



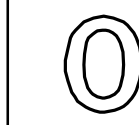
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CONTACTS:

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COVER SHEET

24X36: 1/4"=1'-0"

18X24: 1/8"=1'-0"

PLAN 1510F-25-01-B
JOB # 151-202-A
"TRADITIONAL"

THE HEATHER 1510F -L - INVENTORY

BUILDER: BRYAN ZECHER HOMES, INC.
LAKE CITY, FLORIDA

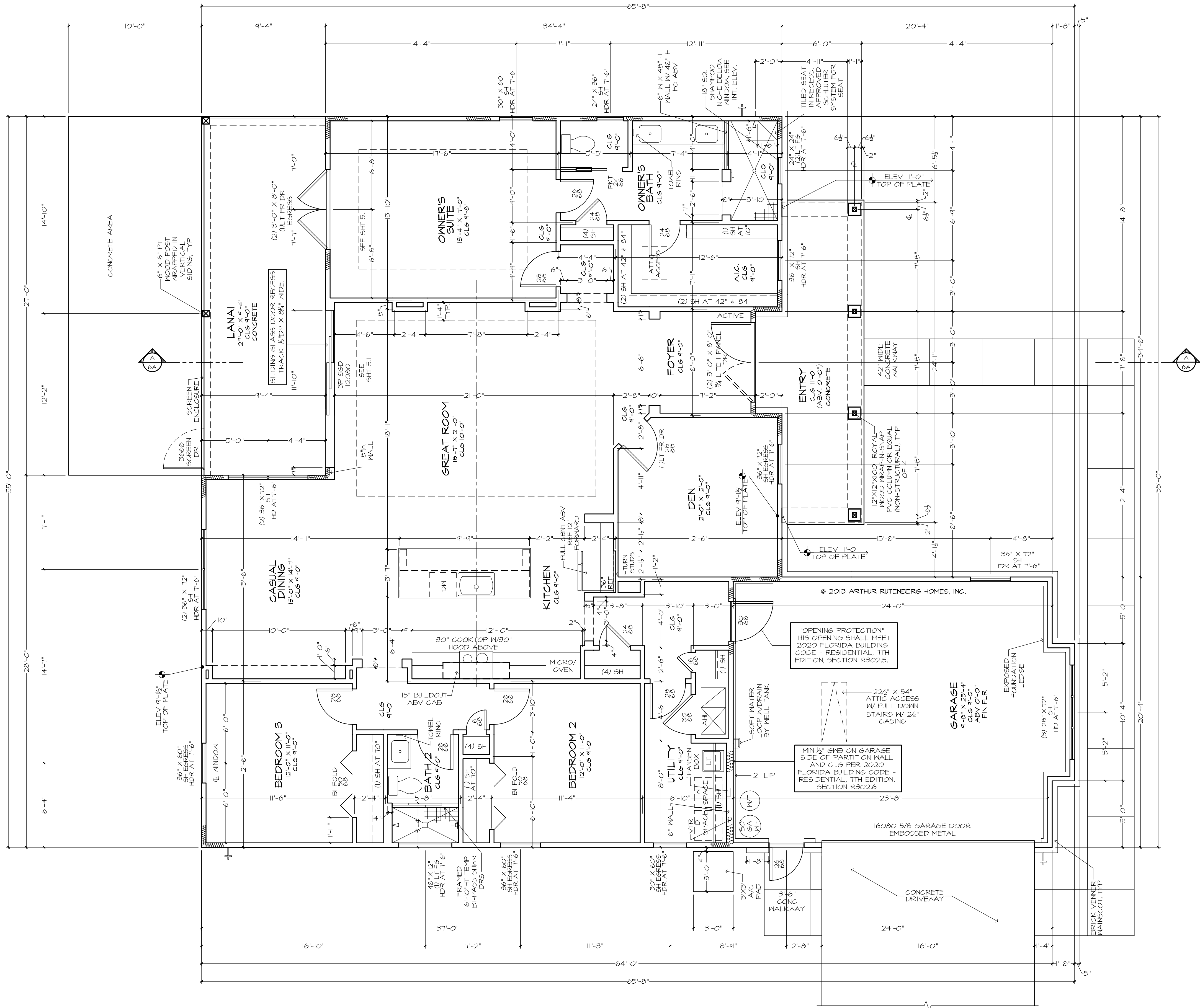
AN INDEPENDENTLY OWNED AND OPERATED FRANCHISE

PLAN DESIGNER

CORAL HOMES, INC. THE DESIGNER IS RESPONSIBLE FOR THE ARCHITECTURAL DESIGN ONLY AS REPRESENTED IN THESE DRAWINGS (PLANS) BUT NOT FOR ANY STRUCTURAL INFORMATION INCLUDED OR OMITTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE ACCURACY OF THE INFORMATION APPLICABLE TO FEDERAL, STATE AND LOCAL BUILDING CODES, ORDINANCES AND LAWS, INCLUDING BUT NOT LIMITED TO, PRE-ENGINEERED TRUSSES, FRAMING MEMBERS, FLASHING AND MOISTURE PROTECTION BY USE OF THESE DRAWINGS. THE OWNER, CONTRACTOR (BUILDER), AND SUBCONTRACTORS ACKNOWLEDGE AND AGREE TO THIS DESIGNER.

23/22/23 MK - A
23/24/23 MK - A

RHOMES
AT RISK
ALL RIGHTS RESERVED

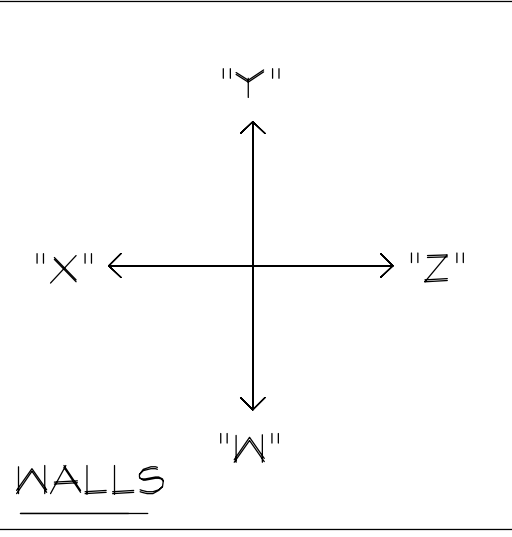


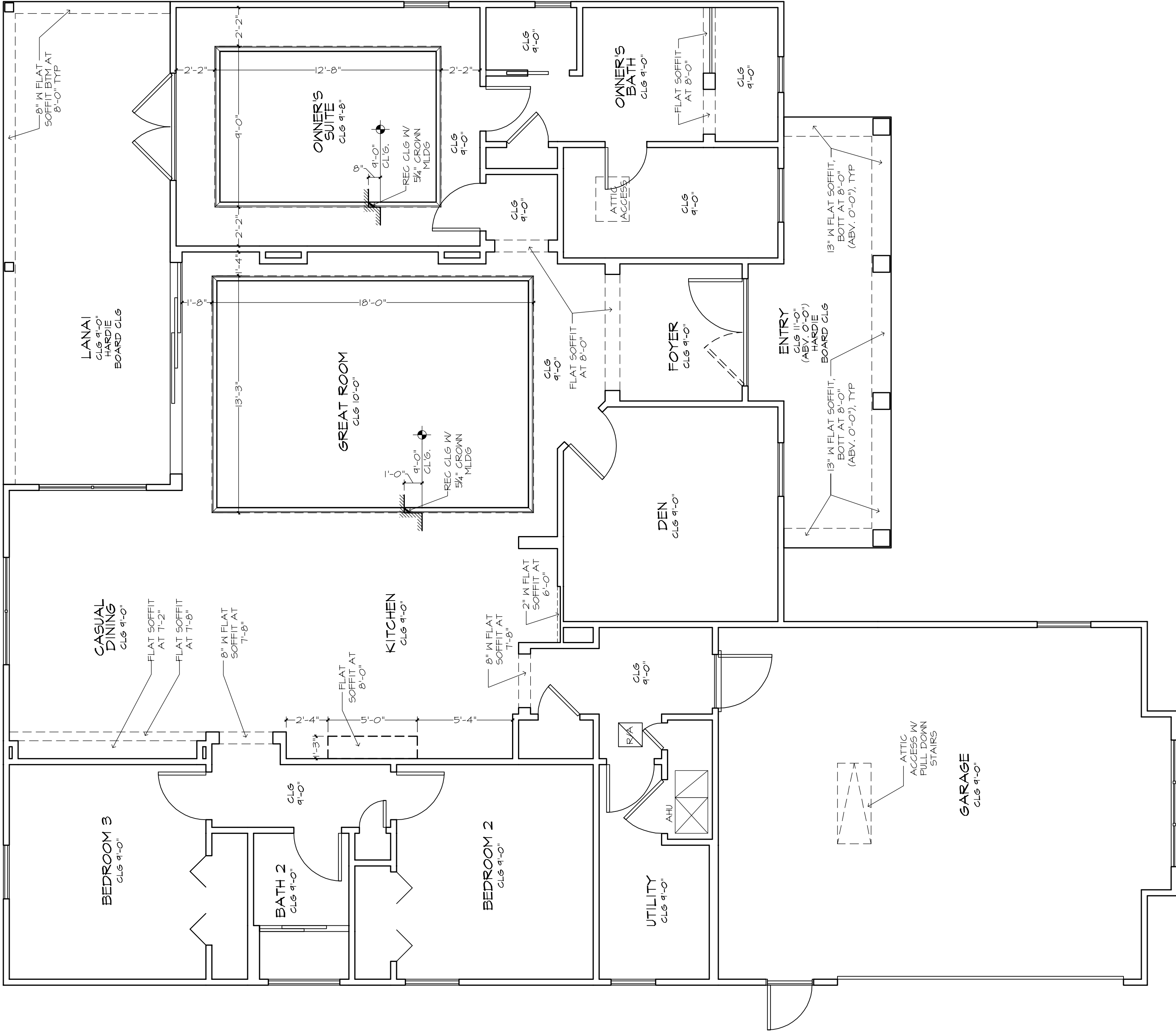
- FLOOR PLAN NOTES:**
- EXTERIOR DOORS - FIBERGLASS ALL EXTERIOR FRENCH DOORS AND SERVICE DOORS TO BE FIBERGLASS. ENTRY DOOR STYLE AND MATERIAL WILL BE DETERMINED BY ELEVATION DESIGN. ALL EXTERIOR DOORS WILL HAVE FRAME DEFENSE OR FRAME SAVER JAMBS.
 - INTERIOR DOORS - 2-PANEL, 2-PANEL ARCH, 6-PANEL SMOOTH HARDBOARD 1 3/8" 2 - PANEL HOLLOW CORE PREHUNG, POCKET, BIFOLD, BYPASS DOORS
 - INSULATION - ATTIC - R-38 BLOWN INSULATION.
 - INSULATION - ATTIC VERTICAL WALLS - R-38 BATT INSULATION
 - INSULATION - EXT 4" FRAME WALL - R-13 BATT INSULATION
 - INSULATION - EXT 6" FRAME WALL - R-19 BATT INSULATION
 - INTERIOR WALL CORNER BEAD TO BE SQUARE KNOCKDOWN
 - INTERIOR WALL FINISH TO BE ORANGE PEEL
 - WELL WITH STEEL CASING, SUBMERSIBLE PUMP, HOLDING TANK, PERMIT AND ELECTRIC HOOK-UP. FINAL PRICING PER ACTUAL DEPTH REQUIRED.
 - HVAC - 15 SEER HEAT PUMP EQUIPMENT WITH METAL DUCT MAIN TRUNK LINE, GRILLS FOR SUPPLIES AND RETURNS, THERMOSTAT
 - INSTALL A STANDARD IN GROUND SEPTIC TANK WITH DRAIN FIELD, PERMIT AND PERK TEST-UP TO 3 BEDROOMS. A RAINWATER SYSTEM AND/OR LIFT STATION WILL BE ADDITIONAL COSTS.
 - SLIDING GLASS DOORS - CLEAR, TEMPERED, INSULATED LOW-E GLASS.
 - WINDOWS - FACTORY GLAZED CLEAR INSULATED LOW-E GLASS. PER ELEVATION GRILLS FOR COLONIAL WINDOWS WILL BE APPLIED BETWEEN THE TWO PANES OF GLASS.

- GENERAL NOTES:**
- ALL WINDWS TO HAVE FLUSH SILLS, PITCH TOP OF SILL FIN AWAY FROM WDW FRAME.
- VERIFY ALL WDW & DR ROUGH OPNGS W/ MFR SPECS. SEE PLAN FOR WDW HDR HTS.
- VERIFY DEPTH AND WIDTH OF SLAB RECESS AT ALL DOORS TO ACCOMMODATE PROPER ALIGNMENT WITH THRESHOLDS AND DOOR TRACKS WITH MFR. REQUIREMENTS IN RELATION TO FINISH FLOOR MATERIALS.
- REG CLG SURFACES, BOTH HORIZONTAL AND VERTICAL, SHALL HAVE SMOOTH FIN.
- PROVIDE SOLID FILLED CONG. BLOCK AT ALL SHOWER SEATS.

SQUARE FOOTAGES

AREA	SG. FT.
ENTRY	166 SF
GARAGE	504 SF
LANAI	252 SF
LIVING	2061 SF
TOTAL	2983 SF





REG. CLG SURFACES, BOTH
HORIZONTAL AND VERTICAL,
SHALL HAVE SMOOTH FINISH

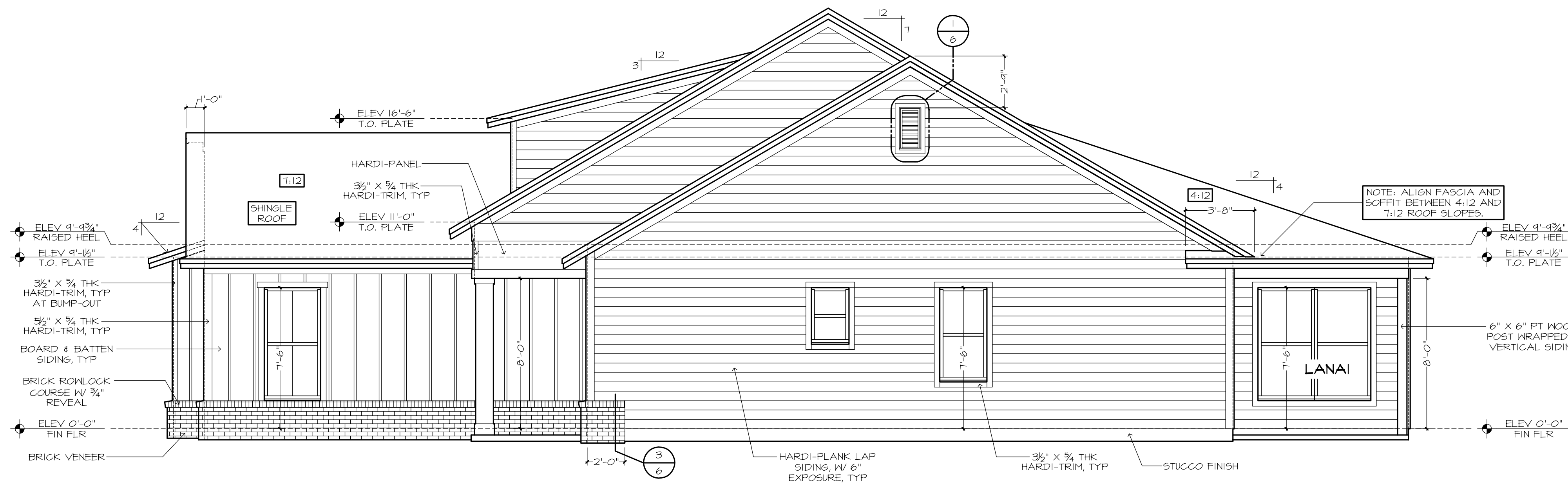
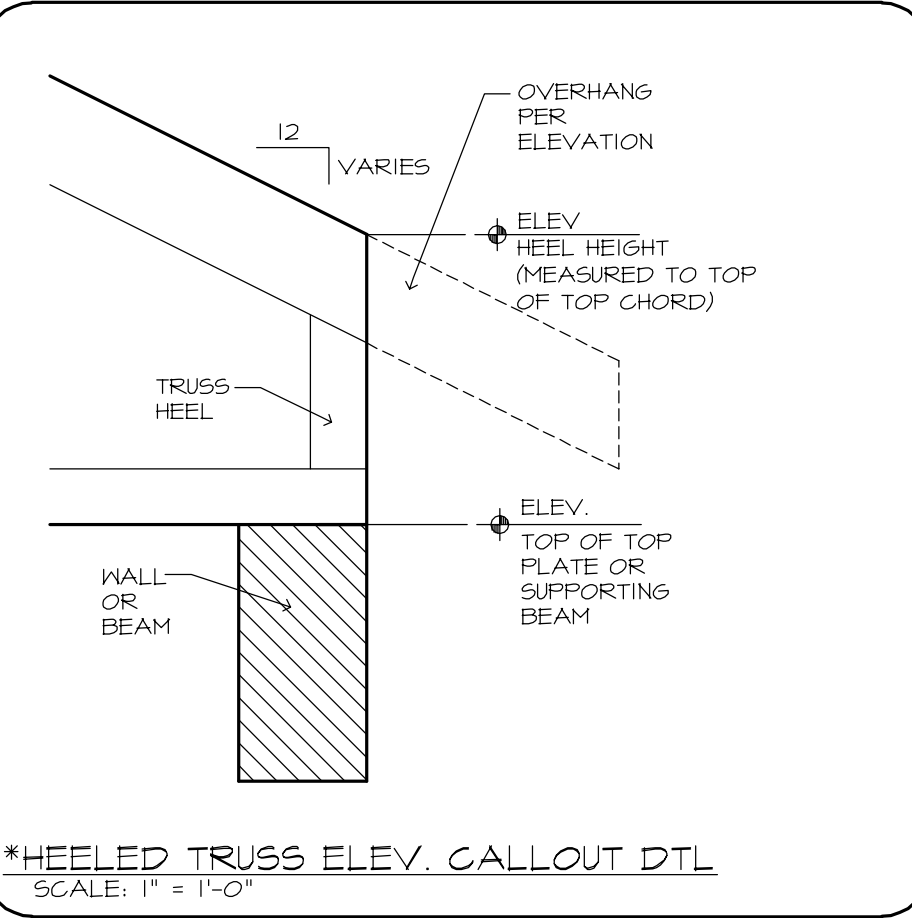
VERIFY CLEARANCE OF TRIM
IN ALL CEILINGS AND
SOFFITS WITH RECESSED
CAN, A/C SUPPLY AND
RETURN GRILLE LOCATIONS

FRAMING PLAN DISCLAIMER

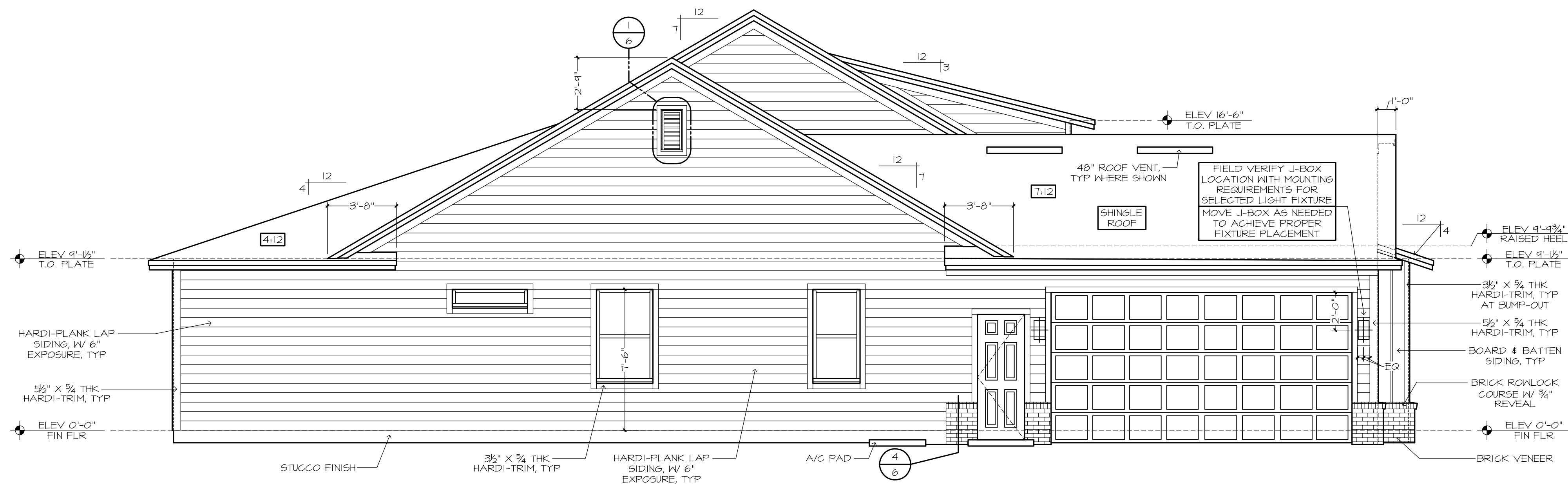
THE FRAMING PLANS REPRESENTED IN THESE DRAWINGS ARE INTENDED TO ESTABLISH PROPOSED FRAMING MEMBER LOCATIONS, FRAMING MEMBER DEPTH, POTENTIAL BEARING LOCATIONS AND ELEVATIONS, AND IS IN NO WAY INTENDED TO BE INTERPRETED AS STRUCTURAL ENGINEERED DRAWINGS. THE CONTRACTOR (BUILDER) SHALL ENSURE THAT THE STRUCTURE CONFORMS TO THOSE STANDARDS IN ALL RESPECTS INCLUDING STRENGTH, STRESSES, STRAINS, LOADS, CONNECTIONS, AND STABILITY. REFER TO PLAN DISCLAIMER LOCATED ON THIS SHEET FOR ADDITIONAL STIPULATIONS AND REQUIREMENTS.

MECHANICAL DISCLAIMER

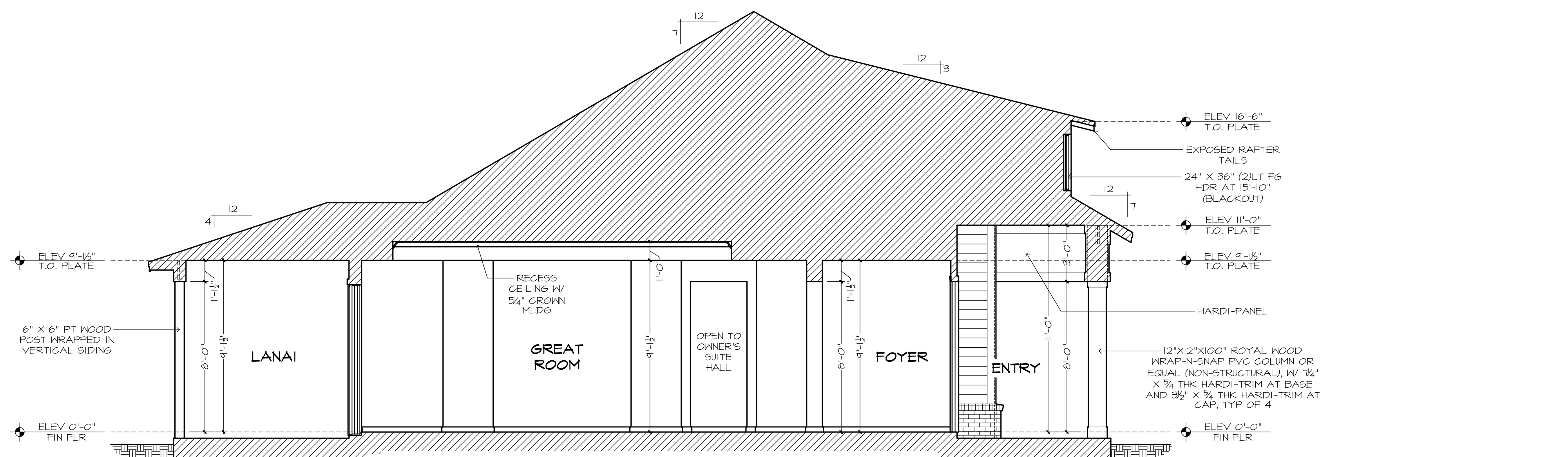
THE DUCT ROUTING AND HVAC EQUIPMENT SHOWN ON THESE DRAWINGS ARE DIAGRAMATIC ONLY; THE BUILDER IS SOLEY RESPONSIBLE FOR COORDINATING ALL ASPECTS OF MECHANICAL INSTALLATION WITH ALL TRADES. THE BUILDER SHALL COORDINATE BETWEEN THE PRE-ENGINEERED TRUSS MFR. AND/OR FRAMING REQUIREMENTS WITH THE MECHANICAL CONTRACTOR TO ENSURE ADEQUATE SPACE FOR DUCT ROUTING AND EQUIPMENT PLACEMENT AND SUPPORT. HVAC INSTALLATION SHALL BE INSTALLED ACCORDING TO ALL CURRENT STATE AND LOCAL MECHANICAL CODES.



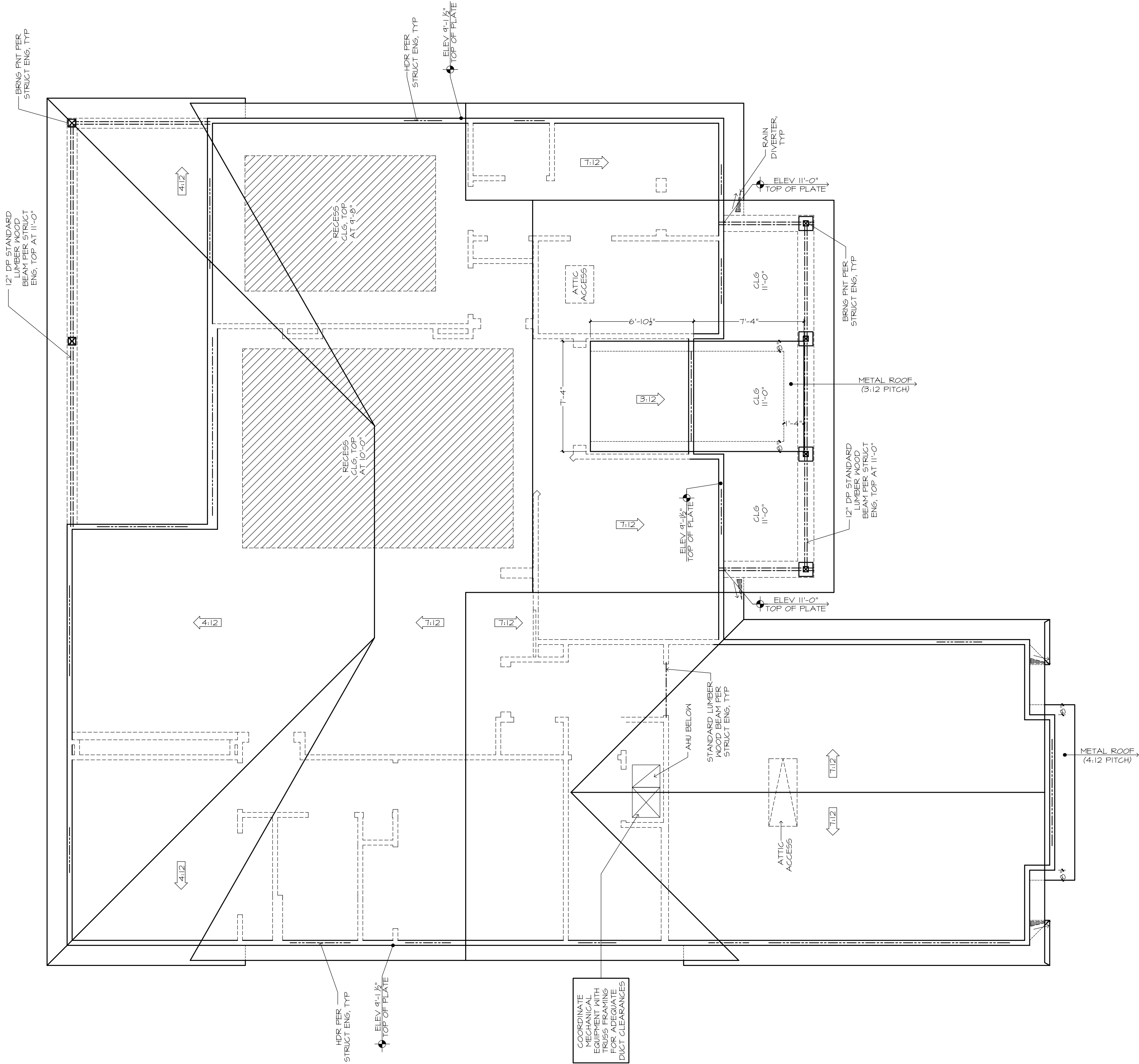
SIDE ELEVATION



GARAGE SIDE ELEVATION



BUILDING SECTION



SHINGLE ROOF
FASCIA - 2X6 SUBFASCIA WITH 6\"
TYP. ROOF OVERHANGS: 1'-4\"
PROVIDE SOLID BLOCKING BELOW ALL KNEEWALLS AND OVER FRAMING PER TRUSS MFR. AND STRUCT ENG.
SEE SHEET 5J FOR CLG. HEIGHTS, REC. CLG. SIZES AND LOCATIONS
ALL SOFFITS SHALL BE FLAT, ALL FASCIAS SHALL BE PLUMB UNLESS NOTED OTHERWISE
ALL ROOF PITCHES TO BE 7:12 UNO.
1/2\"
VINYL VENTED SOFFITS



ROOF PLAN

PLAN 530F-25-01-B*
DATE: 08-2022-A
"TRADITIONAL"

24X96: 1/4\"=1'-0\"

18X24: 1/8\"=1'-0\"

THE HEATHER BIOF -L - INVENTORY

BUILDER: BRYAN ZEGHER HOMES, INC.

LAKE CITY, FLORIDA

AN INDEPENDENTLY OWNED AND OPERATED FRANCHISE

PLAN REVISIONS

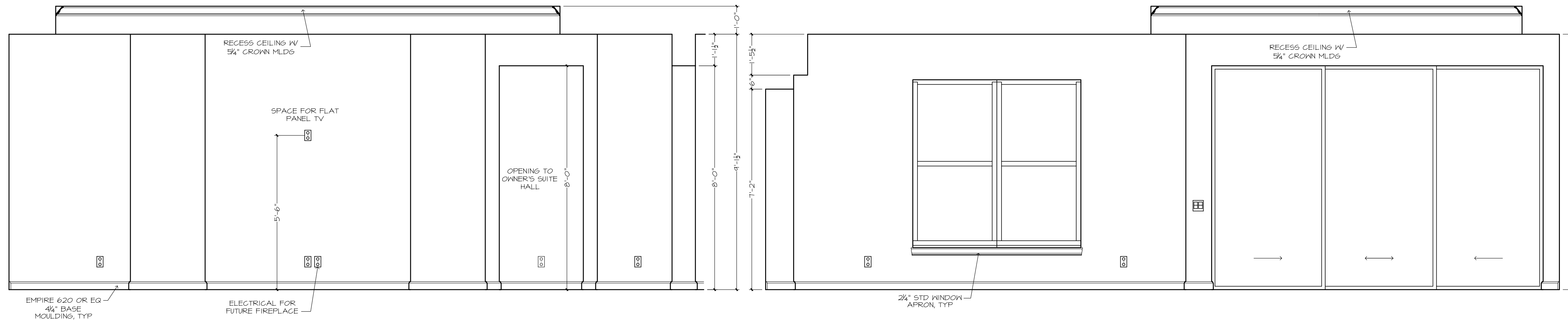
CORAL HOMES, INC. THE DESIGNER IS RESPONSIBLE FOR THE ARCHITECTIC DESIGN ONLY AS REPRESENTED IN THESE DRAWINGS (PLANS) BUT NOT FOR ANY STRUCTURAL INFORMATION INCLUDED OR OMITTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, ORDINANCES AND LAWS INCLUDING BUT NOT LIMITED TO: PRE-ENGINEERED TRUSSES, FRAMING MEMBERS, FLASHING AND MOISTURE PROTECTION BY USE OF THESE DRAWINGS. THE OWNER, CONTRACTOR (BUILDER), AND SUBCONTRACTORS ACKNOWLEDGE AND AGREE TO THIS DISCLAIMER.

23/22/21 MK - A

23/24/21 MK - A

© RHOMES'

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GENERAL NOTES:

CABINET ELEVATIONS AND LIGHTING ARE GRAPHIC REPRESENTATIONS ONLY. REFERENCE SHOULD BE MADE TO THE ELECTRICAL SHEET, CABINET MFR DRAWINGS AND SPECS FOR FURTHER INFORMATION.

REFER TO CABINET SHOP DRAWINGS FOR
CABINET & VANITY TOP DIMENSIONS

FOR STEPPED UPPER CABINETS:
IF MODULAR CABINETS ARE SELECTED AND NOT
AVAILABLE IN SPECIFIED DEPTHS THE WALLS
BEHIND CABINETS WILL NEED TO BE BUILT OUT
TO OBTAIN SPECIFIED DEPTH.

THE TOE KICK IS 4".

PLUMBING, TILE, BASE MLDG, DOOR CASING, &
DECORATIVE LIGHTING & DECORATIVE MIRRORS
ARE ILLUSTRATED FOR LOCATION PURPOSES
ONLY. PLEASE REFER TO COMMUNITY
STANDARDS FOR SIZES & SPECS.

RHOMES

3/22/21 MK - A
3/29/21 MK - A1

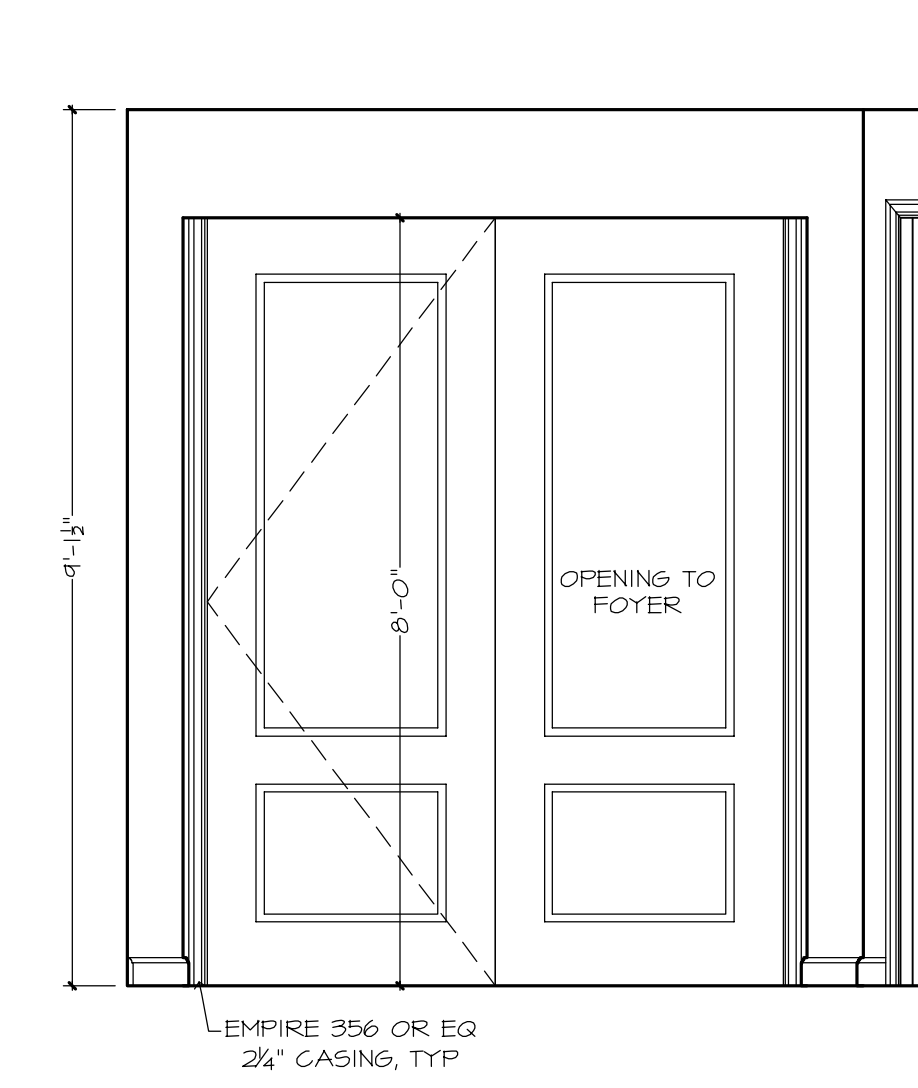
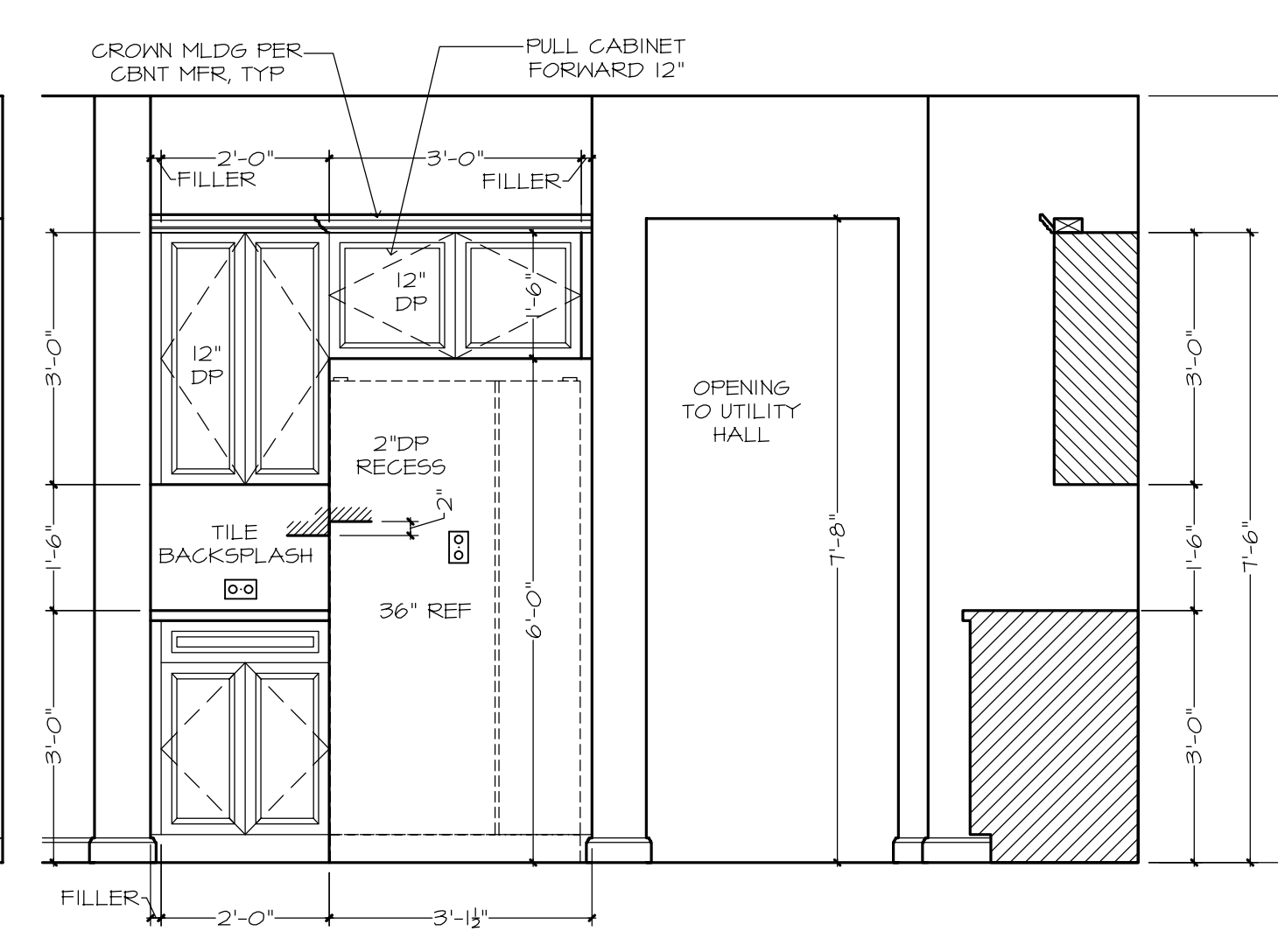
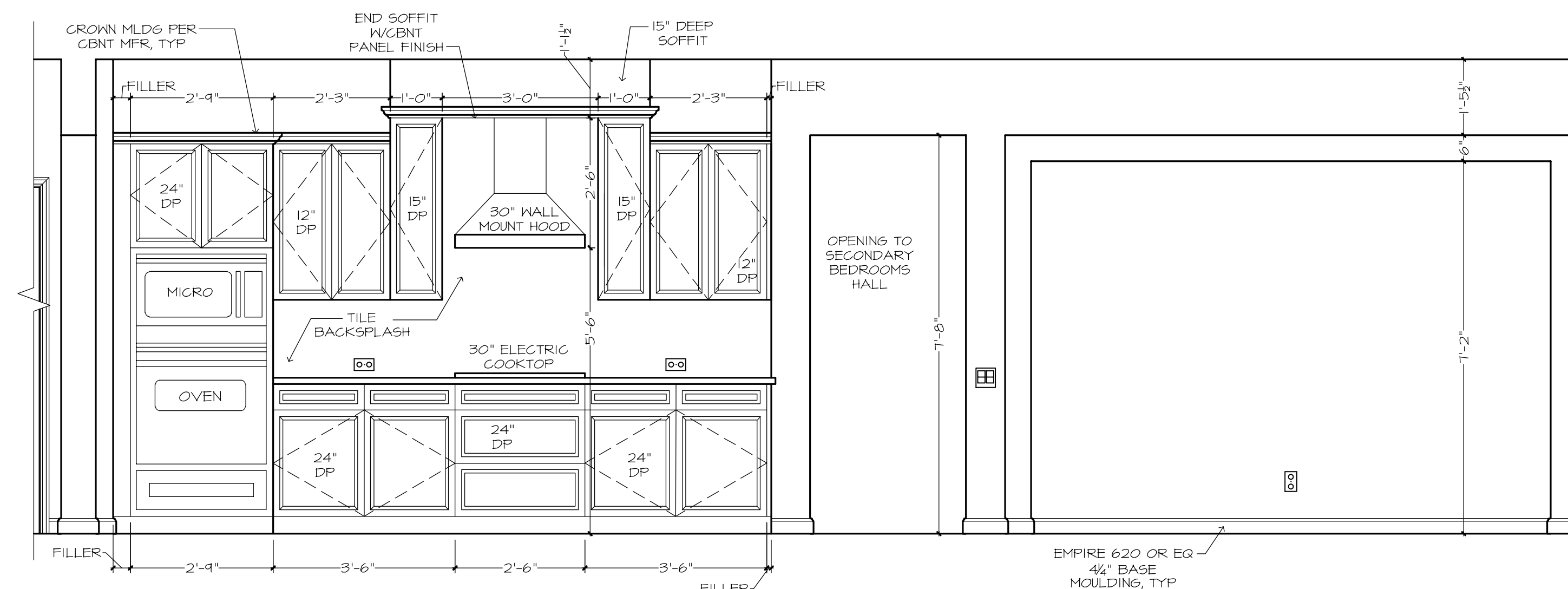
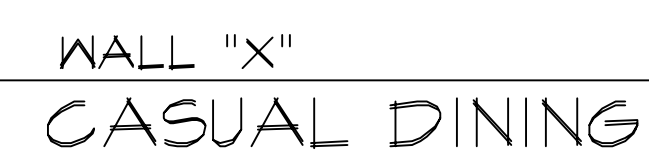
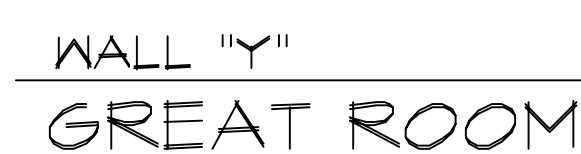
PLAN DISCLAIMER

ANSTADT RUTENFRANZ HORNES INC., THE DESIGNER, IS RESPONSIBLE FOR THE AESTHETIC DESIGN ONLY AS SHOWN ON THESE PLANS. THE CONTRACTOR (BUILDER) IS RESPONSIBLE IN BOTH FOR CONFORMING THESE PLANS AND CONSTRUCTING THE RESIDENCE TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES, ORDINANCES, AND LAWS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: EGRESS, FIRE SAFETY, TECHNICAL CODES, FLOOD ZONE CRITERIA, HURRICANE CODES, PRE-ENGINEERED TRUSSES, FRAMING MEMBERS, FLASHING, AND MOISTURE PROTECTION BY USE OF MEMBRANES.

THE HEATHER 1310F -L - INVENTORY
BUILDER: BRYAN ZECHER HOMES, INC.
LAKE CITY, FLORIDA

GREAT RM, DINING, KITCHEN, DEN, OWNER'S S. 24x36: 1/2" = 1'-0"
18x24: 1/4" = 1'-0"

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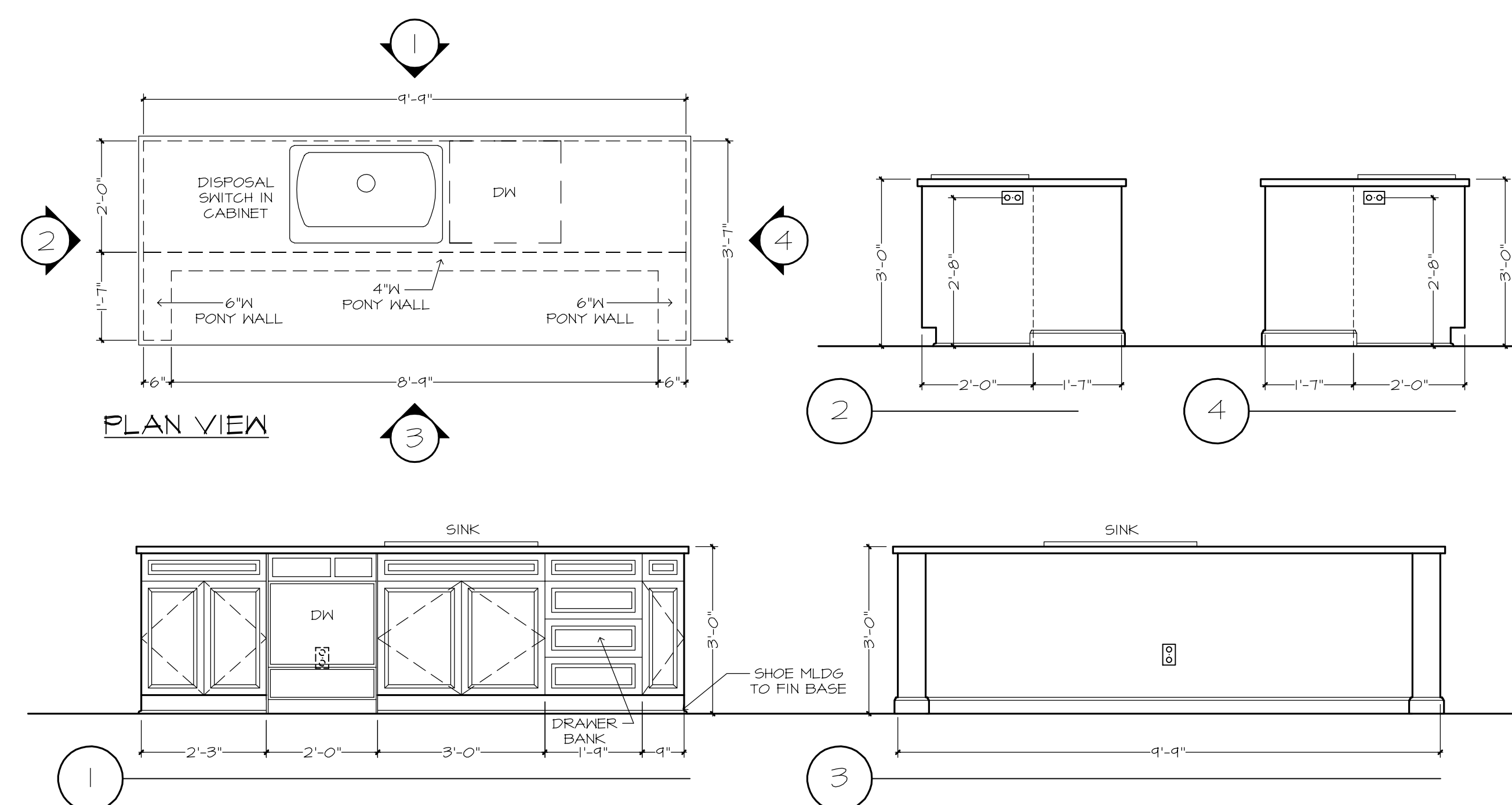


WALL "W"
KITCHEN

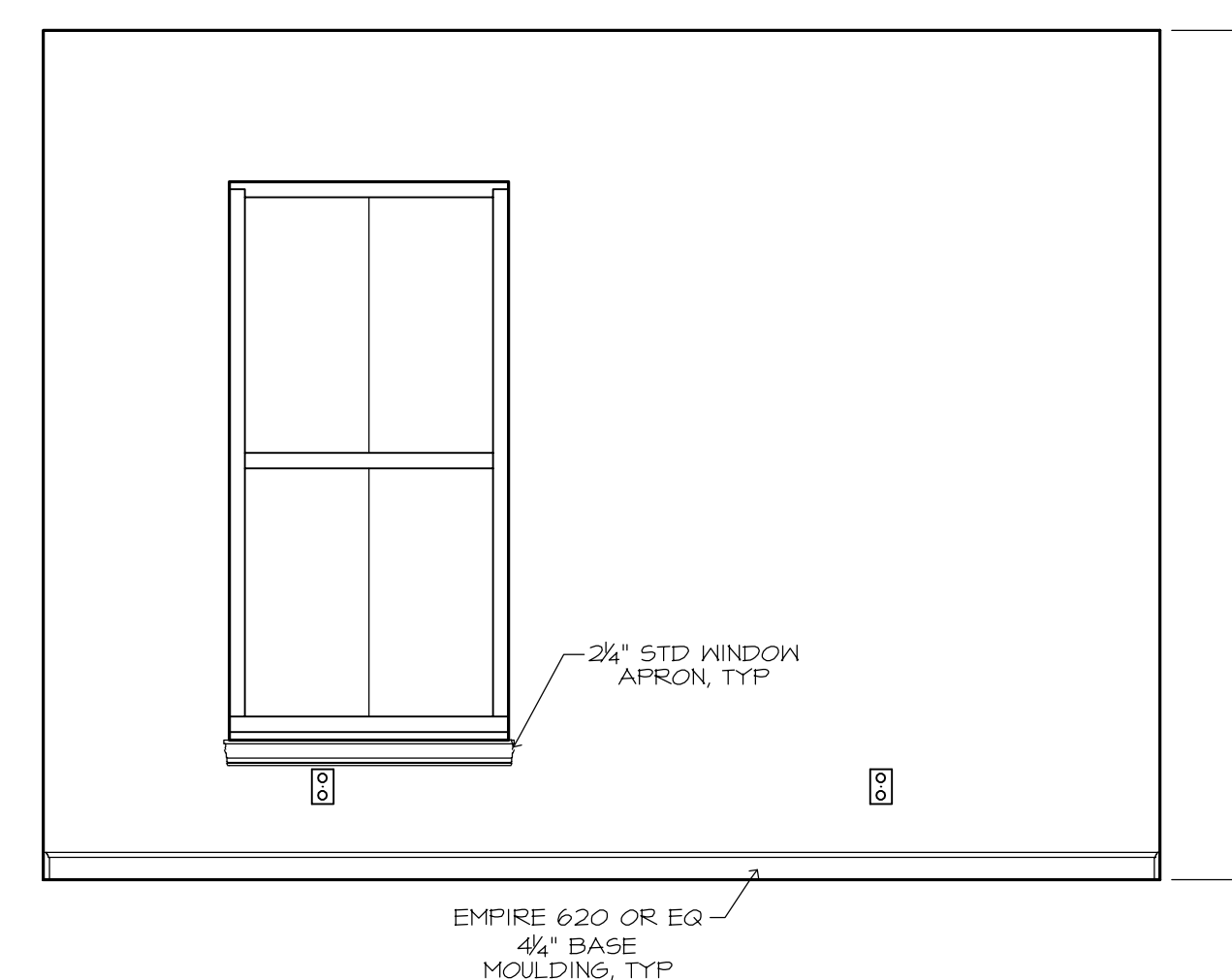
CASUAL DINING

WALL "Z"
KITCHEN

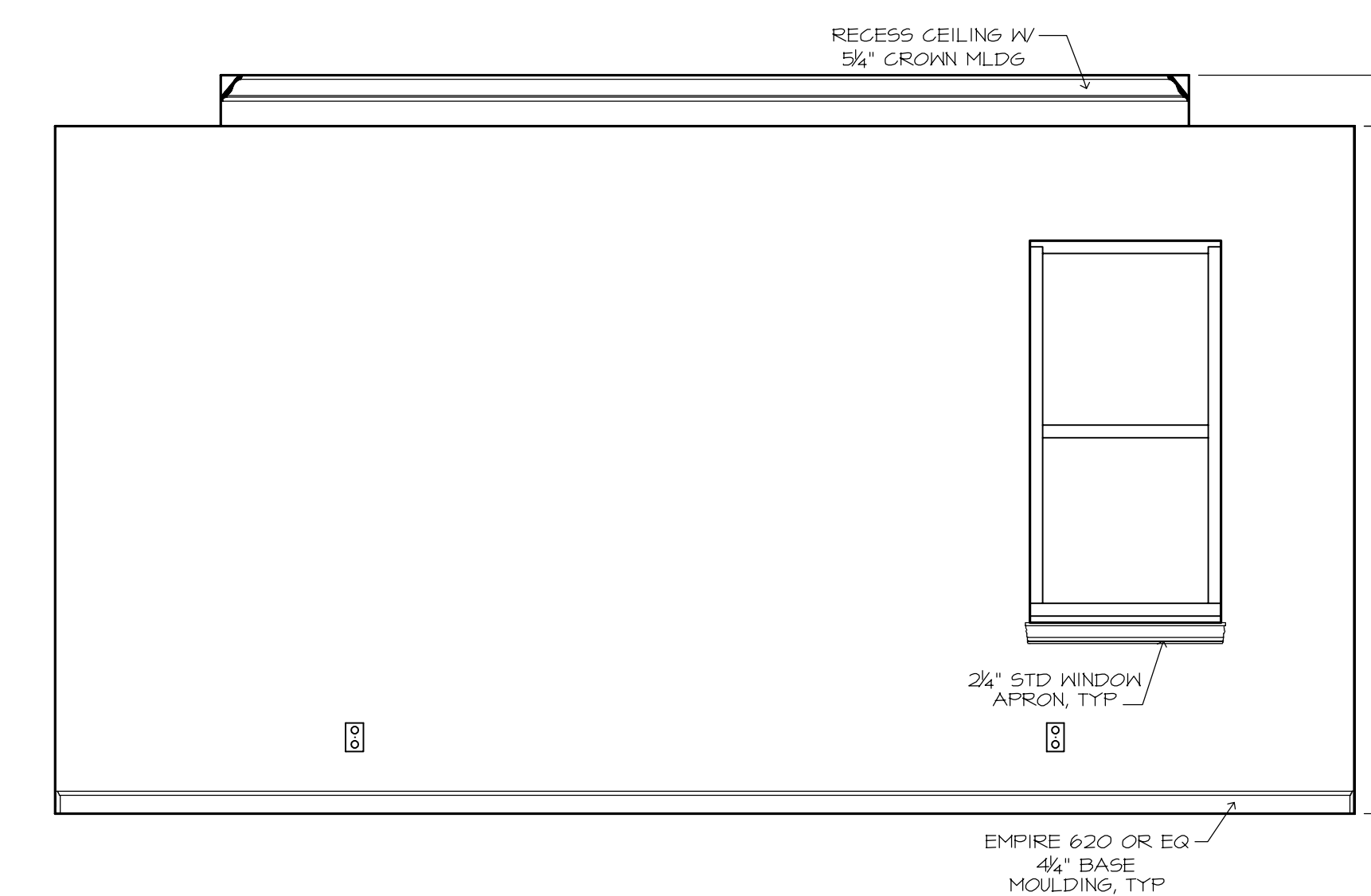
WALL "Z"
GREAT ROOM



KITCHEN ISLAND



WALL "Z"
DEN



WALL "Y"

OWNER'S SUITE

