, EX (D) in SW Corner  
a) Street (job) Address: \_\_\_\_\_
2. General description of improvements: Add Metal Storage Bldg
3. Owner Information  
a) Name and address: Billie Heflin 474 SE Bald Eagle Loop, Lake City FL 32025  
b) Name and address of fee simple titleholder (if other than owner) N/A  
c) Interest in property 100%
4. Contractor Information  
a) Name and address: TNT Metal Buildings Inc. 484 NW Turner Ave., Lake City FL 32053  
b) Telephone No.: 386-754-2177 Fax No. (Opt.) \_\_\_\_\_
5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
6. Lender  
a) Name and address: N/A  
b) Phone No. \_\_\_\_\_
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER:** ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA  
COUNTY OF COLUMBIA

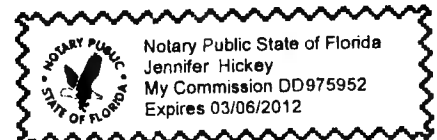
10. Billie Heflin  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Billie Heflin  
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 1st day of February, 20 11, by:

Billie Heflin as owner (type of authority, e.g. officer, trustee, attorney  
fact) for Billie Heflin (name of party on behalf of whom instrument was executed).

Personally Known ☒ OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

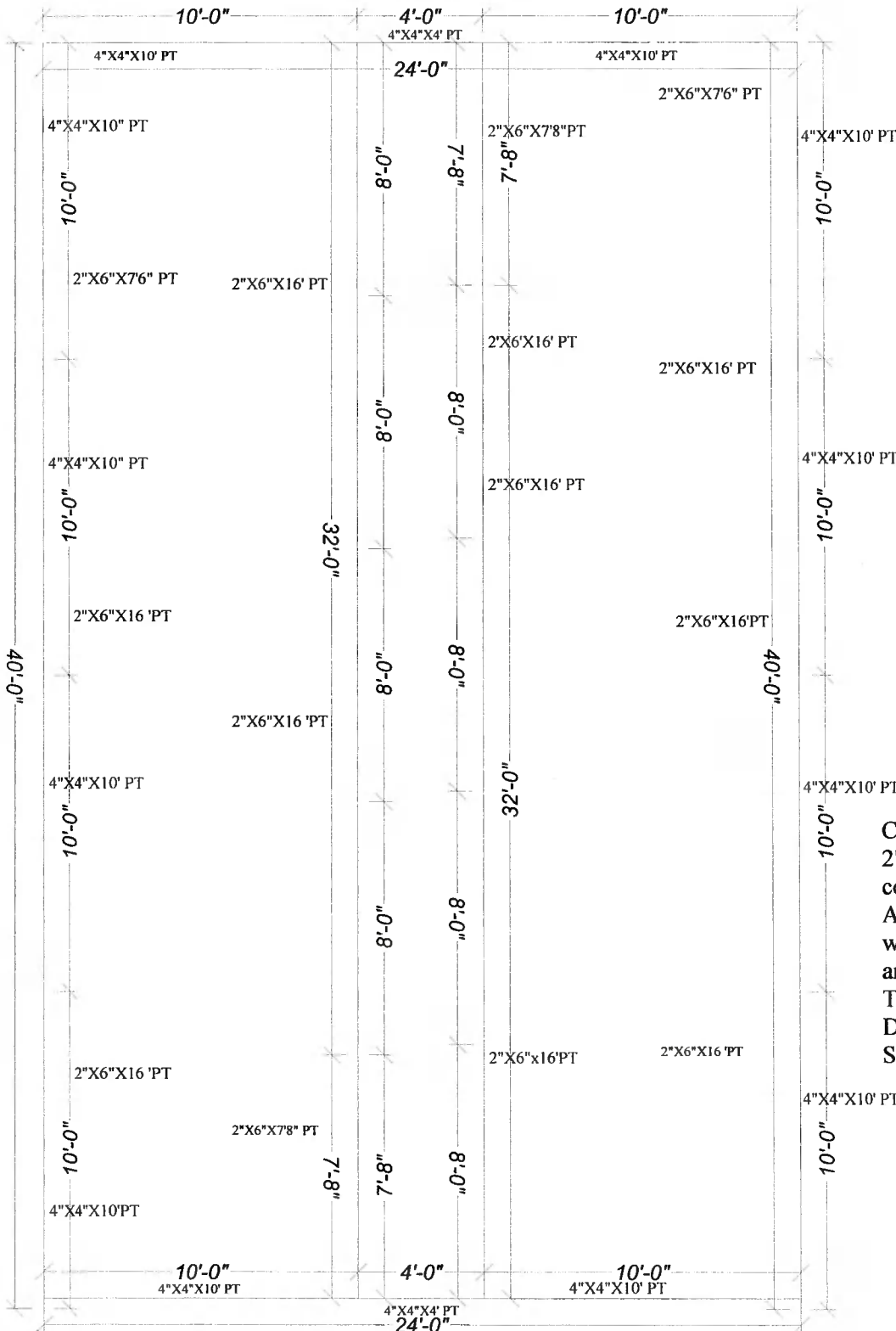
Notary Signature Jennifer Hickey Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Billie Heflin  
Signature of Natural Person Signing (in line #10 above.)

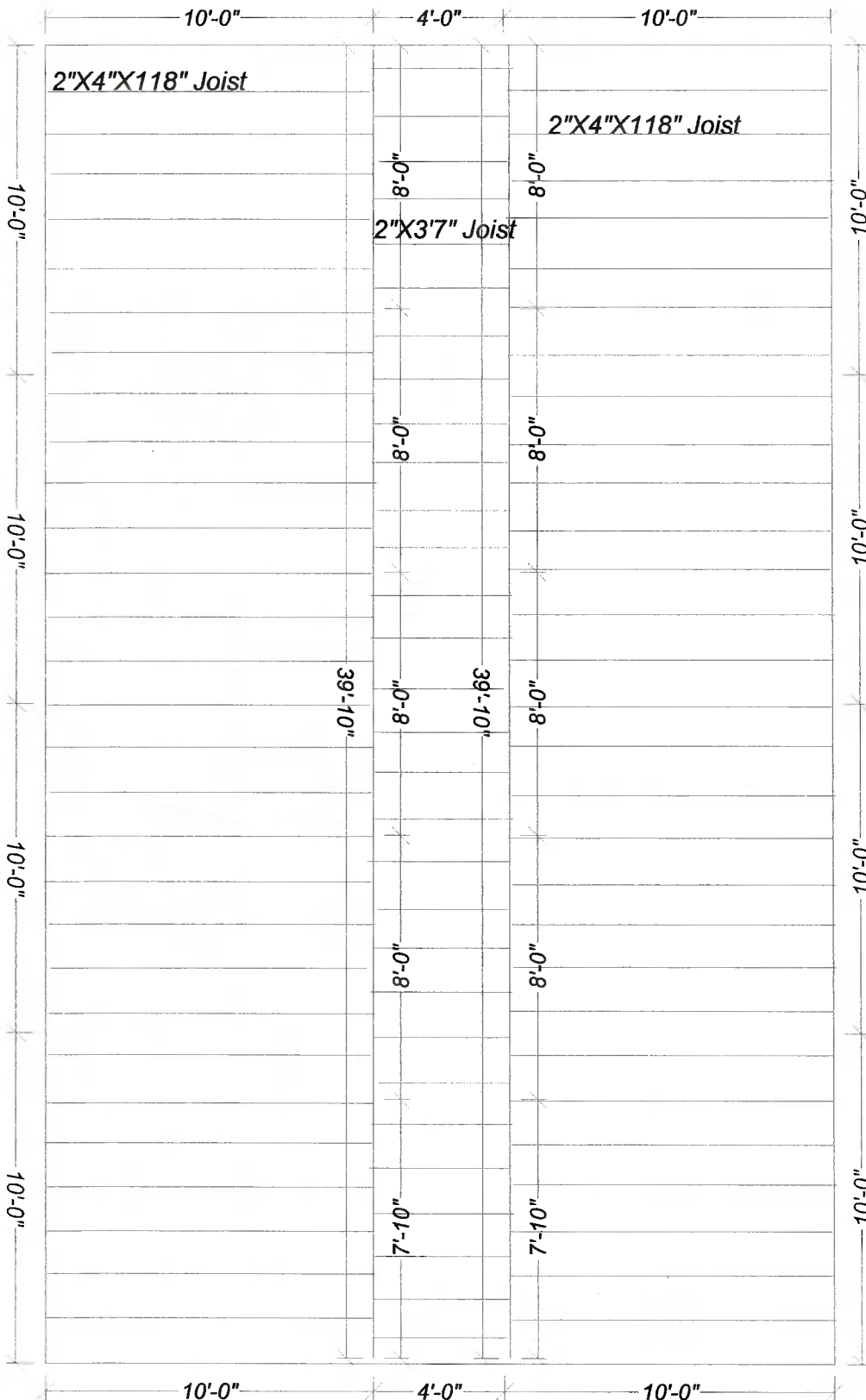
# SUPPORT FRAME



2"X6"X16'PT and  
2"X6"X7'6"PT  
are attached to top  
beam with  
wood glue and  
2.5"deck screws.

Corner Post 6"X6"X6'PT  
2"X6"X5' PT attached to  
corner post with concrete.  
All other post are 4"X4"X6'  
with concrete. All top beams  
are attached with Hurricane  
Ties, L-Bracket and 1.5"  
Deck  
Screws.

*Anthony H. H.*



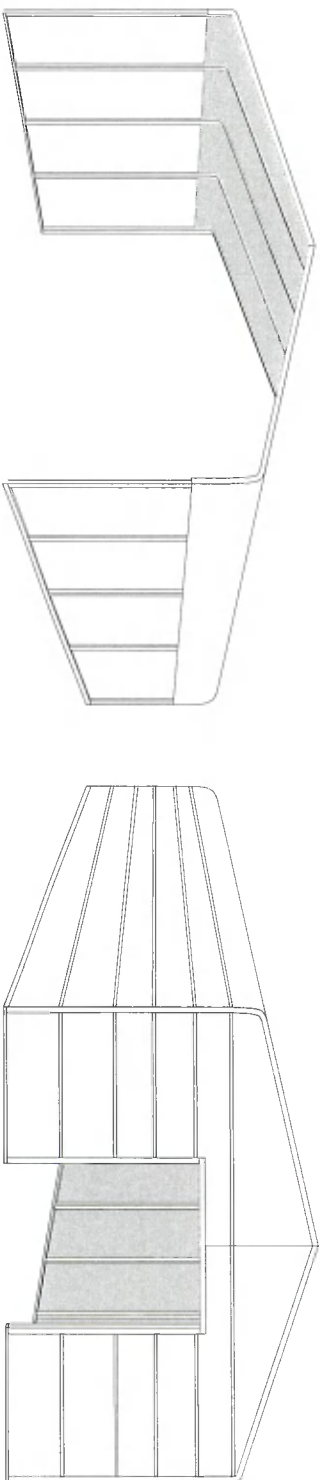
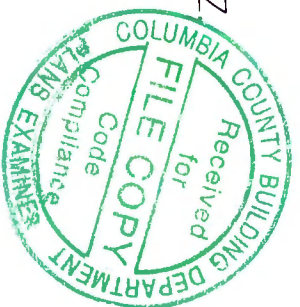
**2"x4"x118"**  
**Joist Mounted**  
**With 2 1/2"**  
**Deck Screws**  
**16" Off Center**  
**Mounted To A**  
**2"x6" Beam In**  
**A 2"x4"**  
**Bucket**

**Subflooring**  
**7/16"x4'x8'**  
**OSB Board**  
**Mounted To**  
**Floor Joist By**  
**1 1/8" Deck**  
**Screws**

*Anthony Hefl*



REGULAR / A-FRAME - VERTICAL / HORIZ  
1/2 THRU 30 CARPORTS  
(STATE OF FLORIDA)  
AS PER DESIGN CRITERIA



DESIGN NOTES	DESIGN CRITERIA	DRAWING INDEX
<ol style="list-style-type: none"> <li>ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2006, OSHA, AISC, ASCE7-05, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.</li> <li>SHELTER BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 9</li> <li>ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL</li> <li>ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.</li> <li>ALL FIELD CONNECTIONS SHALL BE TEKS #12 (1/4"x1")</li> <li>STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (RY=80KS) OR EQ.</li> <li>ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.</li> <li>STRUCTURAL TUBE TS2 1/2"x2 1/2" - 14GA. IS EQUIVALENT TO TS2 1/4"x2 1/4" - 12GA.</li> <li>STRUCTURAL TUBE TS2 1/4"x2 1/4" - 12GA. SHOULD BE ACCEPTED IN LIEU OF TS2 1/4"x2 1/4" - 14GA. FOR IT IS A BETTER STRUCTURAL TUBING.</li> </ol>	<p>PREVAILING CODE: FBC 2007 / 2009 AMENDMENTS</p> <p>USE GROUP: U (CARPORTS, BARN)</p> <p>BASIC WIND VELOCITY: 90 TO 150 MPH (SEE SCHEDULE)</p> <p>ROOF DEAD LOAD: 2.0 PSF</p> <p>ROOF LIVE LOAD: AS PER GROUND SNOW MIN. 20 PSF</p> <p>GROUND SNOW LOAD: 0 TO 30 PSF (SEE SCHEDULE)</p> <p>IMPORTANCE FACTOR = SNOW 0.8 WIND 0.87 SEISMIC 1.0</p> <p>SEISMIC DESIGN CATEGORY: A</p> <p>LOAD COMBINATIONS: DL+LL, 0.6DL+WL DL+0.75LL+0.75WL</p>	<ol style="list-style-type: none"> <li>COVER SHEET</li> <li>FLOOR PLAN</li> <li>REGULAR / AFRAME BLDG. SECTIONS</li> <li>SIDE ELEVATIONS</li> <li>SECTION DETAILS</li> <li>END WALL DETAILS</li> <li>OPENING DETAILS</li> <li>LEAN-TO OPTION</li> <li>ANCHORAGE</li> </ol>

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*Handwritten signature: MT*

**A & A ENGINEERING**  
CIVIL • STRUCTURAL  
SINCE 1986

5911 Renaissance Pl., Suite B  
Toledo, Ohio 43623

Tel: (419) 292-1985  
Fax: (419) 292-0955

**T-N-T**  
**Metal Buildings Inc.**  
170 Holly Springs Rd.  
Mt. Airy, NC 27030

1-800-597-3597  
MAIN - 1-336-789-3818  
FAX - 1-336-789-4122

OWNER: **TNT METAL BUILDING, INC.**

LOCATION: **FLORIDA**

DRAWING NO.: **TNT-FL**

DATE: **8/16/2010**

PROJECT NUMBER: **039-10-0920**

DRAWN BY: **JMS**

CHECKED BY: **OA**

DRAWING TITLE: **COVER**

SHEET NO.: **1 OF 9**

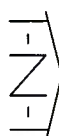
LICENSE EXPIRES: **02/28/2011**

DATE SIGNED: **11/5/2010**



**A & A ENGINEERING**  
CIVIL • STRUCTURAL  
SINCE 1996

5911 Renaissance Pl., Suite B Tel: (419) 292-1983  
Toledo, Ohio 43623 Fax: (419) 292-0955



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**FLORIDA**

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**TNT-FL**

**DATE:**

**8/16/2010**

**PROJECT NUMBER:**

**039-10-0920**

**DRAWN BY:**

**JMS**

**CHECKED BY:**

**OA**

**DRAWING TITLE:**

**FLOOR PLAN**

**SHEET NO.:**

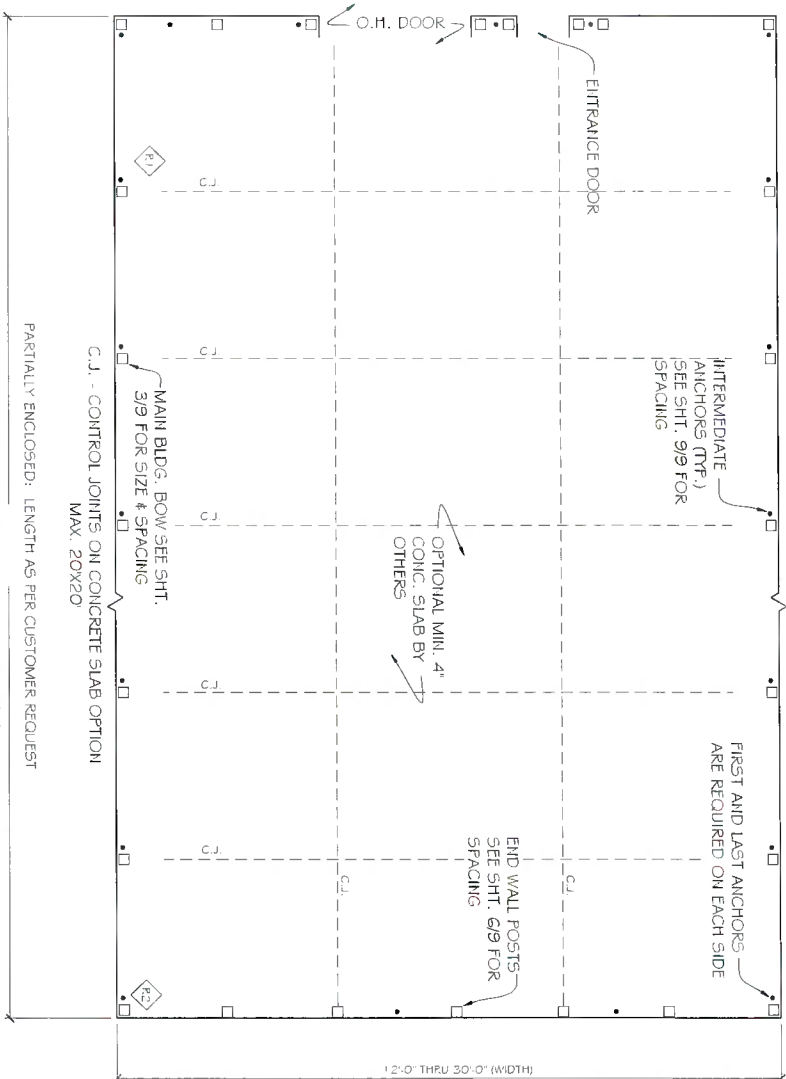
**2 OF 9**

**SEAL:**

**DATE SIGNED:**

**11/5/2010**

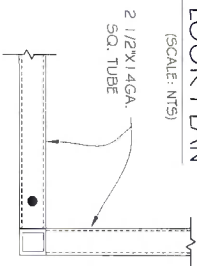
WINDOW/DOOR SIZES AND LOCATIONS  
PER CUSTOMER REQUEST



PARTIALLY ENCLOSED: LENGTH AS PER CUSTOMER REQUEST  
FULLY ENCLOSED: 12' THRU 20', MAX. LENGTH = 50'-0"  
22' THRU 30', MAX. LENGTH = 100'-0"

**FLOOR PLAN**

(SCALE: NTS)



**BASE CORNER ANCHOR**

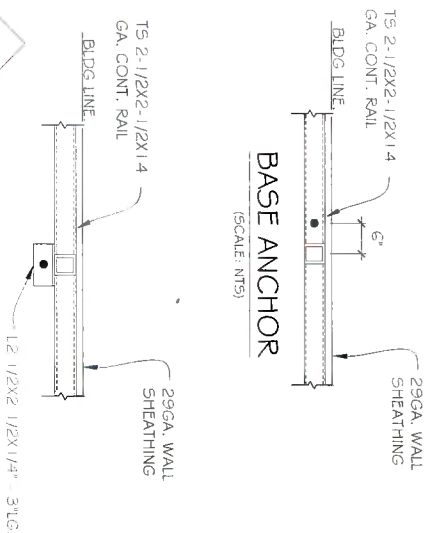
(SCALE: NTS)

**ANCHOR SPACING**

WIND SPEED (MPH)	CARPOT WIDTH
90 - 100	12' THRU 20' BUDS NEXT TO EVERY OTHER BOW - MIN. 4'
110 - 150	22' THRU 30' BUDS NEXT TO EVERY BOW

**BASE ANCHOR**

(SCALE: NTS)



**R1**

**ALTERNATE ANCHOR**

(SCALE: NTS)

• ANCHOR, SEE OPTIONS  
AND SPACING SHEET 9/9

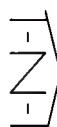
**R2**

**ALTERNATE CORNER ANCHOR**

(SCALE: NTS)

• FIRST AND LAST ANCHORS  
ARE REQUIRED IN EACH SIDE





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Mr. Aiky, NC 27030

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**OWNER:**  
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**LOCATION:** FLORIDA

**DRAWING NO.:** TNT-FL

**DATE:** 8/16/2010

**PROJECT NUMBER:**  
039-10-0920

**DRAWN BY:** JMS

**CHECKED BY:** OA

**DRAWING TITLE:**

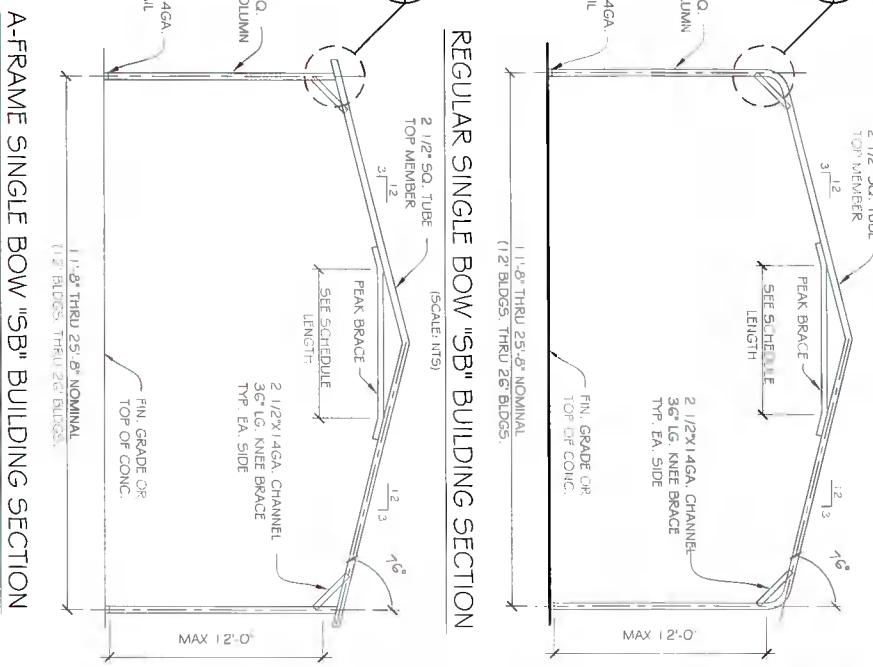
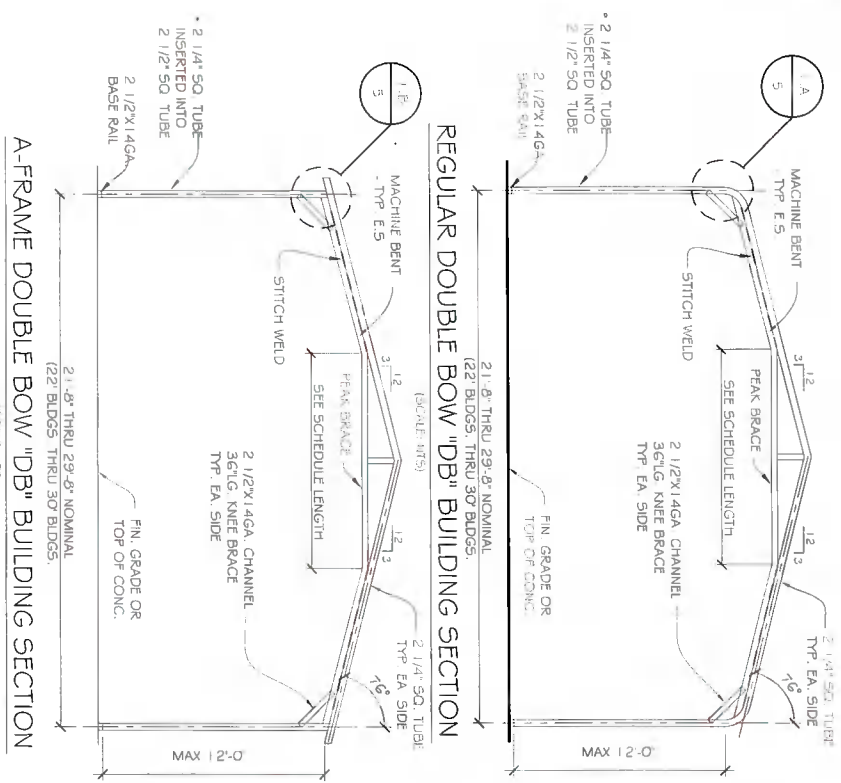
**TYP BLDG. SECTION**

**SHEET NO.:** 3 OF 9

SCALE:

*[Handwritten signature]*

**DATE SIGNED:** 11/5/2010



**PEAK BRACE SCHEDULE**

WIDTH	SIZE	LENGTH
12	2 1/2x14GA. CHANNEL	2'-0"
14	2 1/2x14GA. CHANNEL	4'-0"
16	2 1/2x14GA. CHANNEL	6'-0"
18	2 1/2x14GA. CHANNEL	6'-0"
20-22	2x14GA. SQ. TUBE	10'-0"
24-26	2x14GA. SQ. TUBE	14'-0"
28-30	2x14GA. SQ. TUBE	16'-0"

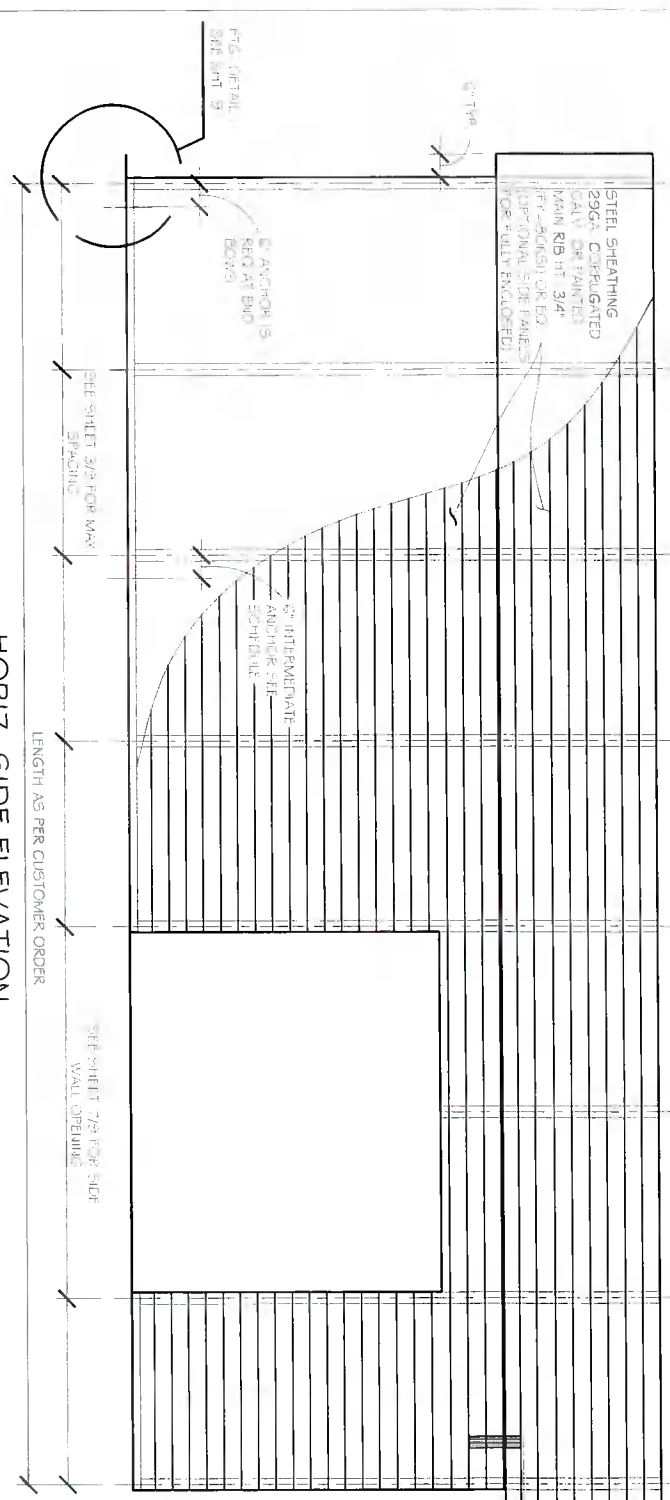
**BOW SCHEDULE (TOP & COLUMN MEMBERS GAUGE AND SPACING)**

WIND (MPH)	90 - 100		110 - 120		130 - 150	
	BLDG. & WIDTH		BLDG. & WIDTH		BLDG. & WIDTH	
65 / LL	12-20	22-26	28-30	12-20	22-26	28-30
20 / 20	F 14GA. 5.B. @ 60"	12GA. 5.B. @ 54"	14GA. D.B. @ 54"	14GA. 5.B. @ 60"	12GA. 5.B. @ 54"	14GA. D.B. @ 40"
	P 14GA. 5.B. @ 60"	12GA. 5.B. @ 54"	14GA. D.B. @ 54"	14GA. 5.B. @ 54"	12GA. 5.B. @ 54"	14GA. D.B. @ 40"
30 / 20	F 14GA. 5.B. @ 60"	12GA. 5.B. @ 60"	14GA. D.B. @ 54"	12GA. 5.B. @ 54"	12GA. 5.B. @ 40"	14GA. D.B. @ 40"
	P 14GA. 5.B. @ 54"	12GA. 5.B. @ 40"	14GA. D.B. @ 54"	12GA. 5.B. @ 40"	12GA. 5.B. @ 42"	14GA. D.B. @ 40"

S.B. = SINGLE BOW  
D.B. = DOUBLE BOW  
F = FULLY ENCLOSED (CLOSED)  
P = PARTIALLY ENCLOSED (OPEN)  
G.S. = GROUND SNOW  
L.L. = LIVE LOAD

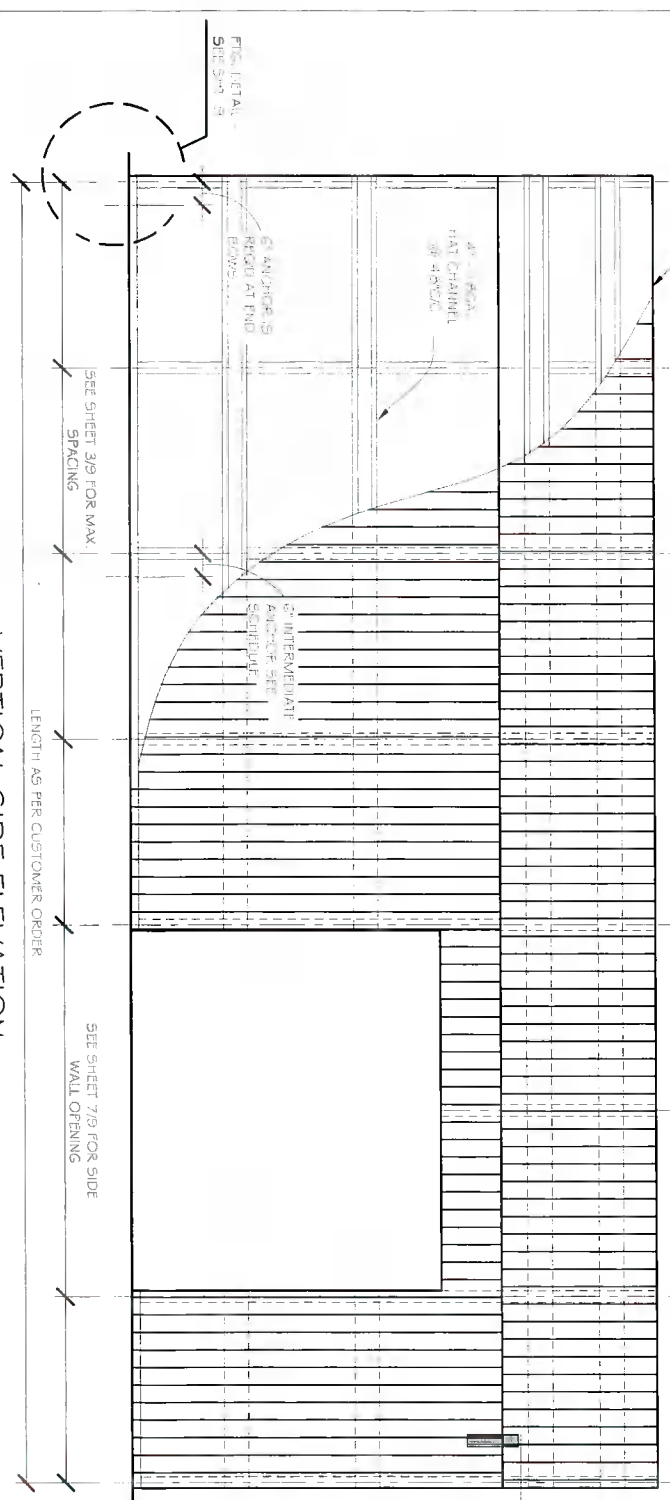
\* INSERT TO BE FULL HEIGHT. FIELD BOLT W/ TKS  
# 1/2" @ 12" C/C - STAGGER OPPOSITE FACE

STEEL SHEATHING  
29GA. CORRUGATED  
PALLY OR PAINTED  
MAIN RIB HT 3/4"  
RIFT-JOINT OR END  
JOINT-ON RIB SIDE PANELS  
(FOR FULLY ENCLOSED)



HORIZ. SIDE ELEVATION

(SCALE: NTS)



VERTICAL SIDE ELEVATION

(SCALE: NTS)



5911 Renaissance Pl., Suite B  
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Tel: (419) 292-1083  
Fax: (419) 292-0055



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OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 8/16/2010

PROJECT NUMBER:

039-10-0920

DRAWN BY: JMS

CHECKED BY: OA

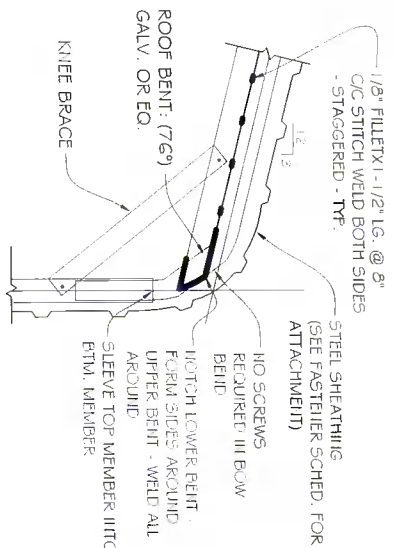
DRAWING TITLE:

SIDE ELEVATIONS

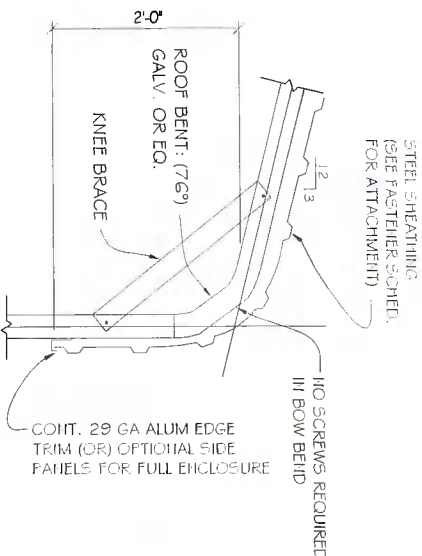
SHEET NO.: 4 OF 9

DATE SIGNED: 11/5/2010

*Handwritten signature*

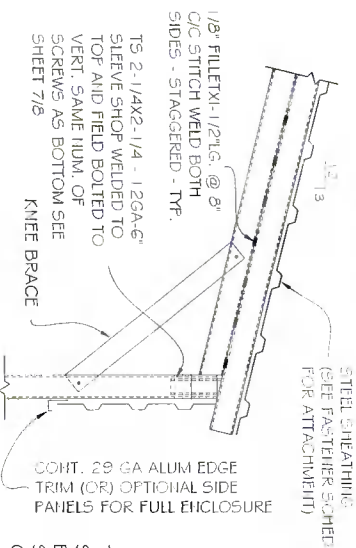


**REGULAR DOUBLE BOW**  
SECTION DETAIL  
(SCALE: NTS)  
1.A  
3

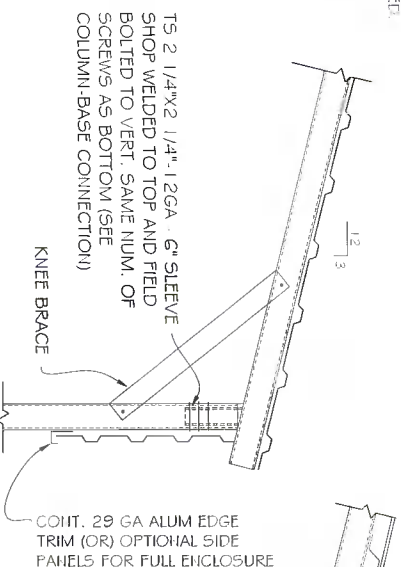


**REGULAR SINGLE BOW**  
SECTION DETAIL  
(SCALE: NTS)  
2.A  
3

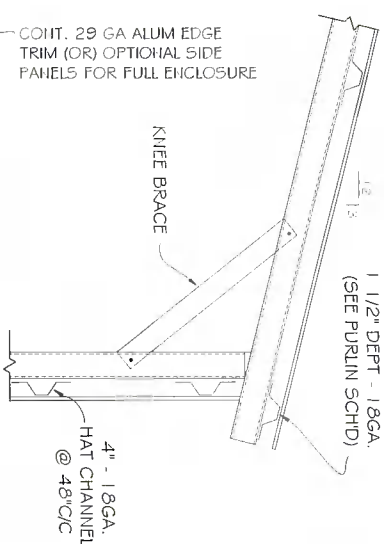
PURLIN SCHD.	
SNOW LOAD	HAT CHANNEL SPACING
20	48" C/C



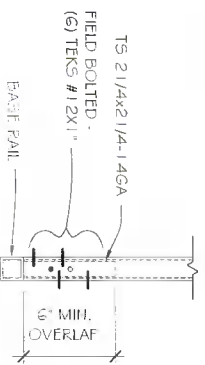
**A-FRAME DOUBLE BOW**  
SECTION DETAIL  
(SCALE: NTS)  
1.B  
3



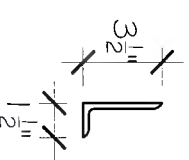
**A-FRAME SINGLE BOW**  
SECTION DETAIL  
(SCALE: NTS)  
2.B  
3



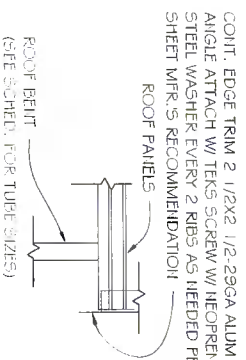
**TYPICAL A-FRAME VERTICAL**  
SECTION DETAIL  
(SCALE: NTS)



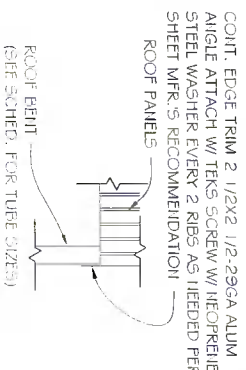
**COLUMN/ BASE RAIL DETAIL**  
(SCALE: NTS)



**TRIM DETAIL**  
(SCALE: NTS)



**EDGE DETAIL**  
(SCALE: NTS)  
1  
4



**EDGE DETAIL**  
(SCALE: NTS)  
2  
4

**A & A ENGINEERING**  
CIVIL • STRUCTURAL  
SINCE 1986  
5911 Renaissance Pl., Suite B  
Tideley, Ohio 43023  
Tel: (419) 292-1983  
Fax: (419) 292-0955

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**LOCATION:**  
FLORIDA  
**DRAWING NO.:**  
TNT-FL  
**DATE:**  
8/16/2010  
**PROJECT NUMBER:**  
039-10-0920  
**DRAWN BY:**  
JMS  
**CHECKED BY:**  
OA  
**DRAWING TITLE:**  
SECTION DETAILS  
**SHEET NO.:**  
5 OF 9

**DATE SIGNED:**  
11/5/2010

5911 Renaissance Pl., Suite B  
Tel: (419) 292-1983  
Toledo, Ohio 43623 Fax: (419) 292-0955

$$\left. \begin{array}{c} \text{---} \\ | \\ \text{---} \\ \diagup \\ \text{---} \\ | \\ \text{---} \end{array} \right\}$$

# Metal Buildings Inc.

170 Holly Springs Rd.

MT. AIRY, NC 27030

1-800-597-3597

MAIN - 1-336-789-3818

FAX - 1-336-789-4122

OWNER:

**TNT METAL BUILDING, INC.**

LOCATION: FLORIDA

DRAWING NO.: TNT-EI

DATE: 8/16/2010

PROJECT NUMBER:

039-10-0920

DRAWN BY: IMS

CHECKED BY: OA

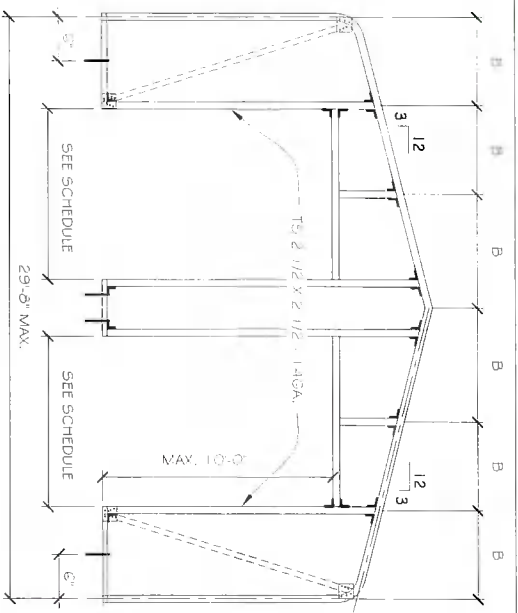
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## END WALL DETAILS

SHEET NO.: 2050

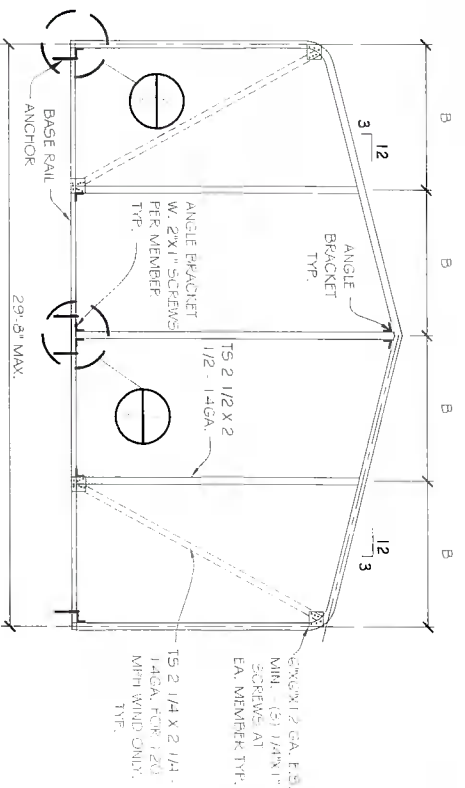
6 OF 9

SEAL:



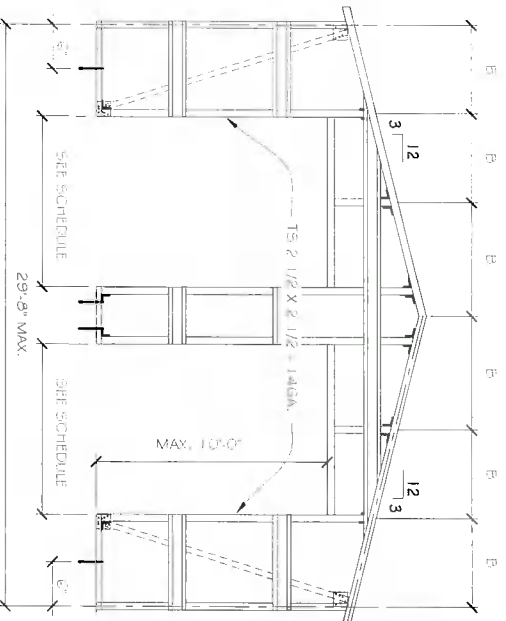
REGULAR END WALL W/ OPENING

(SCALE: NTS)



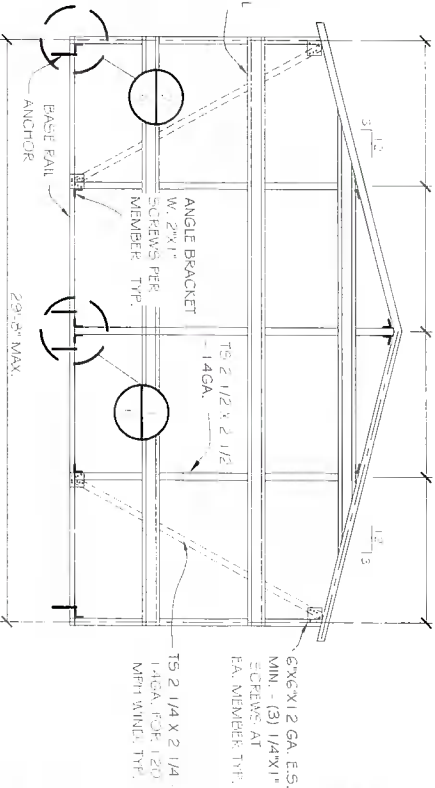
REGULAR END WALL

(SCALE: NTS)



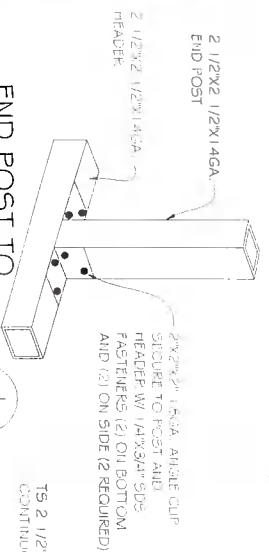
A-FRAME/END WALL W/ OPENING

(SCALE: NTS)

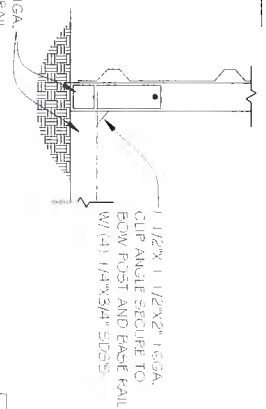


A-FRAME END WALL

(SCALE: NTS)



END POST TO  
HEADER/RAIL CONN.

(5)  $\text{VAL} \cdot \text{ITS}$ 

END BOW/BASE RAIL  
CONNECTION

SCALE: (METS)

CARPORT WIDTH	MAX. DOOR WIDTH	HEADER SIZE
12'-1'6"	8'	T5 2 1/4X 2 1/4 - 12GA.
15'	10'	T5 2 1/4X 2 1/4 - 12GA.
20'-22'	12'	T5 2 1/4X 2 1/4 - 12GA.
24'-30'	14'	DBL T5 2 1/4X 2 1/4 - 14GA.

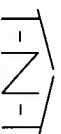
MAX. END WALL OPENING

MAX. POST SPACING "B"

END WALL SCHEDULE

EIND WALL SCHEDULE		
WILD	POST SPACING "B"	ANCHORS
90 - 120	5'-0" C/C	EVERY OTHER BAY "B"
130 - 150	4'-0" C/C	EVERY BAY "B"

DATE SIGNED: 11/5/2010



## Metal Buildings Inc.

170 Holly Springs Rd.  
Mr. Airy, NC 27030

1-800-597-3397  
MAIN - 1-336-789-3818  
FAX - 1-336-789-4122

### OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 8/16/2010

PROJECT NUMBER:

039-10-0920

DRAWN BY: JMS

CHECKED BY: OA

DRAWING TITLE:

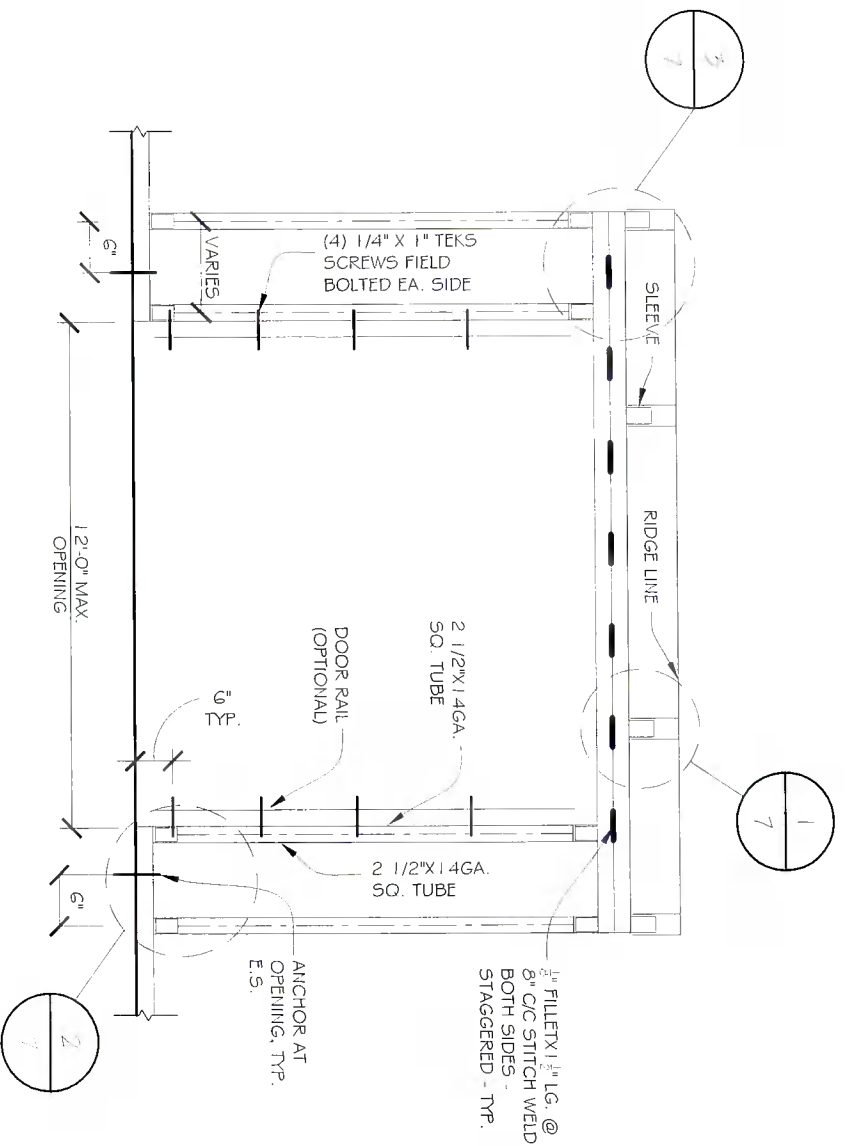
**SIDE WALL  
OPENING DETAILS**

SHEET NO.: 7 OF 9

SCALE:

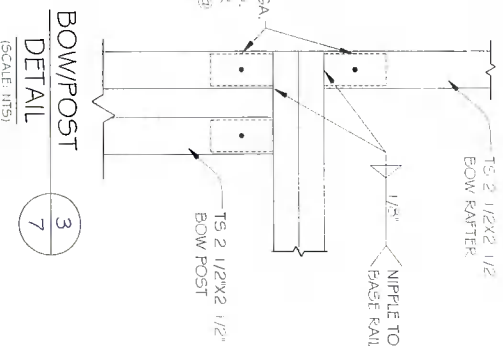
*OA*

DATE SIGNED: 11/5/2010



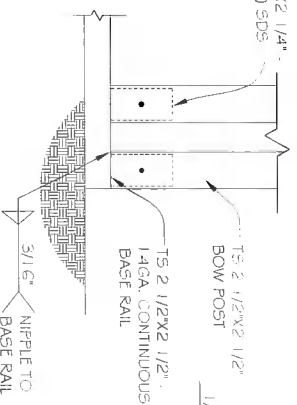
**TYPICAL FRAMING AT SIDE OPENINGS**

(SCALE: NTS)



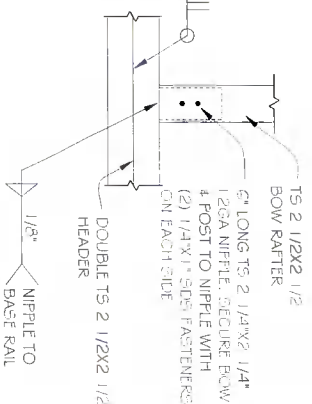
**BOW/POST  
DETAIL**

(SCALE: NTS)



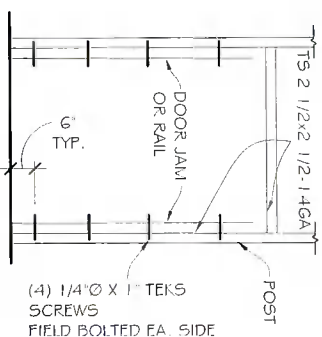
**BOW/BASE RAIL  
CONN. DETAIL**

(SCALE: NTS)



**BOW/HEADER  
DETAIL**

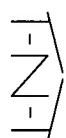
(SCALE: NTS)



**TYPICAL DOOR  
FRAMING**

(SCALE: NTS)





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## OWNER:

TNT METAL BUILDING, INC.

## LOCATION:

FLORIDA

## DRAWING NO.:

TNT-FL

## DATE:

8/16/2010

## PROJECT NUMBER:

039-10-0920

## DRAWN BY:

JMS

## CHECKED BY:

OA

## DRAWING TITLE:

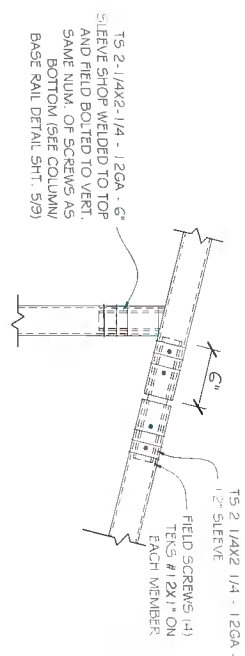
LEAN-TO OPTION

## SHEET NO.:

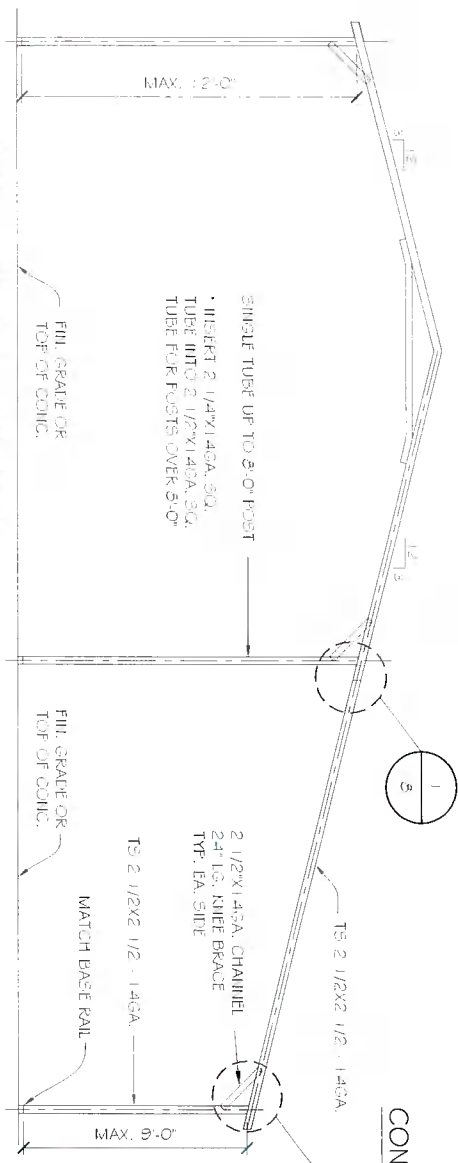
8 OF 9

## SEAL:

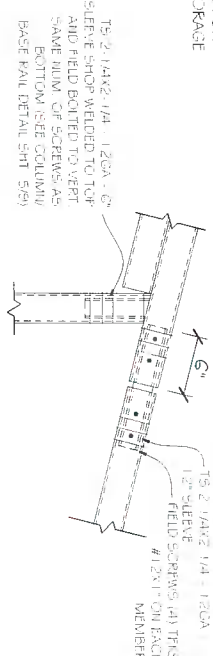
DATE SIGNED: 11/5/2010



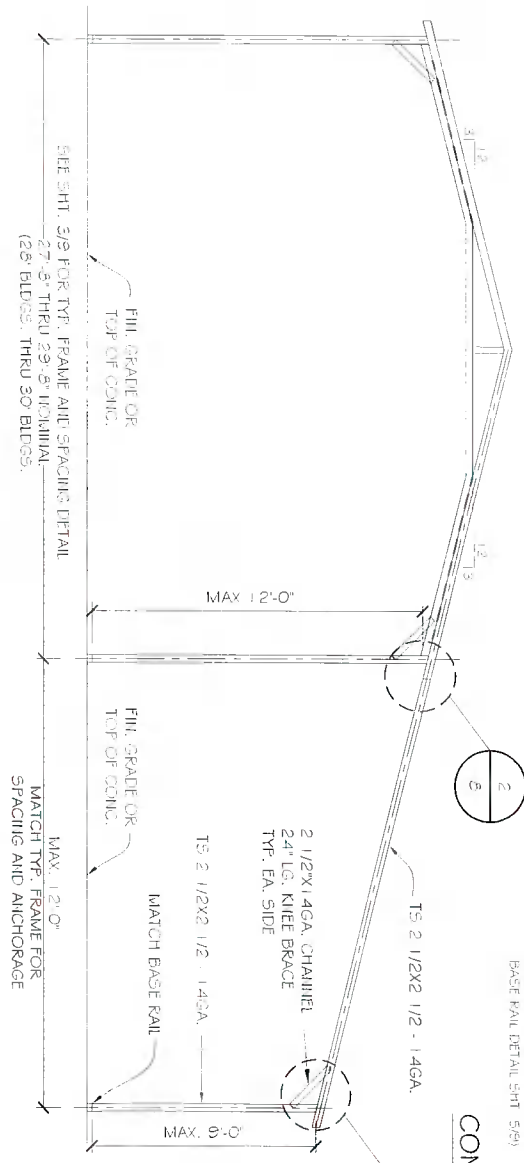
CONNECTION DETAIL  
(SCALE: NTS)



A-FRAME OR REGULAR "SB" LEAN-TO OPTION  
(SCALE: NTS)



CONNECTION DETAIL  
(SCALE: NTS)

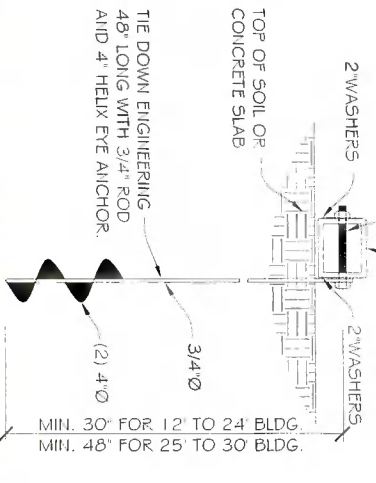


A-FRAME OR REGULAR "DB" LEAN-TO OPTION  
(SCALE: NTS)

QA

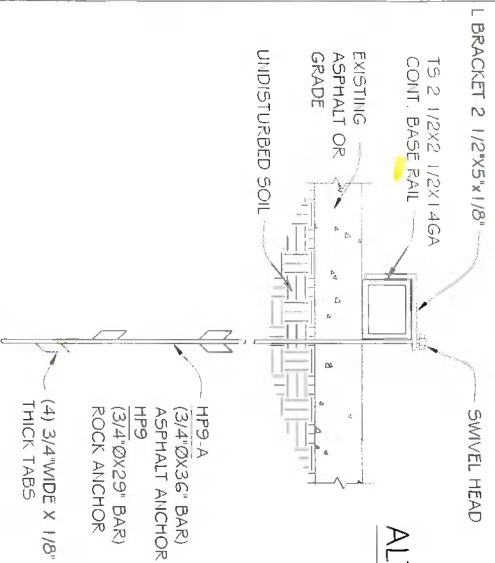


DRILL 5/8" HOLE THROUGH THE BASE RAIL AND SECURE TO ANCHOR EYE WITH 1/2" DIAMETER THROUGH BOLT.

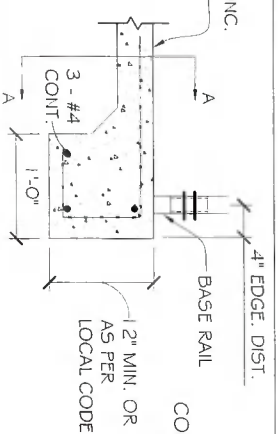


## OPTIONAL MOBILE HOME ANCHOR FOR SAND/CLAY

(SCALE: NTS)

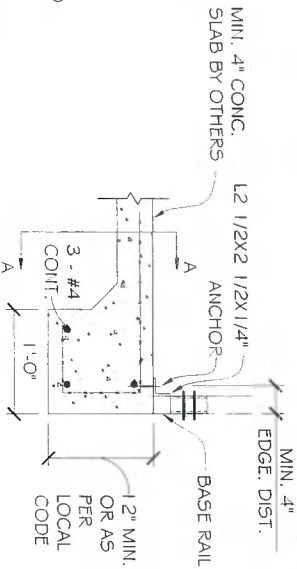


MIN. 4" CONC. SLAB BY OTHERS



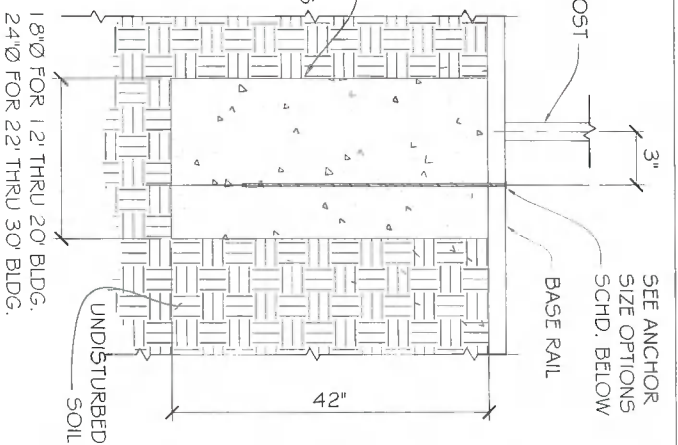
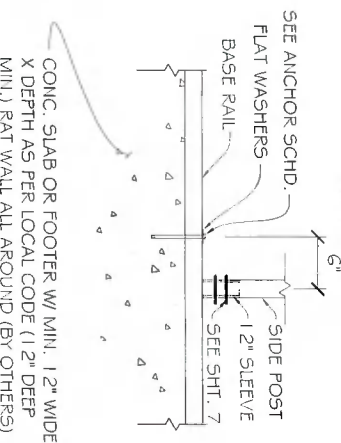
## BASE OPTIONAL ANCHOR ON CONC. SLAB SECTION

(SCALE: NTS)



## ALTERNATE, FRAME FLUSH W/ CONC.

(SCALE: NTS)



## PIN ANCHOR DETAIL ON CONCRETE PIER FOOTING

(SCALE: NTS)

NOTE:  
ON LEVEL GRADE DIG A 1 8/16\"/>

## SOIL CLASSIFICATIONS:

SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE #1 OR CEMENTED SANDS, COURSE GRAVEL AND COBBLES, COLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL.

## SECTION A-A

(SCALE: NTS)

NOTE:  
1: SEE SHT. 2 AND 6 FOR ANCHOR REQUIREMENTS  
2: ASSUMED SOIL BEARING CAPACITY IS 1500 PSF  
3: CONCRETE STRENGTH TO BE 2500 PSI AT 28 DAYS

## ANCHOR SIZE OPTIONS SCHEDULE

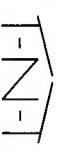
(SCALE: NTS)

WIND SPEED (MPH)			REMARKS	CARPORT WIDTH
90 - 120	130 - 150			
1	5/8"ØX20"	3/4"ØX20"		
2	5/8"ØX7"	3/4"ØX10"	INSERT W/ EPOXY IN CONC.	ALL SIZES
3	5/8"ØX7"	3/4"ØX10"	EXPANSION BOLTS	ALL SIZES
4	5/8"ØX7"	3/4"ØX10"	WEDGE ANCHORS IN CONC.	ALL SIZES

HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.  
\*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"

**A & A ENGINEERING**  
CIVIL • STRUCTURAL  
SINCE 1986

5911 Renaissance Pl., Suite B  
Tolledo, Ohio 43623  
Tel: (419) 292-1083  
Fax: (419) 292-0955



**Metal Buildings Inc.**

170 Holly Springs Rd.  
Mr. Aury, NC 27030

1-800-597-3597  
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OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

8/16/2010

PROJECT NUMBER:

039-10-0920

DRAWN BY:

JMS

CHECKED BY:

OA

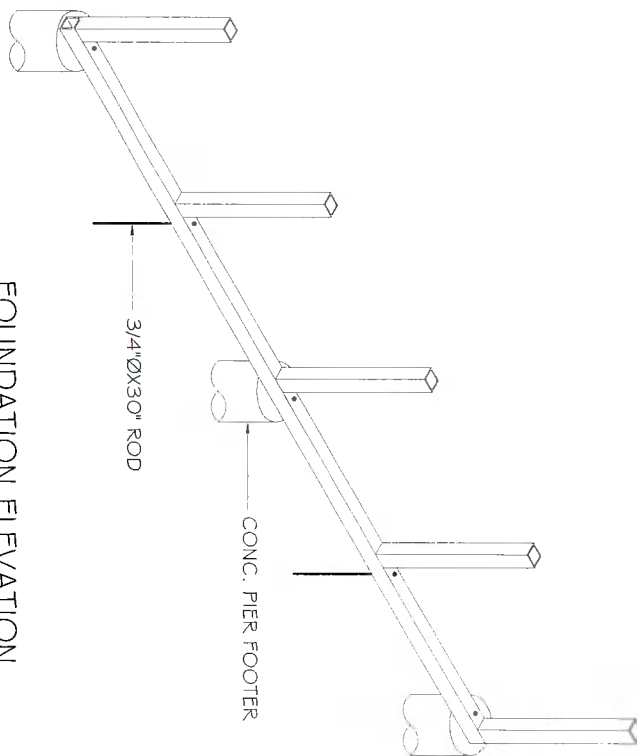
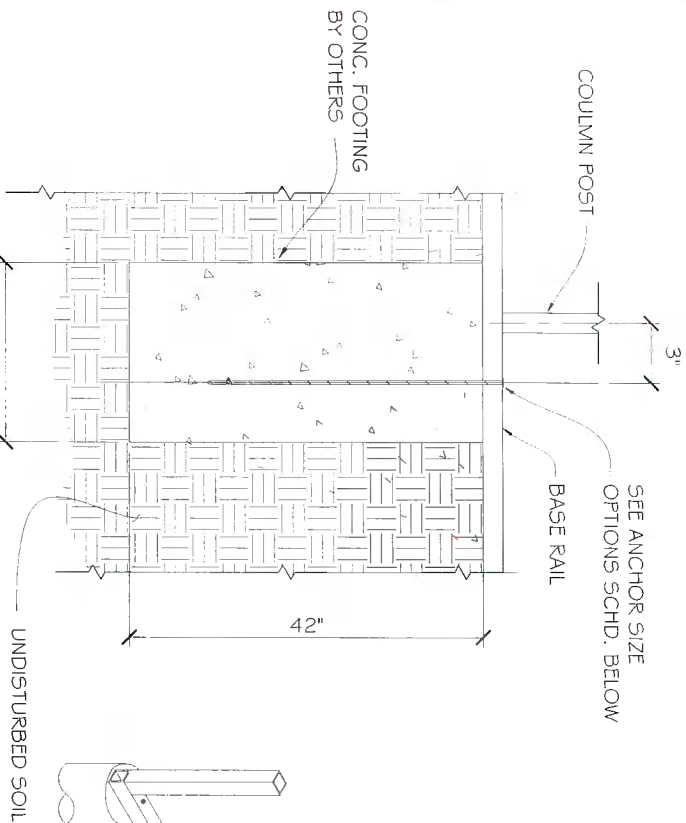
DRAWING TITLE:

**ANCHOR OPTIONS**

SHEET NO.:

9 OF 9

DATE SIGNED: 11/5/2010



FOUNDATION ELEVATION

(SCALE: NTS)

1.8"Ø FOR 12' THRU 20' BLDG.  
2.4"Ø FOR 22' THRU 30' BLDG.

## PIN ANCHOR DETAIL ON CONCRETE PIER FOOTING

(SCALE: NTS)

NOTE:  
ON LEVEL GRADE DIG A 1.8"Ø HOLE 42" DEEP AT EACH ANCHOR POINT, REPOSITION BASE RAILS OVER HOLES AND DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

### NOTES:

1. CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" C/C SPACING IN ANY DIRECTION
2. ALL OTHER POSTS WITH NO CONCRETE PIER ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"Ø 30" L.G. RODS. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1,500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

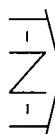
## ANCHOR SIZE OPTIONS SCHEDULE

	WIND SPEED (MPH)		REMARKS	CARPORT WIDTH
	90 - 120	130 - 150		
1	5/8"ØX20"	3/4"ØX20"	THRD. ROD EMBED IN CONG.	ALL SIZES
2	5/8"ØX7"	3/4"ØX10"	INSERT W/ EPOXY IN CONG.	ALL SIZES
3	5/8"ØX7"	3/4"ØX10"	EXPANSION BOLTS	ALL SIZES
4	5/8"ØX7"	3/4"ØX10"	WEDGE ANCHORS IN CONG.	ALL SIZES



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1-800-597-3597  
MAIN - 1-336-789-3818  
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### OWNER:

TNT METAL BUILDING, INC.

### LOCATION:

FLORIDA

### DRAWING NO.:

TNT-FL

### DATE:

8/16/2010

### PROJECT NUMBER:

039-10-0920

### DRAWN BY:

JMS

### CHECKED BY:

OA

### DRAWING TITLE:

**ANCHOR OPTION  
PIER FOOTER**

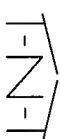
### SHEET NO.:

**9 OF 9**

SEAL:

*MA*

DATE SIGNED: 11/5/2010



**Metal Buildings Inc.**

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DRAWING NO.:

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039-10-0920

DRAWN BY:

JMS

CHECKED BY:

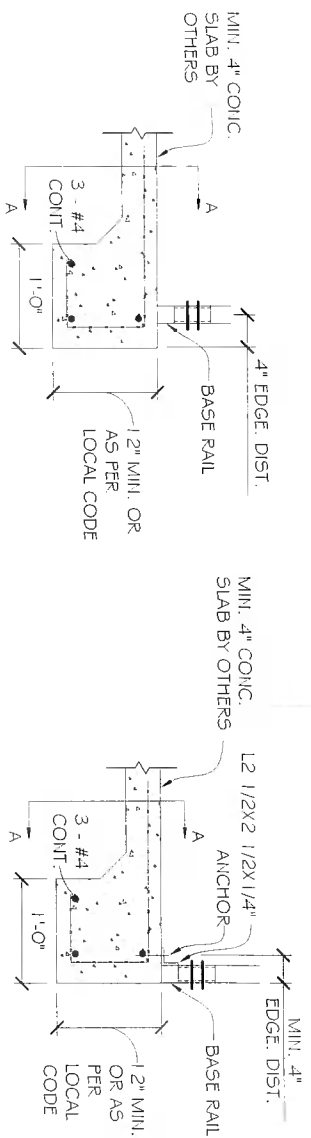
OA

DRAWING TITLE:

**CONC. SLAB  
ANCHORAGE**

SHEET NO.:

9 OF 9

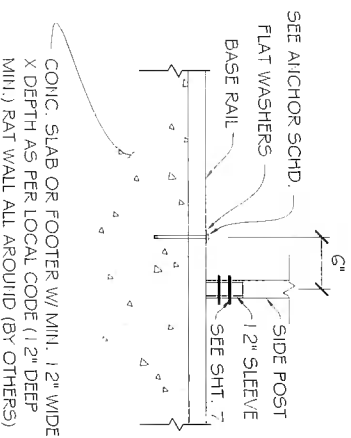


**BASE ANCHOR  
ON CONC. SLAB SECTION**

(SCALE: NTS)

**ALTERNATE, FRAME  
FLUSH W/ CONC.**

(SCALE: NTS)



**SECTION A-A**

(SCALE: NTS)

**ANCHOR SIZE OPTIONS SCHEDULE**

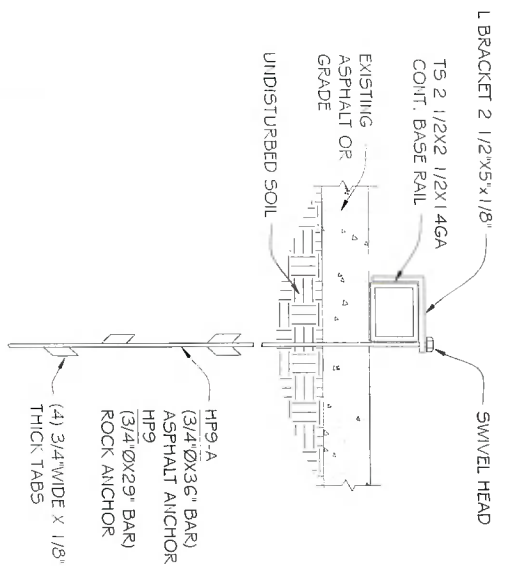
WIND SPEED (MPH)	BASE ANCHOR			ALTERNATE ANCHOR		REMARKS	CARPORT WIDTH	
	90 - 120	130 - 150	90 - 120	130 - 150	90 - 120			130 - 150
1	5/8"Ø	3/4"Ø	7"	10"	5"	7"	INSERT W/ EPOXY IN CONC.	ALL SIZES
2	5/8"Ø	3/4"Ø	7"	10"	5"	7"	EXPANSION BOLTS	ALL SIZES
3	5/8"Ø	3/4"Ø	7"	10"	5"	7"	WEDGE ANCHORS IN CONC.	ALL SIZES

**NOTE:**

1. PROVIDE A MIN. OF (1) ANCHOR AT ±6" FROM CENTER OF EACH POST
2. ALL ANCHORS SHALL BE A307 OR BETTER
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

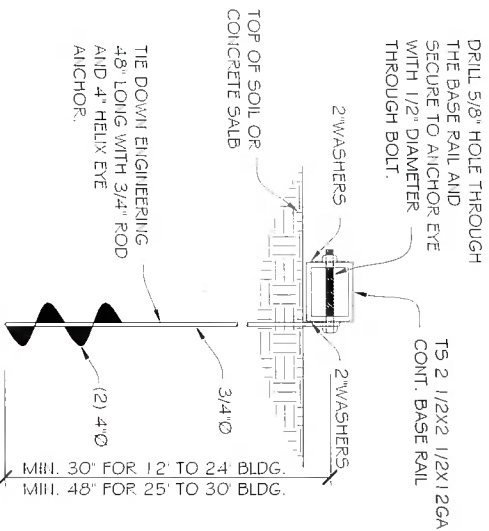
*AA*

DATE SIGNED: 11/5/2010

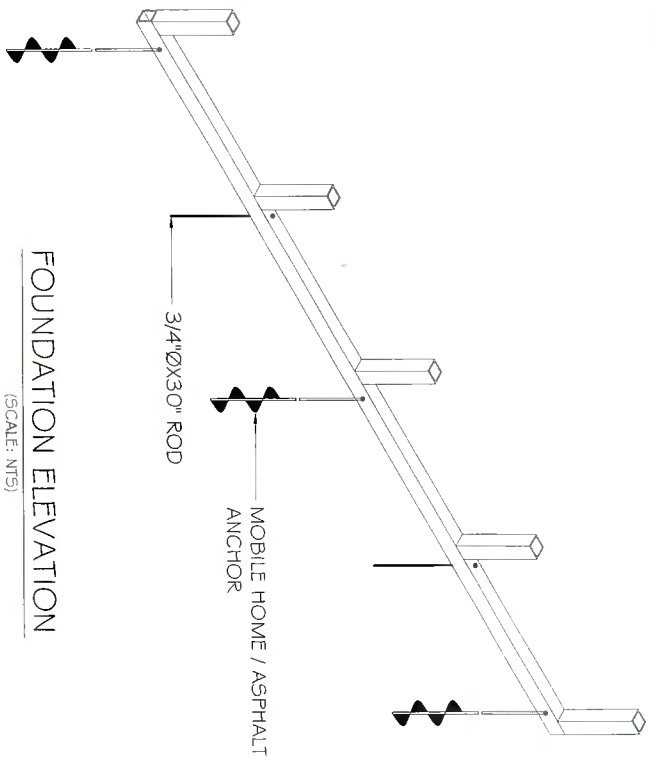


### OPTIONAL ASPHALT/ ROCK ANCHOR DETAIL

(SCALE: 1/16")



NOTE:  
HELICAL ANCHORS ARE NOT TO BE USED IF DRIVING TORQUE INTO GROUND IS LESS THAN 150 FT-LBS OR DON'T MEET ONE OF THE FOLLOWING SOIL CLASSIFICATIONS.



#### NOTES:

1. MOBILE HOME ANCHORS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10-0' O/C SPACING IN ANY DIRECTION.
2. ALL OTHER POSTS WITH NO MOBILE HOME ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"x30" G. ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROVE PRIMER PAINT.
3. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
4. CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

#### SOIL CLASSIFICATIONS:

SOIL CLASS	SOIL DESCRIPTION
2	VERY DENSE #7 OR CEMENTED SANDS, COURSE GRAVEL AND COBBLES, COLICHE, PRELOADED SILT AND CLAYS
3	MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL.

HELICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

\*TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"



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TNT

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#### OWNER:

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#### LOCATION:

FLORIDA

#### DRAWING NO.:

TNT-FL

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039-10-0920

#### DRAWN BY:

JMS

#### CHECKED BY:

OA

#### DRAWING TITLE:

**ANCHORAGE**

#### SHEET NO.:

9 OF 9

SCALE:

*[Handwritten signature]*

DATE SIGNED: 11/5/2010



**Columbia County Building Permit Application**

ck# 1095

<b>For Office Use Only</b>		Application # <u>1102-04</u>	Date Received <u>2-3-11</u>	By <u>CU</u>	Permit # <u>29180</u>
Zoning Official <u>BLK</u>	Date <u>10.02.11</u>	Flood Zone <u>A</u>	Land Use <u>A-3</u>	Zoning <u>A-3</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>Z.C.</u>	Date <u>2-8-11</u>
Comments _____					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input checked="" type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Well letter <input type="checkbox"/> 911 Sheet <input type="checkbox"/> Parent Parcel # _____ <input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Auth. from Contractor <input checked="" type="checkbox"/> F W Comp. letter					
IMPACT FEES: EMS _____		Fire _____	Corr _____	<input checked="" type="checkbox"/> Sub VF Form	
Road/Code _____		School <u>Accession Use N/A</u>	TOTAL (Suspended) <input checked="" type="checkbox"/>		App Fee Paid <input checked="" type="checkbox"/>

Septic Permit No. X11-009 in Box Fax \_\_\_\_\_

Name Authorized Person Signing Permit Billie Heflin Phone 386-965-9734

Address 474 SE Bald Eagle Loop, Lake City FL 32025

Owners Name Billie Heflin Phone 386-965-9734

911 Address 1583 SW Nautilus Rd, Lake City, FL 32024

Contractors Name TNT Metal Buildings Inc Phone 386-754-2177

Address 484 NW Turner Ave, Lake City FL 32055

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address N/A

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 24-55-16-03700-002 Estimated Cost of Construction \$ 7343-

Subdivision Name N/A Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions 41/441(S) Tusculum (W) Nautilus (R) 1 1/2 mi - property on (R) across from Shepherd's Way

Number of Existing Dwellings on Property 0

Construction of Metal Building Total Acreage 4 Lot Size \_\_\_\_\_

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 12'

Actual Distance of Structure from Property Lines - Front 150 Side 50 Side 240 Rear 236

Number of Stories 1 Heated Floor Area 0 Total Floor Area 960 sq ft Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.** Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

Left a message  
2-11-10

**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

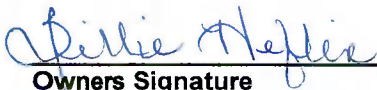
**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)



Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature (Permitee)

Contractor's License Number \_\_\_\_\_  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_ day of \_\_\_\_\_ 20\_\_.

Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)



# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 2/3/2011 DATE ISSUED: 2/4/2011

### ENHANCED 9-1-1 ADDRESS:

1583 SW NAUTILUS RD

LAKE CITY FL 32024

### PROPERTY APPRAISER PARCEL NUMBER:

24-5S-16-03700-002

### Remarks:

PROPOSED STRUCTURE ON PARCEL.

Address Issued By: \_\_\_\_\_

  
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

# **SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER \_\_\_\_\_ CONTRACTOR TNT Metal Buildings Inc PHONE 386-754-2177  
**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

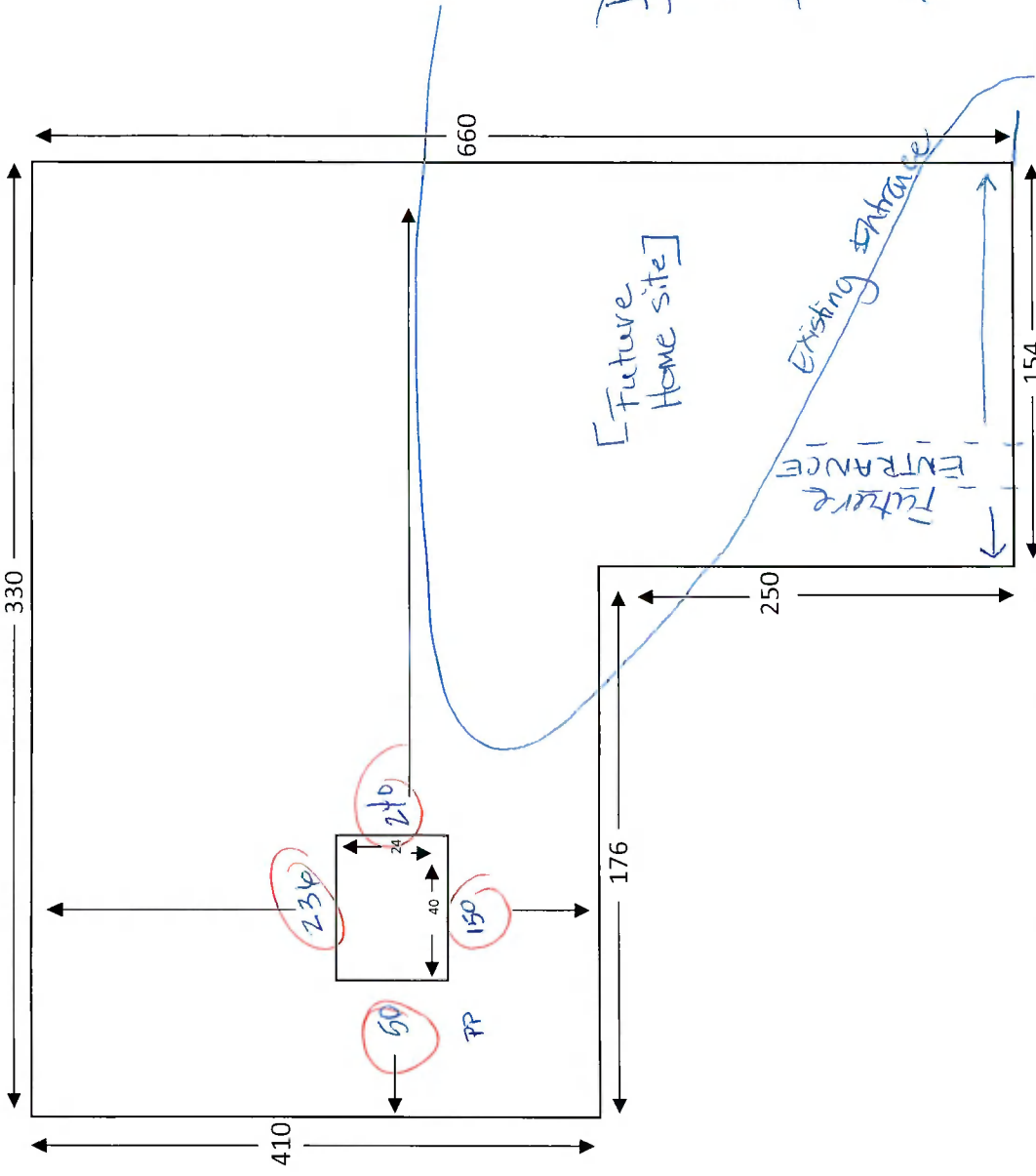
In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

***Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.***

<b>ELECTRICAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>MECHANICAL/ A/C _____</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>PLUMBING/ GAS</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>ROOFING</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SHEET METAL</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>FIRE SYSTEM/ SPRINKLER</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____
<b>SOLAR</b>	Print Name _____ License #: _____	Signature _____ Phone #: _____

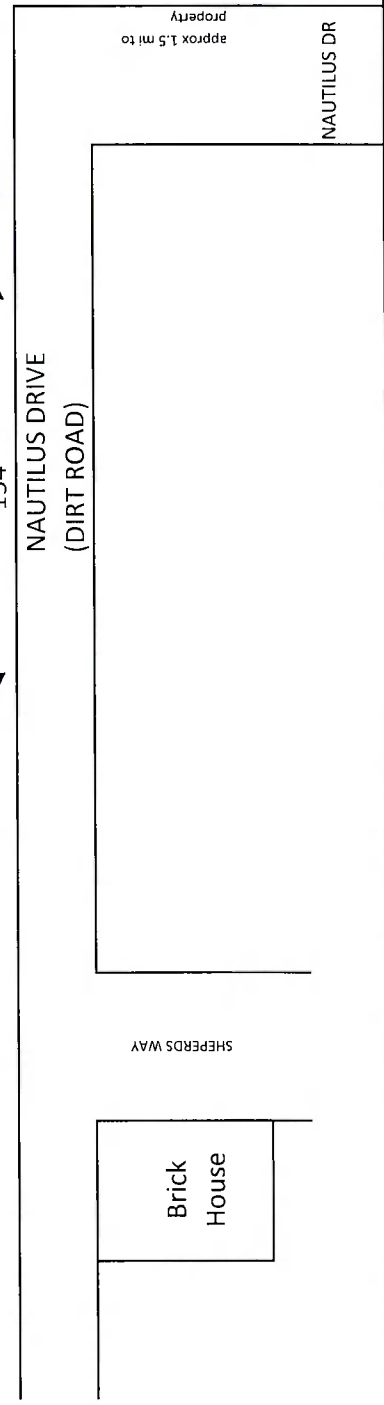
Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
* METAL BLDG ERECTOR	<u>SEC131149818</u>	<u>TNT Metal Buildings Inc</u>	<u>R. B. P...</u>

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



Directions from L/C

41/441 S  
 Tustenoogee W  
 Nautilus N  $\approx 1\frac{1}{2}$  mi  
 Prop almost directly across  
 from Shepherd's Way



*Billie Deffen*

### AGREEMENT FOR DEED

THIS AGREEMENT made and entered into this 9<sup>th</sup> day of September A.D. 2002 2010  
by and between Florida Holdings Trust whose Social  
Security Number(s) is(are) \_\_\_\_\_ hereinafter  
referred to as VENDOR and Billie Heflin  
Hereinafter referred to as the PURCHASER, whose Social Security Number(s) is (are)  
\_\_\_\_\_ and whose Post Office address  
is 159 N W Dudley Loop Lk City FL 32055.  
WITNESSETH:

THAT FOR AND IN CONSIDERATION of the mutual covenants, promises and  
agreements herein contained, the parties hereto do hereby agree as follows:

1. That if the PURCHASER shall first make the payments and perform the covenants  
hereinafter mentioned on the PURCHASER'S part to be made and performed, the  
said VENDOR hereby covenants and agrees to convey and assure to said  
PURCHASER, and the PURCHASER'S heirs, executors, administrators, or assigns,  
in fee simple, clear of all encumbrances not stated in this AGREEMENT FOR  
DEED, by a good and sufficient GENERAL WARRANTY DEED, the following  
described real estate situate in Columbia COUNTY, FLORIDA, to-wit:  
COMMENCE AT THE W 1/2 OF SW 1/4 OF NE 1/4 OF NE 1/4  
EX 1 AC in SW WR ORB 615-607 ORB 1170-1998  
Parcel ID 24-55-16-03700-002

Inst:201012014787 Date:9/14/2010 Time:2:08 PM  
Doc Stamp-Deed:209.30 Doc Stamp-Mort:104.65 Int Tax:59.80  
DC, P. DeWitt Cason, Columbia County Page 1 of 4 B:1201 P:803

2. That as and for the purchase price of the above described real estate, the  
PURCHASER does hereby covenant and agree to pay the VENDOR the principal  
sum of \$ 29,888 written as Twenty Nine Thousand Eight Hundred Eighty Eight dollars,  
in the manner following, to-wit: the sum of \$ 0 has  
been paid by the PURCHASER to the VENDOR, which is hereby acknowledged by  
the VENDOR; and the PURCHASER shall pay to the VENDOR the balance of said  
purchase price, to-wit: 29,888 together  
with interest on the unpaid balance thereof at the rate of 9.9 percentum  
(9.9%) per annum shall be paid in the manner following, to-wit: As Needed to Pay  
equal, consecutive, and monthly payments of \$ 250<sup>00</sup> each, each such  
payments shall be made on the 15<sup>th</sup> day of each month, commencing on  
October 15<sup>th</sup> 2010, and continuing thereafter until paid in full. OFF  
ALL SUCH PAYMENTS shall be made at PO Box 88 Lk City Florida, 32054  
or at such address or addresses as the VENDOR shall designate.

3. The PURCHASER shall have the right to prepay all or any portion of the aforesaid purchase price at any time without penalty, provided however, the PURCHASER shall also pay the accrued interest due at the time of such payment.
4. In the event that the sum paid upon the execution of this AGREEMENT is paid by check, this AGREEMENT shall not be binding or recorded until such check has been cleared for payment by the PURCHASER'S bank, and if not cleared within twenty (20) days from the date hereof, this AGREEMENT shall be void.
5. The PURCHASER acknowledges that the PURCHASER or the PURCHASER'S representative has made a personal inspection of the real estate described hereinabove.
6. The PURCHASER shall pay all the costs for the recording, Documentary Stamps, and Intangible Tax on this AGREEMENT FOR DEED. At the time the Special Warranty Deed referred to hereinabove is delivered, the PURCHASER shall pay for the preparation of said Deed and for the Documentary Stamps required to be affixed thereto, together with the recording of said Warranty Deed.
7. If any payment due hereunder continues unpaid for more than Five (5) days following the date said payment is due, the PURCHASER shall pay the VENDOR a late charge of ten percent (10) of such payment. If any payment is not paid within Thirty (30) days after such payment is due, the balance of the Principal shall bear interest at the rate of Eighteen percent (18) per annum after said date.
8. Upon compliance by the PURCHASER with all the terms, provisions and conditions hereof, including the payment of all principal and accrued interest, the VENDOR shall deliver to the PURCHASER a good and sufficient General Warranty Deed conveying to the PURCHASER the entire fee simple title to the real estate described hereinabove, free and clear of all liens and encumbrances except as otherwise described herein, and except for such liens and encumbrances as may arise through the action or inaction of the PURCHASER, his/her successors, heirs, assigns, or persons claiming by, through, under or against the PURCHASER subsequent to the date hereof. The VENDOR warrants that the title to the real estate described hereinabove can be insured by a title insurance company authorized to do business in the State of Florida. At the request and expense of the PURCHASER, the VENDOR agrees to obtain title insurance insuring the title to the real estate, containing only the usual exceptions, and any other exceptions referred to in this AGREEMENT FOR DEED.
9. The PURCHASER shall have the right to immediate possession of the real estate described hereinabove, and the risk of loss by fire or otherwise shall pass to the PURCHASER at the time of the execution of this AGREEMENT FOR DEED.



10. All real estate taxes and assessments levied upon the real estate described hereinabove for the year in which this AGREEMENT is executed shall be prorated as of the date of closing and be paid by the VENDOR; and all real estate taxes and assessments levied upon said real estate for subsequent years shall be paid by the PURCHASER.
11. The PURCHASER shall not have the right to transfer, assign, convey or encumber any benefits, rights, duties, obligations, title or interest created by this instrument without first obtaining written consent of the VENDOR; and the PURCHASER agrees not to place any improvements upon the real estate described hereinabove so as to create any lien thereon in favor of any third party, and in default of this provision, the VENDOR shall have the right to re-enter and take possession of said real estate.
12. In the event that the PURCHASER should default in any of the terms, provisions and conditions hereof, and this AGREEMENT is placed in the hands of an Attorney for collection, foreclosure, or other action, the PURCHASER agrees to pay the VENDOR'S reasonable Attorney's fees for the use and benefit of the VENDOR'S attorneys, and such other reasonable costs as may be incurred thereby, whether suit be brought or not, including all appellate proceedings.
13. It is the intent of the parties hereto that this AGREEMENT FOR DEED shall be enforceable by and against their respective heirs, personal representatives, successors and assigns in interest. It is further understood that this AGREEMENT FOR DEED constitutes the entire agreement between the parties hereto and no agreement, covenants, or promises not herein contained shall bind the parties hereto, provided however, that this instrument may be modified in writing and executed by the parties hereto with the same formalities as this AGREEMENT FOR DEED, and such modification shall be binding upon the parties and their respective heirs, personal representatives, successors and assigns.
14. The use of the terms "VENDOR" and "PURCHASER" in this AGREEMENT FOR DEED shall apply to and be construed in the singular or the plural as the context may require or direct; and such terms shall apply to and be construed to include masculine, feminine, and neuter genders as the context may require or direct.
15. Neither the VENDOR nor the VENDOR'S heirs, personal representatives, successors or assigns shall be bound to improve, maintain, repair or construct any roadway upon the easement described hereinabove; nor shall the VENDOR nor the VENDOR'S heirs, personal representatives, successors or assigns assume or have any liability or responsibility for injury to the PURCHASER or the PURCHASER'S heirs, personal representatives, successors, assigns, invites, guests, and any other person where such injury or damage occurs from, or arises out of, the use or attempted use of the property described hereinabove.



IN WITNESS WHEREOF, the parties have caused the presents to be executed on the day and year first above-written.

Signed, Sealed, and delivered in the presence of:

Billie Heflin (Seal)

\_\_\_\_ (Seal)

\_\_\_\_ (Seal)

\_\_\_\_ (Seal)

Linda Thompson  
WITNESS  
Jessie Howell  
WITNESS

State of FLORIDA

County of Columbia

PERSONALLY APPEARED BEFORE the undersigned officer duly authorized to administer oaths and take acknowledgments, Billie Heflin

who acknowledged before me the execution of the foregoing instrument for the purposes therein expressed.

IN WITNESS WHEREOF, I HAVE HEREUNTO set my hand and official seal this 9 day of Sept, A.D. 2010.

Lisa M. Mauldin  
NOTARY PUBLIC



# Columbia County Property Appraiser

DB Last Updated: 1/6/2011

**2010 Tax Year**

Parcel: 24-5S-16-03700-002

&lt;&lt; Next Lower Parcel   Next Higher Parcel &gt;&gt;

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

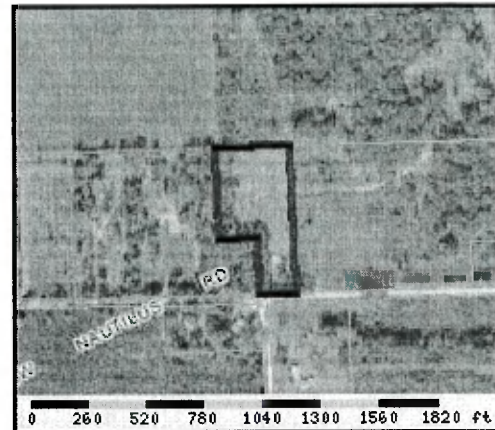
Print

Search Result: 1 of 3

Next &gt;&gt;

## Owner & Property Info

<b>Owner's Name</b>	HEFLIN BILLIE		
<b>Mailing Address</b>	159 NW DUDLEY LOOP LAKE CITY, FL 32055		
<b>Site Address</b>	NAUTILUS		
<b>Use Desc. (code)</b>	VACANT (000000)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	24516
<b>Land Area</b>	4.000 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. W1/2 OF SW1/4 OF NE1/4 OF NE1/4 EX 1 AC IN SW COR. ORB 615-607, ORB 1170-1998 & ORB 1199-1083 & ORB 1201-803		



## Property & Assessment Values

2010 Certified Values		
<b>Mkt Land Value</b>	cnt: (1)	\$0.00
<b>Ag Land Value</b>	cnt: (0)	\$932.00
<b>Building Value</b>	cnt: (0)	\$0.00
<b>XFOB Value</b>	cnt: (0)	\$0.00
<b>Total Appraised Value</b>		\$932.00
<b>Just Value</b>		\$22,909.00
<b>Class Value</b>		\$932.00
<b>Assessed Value</b>		\$932.00
<b>Exempt Value</b>		\$0.00
<b>Total Taxable Value</b>	Cnty: \$932 Other: \$932   Schl: \$932	

## 2011 Working Values

**NOTE:**  
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

## Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/9/2010	1201/803	QC	V	U	11	\$100.00
7/20/2010	1198/1083	QC	V	U	11	\$100.00
2/27/2009	1170/1998	QC	V	U	11	\$100.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

## Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	4 AC	1.00/1.00/1.00/1.00	\$4,639.15	\$18,556.00