

DATE 12/18/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000027528

APPLICANT DALE BURD PHONE 497-2311
ADDRESS PO BOX 39 FORT WHITE FL 3208
OWNER BILLY & CAROLYN HAYES PHONE 386-438-5478
ADDRESS 319 SE SECLUSION GLEN LAKE CITY FL 32025
CONTRACTOR RONNIE NORRIS PHONE 752-3871
LOCATION OF PROPERTY 90 EAST, R COUNTRY CLUB RD, L SECLUSION GLEN, 5TH ON LEFT

TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-4S-17-08305-005 SUBDIVISION HIDWAYAY
LOT 5 BLOCK PHASE UNIT TOTAL ACRES 4.05

IH0000049

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-0760-E CS HD N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

EXISTING MH TO BE REMOVED

EXEMPTION AFFIDAVIT ON FILE Check # or Cash 4098

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Rough-in plumbing above slab and below wood floor
date/app. by date/app. by
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
M/H tie downs, blocking, electricity and plumbing Pool
date/app. by date/app. by
Reconnection Pump pole Utility Pole
date/app. by date/app. by date/app. by
M/H Pole Travel Trailer Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 375.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CHK# 4098

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 1-10-08) Zoning Official af 12/11/08 Building Official HO 12-11-08
 AP# 0812-16 Date Received 12-10-08 By LH Permit # 27528
 Flood Zone X Development Permit RR Zoning RR Land Use Plan Map Category RULD
 Comments Existing MH to be removed

FEMA Map# _____ Elevation _____ Finished Floor _____ River _____ In Floodway _____
☒ Site Plan with Setbacks Shown ☒ EH # 08-0760-E ☐ EH Release ☐ Well letter ☒ Existing well WATER SYSTEM
☐ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access
☐ Parent Parcel # _____ ☐ STUP-MH _____ ☐ F W Comp. letter _____
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL _____

Property ID # 10-45-17-08305-005 Subdivision HIDEAWAY Lot 5

- New Mobile Home ☒ Used Mobile Home _____ MH Size 32x56 Year 08
- Applicant DALE BURDORF or Wendy GREENWALL Phone # 386-497-2311
- Address P.O. Box 39 Ft. White, FL, 32038
- Name of Property Owner Billy J. & Carolyn HAYES Phone # 386-438-5478
- 911 Address 319 SE SECLUSION GLEN, LAKE CITY, FL, 32025
- Circle the correct power company - FL Power & Light - Clay Electric
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home SAME Phone # SAME
 Address SAME
- Relationship to Property Owner SAME
- Current Number of Dwellings on Property 1 to be replaced
- Lot Size 165 x 1269 Total Acreage 4.05
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
 (Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home YES (pd)
- Driving Directions to the Property 90 EAST, TR ON Country Club Road, FL ON SECLUSION GLEN, 5TH Lot on Left

▪ Name of Licensed Dealer/Installer RONNIE MORRIS Phone # 752-3871
 ▪ installers Address 1004 SW CHARLESTON, LAKE CITY, FL, 32024
 ▪ License Number FH 0000049 Installation Decal # 300438

Spoke to DAle
12/11/08

Columbia County Property Appraiser

DB Last Updated: 10/21/2008

2008 Certified Values

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

Parcel: 10-4S-17-08305-005 HX VX

Owner & Property Info

Owner's Name	HAYES BILLY J & CAROLYN J		
Site Address	SECLUSION		
Mailing Address	319 SE SECLUSION GLN LAKE CITY, FL 32025		
Use Desc. (code)	MOBILE HOM (000200)		
Neighborhood	10417.02	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	4.050 ACRES		
Description	LOT 5 HIDEAWAY S/D. ORB 786-112, 786-112, 863-038, 903-1188,		

<< Prev

Search Result: 4 of 5

Next >>

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (2)	\$38,936.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$33,295.00
XFOB Value	cnt: (4)	\$4,100.00
Total Appraised Value		\$76,331.00

Just Value	\$76,331.00
Class Value	\$0.00
Assessed Value	\$51,243.00
Exempt Value	(code: HX VX) \$31,243.00
Total Taxable Value	\$20,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
5/31/2000	903/1188	WD	I	Q		\$51,000.00
6/18/1998	863/38	QC	I	U	01	\$0.00
12/1/1993	786/112	WD	V	U	12	\$12,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1992	WD or PLY (08)	1550	1838	\$33,295.00



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. _____
DATE PAID: _____
FEE PAID: _____
RECEIPT #: _____

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐ _____

APPLICANT: Hayes, Billy J

AGENT: ROCKY FORD, A & B CONSTRUCTION

TELEPHONE: 386-497-2311

MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 5 BLOCK: na SUB: Hideaway S/D PLATTED: _____

PROPERTY ID #: 10-4S-17-08305-005 ZONING: _____ I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 4 ACRES WATER SUPPLY: ☒ PRIVATE ☐ PUBLIC ☐ <=2000GPD ☐ >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 319 SE Seclusion Glen, Lake City, FL, 32025

DIRECTIONS TO PROPERTY: 90 East, TR on Country Club Road, TL on Seclusion Glen
5th lot on left

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

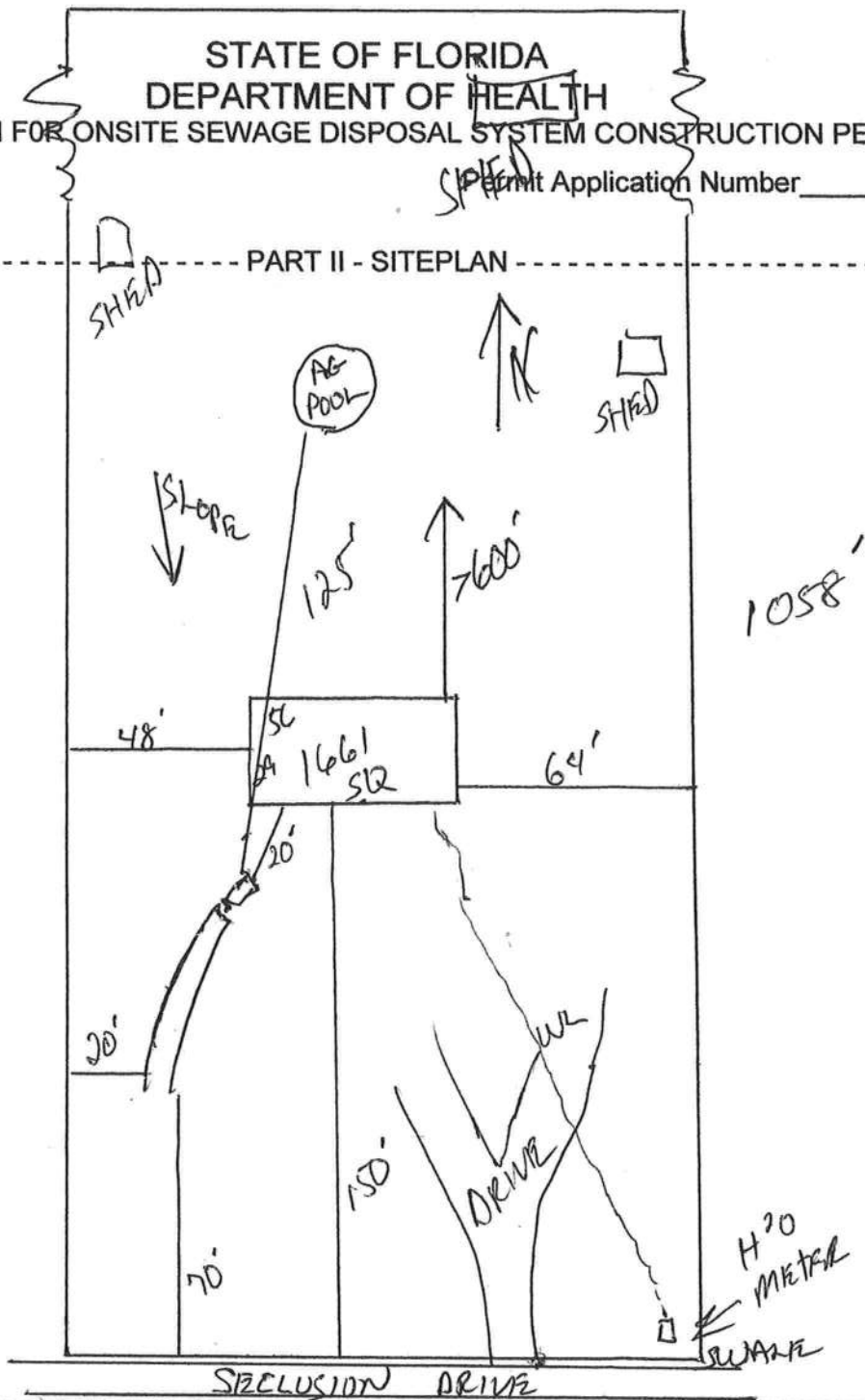
Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	DW Mobile Home	3	1661	
2				
3				

☒ Floor/Equipment Drains ☒ Other (Specify) _____

SIGNATURE: Rocky Ford DATE: 12/9/2008

Permit Application Number _____

Scale: 1 inch = 50 feet.



Notes: SECLUSION DRIVE

Site Plan submitted by: D. J. D. T. S.

Plan Approved _____ Not Approved _____

By _____ County Health Department

MASTER CONTRACTOR

Date_____

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

PERMIT WORKSHEET

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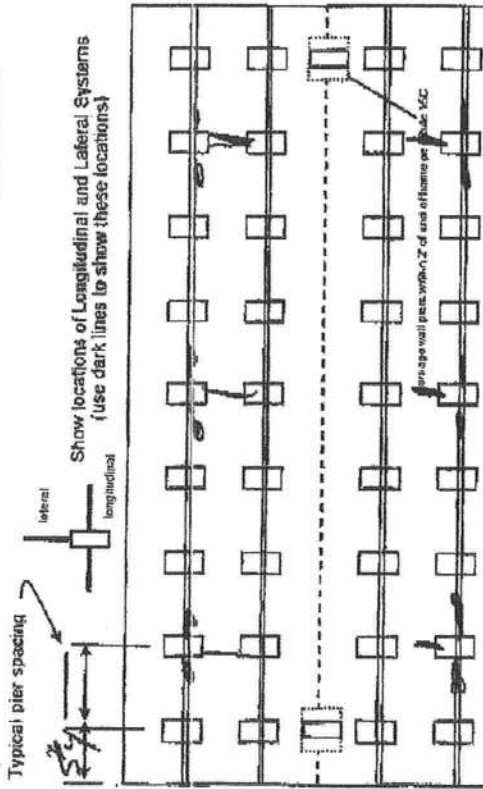
PERMIT NUMBER

Installer RANNIE NORRIS License # TH0000049
 Address of home being installed 819 SE Seclusion Glen
Lake City, FL 32025
 Manufacturer 32x60

NOTE: If home is a single wide fill out one half of the blocking plan
 If home is a tripla or quad wide sketch in remainder of home

underside Lateral Arm Systems cannot be used on any home (new or used)
 where the sidewall ties exceed 5 ft 4 in.

Installer's initials _____



New Home ☒ Used Home ☐
 Home installed to the Manufacturer's Installation Manual ☒
 Home is installed in accordance with Rule 15-C ☐
 Single wide ☐ Wind Zone II ☒ Wind Zone III ☐
 Double wide ☐ Installation Decal # 300438
 Tripla/Quad ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16' x 16' (256)	18 1/2' x 18 1/2' (342)	20' x 20' (400)	22' x 22' (484)	24' x 24' (576)	26' x 26' (676)
1000 psf	3'	4'	5'	6'	7'	8'	8'
1500 psf	4'	5'	6'	7'	8'	8'	8'
2000 psf	5'	6'	7'	8'	8'	8'	8'
2500 psf	6'	7'	8'	8'	8'	8'	8'
3000 psf	7'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
18 1/2 x 18 1/2	288
20 x 20	342
22 x 22	374
24 x 24	374
26 x 26	374
28 x 28	374
30 x 30	374
32 x 32	374
34 x 34	374
36 x 36	374
38 x 38	374
40 x 40	374
42 x 42	374
44 x 44	374
46 x 46	374
48 x 48	374
50 x 50	374
52 x 52	374
54 x 54	374
56 x 56	374
58 x 58	374
60 x 60	374

I-beam pier pad size 17x25
 Perimeter pier pad size NA
 Other pier pad sizes (required by the mfg.) 16x16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening 8 Pier pad size 17x25
4 17x25
4 17x25

ANCHORS 4 5 ft
 FRAME TIES within 2' of end of home spaced at 5' 4" oc
 OTHER TIES Number 2
 Sidewall 2
 Longitudinal 2
 Marriage wall 2
 Shearwall 2

TIEDOWN COMPONENTS
 Longitudinal Stabilizing Device (LSD)
 Manufacturer _____
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer _____

PERMIT NUMBER

PERMIT WORKSHEET

page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 500 psf or check here to declare 1000 lb. soil without testing.

x 1500 x 1500 x 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500 x 1500 x 1500

TORQUE PROBE TEST

The results of the torque probe test is 255 inch pounds or check here if you are declaring 5' anchors without testing showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all certline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed
Water drainage: Natural Swale Pad Other

Fastening multi-wide units

Floor: Type Fastener: Length: Spacing: 24" x 24"
Walls: Type Fastener: Length: Spacing: 6" x 6"
Roof: Type Fastener: Length: Spacing: 6" x 6"
For used homes: 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with gal. roofing nails at 2' on center on both sides of the centerline.

Gasket Installation/Condition

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket Pg.

Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

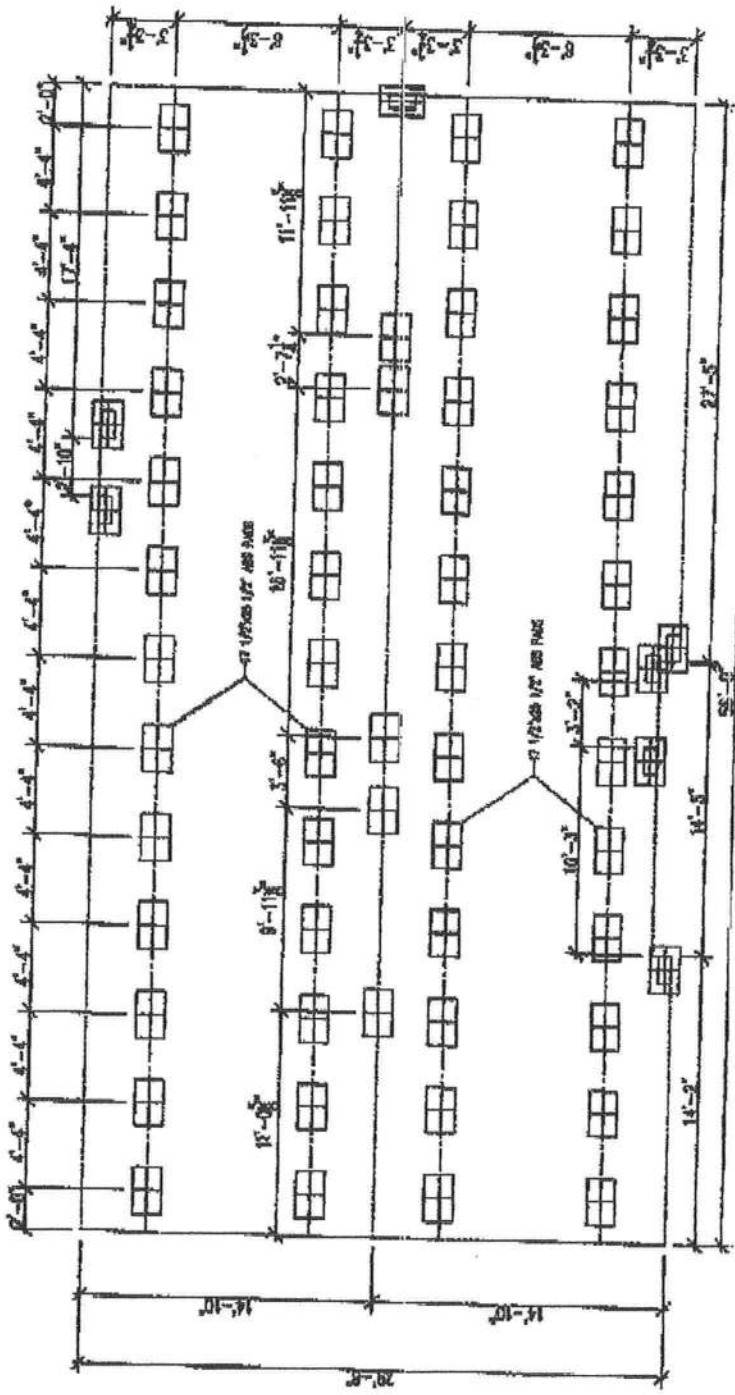
Miscellaneous

Skirting to be installed. Yes No
Driver vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the

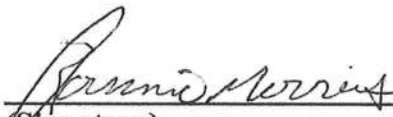
Installer Signature

Date 12-10-08

[illegible]

LIMITED POWER OF ATTORNEY

I, Ronnie Norris License IH -0000049 authorize Dale Burd, Rocky Ford or Kelly Bishop to be my representative and act on my behalf in all aspects of applying for a MOBILE HOME PERMIT to be installed any of the following Counties; Alachua, Baker, Bradford, Clay, Columbia, Dixie, Gilchrist, Hamilton, Lafayette, Levy, Madison, Suwannee & Union. This Power of attorney is valid thru 9/30/09.


(Signature)

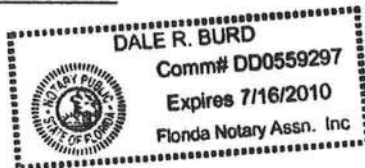
10/13/08
(Date)

Sworn and subscribed before me this 13 day of OCT, 2008.

Personally Known: _____

Produced ID (Type): _____


Notary Public



(stamp)

10/13/2008 11:16

3867586889

SHOWCASE HOMES

PAGE 01/01

Oct 08 08 03:23P

Norris Mobile Home Movers 3867521913

P.1.



2008-09 Mobile Home Installer License



Licensee: Ronnie D. Norris

License Number: 1H0000049

Effective Date

10-1-08

Expiration Date

9-30-08

State of Florida - Department of Highway Safety and Motor Vehicles - Division of Motor Vehicles

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said License shall be renewed annually, and each licensee shall pay a fee of \$150.

I, Ronnie Norris, license number IH - 0000049 do hereby state that the installation of the manufactured home for (applicant) Dale Burd, Rocky Ford or Kelly Bishop

(customer name) Billy Hayes in Columbia

County will be done under my supervision.

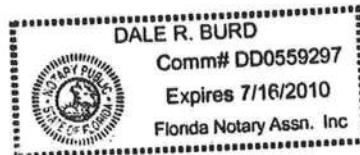
Ronnie Norris

Signature

Sworn to and subscribed before me this 8 day of Dec, 2007. 8

Notary Public:

[Signature]



0812-16

IMPACT FEE OCCUPANCY AFFIDAVIT

This affidavit is given for the purpose of obtaining an exemption pursuant to Article VIII, Section 8.01, Columbia County Comprehensive Impact Fee Ordinance No. 2007-40, adopted October 18, 2007, as may be amended.

STATE OF FLORIDA COUNTY OF COLUMBIA

BEFORE ME, the undersigned authority, personally appeared Billy Hayes
who, after being duly sworn, deposes and says:

1. Except as otherwise stated herein, Affiant has personal knowledge of the facts and matters set forth in this affidavit regarding property identified below as:

- (a) Parcel No.: 10-45-17-08305-005
(b) Legal description (may be attached): Lot 5 HIDEAWAY S/O

2. Based upon Affiant's personal knowledge, a non-residential building or a residential dwelling has existed on the above referenced property. Said building or dwelling unit ~~was last occupied~~ on 12/11/08 (date.) IS CURRENTLY

3. This Affidavit is made and given by Affiant with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

Further Affiant sayeth naught.

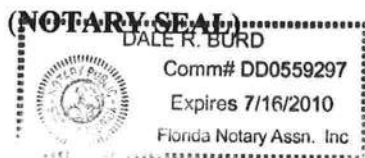
✓ Billy J. Hayes
Print: Billy Hayes

Address: 319 SE SECLUSION GL
LAKE CITY, FL 32025

SWORN TO AND SUBSCRIBED before me this 11 day of DEC, 2008 by
Billy Hayes who is personally known to me or who has produced
FLI DL as identification.

[Signature]
Notary Public, State of Florida

My Commission Expires:



Permit Application Number 08-0760E

Hand-drawn site plan for a property. The plan shows a central rectangular building labeled "SL 1661 SLR". To the north of the building is a circular "AG POOL" connected by a line labeled "125". A north arrow points towards the top right. Two "SHED" structures are shown: one in the top left and one in the top right. A "SLOPE" arrow points down and to the left. Dimensions include "48'" on the left, "64'" on the right, and "1058'" on the far right. To the south of the building is a "DRIVE" area with a "150'" dimension. A "20'" dimension is shown for a path leading to a structure with "55'" dimensions. A "70'" dimension is shown for a vertical path. A "H₂O METER" is indicated near the bottom right corner. The bottom boundary is labeled "SECLUSION DRIVE".

Notes: SIZECLUSION DRIVE

Site Plan submitted by: D. L. D. T. S.

Plan Approved _____ Not Approved _____

Date _____

By [Signature] 12/18/08 County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

**CHERRYBROOK
OF
CALVINY**

M/H OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 10-4S-17-08305-005

Building permit No. 000027528

Permit Holder RONNIE NORRIS

Owner of Building BILLY & CAROLYN HAYES

Location: 319 SE SECLUSION GLN, LAKE CITY, FL 32025



Date: 01/05/2009

Randy Jones
Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)