

APPLICANTWILLIAM HARPER

PHONE623-3873

ADDRESS119SW HOBBY PLACE

LAKE CITYFL32024

OWNERWANDA & EARL GREEN

PHONE697-4652

ADDRESS4685NE GUMSWAMP RD

LAKE CITYFL32055

CONTRACTORWILLIAM HARPER

PHONE623-3837

LOCATION OF PROPERTY90 EAST, L MCCLOSKEY RD, R GUM SWAMP RD, GO .5 MILES

ON THE LEFT

TYPE DEVELOPMENTMODULAR, UTILITY

ESTIMATED COST OF CONSTRUCTION0.00

HEATED FLOOR AREA

TOTAL AREA

HEIGHT

STORIES

FOUNDATION

WALLS

ROOF PITCH

FLOOR

LAND USE & ZONINGA-2

MAX. HEIGHT35

Minimum Set Back Requirments:

STREET-FRONT30.00

REAR25.00

SIDE25.00

NO. EX.D.U.1

FLOOD ZONEXPS

DEVELOPMENT PERMIT NO.

PARCEL ID13-3S-17-04947-000

SUBDIVISION

LOT

BLOCK

PHASE

UNIT

TOTAL ACRES1.00

RR2811402

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING08-0227-E

BK

JH

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS: REPLACING BURNT DWELLING, FLOOR ONE FOOT ABOVE THE ROAD,

NOC ON FILE, SECTION 2.3.1 LEGAL NONCONFORMING LOT OF RECORD

REPLACING DWELLING EXEPT FROM IMPACT FEES

Check # or Cash

NO CHARGE

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power

Foundation

Monolithic

date/app. by

date/app. by

date/app. by

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

date/app. by

date/app. by

Framing

Rough-in plumbing above slab and below wood floor

date/app. by

date/app. by

Electrical rough-in

Heat & Air Duct

Peri. beam (Lintel)

date/app. by

date/app. by

date/app. by

Permanent power

C.O. Final

Culvert

date/app. by

date/app. by

date/app. by

M/H tie downs, blocking, electricity and plumbing

Pool

date/app. by

date/app. by

Reconnection

Pump pole

Utility Pole

date/app. by

date/app. by

date/app. by

M/H Pole

Travel Trailer

Re-roof

date/app. by

date/app. by

date/app. by

BUILDING PERMIT FEE \$0.00

CERTIFICATION FEE \$0.00

SURCHARGE FEE \$0.00

MISC. FEES \$0.00

ZONING CERT. FEE \$

FIRE FEE \$0.00

WASTE FEE \$

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$

CULVERT FEE \$

TOTAL FEE0.00

INSPECTORS OFFICE

CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



**Columbia County Building Permit Application**

<b>For Office Use Only</b>		Application # <u>0803-20</u>	Date Received <u>3/10/08</u>	By <u>CH</u>	Permit # <u>26842</u>
Zoning Official <u>BLK</u>	Date <u>13.03.08</u>	Flood Zone <u>X Suwannee</u>	FEMA Map # <u>N/A</u>	Zoning <u>A-2</u>	
Land Use <u>A-2</u>	Elevation <u>N/A</u>	MFE <u>None</u>	River <u>N/A</u>	Plans Examiner <u>OK JTH</u>	Date <u>3-11-08</u>
Comments <u>Burn out, Section 2.3.1 legal non-conforming lot of record</u>					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input type="checkbox"/> Deed or PA <input type="checkbox"/> Site Plan <input checked="" type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel # _____ <input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Authorization from Contractor <input type="checkbox"/> Unincorporated area <input type="checkbox"/> Incorporated area <input type="checkbox"/> Town of Fort White <input type="checkbox"/> Town of Fort White Compliance letter					

Septic Permit No. 08-0227E Fax 386-752-2571

Name Authorized Person Signing Permit WILLIAM L. HARPER Phone 386-623-3873

Address 119 SW HOBBY PL. LAKE CITY FL. 32024

Owners Name WANDA J. GREEN & Earl Green Phone 697-4652

911 Address 4685 NE GUMSWAMP RD. LAKE CITY 32055

Contractors Name WILLIAM L. HARPER Phone 386-623-3873

Address 119 SW HOBBY PL. LAKE CIT

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address CURTIS KEEFE 9263 CR 4TH WIDE OAK, FL 32060

Mortgage Lenders Name & Address FIRST FEDERAL 4705 W. US HWY 90 LAKE CITY FL 32056

Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 13-35-17  
RO 4947-000 Estimated Cost of Construction \$100,000.00

Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions GO HWY 90 EAST TO MCCLOSKEY RD (OLD STILL RD.) TURN LEFT, GO MCCLOSKEY TO GUMSWAMP RD., TURN RIGHT, PROPERTY APPROX. 1/2 MILE ON LEFT

Number of Existing Dwellings on Property 0

Construction of MODULAR HOME Total Acreage 1.0 ± Lot Size 1 ac

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16'

Actual Distance of Structure from Property Lines - Front 52' Side 95' Side 65' Rear 115'

Number of Stories 1 Heated Floor Area 1611 sqft Total Floor Area 1813 Roof Pitch 5/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.



Columbia County Building Permit Application

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

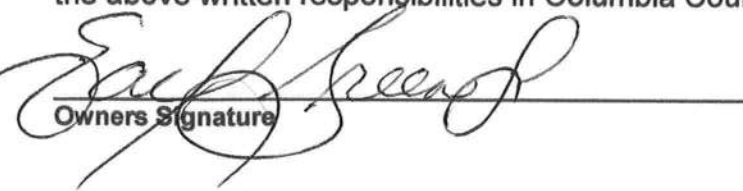
**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

  
Contractor's Signature (Permittee)

Contractor's License Number RR282811402  
Columbia County  
Competency Card Number 000258

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 7<sup>th</sup> day of March 2008  
Personally known ☒ or Produced Identification \_\_\_\_\_

  
State of Florida Notary Signature (For the Contractor)

SEAL:



WILLIAM P. CREWS  
MY COMMISSION # DD 703246  
EXPIRES: August 8, 2011  
Bonded Thru Budget Notary Services



STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 08-0227E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.

↑ Gum Swamp Rd

See  
Attached

Notes:

Site Plan submitted by: Earl Green R Signature

Plan Approved ☒ Not Approved ☐ Title owner

By Mu o h Date 3/11/08 Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



Prepared by & Return to:  
 Matthew D. Rocco  
 Sierra Title, LLC  
 619 SW Baya Drive, Suite 102  
 Lake City, Florida 32025

File Number: 08-0061

Inst:200812004264 Date:3/3/2008 Time:10:33 AM  
 Doc Stamp-Deed:0.70  
 44 DC, P. DeWitt Cason, Columbia County Page 1 of 2

### General Warranty Deed

Made this February 25, 2008 A.D. By **Earl Green, Jr. and Wanda Jean Green, his wife**, whose post office address is: 4685 NE Gum Swamp Rd., Lake City, FL 32055, hereinafter called the grantor, to **Wanda J. Green, a married woman**, whose post office address is: 4685 NE Gum Swamp Rd., Lake City, Florida 32055, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

**Witnesseth**, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

See Attached Schedule "A"

Parcel ID Number: R04947-000

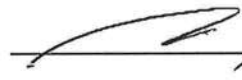
**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


**To Have and to Hold**, the same in fee simple forever.

**And** the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2007.


**In Witness Whereof**, the said grantor has signed and sealed these presents the day and year first above written.

*Signed, sealed and delivered in our presence:*

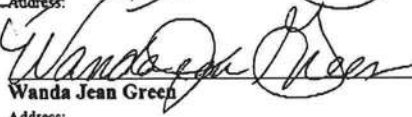
  
 Witness Printed Name Matthew D. Rocco

  
 Witness Printed Name MELINDA WEAVER

State of Florida  
 County of Columbia

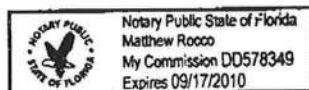
  
 Earl Green, Jr.  
 Address:

(Seal)

  
 Wanda Jean Green  
 Address:

(Seal)

The foregoing instrument was acknowledged before me this 25th day of February, 2008, by Earl Green, Jr. and Wanda Jean Green, his wife, who is/are personally known to me or who has produced Employee ID Card w/ photo + FLID as identification.



Notary Public  
 Print Name:

My Commission  
 Expires:

Prepared by & Return to:  
Matthew D. Rocco  
Sierra Title, LLC  
619 SW Baya Drive, Suite 102  
Lake City, Florida 32025

File Number: 08-0061

### "Schedule A"

Section 13, Township 3 South, Range 17 East: Commence at the Southwest corner of the NE 1/4 of the NW 1/4 of said section, and run thence North 87 degrees 18 minutes East along the South line of the NE 1/4 of the NW 1/4, 161.84 feet to the Easterly line of State Road No. S-250; thence North 46 degrees, 13 minutes East, along the Easterly line of State Road S-250, 1020.72 feet to a point of curve; thence North 43 degrees, 47 minutes West, on a perpendicular, 100.00 feet to the Westerly line of State Road S-250; thence South 46 degrees 13 minutes West, 39.65 feet along the Westerly line of State Road S-250, for a Point of Beginning; thence North 43 degrees 47 minutes West, 210.00 feet; thence South 48 degrees 00 minutes West, 212.50 feet; thence South 43 degrees 47 minutes East, 210.00 feet; thence North 46 degrees 13 minutes East, along the Westerly line of State Road S-250, 212.50 feet to the Point of Beginning.



# Columbia County Property Appraiser

DB Last Updated: 1/15/2008

Parcel: 13-3S-17-04947-000 HX

## 2008 Proposed Values

[Tax Record](#)
[Property Card](#)
[Interactive GIS Map](#)
[Print](#)

### Owner & Property Info

Search Result: 1 of 3    Next &gt;&gt;

<b>Owner's Name</b>	GREEN EARL JR & WANDA JEAN		
<b>Site Address</b>	GUM SWAMP		
<b>Mailing Address</b>	4685 NE GUM SWAMP RD LAKE CITY, FL 32055		
<b>Use Desc. (code)</b>	MOBILE HOM (000200)		
<b>Neighborhood</b>	1317.00	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA04	<b>Market Area</b>	04
<b>Total Land Area</b>	1.000 ACRES		
<b>Description</b>	COMM SW COR OF NE1/4 OF NW1/4, RUN E 161.84 FT TO E R/W CR-250, RUN NE ALON G R/W 1020.72 FT, NW 100 FT TO W R/W, SW 39.65 FT FOR POB, RUN NW 210 FT, SW 212.5 FT, SE FT, NE 212.5 FT TO POB. ORB 394-166, 731-909, DC 753-1740, 754-1602, 756-1175, 756-1175, 867-1332,		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (2)	\$16,000.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$47,360.00
<b>XFOB Value</b>	cnt: (2)	\$500.00
<b>Total Appraised Value</b>		\$63,860.00

<b>Just Value</b>	\$63,860.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$50,516.00
<b>Exempt Value</b> (code: HX)	\$25,000.00
<b>Total Taxable Value</b>	\$25,516.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
10/14/1998	<a href="#">867/1332</a>	WD	I	U	01	\$0.00
12/6/1991	<a href="#">754/1602</a>	WD	V	U	12	\$4,500.00
2/1/1986	<a href="#">585/232</a>	WD	V	U	01	\$4,300.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR MANUF (000200)	1999	Vinyl Side (31)	1404	1644	\$47,360.00

Note: All S.F. calculations are based on exterior building dimensions.

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0296	SHED METAL	1993	\$400.00	1.000	0 x 0 x 0	(.00)

0040	BARN,POLE	2005	\$100.00	1.000	0 x 0 x 0	(.00)
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**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	1.000 AC	1.00/1.00/1.00/1.00	\$14,000.00	\$14,000.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

DB Last Updated: 1/15/2008

1 of 3

[Next >>](#)**Disclaimer**

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's Office. The assessed values are **NOT CERTIFIED** values and therefore are subject to change before finalized for ad-valorem assessment purposes.

**Notice:**

Under Florida Law, e-mail addresses are public record. If you do not want your e-mail address released in response to a public-records request, do not send electronic mail to this entity. Instead contact this office by phone or in writing.

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*Alien's Title*

THIS INSTRUMENT WAS PREPARED BY:  
FIRST FEDERAL SAVINGS BANK OF FLORIDA  
4705 WEST U.S. HIGHWAY 90  
P.O. BOX 2029  
LAKE CITY, FLORIDA 32056

Inst:200812004266 Date:3/3/2008 Time:10:33 AM  
12 DC, P. DeWitt Cason, Columbia County Page 1 of 2

PERMIT NO. \_\_\_\_\_

### NOTICE OF COMMENCEMENT

STATE OF FLORIDA  
COUNTY OF Columbia

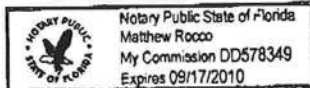
The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: See Exhibit A
2. General description of improvement: Construction of Dwelling
3. Owner information:
  - a. Name and address: Wanda J. Green, 386 SE Llewellyn Ave., Lake City, FL 32025
  - b. Interest in property: Fee Simple
  - c. Name and address of fee simple title holder (if other than Owner): NONE
4. Contractor (name and address): ROYALS Mobile Homes
5. Surety:
  - a. Name and address: N/A
  - b. Amount of bond: \_\_\_\_\_
6. Lender: **FIRST FEDERAL SAVINGS BANK OF FLORIDA**  
4705 WEST U.S. HIGHWAY 90  
P. O. BOX 2029  
LAKE CITY, FLORIDA 32056
7. Persons within the State of Florida designated by Owner upon whom notices or other document may be served as provided by Section 713.13 (1) (a) 7., Florida Statutes: NONE
8. In addition to himself, Owner designates PAULA HACKER of FIRST FEDERAL SAVINGS BANK OF FLORIDA, 4705 West U.S. Highway 90 / P. O. Box 2029, Lake City, Florida 32056 to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.
9. Expiration date of notice of commencement (the expiration date is 1 year from the date of recording unless a different date is specified).

Wanda J. Green  
Borrower Name

Earl Green  
Co-Borrower Name

The foregoing instrument was acknowledged before me this 25<sup>th</sup> day of FEBRUARY, 2008 by Wanda J. Green, who is personally known to me or who has produced driver's license for identification.



Notary Public  
My Commission Expires: \_\_\_\_\_

File No. 08-0061/Green

Exhibit A  
Legal Description

Section 13, Township 3 South, Range 17 East: Commence at the Southwest corner of the NE 1/4 of the NW 1/4 of said section, and run thence North 87 degrees 18 minutes East along the South line of the NE 1/4 of the NW 1/4, 161.84 feet to the Easterly line of State Road No. S-250; thence North 46 degrees, 13 minutes East, along the Easterly line of State Road S-250, 1020.72 feet to a point of curve; thence North 43 degrees, 47 minutes West, on a perpendicular, 100.00 feet to the Westerly line of State Road S-250; thence South 46 degrees 13 minutes West, 39.65 feet along the Westerly line of State Road S-250, for a Point of Beginning; thence North 43 degrees 47 minutes West, 210.00 feet; thence South 48 degrees 00 minutes West, 212.50 feet; thence South 43 degrees 47 minutes East, 210.00 feet; thence North 46 degrees 13 minutes East, along the Westerly line of State Road S-250, 212.50 feet to the Point of Beginning.



# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>1447-5465F</b>	Builder: <b>HORTON</b>
Address:	Permitting Office: <i>Columbia Co</i>
City, State: <b>, FL</b>	Permit Number: <i>26842</i>
Owner: <b>HORTON HOMES</b>	Jurisdiction Number: <i>221000</i>
Climate Zone: <b>North</b>	

1. New construction or existing <b>New</b> <input type="checkbox"/>	12. Cooling systems
2. Single family or multi-family <b>Single family</b> <input type="checkbox"/>	a. Central Unit <b>Cap: 42.0 kBtu/hr</b> <input type="checkbox"/>
3. Number of units, if multi-family <b>1</b> <input type="checkbox"/>	<b>SEER: 13.00</b> <input type="checkbox"/>
4. Number of Bedrooms <b>3</b> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
5. Is this a worst case? <b>Yes</b> <input type="checkbox"/>	c. N/A <input type="checkbox"/>
6. Conditioned floor area (ft²) <b>1611 ft²</b> <input type="checkbox"/>	13. Heating systems
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)	a. Electric Heat Pump <b>Cap: 42.0 kBtu/hr</b> <input type="checkbox"/>
a. U-factor: <b>Description Area</b>	<b>HSPF: 7.80</b> <input type="checkbox"/>
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) <b>198.1 ft²</b> <input type="checkbox"/>	b. N/A <input type="checkbox"/>
b. SHGC:	c. N/A <input type="checkbox"/>
(or Clear or Tint DEFAULT) 7b. (SHGC=0.4) <b>238.1 ft²</b> <input type="checkbox"/>	14. Hot water systems
8. Floor types	a. Electric Resistance <b>Cap: 50.0 gallons</b> <input type="checkbox"/>
a. Raised Wood, Stem Wall <b>R=22.0, 1833.2ft²</b> <input type="checkbox"/>	<b>EF: 0.90</b> <input type="checkbox"/>
b. N/A <input type="checkbox"/>	b. N/A <input type="checkbox"/>
c. N/A <input type="checkbox"/>	c. Conservation credits
9. Wall types	(HR-Heat recovery, Solar
a. Frame, Wood, Exterior <b>R=15.0, 1280.0 ft²</b> <input type="checkbox"/>	DHP-Dedicated heat pump)
b. N/A <input type="checkbox"/>	15. HVAC credits <b>PT,</b> <input type="checkbox"/>
c. N/A <input type="checkbox"/>	(CF-Ceiling fan, CV-Cross ventilation,
d. N/A <input type="checkbox"/>	HF-Whole house fan,
e. N/A <input type="checkbox"/>	PT-Programmable Thermostat,
10. Ceiling types	MZ-C-Multizone cooling,
a. Under Attic <b>R=38.0, 1632.0 ft²</b> <input type="checkbox"/>	MZ-H-Multizone heating)
b. N/A <input type="checkbox"/>	
c. N/A <input type="checkbox"/>	
11. Ducts	
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. <b>R=6.0, 225.0 ft</b> <input type="checkbox"/>	
b. N/A <input type="checkbox"/>	

Glass/Floor Area: 0.15

Total as-built points: 20550

Total base points: 22908

**PASS**

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *[Signature]*DATE: *[Signature]*

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: *[Signature]*DATE: *[Signature]*

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: *[Signature]* **DATE: JAN 21 2008** **Permit No. 1447-5465F**  
Approved By **SCOTT S. FRANCIS**

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

**SEE MANUFACTURER'S CONTRACT  
WITH FLORIDA DCA.**

*[Signature]*  
Modular Building Plans Examiner

# Summary Energy Code Results

## Residential Whole Building Performance Method A

HORTON HOMES

, FL

Project Title:  
1447-5465F

Class 3 Rating  
Registration No. 0  
Climate: North

2/14/2008

Building Loads			
Base		As-Built	
Summer:	<b>19854 points</b>	Summer:	<b>23109 points</b>
Winter:	<b>15435 points</b>	Winter:	<b>10528 points</b>
Hot Water:	<b>7273 points</b>	Hot Water:	<b>7273 points</b>
Total:	<b>42561 points</b>	Total:	<b>40910 points</b>

Energy Use			
Base		As-Built	
Cooling:	<b>6453 points</b>	Cooling:	<b>6915 points</b>
Heating:	<b>8551 points</b>	Heating:	<b>5554 points</b>
Hot Water:	<b>7905 points</b>	Hot Water:	<b>8081 points</b>
Total:	<b>22908 points</b>	Total:	<b>20550 points</b>

**PASS**  
e-Ratio: 0.90



# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	1447-5465F	Builder:	HORTON
Address:		Permitting Office:	
City, State:	, FL	Permit Number:	
Owner:	HORTON HOMES	Jurisdiction Number:	
Climate Zone:	South		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 42.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	1611 ft²		
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		13. Heating systems	
a. U-factor:	Description Area	a. Electric Heat Pump	Cap: 42.0 kBtu/hr
(or Single or Double DEFAULT) 7a. (Dble, U=0.3)	198.1 ft²		HSPF: 7.80
b. SHGC:		b. N/A	
(or Clear or Tint DEFAULT) 7b. (SHGC=0.4)	238.1 ft²	c. N/A	
8. Floor types			
a. Raised Wood, Stem Wall	R=22.0, 1833.2ft²	14. Hot water systems	
b. N/A		a. Electric Resistance	Cap: 50.0 gallons
c. N/A			EF: 0.90
9. Wall types		b. N/A	
a. Frame, Wood, Exterior	R=15.0, 1280.0 ft²	c. Conservation credits	
b. N/A		(HR-Heat recovery, Solar	
c. N/A		DHP-Dedicated heat pump)	
d. N/A		15. HVAC credits	PT,
e. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
10. Ceiling types		HF-Whole house fan,	
a. Under Attic	R=38.0, 1632.0 ft²	PT-Programmable Thermostat,	
b. N/A		MZ-C-Multizone cooling,	
c. N/A		MZ-H-Multizone heating)	
11. Ducts			
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 225.0 ft			
b. N/A			

Glass/Floor Area: 0.15

Total as-built points: 21186

Total base points: 21776

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]

DATE: APPROVED FEB 21 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: JAN 21 2008 Plan No. 1447-5465F  
DATE: Approved By SCOTT S. FRANCIS

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
**SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA.**

[Signature]  
Modular Building Glass Division

# Summary Energy Code Results

## Residential Whole Building Performance Method A

HORTON HOMES

, FL

Project Title:  
1447-5465F

Class 3 Rating  
Registration No. 0  
Climate: South

2/14/2008

Building Loads			
Base		As-Built	
Summer:	<b>43515 points</b>	Summer:	<b>45173 points</b>
Winter:	<b>1471 points</b>	Winter:	<b>1066 points</b>
Hot Water:	<b>6273 points</b>	Hot Water:	<b>6273 points</b>
Total:	<b>51259 points</b>	Total:	<b>52512 points</b>

Energy Use			
Base		As-Built	
Cooling:	<b>14142 points</b>	Cooling:	<b>13648 points</b>
Heating:	<b>815 points</b>	Heating:	<b>567 points</b>
Hot Water:	<b>6819 points</b>	Hot Water:	<b>6971 points</b>
Total:	<b>21776 points</b>	Total:	<b>21186 points</b>

**PASS**  
e-Ratio: 0.97

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name:	1447-5465F	Builder:	HORTON
Address:		Permitting Office:	
City, State:	, FL	Permit Number:	
Owner:	HORTON HOMES	Jurisdiction Number:	
Climate Zone:	Central		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 42.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft²)	1611 ft²	13. Heating systems	
7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)		a. Electric Heat Pump	Cap: 42.0 kBtu/hr
a. U-factor:	Description Area		HSPF: 7.80
(or Single or Double DEFAULT) 7a. (Dble, U=0.3) 198.1 ft²		b. N/A	
b. SHGC:		c. N/A	
(or Clear or Tint DEFAULT) 7b. (SHGC=0.4) 238.1 ft²		14. Hot water systems	
8. Floor types		a. Electric Resistance	Cap: 50.0 gallons
a. Raised Wood, Stem Wall	R=22.0, 1833.2ft²		EF: 0.90
b. N/A		b. N/A	
c. N/A		c. Conservation credits	
9. Wall types		(HR-Heat recovery, Solar	
a. Frame, Wood, Exterior	R=15.0, 1280.0 ft²	DHP-Dedicated heat pump)	
b. N/A		15. HVAC credits	PT,
c. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
d. N/A		HF-Whole house fan,	
e. N/A		PT-Programmable Thermostat,	
10. Ceiling types		MZ-C-Multizone cooling,	
a. Under Attic	R=38.0, 1632.0 ft²	MZ-H-Multizone heating)	
b. N/A			
c. N/A			
11. Ducts			
a. Sup: Unc. Ret: Unc. AH(Sealed):OutdoorsSup. R=6.0, 225.0 ft			
b. N/A			

Glass/Floor Area: 0.15

Total as-built points: 19470

Total base points: 20292

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: [Signature]DATE: APPROVED FEB 21 2008

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: \_\_\_\_\_

DATE: \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: DATE JAN 21 2008 Plan No. 1447-5465F  
DATE: Approved By SCOTT S. FRANCIS

<sup>1</sup> Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

**SEE MANUFACTURER'S CONTRACT WITH FLORIDA DCA.** (Version: FLRCSB v4.5.2)

[Signature]  
Modular Building Plans Examiner



# Summary Energy Code Results

## Residential Whole Building Performance Method A

HORTON HOMES

, FL

Project Title:  
1447-5465F

Class 3 Rating  
Registration No. 0  
Climate: Central

2/14/2008

Building Loads			
Base		As-Built	
Summer:	<b>29978 points</b>	Summer:	<b>31774 points</b>
Winter:	<b>5721 points</b>	Winter:	<b>4496 points</b>
Hot Water:	<b>6790 points</b>	Hot Water:	<b>6790 points</b>
Total:	<b>42489 points</b>	Total:	<b>43059 points</b>

Energy Use			
Base		As-Built	
Cooling:	<b>9743 points</b>	Cooling:	<b>9506 points</b>
Heating:	<b>3170 points</b>	Heating:	<b>2420 points</b>
Hot Water:	<b>7380 points</b>	Hot Water:	<b>7544 points</b>
Total:	<b>20292 points</b>	Total:	<b>19470 points</b>

**PASS**  
e-Ratio: 0.96

IN  
SECTION 13, TOWNSHIP 3 SOUTH, RANGE 17 EAST  
COLUMBIA COUNTY, FLORIDA

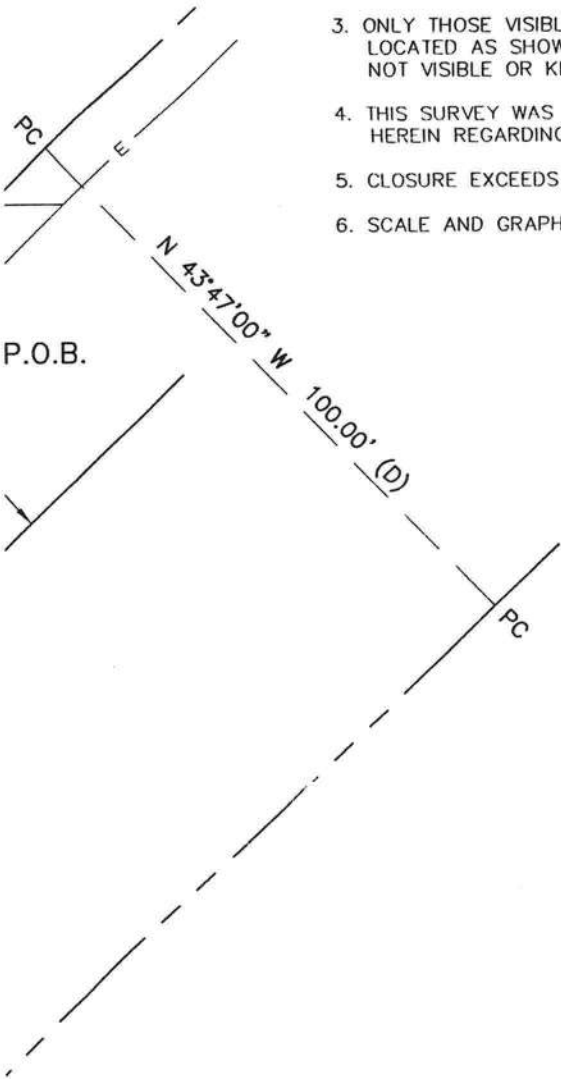
DESCRIPTION: (ORB. 867, PG. 1333)

SECTION 13, TOWNSHIP 3 SOUTH, RANGE 17 EAST: COMMENCE AT THE SOUTHWEST CORNER OF THE NE 1/4 OF NW 1/4 OF SAID SECTION, AND RUN THENCE N 87°18' E ALONG THE SOUTH LINE OF NE 1/4 OF NW 1/4, 161.84 FEET TO THE EASTERLY LINE OF STATE ROAD NO. S-250, THENCE N 46°13' E, ALONG THE EASTERLY LINE OF STATE ROAD S-250, 1020.72 FEET TO A POINT OF CURVE, THENCE N 43°47' W, ON A PERPENDICULAR, 100.00 FEET TO THE WESTERLY LINE OF STATE ROAD S-250, THENCE S 46°13' W, 39.65 FEET ALONG THE WESTERLY LINE OF STATE ROAD S-250, FOR A POINT OF BEGINNING, THENCE N 43°47' W, 210.00 FEET, THENCE S 48°00' W, 212.50 FEET, THENCE S 43°47' E, 210.00 FEET, THENCE N 46°13' E, ALONG THE WESTERLY LINE OF STATE ROAD S-250, 212.50 FEET TO THE POINT OF BEGINNING. CONTAINING 1 ACRE, MORE OR LESS.

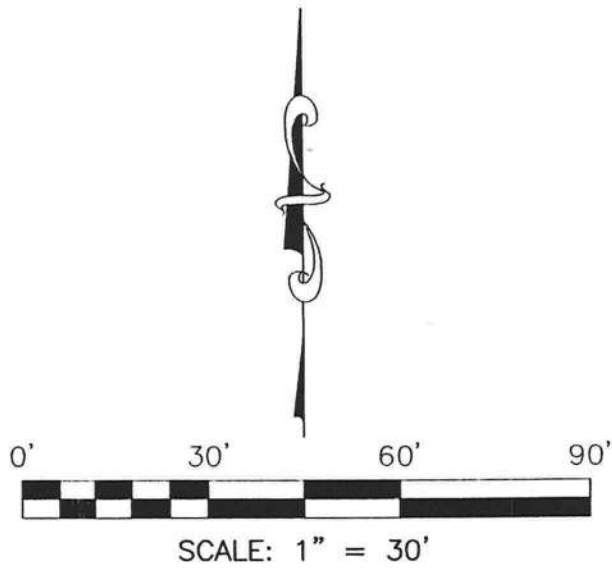
RETAINING 20 FT. RIGHT OF WAY ON EAST END OF ACRE.


NOTES:

1. BEARINGS ARE BASED ON THE WESTERLY LINE OF NE GUM SWAMP ROAD (STATE ROAD NO. S-250), BEING N 46°13'00" E.
2. SUBJECT PROPERTY LIES IN ZONE "X", AN AREA OUTSIDE OF THE 500-YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 120070 0150 B. LAST REVISION DATE JANUARY 6, 1988. FLOOD ZONE LINES, IF ANY, ARE SCALED FROM FLOOD INSURANCE RATE MAPS, PROVIDED BY FEMA.
3. ONLY THOSE VISIBLE INTERIOR IMPROVEMENTS AND IMPROVEMENTS PERTINENT TO THE SUBJECT PROPERTY HAVE BEEN LOCATED AS SHOWN HEREON. EXCEPTION IS MADE HEREON TO UNDERGROUND FACILITIES AND OTHER IMPROVEMENTS NOT VISIBLE OR KNOWN AT DATE OF SURVEY.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OR TITLE POLICY. THEREFORE, EXCEPTION IS MADE HEREIN REGARDING EASEMENTS, RESERVATIONS AND RESTRICTIONS OF RECORD NOT PROVIDED BY THE CLIENT.
5. CLOSURE EXCEEDS 1 : 10,000.
6. SCALE AND GRAPHIC LOCATION OF FENCES AND UTILITY POLES, IF ANY, MAY BE EXAGGERATED FOR CLARITY.



LEGEND	
○	DENOTES 5/8" IRON ROD & CAP SET (LB6685)
●	DENOTES IRON PIPE OR REBAR FOUND (1/2")
□	DENOTES 4"x4" CONCRETE MONUMENT SET (LB6685)
■	DENOTES 4"x4" CONCRETE MONUMENT FOUND
⊙	DENOTES NAIL & DISK FOUND
⊗	DENOTES 4"x4" CONCRETE MONUMENT (PRM); (LB6685) UNLESS OTHERWISE NOTED
x—x	DENOTES FENCE
—e—	DENOTES OVERHEAD ELECTRIC
—o—	DENOTES POWER POLE
→	DENOTES GUY ANCHOR
■	CONCRETE
±	MORE OR LESS
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PI	POINT OF INTERSECTION
PRC	POINT OF REVERSE CURVATURE
PCC	POINT OF COMPOUND CURVATURE
R	RADIUS
T	TANGENT
L	ARC LENGTH
Δ	CENTRAL ANGLE
CH	CHORD BEARING & DISTANCE
PCP	PERMANENT CONTROL POINT
PRM	PERMANENT REFERENCE MONUMENT
R/W	RIGHT OF WAY
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
X	GROUND SPOT ELEVATION
N	NORTH
E	EAST
S	SOUTH
W	WEST
CL	CENTERLINE
(P)	PLAT
(D)	DEED
(C)	CALCULATED
(M)	MEASURED
O/S	OFFSET
NO ID	NO IDENTIFICATION
FND	FOUND
CM	CONCRETE MONUMENT
IP	IRON PIPE
IPC	IRON PIPE & CAP
RB	REBAR
RBC	REBAR & CAP
IR	IRON ROD
IRC	IRON ROD & CAP
NL	NAIL
NL+D	NAIL & DISK
ORB	OFFICIAL RECORDS BOOK
PG	PAGE(S)
POC	POINT OF COMMENCEMENT
POB	POINT OF BEGINNING
SEC	SECTION
TWP	TOWNSHIP
RNG	RANGE



SURVEY FOR: EARL GREEN Jr. WANDA JEAN GREEN COUNTRYWIDE HOME LOANS, INC. SIERRA TITLE LLC TICOR TITLE INSURANCE COMPANY	
3-20-07 DATE OF CERTIFICATE	 BRIAN SCOTT DANIEL, PSM PROFESSIONAL SURVEYOR AND MAPPER FLORIDA CERTIFICATE NO. 6449
03-05-07 DATE OF FIELD SURVEY	
SURVEY VALID ONLY OF FIELD SURVEY SHOWN HEREON. NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. FLORIDA CERTIFICATE OF AUTHORIZATION NO. 6685.	

**Bailey Bishop & Lane, Inc.**  
P.O. Box 814  
Port St. Joe. FL 32457

**Bailey Bishop & Lane, Inc.**  
P.O. Box 3717  
Lake City, FL 32056

**EARL GREEN Jr.**

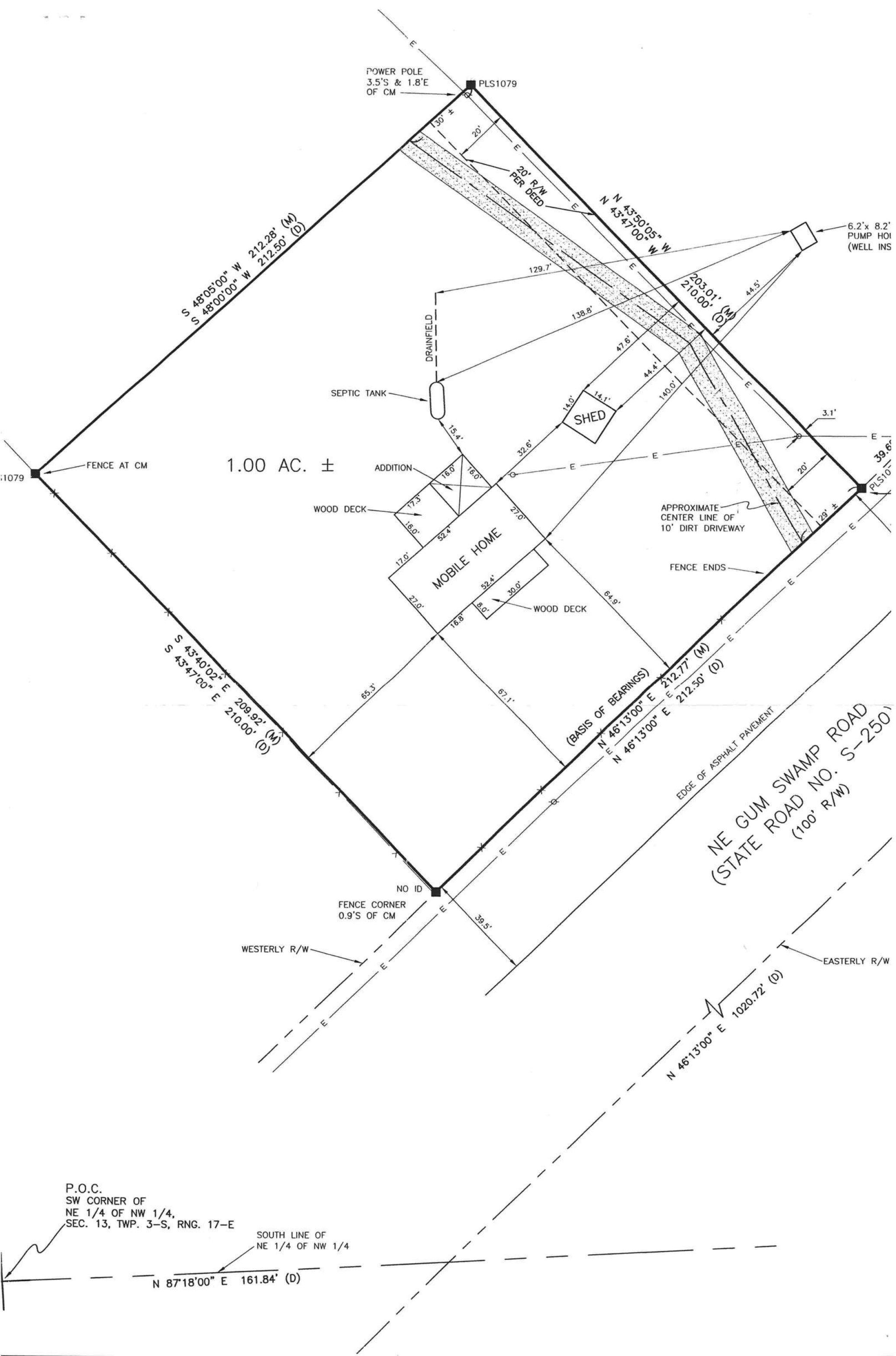
REVISION

JOB NUMBER  
0001

DRAWN  
JD

FIELD BOOK  
178 :  
EFE

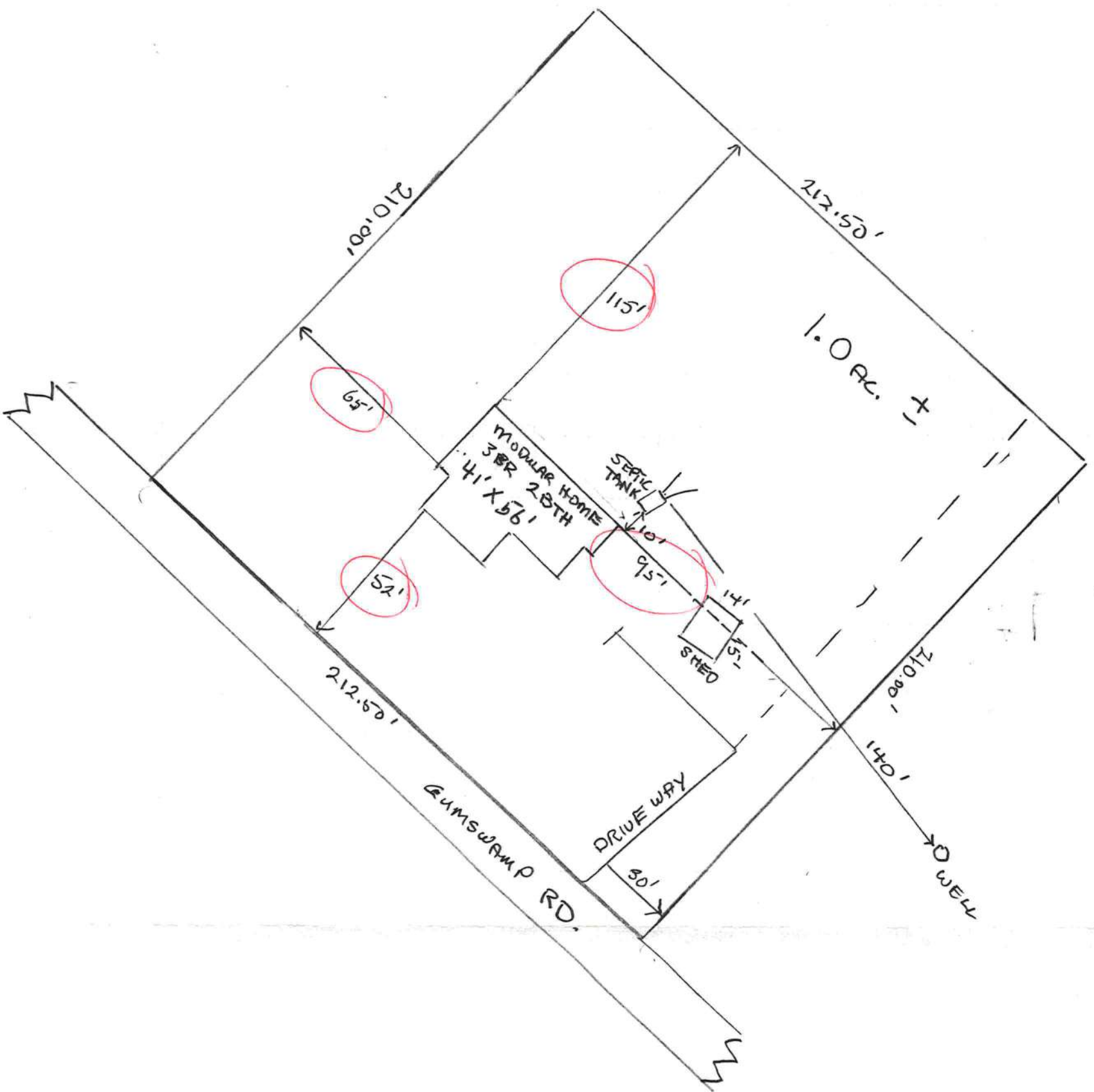
SHEET  
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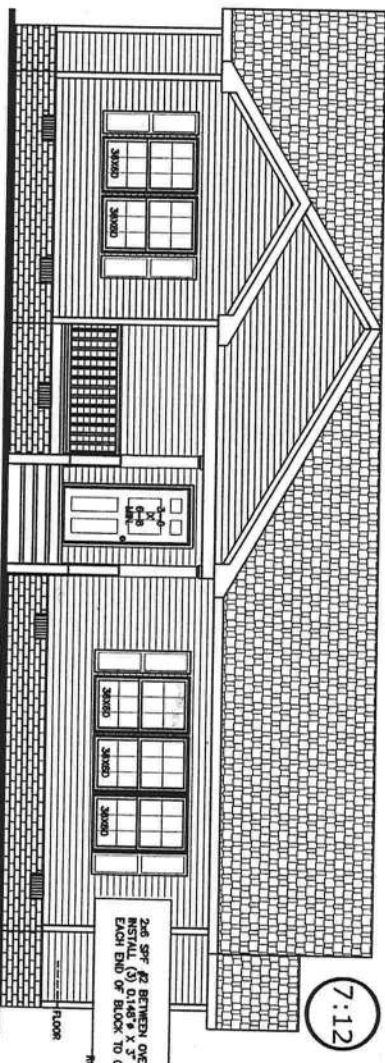


# SITE PLAN

OWNER: WANDA S. GREEN  
CONTRACTOR: WILLIAM L. HARPER  
PARCEL ID.#: R04947-000  
SCALE: 1" = 40'



N



7/12 SHOWN

7:12

THE 41X56  
MC376FG  
(BURTON)

1813 SQUARE FEET  
FRONT PORCH, STEPS COMPLETED ON SITE BY OTHERS

**STRUCTURAL DRAWING REFERENCE:**

MINIMUM INSULATION VALUES	SEAR WALL DESIGNATION	SEAR WALL LOCATION
FLOOR, R-38		FLOORS FL-1
WALLS, R-15		WALLS AND OPENINGS TO-1
EXPANDED AIR DUCT WORK, R-8		CORNER BRACING AND PARTITIONS CMB-1
SUPPLY AND RETURN UNCONDITIONED ATTICS TO R-8		BEAMS AND CATHRAL BC-1
THE BUILDING ENVELOPE SHALL BE INSULATED TO R-8		EXTERIOR SYSTEMS EX-1
DUCTS IN FLOOR TRUSSES SHALL BE INSULATED TO A MINIMUM OF R-6		CROSS SECTIONS CS-2
WINDOWS SHALL BE DOUBLE PANE OR STORM TYPE.		ROOF SYSTEM RF-1

ATTENTION LOCAL INSPECTIONS DEPARTMENT  
SET-UP INSTRUCTIONS FOR THIS MODULAR UNIT ARE INCLUDED BY ATTACHMENT  
TO THESE PLANS. ANY PLANS SET WHICH DOES NOT INCLUDE AN ATTACHMENT  
ENTITLED "INSTALLATION INSTRUCTIONS" ARE INCOMPLETE

HAVE NOT BEEN INSPECTED BY HWC, AND ARE NOT CERTIFIED BY THE MODULAR LABEL. NOTE THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL. CODE COMPLIANCE MUST BE DETERMINED AT THE LOCAL LEVEL.

SITE INSTALLED ITEMS:

- NOTE: FROM THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.
1. THE COMPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM.
2. RAFTERS, STAINS AND GENERAL ACCESS TO THE BUILDING.
3. PORTABLE FINE EXHAUSTOR(S).
4. BUILDING DOWNS, CLIMATE(S), AND HOOK-UP TO PLUMBING SYSTEM.
5. ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
6. THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
7. CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE INNER LINES) - (MULTI-UNITS ONLY).
8. STRUCTURAL AND KINETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
9. EXTERIOR WALL FINISH AND SPLITTING MATERIAL.
10. WINDOWS , STORM SHUTTERS.
11. BOTTOM OF FLOOR WIND PROTECTION ( IF APPLICABLE )
12. AT MAINLINES, FIRESTOPPING.

10. FIRE BLOODING AT LATELINE AND AN INFLATION MODEL SHALL BE INSTALLED BETWEEN
11. FIRE BLOODING MATERIAL SHALL BE THE SAFING INSULATION AND / OR U/L LISTED FIRE CLOUTER FOR DOCS OF 1/2" WIDTH AND LESS SHALL BE SUPPORTED ON NON-COMBUSTIBLE SUPPORT
12. CROSS-OVER DETAIL (MVC)
13. CROSS-OVER DETAIL (MVC)
14. WATER HEATER
15. SLIDING CLASSROOMS
16. PLUMBING FIXTURES
17. CABINETS

CODE SUMMARY:

CODE SUMMARY:									
STATE	RESIDENTIAL	ELECTRICAL	MECHANICAL	PLUMBING	ENERGY	FIRE PREVENTION	LIFE SAFETY	REL	ACCESSIBILITY
FLORIDA	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005, 2006, 2007 Supplement	2005 NATIONAL ELECTRICAL CODE	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005, 2006, 2007 Supplement	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005, 2006, 2007 Supplement	2004 FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING 2005, 2006, 2007 Supplement	*2004 FLORIDA FIRE PREVENTION	2003 NFPA 101 LIFE SAFETY CODE	2004 FLORIDA RESIDENTIAL BUILDING CODE 2005, 2006, 2007 Supplement	2004 FBC CHAP 11 2004 FLORIDA ACCESSIBILITY CODE Supplement

NOTE: HVAC LOAD IS ASSUMED. IF ACTUAL HVAC LOAD EXCEEDS LOAD SHOWN THE ELECTRICAL PANEL SIZING MUST BE RE-EVALUATED BY LICENSED DESIGNER (DESIGNED BY OTHERS).

FLOORPLAN MAY BE MIRRORED

ELECTRICAL SCHEDULE					PANEL SIZING	
BROW.	NO.	DESCRIPTION	VOLTS	WIRE CUL.	WIRE DESCRIPTION	NM
20	1	PORTABLE APPLANCE	120	12/2 GR	FLOOR AREA (181.0 SF x 3 W.A. / 1000 =	5.5 NM
20	2	PORTABLE APPLANCE	120	12/2 GR	(2) SMALL APPLIANCES AT 1000 VA. / 1000 =	3.0 NM
15	3	GENERAL LIGHTING	120	14/2	WASHER AT 8.0 NM (WASHER PLATE) =	8.0 NM
15	4	GENERAL LIGHTING	120	14/2	WASHER HEATER AT 8.5 NM =	8.5 NM
15	5	GENERAL LIGHTING	120	14/2 GR	WASHER HEATER AT 8.5 NM = (GR)	8.5 NM
15	6	GENERAL LIGHTING	120	14/2 GR	WASHER AT 1000 VA. / 1000 =	1.0 NM
20	7	BATHROOM RECEPT'S	120	12/2 GR	COOKTOP AT 8.0 NM (WASHER PLATE) =	8.0 NM
20	8	WATER HEATER	240	10/3	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
20	9	WASHER	120	14/2 GR	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
20	10	WASHER	120	14/2 GR	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
20	11	REFRIG.	240	10/3	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
20	12	REFRIG.	240	10/3	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	13	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	14	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	15	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	16	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	17	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	18	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	19	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	20	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	21	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	22	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	23	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	24	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	25	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	26	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	27	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	28	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	29	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	30	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	31	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	32	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	33	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	34	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	35	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	36	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	37	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	38	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	39	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	40	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	41	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	42	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	43	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	44	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	45	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	46	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	47	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	48	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	49	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	50	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	51	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	52	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	53	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	54	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	55	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	56	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	57	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	58	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	59	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	60	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	61	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	62	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	63	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	64	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	65	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	66	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	67	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	68	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	69	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	70	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	71	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	72	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	73	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	74	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	75	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	76	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	77	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	78	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	79	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	80	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	81	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	82	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	83	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	84	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	85	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	86	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	87	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	88	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	89	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	90	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	91	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	92	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	93	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	94	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	95	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	96	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	97	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	98	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	99	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	100	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	101	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	102	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	103	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	104	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	105	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	106	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	107	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	108	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	109	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	110	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	111	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	112	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	113	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	114	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	115	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	116	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	117	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	118	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	119	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	120	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	121	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	122	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	123	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	124	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	125	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	126	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	127	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	128	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	129	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	130	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	131	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	132	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	133	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	134	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	135	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	136	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	137	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	138	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	139	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	140	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	141	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	142	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	143	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	144	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	145	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	146	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	147	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	148	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	149	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	150	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	151	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	152	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	153	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	154	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	155	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	156	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	157	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	158	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	159	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	160	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	161	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	162	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	163	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	164	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	165	SMALL DEFLECTORS	120	14/2	OTHER AT 3.5 NM (IMMEDIATE PLATE) =	3.5 NM
15	166	SMALL DEFLECTORS</				

**FLORIDA**  
\*\* STRUCTURAL LOAD LIMITATIONS  
**EXPOSURE C.**  
EPOXIES ARE USED.

1. 1st FLOOR LVL: ROOF LVL LALO: 2. 2nd FLOOR LVL: 3. 3rd FLOOR LVL: 4. 4th FLOOR LVL: 5. 5th FLOOR LVL: 6. 6th FLOOR LVL: 7. 7th FLOOR LVL: 8. 8th FLOOR LVL: 9. 9th FLOOR LVL: 10. 10th FLOOR LVL: 11. 11th FLOOR LVL: 12. 12th FLOOR LVL: 13. 13th FLOOR LVL: 14. 14th FLOOR LVL: 15. 15th FLOOR LVL: 16. 16th FLOOR LVL: 17. 17th FLOOR LVL: 18. 18th FLOOR LVL: 19. 19th FLOOR LVL: 20. 20th FLOOR LVL: 21. 21st FLOOR LVL: 22. 22nd FLOOR LVL: 23. 23rd FLOOR LVL: 24. 24th FLOOR LVL: 25. 25th FLOOR LVL: 26. 26th FLOOR LVL: 27. 27th FLOOR LVL: 28. 28th FLOOR LVL: 29. 29th FLOOR LVL: 30. 30th FLOOR LVL: 31. 31st FLOOR LVL: 32. 32nd FLOOR LVL: 33. 33rd FLOOR LVL: 34. 34th FLOOR LVL: 35. 35th FLOOR LVL: 36. 36th FLOOR LVL: 37. 37th FLOOR LVL: 38. 38th FLOOR LVL: 39. 39th FLOOR LVL: 40. 40th FLOOR LVL: 41. 41st FLOOR LVL: 42. 42nd FLOOR LVL: 43. 43rd FLOOR LVL: 44. 44th FLOOR LVL: 45. 45th FLOOR LVL: 46. 46th FLOOR LVL: 47. 47th FLOOR LVL: 48. 48th FLOOR LVL: 49. 49th FLOOR LVL: 50. 50th FLOOR LVL: 51. 51st FLOOR LVL: 52. 52nd FLOOR LVL: 53. 53rd FLOOR LVL: 54. 54th FLOOR LVL: 55. 55th FLOOR LVL: 56. 56th FLOOR LVL: 57. 57th FLOOR LVL: 58. 58th FLOOR LVL: 59. 59th FLOOR LVL: 60. 60th FLOOR LVL: 61. 61st FLOOR LVL: 62. 62nd FLOOR LVL: 63. 63rd FLOOR LVL: 64. 64th FLOOR LVL: 65. 65th FLOOR LVL: 66. 66th FLOOR LVL: 67. 67th FLOOR LVL: 68. 68th FLOOR LVL: 69. 69th FLOOR LVL: 70. 70th FLOOR LVL: 71. 71st FLOOR LVL: 72. 72nd FLOOR LVL: 73. 73rd FLOOR LVL: 74. 74th FLOOR LVL: 75. 75th FLOOR LVL: 76. 76th FLOOR LVL: 77. 77th FLOOR LVL: 78. 78th FLOOR LVL: 79. 79th FLOOR LVL: 80. 80th FLOOR LVL: 81. 81st FLOOR LVL: 82. 82nd FLOOR LVL: 83. 83rd FLOOR LVL: 84. 84th FLOOR LVL: 85. 85th FLOOR LVL: 86. 86th FLOOR LVL: 87. 87th FLOOR LVL: 88. 88th FLOOR LVL: 89. 89th FLOOR LVL: 90. 90th FLOOR LVL: 91. 91st FLOOR LVL: 92. 92nd FLOOR LVL: 93. 93rd FLOOR LVL: 94. 94th FLOOR LVL: 95. 95th FLOOR LVL: 96. 96th FLOOR LVL: 97. 97th FLOOR LVL: 98. 98th FLOOR LVL: 99. 99th FLOOR LVL: 100. 100th FLOOR LVL: 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## EXPOSURE B.

6. THIS BUILDING MEETS ALL REQUIREMENTS FOR 140MPH EXPOSURE B. ADDITIONALLY, 6"x16" I-BEAMS PIERCE ARE LIMITED TO AN UNTRACED HEIGHT IN THE WEAK AXIS (8" DIA.) OF 32" EXCLUSIVE OF WOOD PLATE.

**FIRE SEPARATION**  
**5-FT. MIN.**

## OPTIONS

ADDITIONAL ITEMS WHICH MAY BE ADDED TO THE FLOORPLAN

- TILITY SINKS.
- MEN CABINETS
- TRA RECEPIACES
- CESSED FLOURESCENT LIGHTS
- CESSSED CAN LIGHTS
- LILING FANS
- RFLIGHTS
- E-THUS (INTERIOR)(NON SHEARWALLS ONLY)
- REPLACE
- EXTERIOR WALLS

ITEMS LISTED BELOW MAY BE OMITTED  
AND INSTALLED ON SITE BY OTHERS  
SUBJECT TO LOCAL JURISDICTION AND INSPECTION

WINDOWS  
 SLIDING DOOR (SLIDING OR HINGED)  
 INTERIOR DOOR  
 CLADDING FIXTURES  
 PLUMBING  
 ELECTRICAL SYSTEMS  
 KITCHEN CABINETS (TYPICAL LAYOUT ON FLOORPLAN)  
 BATH CABINETS (TYPICAL LAYOUT ON FLOORPLAN)  
 BATH INTERIORS (BATH AND/OR KITCHEN)  
 WALLS  
 INTERIOR DOINGS  
 INTERIOR DOORS  
 FLOOR  
 WALL  
 FLOOR

GENERAL NOTES: -FBC

1. ALL GLAZING WITHIN 24 INCH AREA OF DOORS WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR, AND ALL GLAZING IN DOORS SHALL BE SAFETY, TEMPERED OR ACRYLIC PLASTIC SHEET.
2. FLOOR DESIGN LIVE LOAD = 40 PSF.
3. MAXIMUM WIND SPEED = 130 MPH (3 sec gust)
4. OCCUPANCY IS RESIDENTIAL (R-3)
5. DEAD LOAD IS BASED ON 1 PERSON PER 200 SQUARE FEET OF FLOOR AREA.
6. CONSTRUCTION IS TYPE VA, UNPROTECTED.
7. MINIMUM CORRIDOR WIDTH IS 36 INCHES.
8. WINDOWS, GLASS, DOORS, SHALL COMPLY WITH AIAA / NWINDA 101 / I.S.2.
9. ALL MATERIALS USE IN THIS CONSTRUCTION OF THE BUILDING WHICH ARE COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 89-72 RULES SHALL HAVE CURRENT FLORIDA PRODUCT LISTING.
10. DATA PLATE LOCATION IS ON AT RAISED BOX LOCATION
11. RAISED SEALED PLANS ARE ON THE OWNER PARTY (HMC)
12. ALL PLANS SHALL BE REVIEWED BY THE OWNER PARTY (HMC)
13. LOCAL FIRE AND INSPECTION REQUIRED BY CHAPTER 633 F.S., TO BE HANDLED BY THE LOCAL FIRE AND INSPECTION.

## ELECTRICAL NOTES: NEC

COMPLETION OF THIS BUILDING TO BE IN COMPLIANCE WITH ALL STATE AND LOCAL DESIGN CODES. ALL WORK TO BE COMPLETED BY A LICENSED CONTRACTOR AND INSPECTED BY A LOCAL BUILDING OFFICIAL.

NOTE:  
STRUCTURE HAS BEEN DESIGNED FOR INSTALLATION ON SITE - BUILT PERMANENT FOUNDATION AND IS NOT INTENDED TO BE MOVED. ONCE SO INSTALLED, \*

PLUMBING NOTES: - FPC

1. APPROACHES AND EQUIPMENT SHALL BE GROUNDED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).
2. WHEN LIGHT FIXTURES ARE INSTALLED, THEY SHALL BE SURFACE MOUNTED OR RECESSED. INCANDESCENT FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 12 INCHES AND ALL OTHER FIXTURES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM "STORAGE AREA" AS DEFINED BY NEC 400.10.
3. WHEN WATER HEATERS ARE INSTALLED THEY SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE WATER HEATER. THE DISCONNECT SWITCH OR CIRCUIT BREAKER SHALL BE PERMITTED TO STAY IS WITHIN SIGHT FROM THE WATER HEATER OR IS CAPABLE OF BEING LOOKED IN THE OPEN POSITION.
4. A DISCONNECT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO EACH SERVICE UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS PART OF THE SERVICE UNIT. DISCONNECTS ALL MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
5. PRIOR TO DEREGULATING THE ELECTRICAL SYSTEM THE INTERFERRING RATING AND THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 10-8 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
6. THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS. SITE
7. ALL CABLES AND SUBCABLES (MODULE LEAD LINES) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES, OR CABLE CONNECTORS.
8. ALL OUTLETS LOCATED WITHIN 6 FEET OF A SINK, OR BASIN SHALL BE EQUIPPED WITH GFCI PROTECTION.
9. SHOCK DETECTORS ARE WHENED SO THAT THE OPERATION OF ANY ONE SHOCK DETECTOR WILL CAUSE SIMULTANEOUS ACTIVATION OF ALL OTHERS.
10. ALL RECEPITALS INSTALLED IN WET LOCATIONS (EXTERIOR) SHALL BE IN WEATHER ATTACHMENT FLUD OR IS INSERTED OR REMOVED.
11. ALL BRANCH CIRCUITS SUPPLYING 15 AND 20 AMPERE OUTLETS IN BEDROOM ARE PROTECTED BY AN AFO- FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 2012.1, 2006 NEC.

## MECHANICAL NOTES: FMC/FGO

12. THIS UNIT MUST BE CONNECTED TO PUBLIC WATER SUPPLY AND SEWER SYSTEM IF THESE ARE AVAILABLE.


1. ALL PLUMBING FIXTURES SHALL HAVE SEPARATE SHUT-OFF VALVES.
2. WATER HEATER SHALL HAVE SAFETY PAN WITH 1 INCH DRAIN TO EXTERIOR.
3. T & P RELIEF VALVE WITH DRAIN TO EXTERIOR, AND A SHUT OFF VALVE WITHIN 3 FEET ON A COLD WATER SUPPLY LINE.
4. WATER PIPES INSTALLED IN A WALL EXPOSED TO THE EXTERIOR SHALL BE LOCATED ON THE HEATED SIDE OF THE WALL INSULATION. WATER PIPING INSTALLED IN AN UNHEATED ATTIC SHALL BE INSULATED WITH AN INSULATION OF R-6.5 MINIMUM.
5. DWV SYSTEMS SHALL BE EITHER ABS OR PVC - DWV.
6. WATER SUPPLY LINES SHALL BE EITHER COPPER, OR COPPER WHEN PEX SUPPLY LINES ARE INSTALLED. THE MAXIMUM WATER HEATER TEMPERATURE SETTING IS 180° F. THE PEX PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS LIMITATIONS AND INSTRUCTIONS.
7. BUILDING DRAIN AND CLEAFOUTS ARE DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL JURISDICTION APPROVAL.
8. TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
9. SHOWER STALLS SHALL BE COVERED WITH NON-ABSORBENT MATERIAL TO A HEIGHT OF 72 INCHES ABOVE FINISH FLOOR.
10. WATER HEATER TEMPERATURE OF 120° F. (148.3° C)
11. THERMAL EXPANSION DEVICE IF REQUIRED BY THE WATER HEATER MANUFACTURER IS DEPENDENT ON THE TYPE INSTALLED BY OTHERS.

1. SPECIFIED.
2. INTERIOR DOORS SHALL BE UNDERCUT 1.5 INCHES ABOVE FINISHED FLOOR. DOORS TO BE UNDERCUT ON ONE-SIDED OR FLOOR PLAN, TO .01 INCH W/IN (2.5 PASSELS) OR LESS.
3. RESTROOM VENT FANS SHALL PROVIDE 50 CFM MINIMUM OF VENTILATION.
4. VENT FANS SHALL BE DUCTED TO THE EXTERIOR AND TERMINATE AT AN APPROVED VENT CAP.
5. HVAC EQUIPMENT SHALL BE EQUIPPED WITH OUTSIDE FRESH AIR INTAKES TO PROVIDE 20 CFM PER PERSON.

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archreg@aol.com

(SEAL) FI

APPROVED FEB 21 2008

Date JAN 21 2008 Plan No. 1447-5465F  
 Approved By SCOTT S. FRANCIS  
  
 Modular Building Plans Examiner  
 Florida License No. SMP-42

LEADS	
AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE REQUIREMENTS OF THE FBI AND NO PART OF 1975 CONVENTION ON THE PROTECTION OF PERSONAL DATA IS APPLICABLE TO THE FOIA- REQUESTED INFORMATION.	
CODE, TYPE _____	OCCUPANCY _____
ALTERNATE NO. _____	1-VA _____
WHEN VELOCITY _____	(S SEC. PLATS) 1 _____
PER. PRINTS OF _____	100 _____
PLAT NO. (IMP.) #62-5882 _____	0 _____
ALTERN. FLOOR _____	_____
LEAD _____	_____
APPROVED BY WANDA L. WATKINS _____	_____
WHEN VELOCITY _____	_____
HEADQUARTERS FAX _____	_____
NO _____	_____

APPROVED.  
FEB 21 2008  
HWC  
WERNER, CARTER & ASSOC.  
MODULAR  
DES: SEE NOTES  
LABELS: FL  
PRINTED: HUSCHON, WERNER, CARTER  
& ASSOCIATES  
1827 SOUTH MYRTLE AVE.  
CLEWISTON, FL 33509

 <b>HORTON HOMES, INC.</b> HORTON, GA 31024	DWG# :1447-5465F	DRAWN BY: R.E.G.
		SCALE: AS NOTED
		DATE 02-12-08
		REV:
		DWG. #: 1 OF 15

OVER SHEET (FLORIDA APPROVAL)

THE 41X56  
MC376FG<sub>(BURTON)</sub>



PLUMBING FIXTURE SCHEDULE

APPLIANCE	MANUFACTURER	MODEL	SPECIFICATIONS
WATER HEATER	RHEEM	WARRIOR	DIVISION 15 MECHANICAL PLUMBING PAGE 1
INSTANTANEOUS WATER HEATER	EEMAX	RESIDENTIAL COMMERCIAL	EEMAX 1 TO EEMAX 2
LAVATORY	VARIOUS	PORCELAIN	BOOT 21 TO BOOT 22
FAUCET	MOEN	LAVATORY FAUCET	MOEN 1 TO MOEN
KITCHEN SINK	ENEX	DOUBLE BOWL	ENEX 1 TO ENEX 3
SHOWER UNITS	CRANE	SINGLE PIECE	CRANE 1 TO CRANE 2
TUB/ SHOWER	CRANE	SINGLE PIECE	CRANE 3 TO CRANE 8
WHIRLPOOL/TUBS	CRANE	VARIOUS	CRANE 9 TO CRANE 15

MECHANICAL FIXTURE SCHEDULE

APPLIANCE	MANUFACTURER	MODEL	SPECIFICATIONS
FURNACE	INTERTECH	GAS	INTERTECH GAS 0 THROUGH INTERTECH GAS 72
FURNACE	INTERTECH	ELECTRIC	INTERTECH ELECTRIC 0 THROUGH INTERTECH ELECTRIC 72
EXHAUST FAN	VENTLINE	RANGE	VENT 1 THROUGH VENT 12
EXHAUST FAN	VENTLINE	BATH	VENT 13 THROUGH VENT 17
EXHAUST FAN	VENTLINE	ATTIC	VENT 18

ELECTRICAL FIXTURE SCHEDULE

FIXTURE	MANUFACTURER	MODEL	SPECIFICATIONS
LOAD CENTER	SIEMENS	MAIN BREAKER	DC 1 THROUGH DC 2
SNAP SWITCHES	EAGLE	STANDARD GRADE SWITCHES	DC 3
SNAP SWITCHES	EAGLE	DUPLEX GRADE SWITCHES	DC 4
LIGHT FIXTURES	SIMKAR CORPORATION	FLOUORESCENT	DC 5 THROUGH DC 6
ELECTRICAL FITTING	GB	VARIOUS	DC 7 THROUGH DC 9
WIRING DEVICES	WIRE CON	SELF-CONTAINED	DC 10 THROUGH DC 12/ DC 19
SMOKE DETECTORS	USI ELECTRICAL	120 V / AC	DC 13
RECEPTACLES	USI ELECTRICAL	GFCI	DC 14
J-BOXES	THOMAS & BATTS	VARIOUS	DC 15 THROUGH DC 18
LIGHT FIXTURES	CAPITAL	VARIOUS	CAPITAL 1 THROUGH CAPITAL 130
LIGHT FIXTURES	SIMKAR CORPORATION	VARIOUS	SIMKAR 1 THROUGH SIMKAR 63

DOORS SCHEDULE

WINDOW SCHEDULE

LD.	SIZE	DESCRIPTION	HEADERS	LD.	SIZE	DESCRIPTION	HEADERS	GLAZED AREA	VENT AREA	NOTES
16"	16"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	1440	14" x 40"	SINGLE HUNG	(2) 2x4 SPF#2			1. ALL COLUMN STUDS SHALL GLUE/NAILED TOGETHER. PVA GLUE WITH 100% COVERAGE SHALL BE USED.
24"	24"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3053	30" x 53"	SINGLE HUNG	(2) 2x4 SPF#2	8.9 sq.ft.	5.0 sq.ft.	
28"	28"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3027	30" x 27"	SINGLE HUNG	(2) 2x4 SPF#2	4.55 sq.ft.	2.28 sq.ft.	2. STRAPPING REQUIREMENT AT COLUMNS. REF. FLOORPLAN
30"	30"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3040 S.G.	30" x 40"	SINGLE HUNG	(2) 2x4 SPF#2	6.28 sq.ft.	3.14 sq.ft.	3. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.
32"	32"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3066	30" x 66"	SAFETY GLAZED SINGLE HUNG	(2) 2x4 SPF#2	11.16 sq.ft.	6.16 sq.ft.	4. DOOR SIZES SHOWN IN DOORS ARE IN INCHES AND REFLECT DOOR OPENING
36"	36"x80"x1-3/8"	6-PANEL HOLLOW CORE	(2) 2x4 SPF#2	3680	36" x 80"	SINGLE HUNG	(2) 2x4 SPF#2	12.20 sq.ft.	6.14 sq.ft.	
48"	48"x80"x1-3/8"	LOUVERED BIFOLD	(2) 2x6 SPF#2	4274/2556 BLOCK	42" x 42"	BLOCK SAFETY GLAZED	(2) 2x4 SPF#2			
60"	60"x80"x1-3/8"	LOUVERED BIFOLD	(2) 2x8 SPF#2							
FURNACE	22"x78"x1"	LOUVERED METAL DOOR	(2) 2x4 SPF#2							
3680	36"x80"x1-3/8"	INSUL. 6-PANEL STEEL	(2) 2x4 SPF#2							
S.G.D.	72"x80"x1-3/8"	INSUL. SAFETY GLAZED SLIDING GLASS DOOR	(2) 2x10 SYP#2							
DUNBARTON	72"x80"x1-3/8"	INSUL. SAFETY GLAZED SLIDING GLASS DOOR	(2) 2x10 SYP#2							

GENERAL NOTES: ALL WINDOWS TO BE SINGLE HUNG W/ INSULATED GLAZING (U=.35) ALL EGRESS WINDOWS MUST COMPLY WITH IRC SECT. R 310. ALL WINDOWS SHALL BE DESIGN PRESSURE 50. SIBC-1.0

HORTON HOMES, INC.  
TYPICAL CONSTRUCTION DETAILS FOR  
MODULAR CONSTRUCTION COMPLYING  
WITH ASCE 7-98 OR  
ASCE 7-02 OR ASCE 7-05, 130 MPH,  
EXPOSURE "C"

DWG. NO.	DWG. NAME
FL-1	TYPICAL FLOOR DETAILS
RF-1	TYPICAL ROOF DETAILS
BC-1	RIDGE BEAM AND HEADER DETAILS
TF-1	TYPICAL FRAMING INFORMATION
TF-2	TYPICAL FRAMING INFORMATION
EXS-1	TYPICAL EXTERIOR SIDING DETAILS
CHS-1	ON FRAME CROSS SECTION
PFS-1	OFF FRAME CROSS SECTION
ED-1	END WALL DETAILS
OD-1	OVERHANG DETAILS
SW-1	SHEAR WALL & ROOF DIAPHRAGM DETAILS

STANDARD CONSTRUCTION DETAILS  
REFER TO APPROVED PLANS FOR  
ANY INFORMATION NOT COVERED IN  
THESE DRAWINGS.

ROBERT E. GREGG  
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CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax 727-791-6942  
archreg@aol.com

APPROVED FEB 21 2008

SEAL: FL

LISTING  
THESE PRINTS COMPLY WITH THE  
FLORIDA MANUFACTURED BUILDING  
CODE AND REFER TO THE FLORIDA  
BUILDING CODE FOR THE FOLLOWING  
DETAILS:  
SHEET NO. 1  
SHEET TOTAL 1  
DATE: JAN 21 2008  
DRAWN BY: R.E.G.  
CHECKED BY: R.E.G.  
APPROVED BY: R.E.G.  
HATCHING: NO



MODULAR  
DESIGNS: SEE NOTES  
LABELS: FL

DWG# : 1447-5465F  
Horton  
HOMES, INC.  
EATONTON, GA 31024  
PLUMB, MECH, ELEC SCHEDULES

DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 02-12-08  
REV:  
DWG. #: 2 OF 15

THE 41X56  
MC376FG (BURTON)



7/12 SHOWN

7:12

FRONT ELEVATION

IMAGE CAN BE MIRRORED

ELEVATION NOTES:  
SEE CROSS SECTION FOR METHOD OF ROOF VENTILATION.  
UNDERPINNING AND STUOPS ON SITE BY OTHERS (TYPICAL ONLY)  
FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE  
FOOT NET VENT AREA PER 100 SQUARE FEET OF UNDERPINNING AREA, AND A  
18"x24" MINIMUM CRAWL SPACE ACCESS. SITE INSTALLED BY OTHERS  
AND SUBJECT TO LOCAL JURISDICTION.  
NET VENT AREA MAY BE REDUCED IF VAPOR BARRIER IS INSTALLED  
IN THE CRAWL SPACE AREA. REFER TO CODES.  
STAIR(S) AND HANDRAILS ARE SITE INSTALLED. DESIGNATED  
BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.  
ROOFING, SINK, WINDOW, DOOR & UNDERPINNING STYLES SHOWN  
ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL STYLES  
MAY VARY.  
SEE FLOORPLAN FOR EXTERIOR DOOR SWING.

REAR ELEVATION

2x6 SPF #2 BETWEEN OVERHANG FRAMING,  
INSTALL (3) 0.148"  $\phi$  X 3" TOE NAILS FROM  
EACH END OF BLOCK TO OVERHANG FRAMING.

2x6 SPF #2 OVERHANG FRAMING  
SPACED 24" O.C. MAX.

2x6 SPF #3 EDGE RAIL

(3) 0.131"  $\phi$  X 3" NAILS, EACH END

HINGED TRUSS

2x4 16 O.C.

NUMBER 10 WOODSCREWS  
X 4 1/2"  $\phi$  12" O.C.  
2x4 BLOCKING @ 24" O.C.

INSULATION PER DCA PKG.

NUMBER 10 WOODSCREWS  
X 4 1/2"  $\phi$  12" O.C.

HORIZONTAL JOINT

INSULATION PER DCA PKG.

2x6 BLOCKING AT HORIZ.

SHEATHING JOINTS

WINDOW OR DOOR HEADER

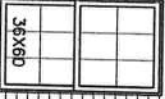
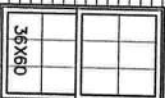
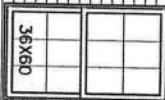
(PER DCA PKG)

3/8" APA RATED SHEATHING  
FASTENED WITH 15 GA.  
X 7/16" CROWN X 1 3/4" LEG  
NAILS @ 6" O.C. OR 10d COMM.  
NAILS @ 6" O.C. (SHEATHING TO  
EXTEND TO ROOF SHEATHING.)

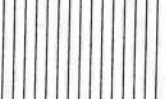
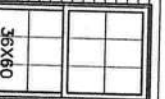
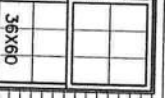
TYPICAL WINDOW/DOOR

ENDWALL SECTION DETAILS

SEE PAGE 9



2-10  
X  
6-8  
MIN.



6"-8" APPROX.

9'-0" MAX

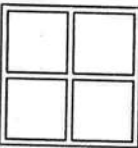


MODULAR  
DES: SEE NOTES  
LABELS: FL

WITH: HILBORN, WERNER, CARTER  
& ASSOCIATES  
1027 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

DWG#: 1447-5465F  
NORTON HOMES, INC.  
TORTON, GA 31024

DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 02-12-08  
REV:  
DWG. #: 3 OF 15



THE 41X56  
MC376FG (BURTON)

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APPROVED FEB 21 2008

APPROVED FEB 21 2008

MODULAR



7/12 SHOWN

**SITE INSTALLED ROOF  
CONNECTION BY OTHERS**

2MIN. (5 SHOWN)

12

RIGHT SIDE ELEVATION

~~SITE INSTALLED ROOF  
CONNECTION BY OTHERS~~

LEFT SIDE ELEVATION

ELEVATION NOTES

SEE CROSS SECTION FOR METHOD OF ROOF VENTILATION

UNDERPINNING AND STOOPS ON SITE BY OTHERS (TYPICAL ONLY)

FOOT NET VENT AREA PER 1/150th OF THE FLOOR AREA, AND A 18"x24" MINIMUM CRAWL SPACE ACCESS, SITE INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

THE VENT AREA MAY BE REDUCED IF VAPOR BARRIER IS INSTALLED IN THE CRAWL SPACE AREA. REFER TO CODES.

STAIR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNATED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL STYLES MAY VARY.

SEE ELECTRICAL PLAN FOR OUTSIDE LIGHT LOCATIONS.  
SEE FLOORPLAN FOR EXTERIOR DOOR SWING.

IMAGE CAN BE MIRRORED

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Fax 727-791-6942  
archreg@aol.com

*[Handwritten signature]*

SEAL: FL  
APPROVED FEB 21 2008

MODULAR

A graphic scale bar with alternating black and white segments. Below the bar, the following measurements are marked: 0, 6", 12", 2', 4', 8', and 12'.

LISTING	
AGENCY APPROVAL	
<p>DESIGN POINTS COMPLY WITH THE          1973 CONSTRUCTION CODE, SECTION          10.2.1 OF 1973 CONSTRUCTION          CODE, AND REFER TO THE FOLLOW-          ING CRITERIA:</p>	
CONCET. TYPE	VR
OCCUPANCY	R-3
ALTERNATE NO. OF FLOORS	1
WIND VELOCITY	15.0
WIND DIRECTION OR ELEV. WINDING	0
PLAN NO. DWG. #147-0388	40
FLOOR	21
APPROVAL	21 20
DATE	10/10/73
REMARKS	NO

ADD 21 20

# EWI

THE 41X56  
MC376FG<sub>(BURTON)</sub>

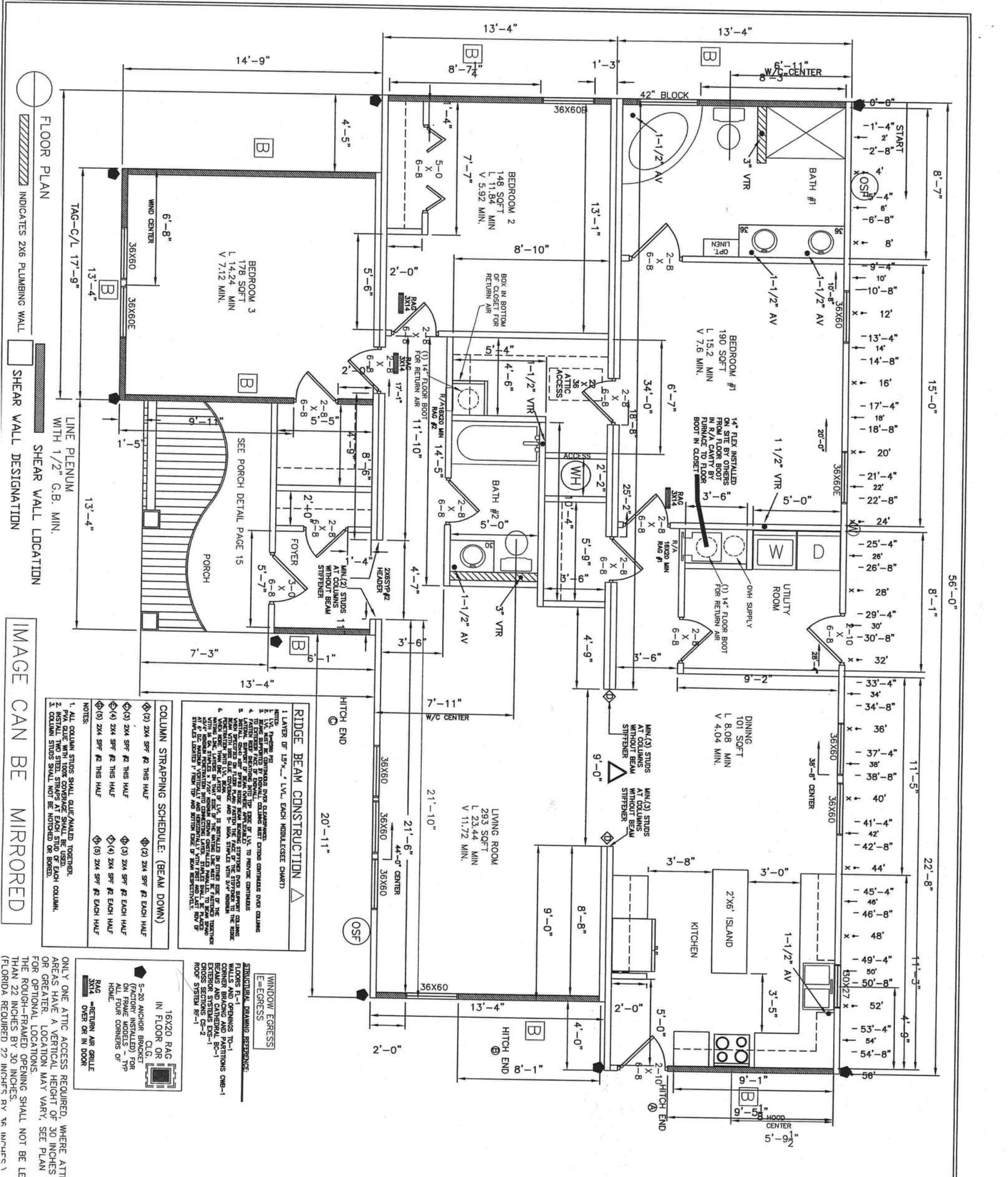
DRAWN BY: R.E.G.
SCALE: AS NOTED
DATE 02-12-08
REV:
DWG. #: 4 OF 15

DWG# : 1447-5465F

**HORTON  
HOMES, INC.**  
DUNTON, CA 91024

## VARIATIONS





APPROVED  
FEB 21 2008  
HWC  
WERNER, CARTER & ASSOC.

MODULAR  
DES: SEE NOTES  
LABELS: FL

DWG# : 1447-5465F  
DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 02-12-08  
REV: 1  
DWG. #: 5 OF 15

THE 41X56  
MC376FG (BURTON)

AGENCY APPROVAL  
THIS PROJECT HAS BEEN REVIEWED BY THE  
FLORIDA DEPARTMENT OF AGRICULTURE  
AND THE FLORIDA DEPARTMENT OF  
TRANSPORTATION AND CONSTRUCTION  
FOR COMPLIANCE WITH THE  
FLORIDA BUILDING CODE, CHAPTER 626, F.S.  
AND THE FLORIDA ELECTRICAL CODE, CHAPTER 39, F.S.  
DATE: 02-12-08  
BY: R.E.G.  
FOR: WERNER, CARTER & ASSOC.  
1527 SOUTH AVENUE AVE.  
CLEARWATER, FL 33759

ROBERT E. GREGG  
REGISTERED ARCHITECT  
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CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax 727-791-8942  
archreg@aol.com

APPROVED FEB 21 2008

MODULAR

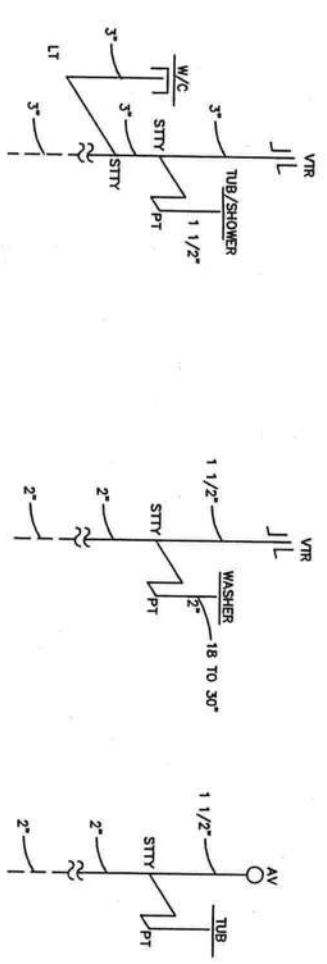
0 6' 12' 2' 4' 8' 12'



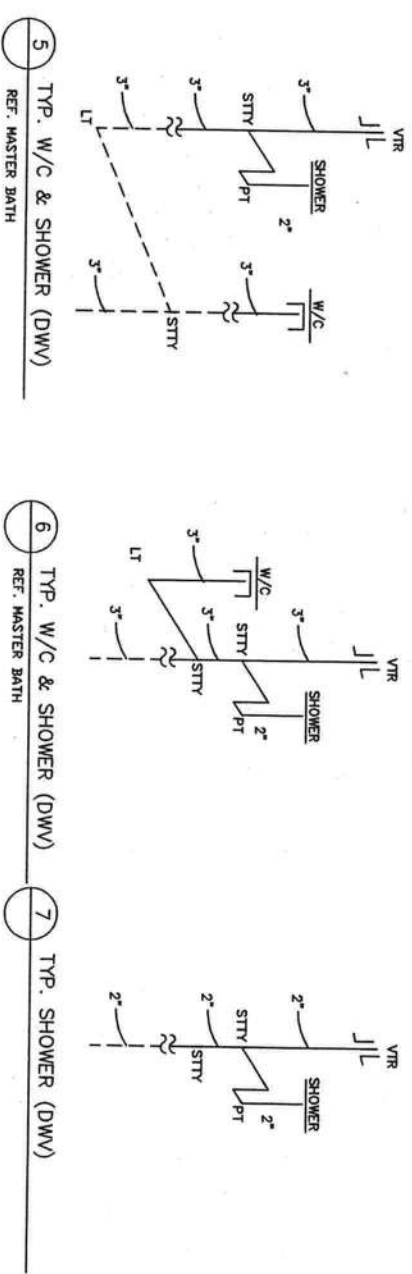




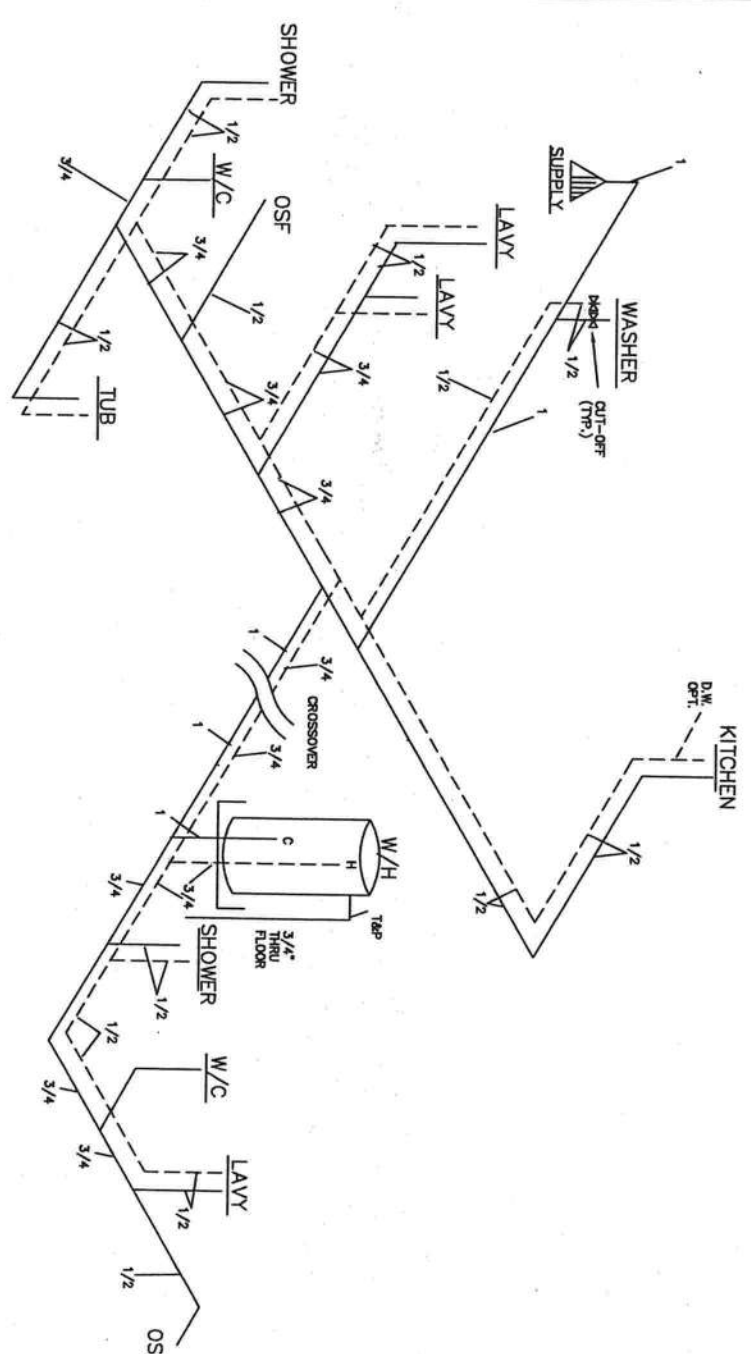
TYPICAL WASTE LINE CONFIGURATIONS.



- 2 TYP. W/C & TUB/SHOWER (DWV)
- 3 TYP. WASHER (DWV)
- 4 TYPICAL TUB (DWV)



- 5 TYP. W/C & SHOWER (DWV)
- 6 TYP. W/C & SHOWER (DWV)
- 7 TYP. SHOWER (DWV)
- 8 TYP. W/C & TUB/SHOWER (DWV)
- 9 TYP. LAVY (DWV)
- 10 KITCHEN SINK (DWV)-AV
- 11 KITCHEN SINK (DWV)-VTR



SUPPLY LINE SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION. INLET SUPPLY LINES SHALL BE 1" MIN. ALL SUPPLY LINES SHALL BE 3/4" UNLESS OTHERWISE NOTED. ALL SUPPLY RISERS INSTALLED WITH CUT-OFFS UNLESS OTHERWISE NOTED.

HOT WATER IS ON LEFT SIDE OF FIXTURE WHEN FACING IT.

NOTE: PIPING BELOW TO BE SITE INSTALLED BY OTHERS.

SOME VTRS MAYBE CONNECT TOGETHER IN ROOF CAVITY

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archreg@aol.com

Seal of Robert E. Gregg, Registered Architect, State of Florida, No. 12345.

SEAL: FL

APPROVED FEB 21 2008

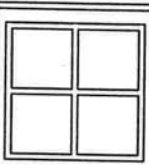
LEGEND:  
THESE SYMBOLS CORRESPOND WITH THE  
NOTES ON THE DRAWING. THE  
NOTES ARE THE EXPLANATION OF THE  
SYMBOLS AND ARE TO BE USED TO  
CLARIFY THE SYMBOLS.  
SYMBOL TYPE  
SYMBOL NO.  
SYMBOL NAME  
SYMBOL DESCRIPTION  
SYMBOL NOTES  
SYMBOL DIMENSIONS  
SYMBOL MATERIAL  
SYMBOL FINISH  
SYMBOL COLOR  
SYMBOL WEIGHT  
SYMBOL TYPE  
SYMBOL NO.  
SYMBOL NAME  
SYMBOL DESCRIPTION  
SYMBOL NOTES  
SYMBOL DIMENSIONS  
SYMBOL MATERIAL  
SYMBOL FINISH  
SYMBOL COLOR  
SYMBOL WEIGHT

APPROVED  
FEB 21 2008  
HWC  
BURTON, WERNER, CARTER & ASSOC.

MODULAR  
DESIGNS: SEE NOTES  
LABELS: FL  
BURTON, WERNER, CARTER & ASSOC.  
1875 SOUTH BAYVIEW AVE.  
CLEARWATER, FL 33759

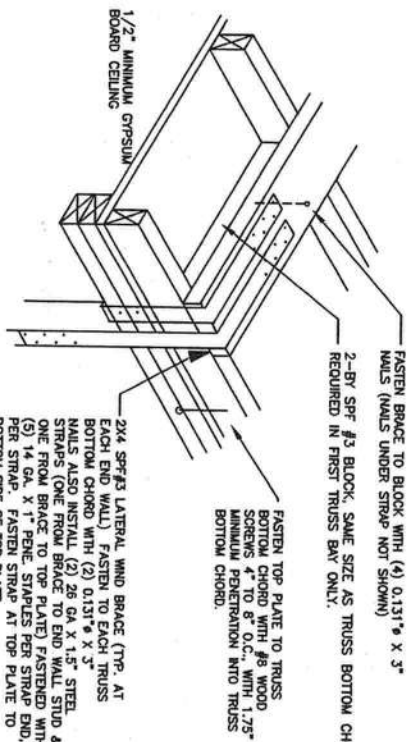
DWG# : 1447-5465F  
HORTON  
HOMES, INC.  
EATONTON, GA 31024  
PLUMBING SCHEMATICS

DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 02-12-08  
REV:  
DWG. #: 8 OF 15



THE 41X56  
MC376FG (BURTON)



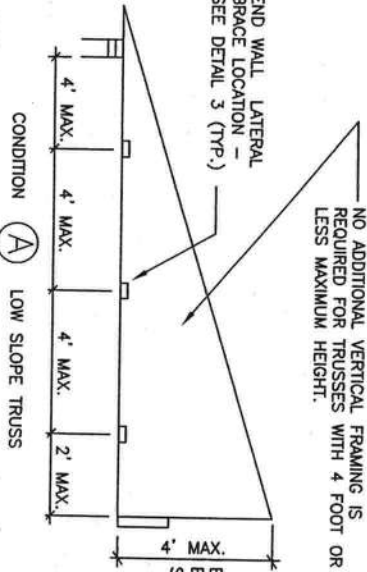


- NOTES:
1. SEE DETAIL 4 FOR REQUIRED LATERAL BRACE LOCATIONS.
  2. ALL LATERAL BRACES SHALL BE 8 FEET LONG MINIMUM EXCEPT WHEN TRUSS HEIGHT EXCEEDS 4 FEET. AT LEAST TWO OF THE REQUIRED BRACES SHALL BE A MINIMUM OF 4 FEET LONG.
  3. THE MODEL, PLAN DESIGNER SHALL DETERMINE THE APPLICABILITY OF THIS BRACING SYSTEM ON A MODEL, BY MODEL BASIS. SEE APPROVED MODEL PLANS FOR ADDITIONAL REQUIREMENTS.
  4. THIS DETAIL IS NOT APPLICABLE TO DROPPED T-GRID CEILINGS.
  5. ALL TRUSSES ARE DESIGNED BY OTHERS.

3 END WALL LATERAL BRACE

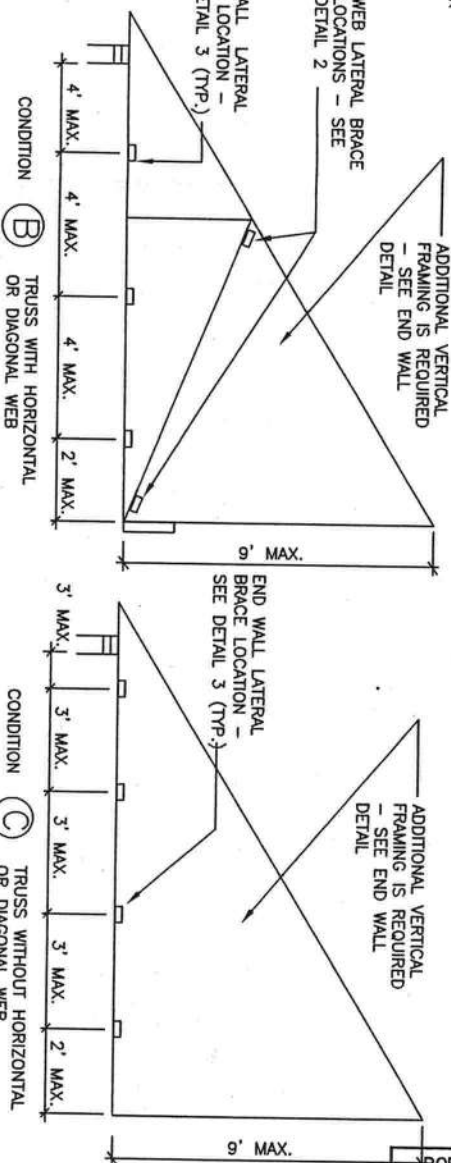
N.T.S.

- NOTES:
1. ADDITIONAL LATERAL BRACES AS NEEDED SO AS NOT TO EXCEED THE MAXIMUM SPACING SHOWN.
  2. ALL END WALL TRUSSES SHALL BE SHEATHED WITH MINIMUM 7/16" OSB RATED SHEATHING WITH ALL EDGES SUPPORTED BY 2" NOMINAL LUMBER. SHEATHING SHALL BE FASTENED TO TRUSS TOP & BOTTOM CHORDS PER SHEAR WALL REQUIREMENTS BUT NOT LESS THAN 8d COMMON NAILS 4" O.C. NO HORIZONTAL JOINTS ARE PERMITTED OVER TRUSSES FOR TRUSS THAT ARE 4 FEET OR LESS IN HEIGHT.



4 LATERAL BRACE REQUIRED LOCATIONS

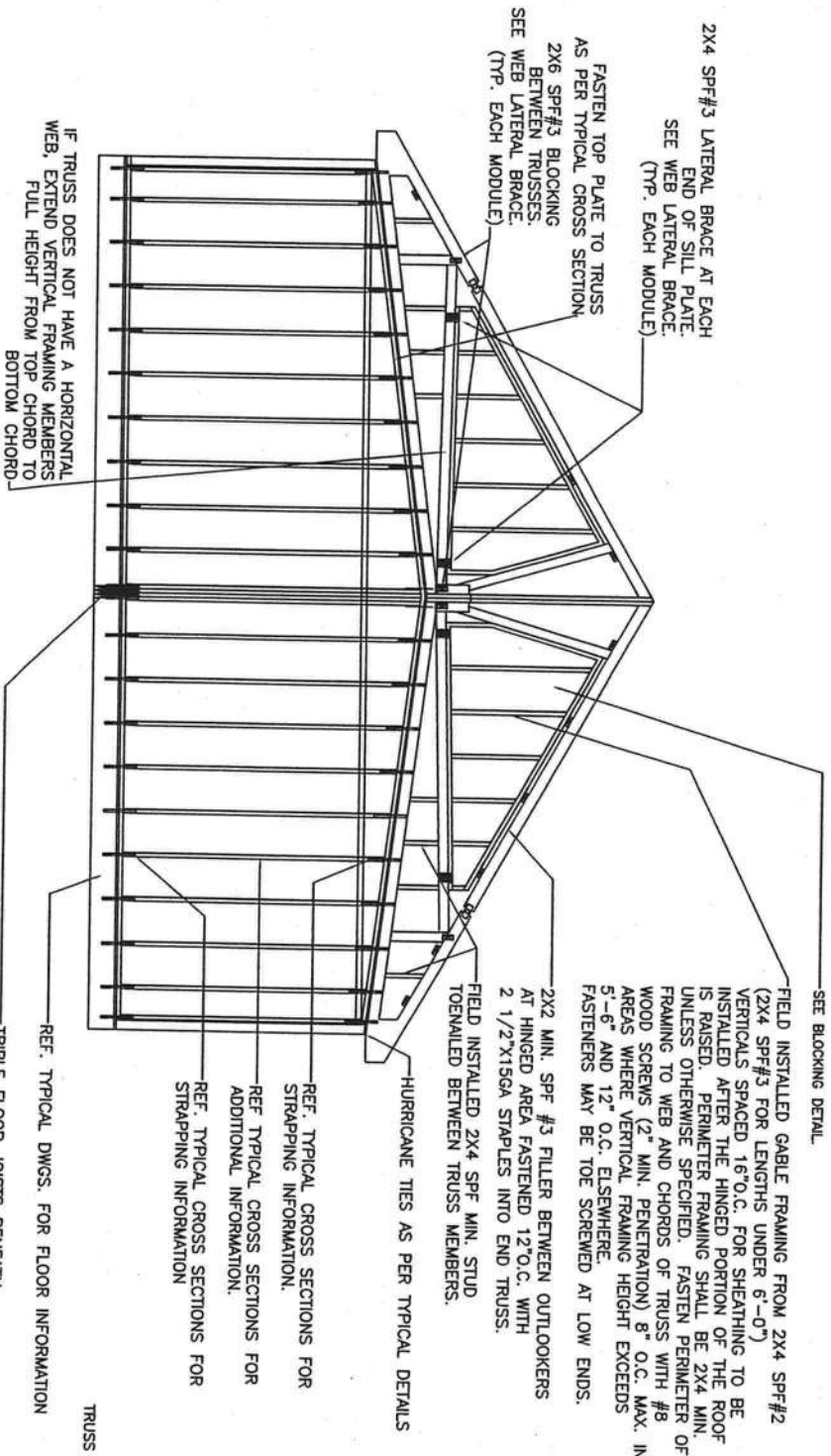
N.T.S.



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Seal of Robert E. Gregg, Registered Architect, State of Florida, No. 12542.

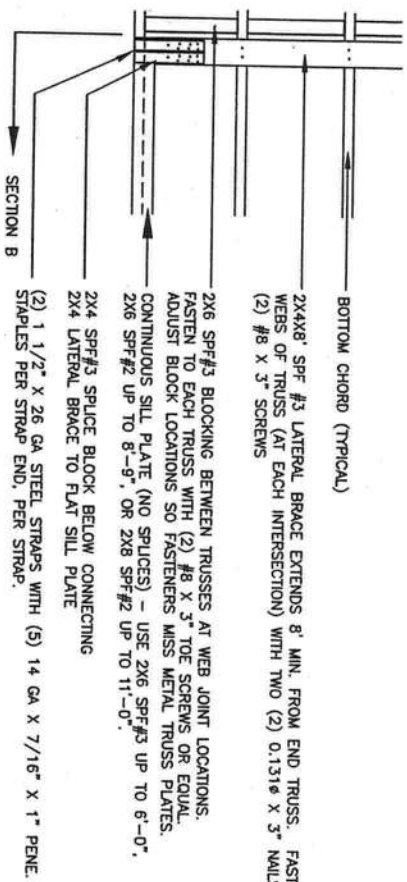
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1 END WALL DETAIL (ROOF PITCH 2.25:12 MINIMUM, 7:12 MAXIMUM)

N.T.S.

THIS DETAIL IS APPLICABLE TO FLAT CEILINGS AS WELL AS CATHEDRAL CEILINGS. 1/2" MINIMUM GYPSUM BOARD MAY BE USED AS THE REQUIRED CEILING DIAPHRAGM PROVIDED IT IS FASTENED WITH 5d COOLER NAILS WITH 1 5/8" LENGTH AND 0.086" SHANK AT 7" O.C. AT ALL FRAMING SUPPORTS AND ALL EDGES ARE BLOCKED WITH 2X6 MINIMUM LUMBER AND THE BUILDING DOES NOT EXCEED 30'-8" IN WIDTH AND HAS A MINIMUM LENGTH OF 40'. ALTERNATE CEILING DIAPHRAGMS MAY BE DESIGNED BY THE BUILDING DESIGNER. THE BUILDING DESIGNER IS RESPONSIBLE FOR DESIGN OF ADEQUATE SHEAR WALLS AT THE SIDE WALL AND MAINE WALL TO RESIST LOADS FROM THE CEILING DIAPHRAGM.



2 TRUSS WEB LATERAL BRACE

N.T.S.



SECTION B

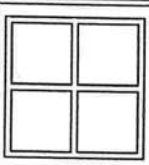
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FEB 21 2008  
HWC  
WERNER, CARTER & ASSOC.

MODULAR  
DESIGNS: SEE NOTES  
LABELS: FL

RED PARTS: HILBORN, WERNER, CARTER & ASSOCIATES  
1107 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

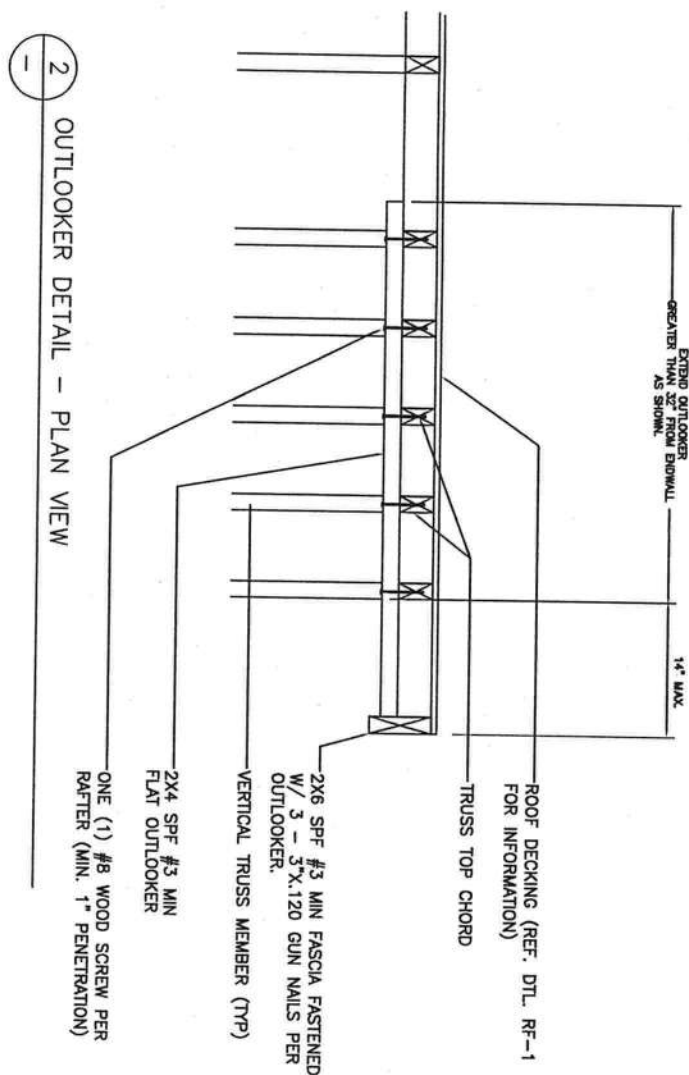
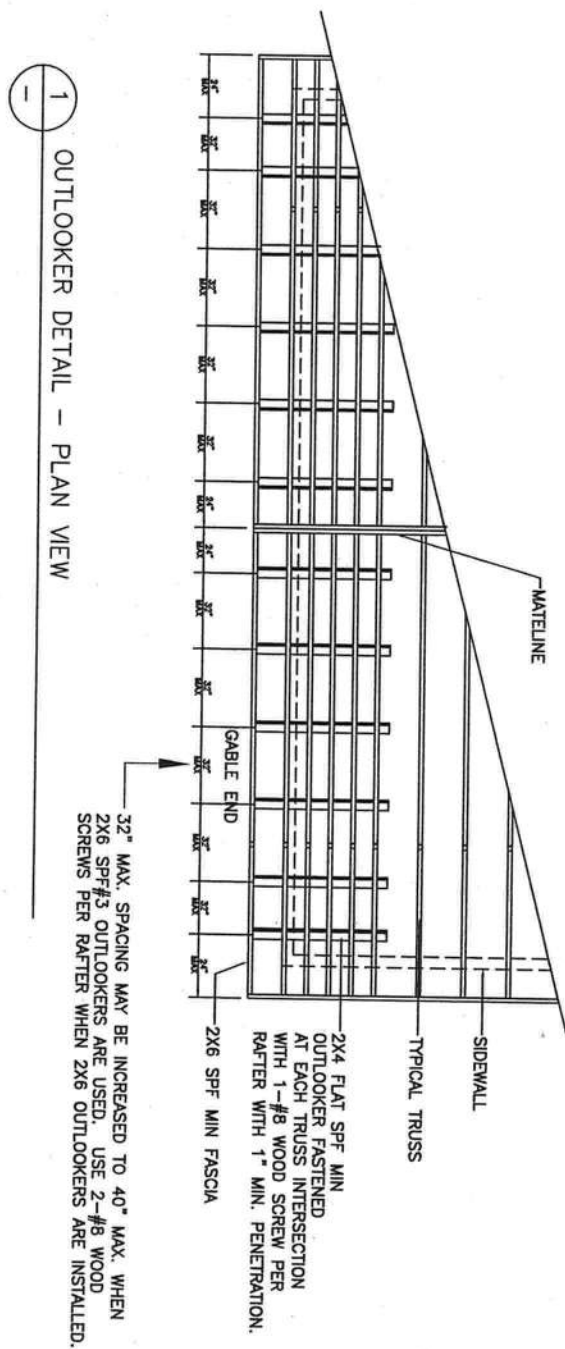
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HORTON HOMES, INC.  
EATONTON, GA 31024

DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 02-12-08  
REV:  
DWG. #: 9 OF 15



THE 41X56  
MC376FG (BURTON)

DATE	21 2008
BY	RE.G.
CHECKED	NO
DESIGNED	NO
APPROVED	NO
REVISIONS	
NO.	
DATE	
BY	
CHECKED	
DESIGNED	
APPROVED	



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SEAL: FL

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THE 41X56  
MC376FG<sub>(BURTON)</sub>

DRAWN BY: R.E.G.
SCALE: AS NOTED
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REV:
DWG. #: 10 OF 15

DWG# :1447-5465F

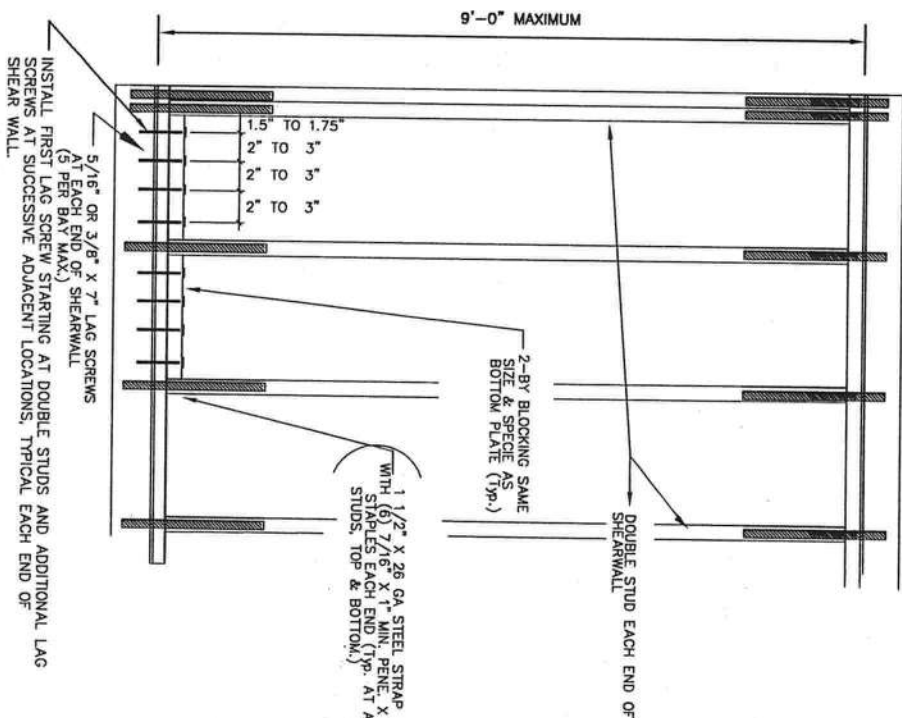
DWG# : 1447-5465F  
**HORTON**  
**HOUSES, INC.**  
 EATONTON, GA 31024

CD-1



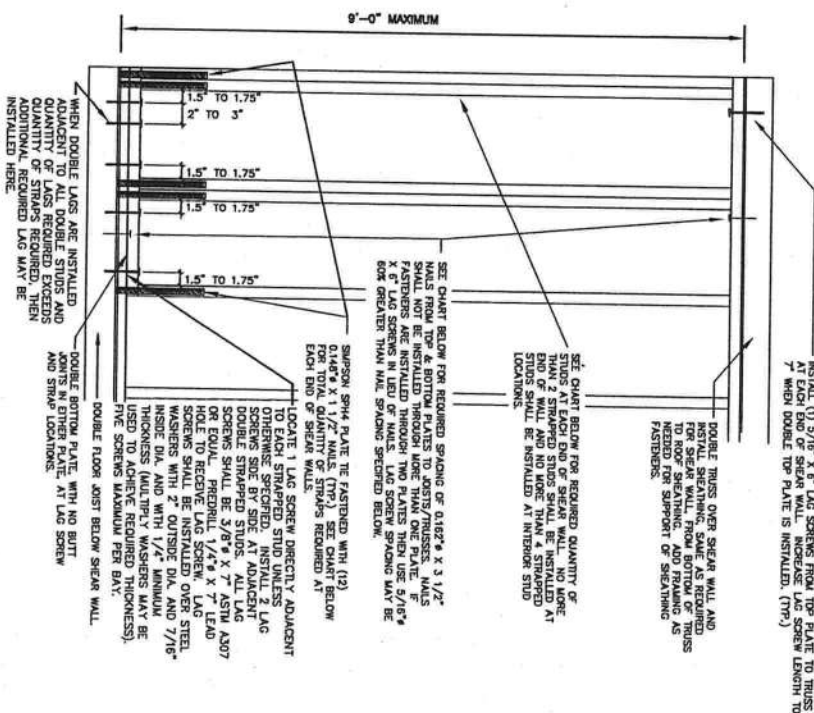
MODULAR  
CODES: SEE NOTES  
LABELS: FL

TRD PARTY: HILBORN, WERNER, CARTER  
& ASSOCIATES  
1827 SOUTH MYRTLE AVE.  
CLEWATER, FL 33756



SHEARWALL DESIGNATION	LAG SCREWS PER CORNER	MIN. SHEARWALL SEGMENT LENGTH
A	2	2'-6"
B	3	3'-6"
C	4	4'-0"
D	6	4'-0"
E	6	6'-0"
E	7	4'-6"
F	8	7'-6"

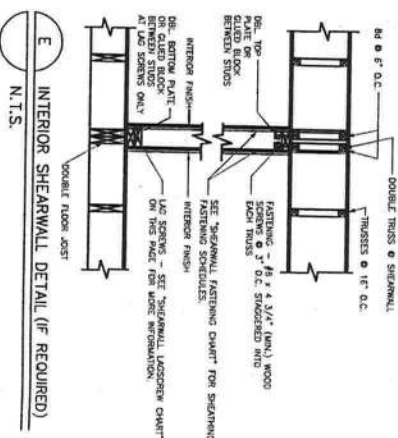
C SHEARWALL DETAIL  
N.T.S.



SHEAR WALL DESIGNATION	PLATE NAIL SPACING (O.C.) *	QUANTITY OF STUDS OF WALL	QUANTITY OF STRAPS EACH END OF WALL	QUANTITY OF LAGS EACH END OF WALL	MINIMUM SHEAR WALL SEGMENT
A	7 1/2"	2	2	2	2'-6"
B	5"	4	4	4	3'-6"
C	4"	4	4	5	5'-0"
D	3"	5	5	6	6'-0"
E	2 1/2"	7	7	8	7'-0"
F	2"	8	8	9	10'-0"

\* WHEN SPACING IS 3" O.C. OR LESS STAGGER FASTENERS

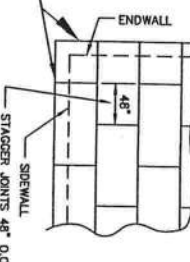
A2 INTERIOR SHEAR WALL DETAIL  
N.T.S.



B2 INTERIOR SHEAR WALL FASTENING  
N.T.S.

# NOTES:

1. ROOF SHEATHING: 15/32" PLYWOOD OR 7/16" OSB RATED SHEATHING - EXP. 1, FASTENED WITH BD COMMON NAILS.
2. BOUNDARY BLOCKING SHALL BE 2" X 6" SPF #2 MIN. EXCEPT WHEN FASTENER SPACING IS 2 1/2" OR 2" O.C. AND ADDITIONAL 2-BY MEMBER SHALL BE GLUE / NAILED TO 2" X 6" TO ALLOW STAGGERING OF FASTENERS.
3. EDGE BLOCKING SHALL BE 2-BY MEMBERS EXCEPT WHEN FASTENER SPACING IS 2 1/2" OR 2" O.C. BLOCKING SHALL BE DOUBLE 2-BY MEMBERS GLUE / NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS.
4. FASTENER SPACING CHART



BOUNDARIES:	A	B	C	D
EDGES:	6"	6"	4"	2 1/2"
FIELD:	6"	6"	6"	4"
ROOF PITCH (α)	12"	12"	12"	12"

ALL EDGES MUST BE BLOCKED EXCEPT FOR (X) FASTENING  
MAXIMUM DISTANCE FROM CENTERLINE OF BUILDING

① 6.11:12< α ≤ 7:12 PER ASCE 7-02, 7-05 (2003,2006IBC)	25'	28'	35'	40'
② 2.25: 12< α ≤ 6.11:12 PER ASCE 7-02, 7-05 (2003,2006IBC)	40'	40'	40'	40'
③ 6.11:12< α ≤ 7:12 PER ASCE 7-02, 7-05 (2004 FBC)	25'	29'	39'	40'
④ 2.25: 12< α ≤ 6.11:12 PER ASCE 7-02, 7-05 (2004 FBC)	40'	40'	40'	40'

NOTE: FASTENER SPACING CHART ABOVE IS BASED ON:  
- 26'-8" MINIMUM BUILDING WIDTH  
- NO OPENING IN ROOF SHEATHING EXCEEDING 12'  
- MAXIMUM WIND SPEED OF 150 MPH

D ROOF SHEATHING DETAIL  
N.T.S.

## WALL SHEATHING EDGE FASTENING CHART

WALL DESIGNATION:	A	B	C	D	E	F
FASTENER EDGE SPACING: 6" 4" 3" 2" 4" 3"						
PLF CAPACITY:	230	350	451	588	700	902

\* EDGE SUPPORTS SHALL BE DOUBLE 2-BY MEMBER GLUE / NAILED TOGETHER TO ALLOW STAGGERING OF FASTENERS  
\*\* [E] + [F] ASSEMBLIES REQUIRE SHEATHING ON BOTH SIDES OF THE WALL

- NOTES:
1. SPACE FASTENERS 12" O.C. MAXIMUM AT INTERMEDIATE SUPPORTS.
  2. FRAMING SUPPORTS SHALL BE 16" O.C. MAXIMUM, SPF OR BETTER 2" NOMINAL LUMBER. ALL EDGES OF SHEATHING SHALL BE SUPPORTED.
  3. ALL FASTENERS SHALL BE BD COMMON OR GALVANIZED NAILS.
  4. SHEATHING MATERIAL SHALL BE 3/8" OR 7/16" RATED STRUCTURAL WOOD PANEL EXP. 1 OR EXTERIOR GRADE, APPLIED DIRECTLY TO FRAMING.
  5. SEE CROSS SECTION FOR INSTALLATION REQUIREMENTS.

B SHEARWALL FASTENING CHART  
N.T.S.

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APPROVED FEB 21 2008  
SEAL: FL

APPROVED FOR THE PROJECT BY THE ARCHITECT  
DATE: 2/21/2008  
BY: [Signature]  
FOR THE PROJECT BY THE ARCHITECT  
DATE: 2/21/2008  
BY: [Signature]

THE 41X56  
MC376FG (BURTON)

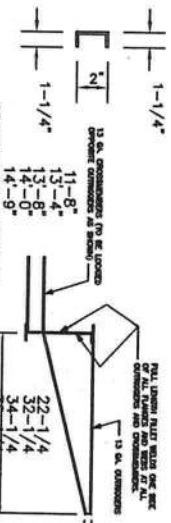
DRAWN BY: R.E.G.  
SCALE: AS NOTED  
DATE: 02-12-08  
REV: 11 OF 15  
DWG. #:

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FEB 21 2008  
HWC  
LUT BORN, WERNER, CARTER & ASSOC.

MODULAR  
DESIGNS: SEE NOTES  
LABELS: FL

DWG#: 1447-5465F  
ORTON HOMES, INC.  
EATONTON, GA 31024  
SW-1





CROSS-MEMBER SECTION

OUTRIGGER SECTION

TRUSSES

HM231517--7/12-MONO  
 HC182307--7/12 CATH  
 HM391303--7/12 MONO ATTIC  
 HM281909--7/12 MONO  
 HM231518--7/12 MONO  
 P253705-7/12 LB PEAK  
 P253704-7/12 PEAK

FELT 15# FELT JOINTS TO  
 OVERLAP OR EQUAL SHINGLE  
 UNDERLAMENT COMPLYING  
 WITH ASTM D226 (2 LAYERS  
 REQ. ON ROOF PITCH OF 1/2  
 OR LESS. SHALL BE  
 FASTENED WITH 16# GALV.  
 (LAYER 15# FELT REQ. ON  
 ROOF PITCH OVER 4/12)

ATTIC VENTILATION

1 SQ. FT. OF NET VENT AREA PER 300 SQ. FT.  
 OF ROOF AREA TO BE PROVIDED BY GABLE  
 AND/OR RIDGE VENTS AND VENTED SOFT  
 ROOF DECKING: 15/32"(CDX) PLYWOOD W/  
 CLIPS OR 7/16 ORIENTED STRAND BOARD  
 WITH CLIPS

WOOD BEARING STRIP FINISH (TYP)  
 SAME THICKNESS AS CEILING  
 (TYP. AT SIDEWALL AND MARRIAGE WALL)

2 X4 SPF#2 MIN. SIDE RAIL BUTT JOINTS SHALL BE  
 SPICED ACC TO DWG. RF-1

TRUSSES FASTENED TO STUDS  
 SEE DWG. RF-1 FOR INFORMATION  
 SINGLE 1/2" (1) #8 X 4" SCREWS  
 DOUBLE 1/2" (1) #8 X 6" SCREWS  
 INTO EACH TRUSS BOTTOM CHORD (TYP.)  
 REFERENCE RF-1 FOR FURTHER DETAILS  
 MANUFACTURER'S INSTALLATION INSTRUCTIONS

INSULATION R-15 KRAFT BACKED  
 OR FOIL BACKED (TOTAL WALL ASSEMBLY-R-16)

EXTERIOR WALL STRUCTURAL BRACING  
 INSTALLATION:  
 STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUSLY  
 FROM TOP OF TRUSS TO BOTTOM PLATE W/ SHEATHING EDGES  
 EXTENDING 3/4" MINIMUM OVER 2" NOMINAL LUMBER  
 OF THE SAME SIZE AND GRADE AS EXTERIOR WALL  
 SHEATHING. MINIMUM OF 3 FOUR FOOT SECTIONS OF  
 SHEATHING BRACING SHALL HAVE ALL EDGES  
 BLOCKED. SPACE BLOCKED SECTIONS EXACTLY ALONG  
 BRACING MATERIAL.  
 3/8" APA RATED SHEATHING, EXP-1, EXP-2, EXT.  
 OR 3/8" APA RATED SING EXT. FASTENED W/ 8d  
 COMMON OR GALV. BOX NAILS. SEE SHEARWALL  
 FASTENING CHART FOR FASTENER SPACING.  
 (2) 2 X 8 #2 STP (MIN) RIM JOIST  
 REFER TO FLOOR DRAWING FL-1

CEILING MATERIAL  
 CRIPPLE STUDS 2x4 SPF#2 @ 16" O.C.  
 2x HANGER PER APPROVED  
 STRUCTURAL PACKAGE

SILL PLATE 2x4 SPF#2 @ 16" O.C.  
 CRIPPLE STUDS 2x4 SPF#2 @ 16" O.C.  
 MARRIAGE WALL STUDS 2x4 SPF #2  
 @ 16" O.C. MAX.  
 3/4" T & G PLYWOOD-REF TO DRAWING  
 FL-1 OR 23/32" ORIENTED STRAND BOARD  
 JOIST HANGERS SHALL HAVE  
 400# MIN.CAPACITY.  
 REFER TO FLOOR DRAWING FL-1

26 GA X 1 1/2" STEEL STRAP  
 FROM TRUSS TO WALL STUD AND/OR  
 FROM RIDGE BEAM TO WALL STUD  
 AT EACH TRUSS WITH (6) 14GA X 1"  
 PENE. STAPLES PER END PLUS STRAPS  
 @ DRPG. COLUMNS PER FLOOR PLAN  
 (TYP. EACH MARRIAGE WALL)

ATTIC ACCESS OPENING NOT  
 LESS THAN 22" X 36" FOR  
 ATTIC AREA HAVING CLEAR  
 HT. 30" OR GREATER REF TO  
 DRAWING RF-1

2 X 3 MIN TOP & BOTTOM  
 RUNNERS REF TO ROOF  
 DRAWINGS RF-1

OPTIONAL  
 OVERHEAD DUCT (HVAC) SYSTEM  
 (SEE PLANS FOR INFORMATION)

7-6" MIN.  
 9-0" MAX.  
 CEILING HT.  
 AT MAINLINE  
 SIDEWALL  
 HEIGHT

7-6" MIN.  
 9-0" MAX.  
 CEILING HT.  
 AT MAINLINE  
 SIDEWALL  
 HEIGHT

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APPROVED FEB 21 2008

LISTING	ADDITIONAL APPROVAL
THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.	DATE: 2/1/2008
DESIGNER: R.E.G.	CHECKED: R.E.G.
DRAWN BY: R.E.G.	DATE: 2/1/2008
SCALE: AS NOTED	PROJECT NO.: 41X56
DATE: 02-12-08	CLIENT: HORTON HOMES, INC.
REV: 12 OF 15	PROJECT: MC376FG (BURTON)

THE 41X56  
 MC376FG (BURTON)

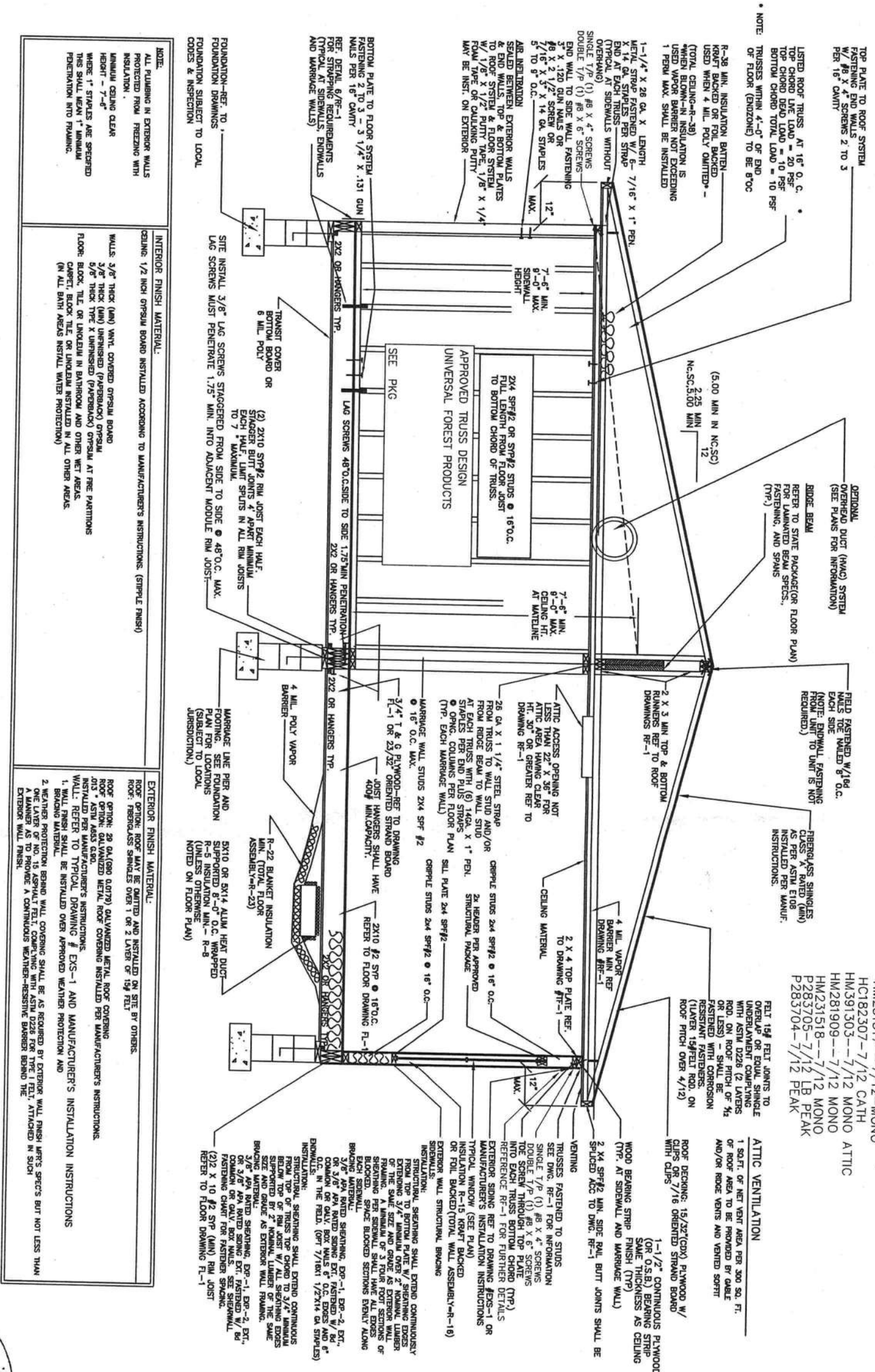


MODULAR  
 DES: SEE NOTES  
 LABELS: FL

DWG #: 1447-5465F  
 HORTON HOMES, INC.  
 CHS-1

12 OF 15





TRUSSES  
HM231517-

HM231517--7/12-MONO  
HC182307-7/12 CATH  
HM391303--7/12 MONO  
HM281909--7/12 MONO  
HM231518--7/12 MONO  
P283705-7/12 LB PEAK  
P283704-7/12 PEAK

**ATTIC VENTILATION**  
**1 SQ.FT. OF NET VENT AREA**

OF ROOF AREA TO BE PROVIDED BY CABLE AND/OR ROOF VENTS AND VENTED SOFFIT

ROOF DECKING: 15/32" (GDX) PLYWOOD W/ CLIPS OR 7/16 ORIENTED STRAND BOARD WITH CLIPS

1-1/2" CONTINUOUS (OR O.S.R.) BEARING

WOOD BEARING STRIP FINISH (TYP)  
(TYP. AT SIDEWALL AND MARRIAGE WALL)

TRUSSES FASTENED TO STUDS  
SEE DWG. RF-1 FOR INFORMATION  
SINGLE T/P (1) #8 X 4" SCREWS

— TOE SCREW THROUGH TOP PLATE  
— INTO EACH TRUSS BOTTOM CHORD (TYP.)  
— REFERENCE RF-1 FOR FURTHER DETAILS  
— EXTERIOR SIDING REF TO DRAWING #EXS-1  
— MANUFACTURER'S INSTALLATION INSTRUCTIONS  
— TYPICAL WINDOW (SEE PLAN)

INSULATION R-15 ROOF BACKED  
OR FOIL BACKED (TOTAL WALL ASSEMBLY=R-  
EXTERIOR WALL STRUCTURAL BRACING  
SIDEWALLS:  
INSTALLATION:  
STRUCTURAL SHEATHING SHALL EXTEND CONT-  
FROM TOP TO BOTTOM PLATE W/ SHEATHING

EXTENSION OF 3/4" MINISTRATION OVER 2" NOMINAL  
OF THE SAME SIZE AND GRADE AS EXTERIOR  
FRAMING. A MINIMUM OF 3 FOUR FOOT SECT  
SHEATHING PER SIDEWALL SHALL HAVE ALL EN  
BLOKED. SPACE BLOKED SECTIONS EVENLY.  
EACH SIDEWALL  
BRACING MATERIAL:  
3/8" APA RATED SHEATHING DOB-1 DOB-2

ON S/O OR APA NAILD SLIDING EXI. FASTENED W/ COMMON OR GALV. BOX NAILS 6" O.C. EDGES 4" O.C. IN THE FIELD. (OPT 7/16x1 1/2x14 GALV. ENDNAILS)

INSTALLATION:

STRUCTURAL SHEATHING SHALL EXTEND CONTINUOUS FROM TOP OF TRUSS TOP CHORD TO 3/4" MIN. BELOW TOP OF RAIL JOIST W/ ALL JOISTS.

3/8" APA RATED SHEATHING, EXP.-1, EXP.-2, OR 3/8" APA RATED SIDING EXT. FASTENED W/ COMMON OR GALV. BOX NAILS. SEE SHEATHING FASTENING CHART FOR FASTENER SPACING.

REFER TO FLOOR DRAWING FL-1

MS

LATION INSTRUCTIONS

L

APPROVED

• APPF

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SEAL: FL

ASBESTOS THESE PRINTS COMPLY WITH THE NATIONAL SYSTEM OF STANDARDIZED RADIA- TION PROTECTION SYMBOLS AND THE FEDERAL GOVERNMENT'S RECOMMENDED PRACTICES FOR THE PROTECTION OF OCCUPATIONAL EXPOSURE TO IONIZING RADIATION 100%	OCCUPANCY R-3 100%	ADJUSTABLE NO. OF FLOORS 3 (SEE DETAILS) 100%	WIND VELOCITY PER. WINDS OF 0 100%	PLUM NO. SHOWN 4142-25887 40 100%	APPROVED FOR SUBMITTAL NO.	21200
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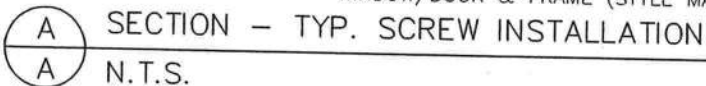
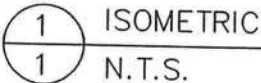
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DES: SEE NOTES  
LABELS: FL

PART#: HILBORN, BERNER, CARTER  
& ASSOCIATES  
1627 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

 <b>MORTON</b> <b>HOUSES, INC.</b> TONTON, GA 31024	DWG# : 1447-5465F	DRAWN BY: R.E.G.
		SCALE: AS NOTED
		DATE 02-12-08
		REV:
	FS-1	DWG. #: 13 OF 15

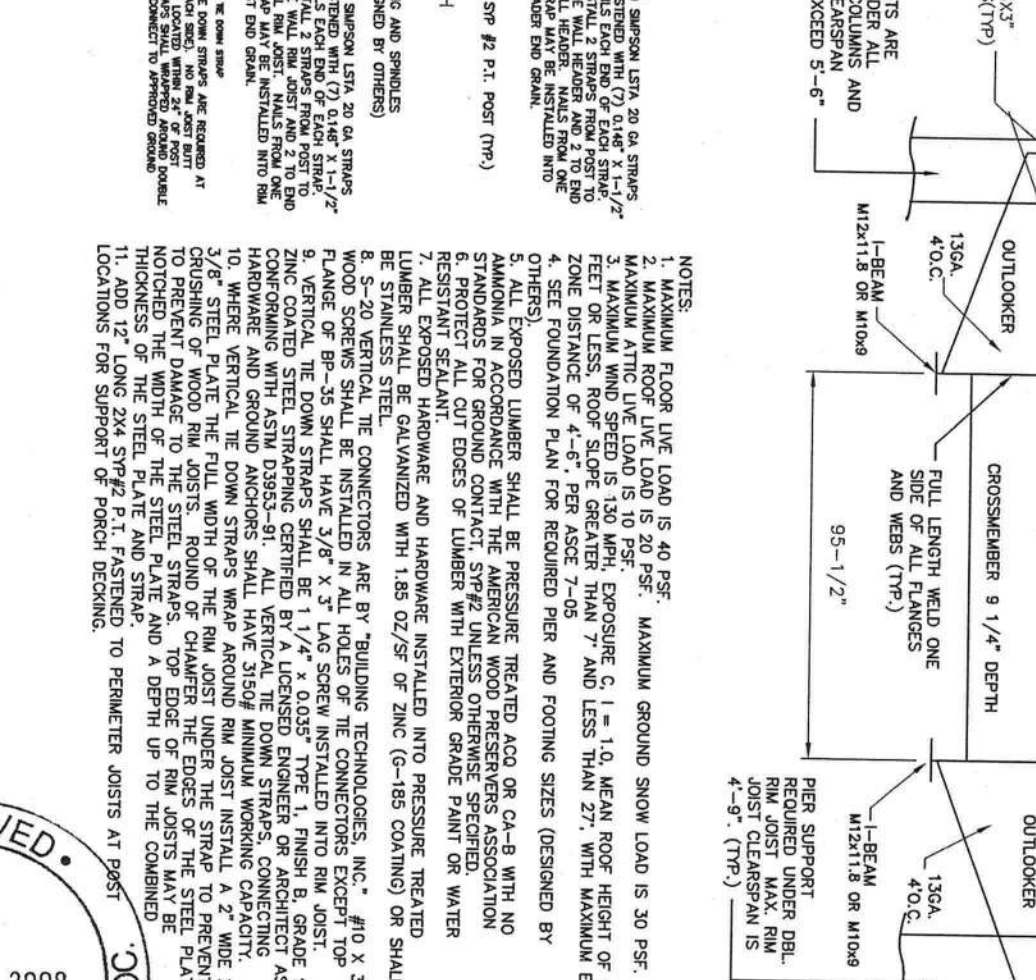
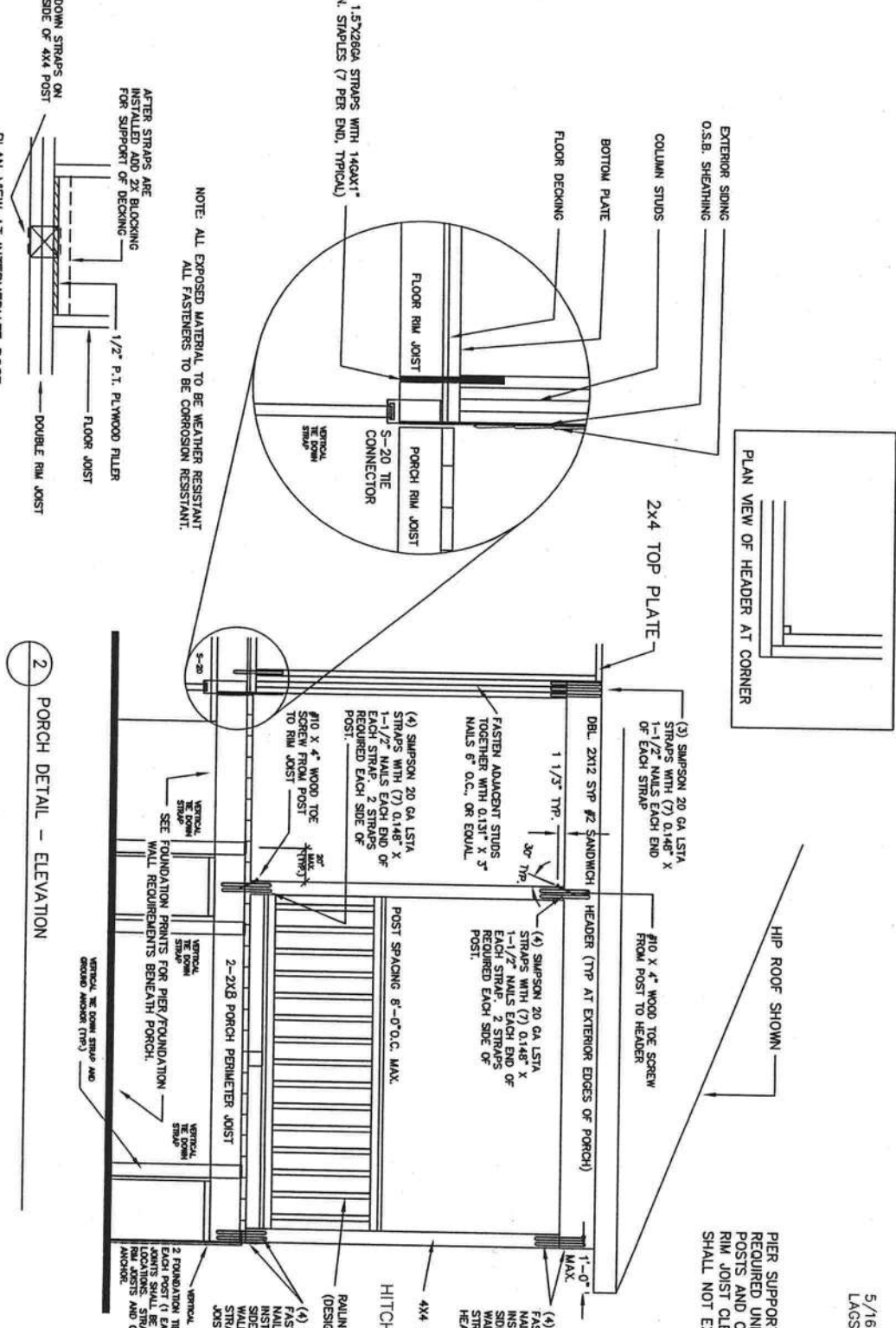
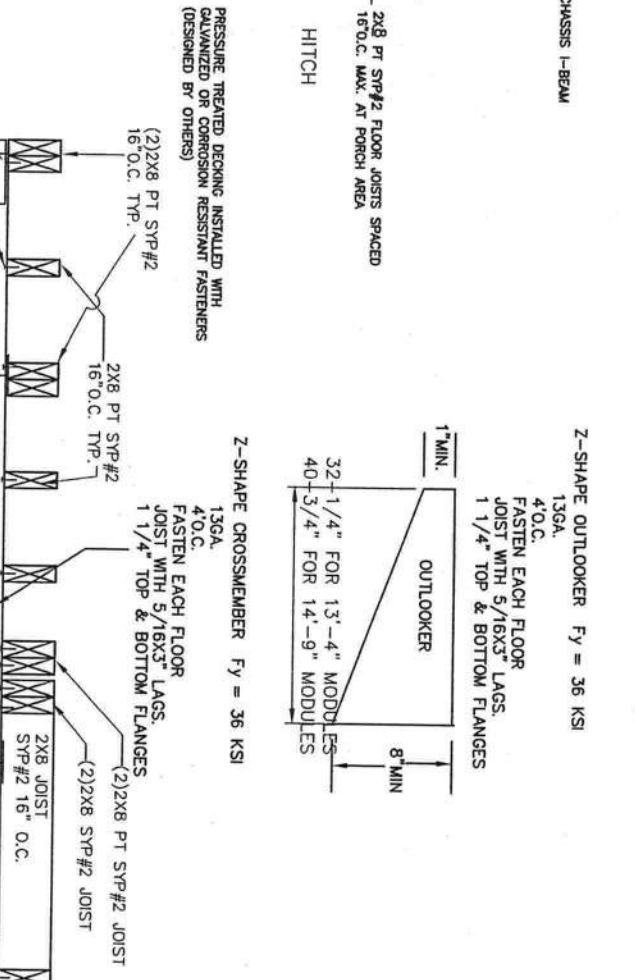
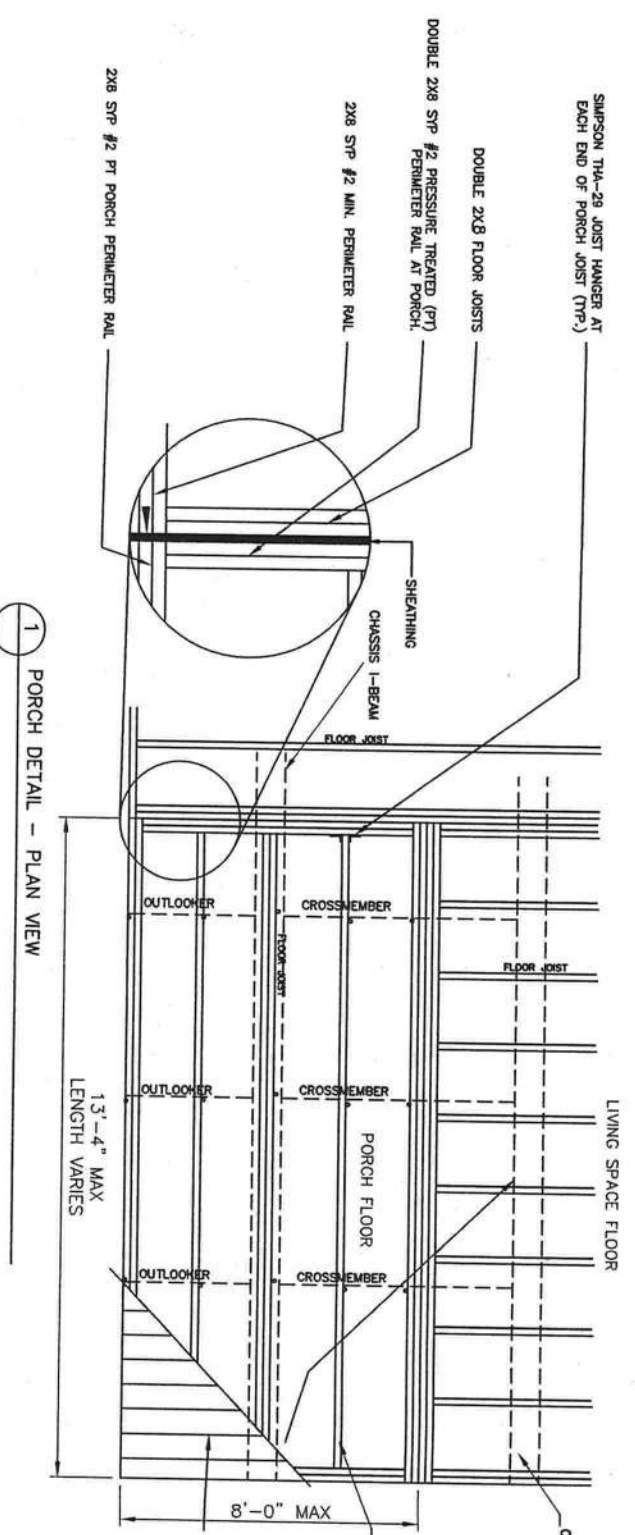
THE 41X56  
MC376FG<sub>(BURTON)</sub>

APPROVED FEB 21 2008



THE 41X56  
MC376FG<sub>(BURTON)</sub>





NOTES:

1. MAXIMUM FLOOR LIVE LOAD IS 40 PSF.
2. MAXIMUM ATTIC LIVE LOAD IS 20 PSF.
3. MAXIMUM WIND SPEED IS 130 MPH, EXPOSURE C, I = 1.0, MEAN ROOF HEIGHT OF 15 FEET OR LESS, ROOF SLOPE GREATER THAN 7" AND LESS THAN 27", WITH MAXIMUM END ZONE DISTANCE OF 4'-6", PER ASCE 7-05
4. SEE FOUNDATION PLAN FOR REQUIRED PIER AND FOOTING SIZES (DESIGNED BY OTHERS).
5. ALL EXPOSED LUMBER SHALL BE PRESSURE TREATED ACQ OR CA-B WITH NO AMMONIA IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS FOR GROUND CONTACT, SYP#2 UNLESS OTHERWISE SPECIFIED.
6. PROTECT ALL CUT EDGES OF LUMBER WITH EXTERIOR GRADE PAINT OR WATER RESISTANT SEALANT.
7. ALL EXPOSED HARDWARE AND HARDWARE INSTALLED INTO PRESSURE TREATED LUMBER SHALL BE GALVANIZED WITH 1.85 OZ/SF OF ZINC (G-185 COATING) OR SHALL BE STAINLESS STEEL.
8. S-20 VERTICAL THE CONNECTORS ARE BY "BUILDING TECHNOLOGIES, INC." #10 X 3" WOOD SCREWS SHALL BE INSTALLED IN ALL HOLES OF THE CONNECTORS EXCEPT TOP FLANGE OF BR-35 SHALL HAVE 3/8" X 3" LAG SCREW INSTALLED INTO RIM JOIST.
9. VERTICAL THE DOWN STRAPS SHALL BE 1 1/4" X 0.035" TYPE 1, FINISH B, GRADE 1 ZINC COATED STEEL STRAPPING CERTIFIED BY A LICENSED ENGINEER OR ARCHITECT AS CONFORMING WITH ASTM D3953-91. ALL VERTICAL THE DOWN STRAPS, CONNECTING HARDWARE AND GROUND ANCHORS SHALL HAVE 3150# MINIMUM WORKING CAPACITY.
10. WHERE VERTICAL THE DOWN STRAPS WRAP AROUND RIM JOIST INSTALL A 2" WIDE X 3/8" STEEL PLATE THE FULL WIDTH OF THE RIM JOIST UNDER THE STRAP TO PREVENT CRUSHING OF WOOD RIM JOISTS. ROUND OF CHAMFER THE EDGES OF THE STEEL PLATE TO PREVENT DAMAGE TO THE STEEL STRAPS. TOP EDGE OF RIM JOISTS MAY BE NOTCHED THE WIDTH OF THE STEEL PLATE AND A DEPTH UP TO THE COMBINED THICKNESS OF THE STEEL PLATE AND STRAP.
11. ADD 12" LONG 2x4 SYP#2 P.T. FASTENED TO PERIMETER JOISTS AT POST LOCATIONS FOR SUPPORT OF PORCH DECKING.

1. MAXIMUM FLOOR LIVE LOAD IS 40 PSF.

2. MAXIMUM ATTIC LIVE LOAD IS 20 PSF.

3. MAXIMUM WIND SPEED IS 130 MPH, EXPOSURE C, I = 1.0, MEAN ROOF HEIGHT OF 15 FEET OR LESS, ROOF SLOPE GREATER THAN 7" AND LESS THAN 27", WITH MAXIMUM END ZONE DISTANCE OF 4'-6", PER ASCE 7-05

4. SEE FOUNDATION PLAN FOR REQUIRED PIER AND FOOTING SIZES (DESIGNED BY OTHERS).

5. ALL EXPOSED LUMBER SHALL BE PRESSURE TREATED ACQ OR CA-B WITH NO AMMONIA IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS FOR GROUND CONTACT, SYP#2 UNLESS OTHERWISE SPECIFIED.

6. PROTECT ALL CUT EDGES OF LUMBER WITH EXTERIOR GRADE PAINT OR WATER RESISTANT SEALANT.

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MODULAR  
DES: SEE NOTES  
LABELS: FL

DWG #: 1447-5465F

DRAWN BY: R.E.G.

SCALE: AS NOTED

DATE: 02-12-08

REV:

DWG. #: 15 OF 15

BURTON  
HOMES, INC.

ATLANTA, GA 31024

STAIR DETAILS

THE 41X56  
MC376FG(BURTON)

ROBERT E. GREGG  
REGISTERED ARCHITECT  
630 CHESTNUT STREET  
CLEARWATER, FL 33759  
Ph: 727-796-8774  
Fax: 727-791-6942  
archreg@aol.com

SEAL: FL

APPROVED FEB 21 2008



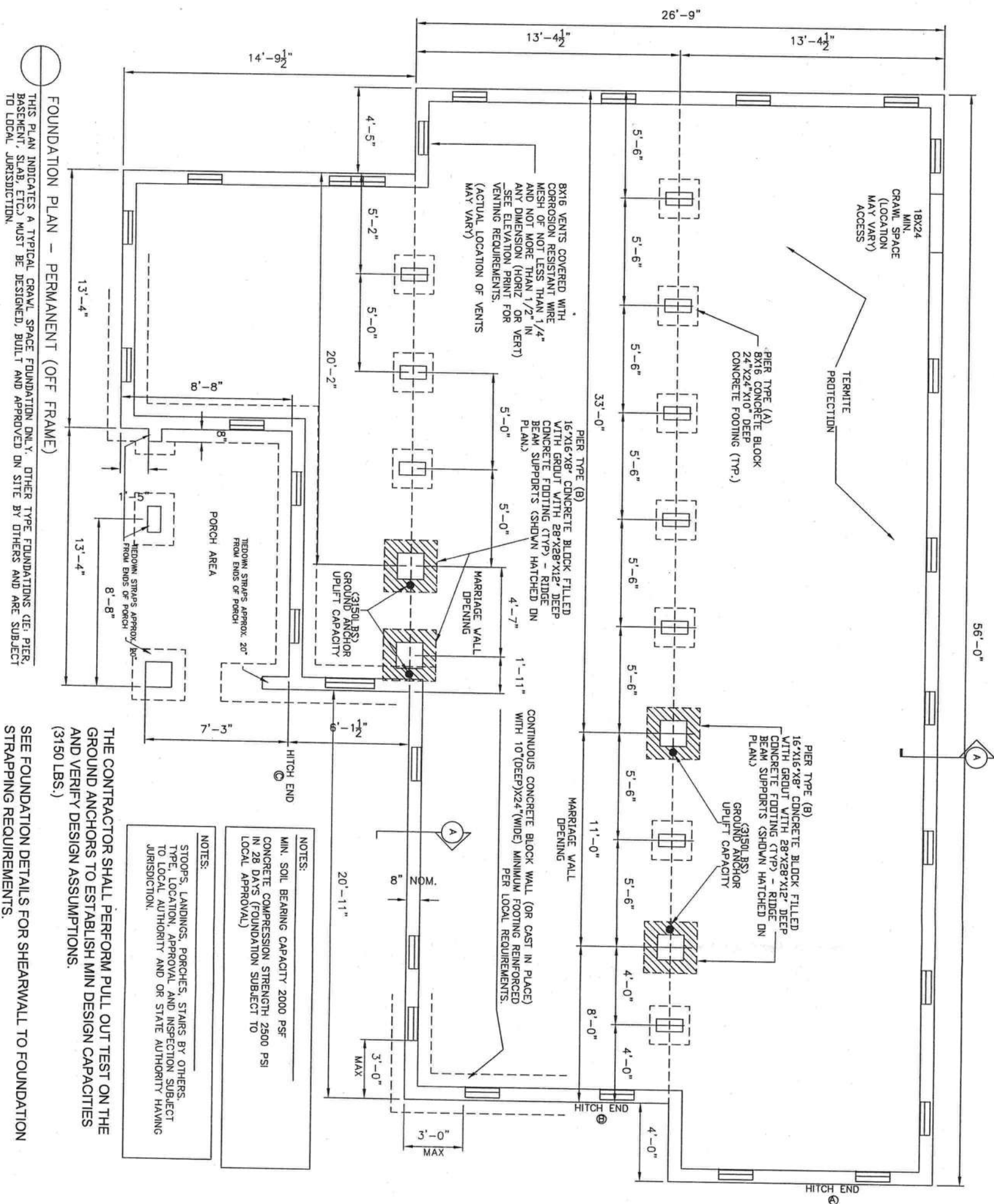


IMAGE CAN BE MIRRORED

FOUNDATION PLAN - PERMANENT (OFF FRAME)

THIS PLAN INDICATES A TYPICAL CRAWL SPACE FOUNDATION ONLY. OTHER TYPE FOUNDATIONS (IE: PIER, BASEMENT, SLAB, ETC.) MUST BE DESIGNED, BUILT AND APPROVED ON SITE BY OTHERS AND ARE SUBJECT TO LOCAL JURISDICTION.

THIS FOUNDATION PLAN IS PROVIDED FOR REFERENCE AS A TYPICAL STANDARD. ACTUAL FOUNDATION CONDITIONS MUST BE EVALUATED FOR APPLICABILITY. IF THIS PLAN IS TO BE USED, ALTERNATE FOUNDATION PLANS MAY BE DESIGNED BY OTHERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY.

SEE FOUNDATION DETAILS FOR SHEARWALL TO FOUNDATION STRAPPING REQUIREMENTS.

## PRESSURE TREATED MUD SILLS

HOT DIPPED GALVANIZED FASTENERS.  
ANY FASTENER THAT PENETRATES MUD SILL  
MUST BE GALVANIZED.

MIN. SOIL BEARING CAPACITY 2000 PSF  
CONCRETE COMPRESSION STRENGTH 2500 PSI  
IN 28 DAYS (FOUNDATION SUBJECT TO  
LOCAL APPROVAL)

STOOPS, LANDINGS, PORCHES, STAIRS BY OTHERS, TYPE, LOCATION, APPROVAL AND INSPECTION SUBJECT TO LOCAL AUTHORITY AND OR STATE AUTHORITY HAVING JURISDICTION.

THE CONTRACTOR SHALL PERFORM PULL OUT TEST ON THE GROUND ANCHORS TO ESTABLISH MIN DESIGN CAPACITIES AND VERIFY DESIGN ASSUMPTIONS.  
(3150 LBS.)

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## PRESSURE TREATED MUD SILLS

HOT DIPPED GALVANIZED FASTENERS.  
ANY FASTENER THAT PENETRATES MUD SILL  
MUST BE GALVANIZED.

**ROBERT E. GREGG**  
REGISTERED ARCHITECT  
630 CHESTNUT STREET  
CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax 727-791-6942  
archreg@aol.com

Handwritten signature: *Robert*

APPROVED FEB 21 2000  
SEAL: FE

MODULAR  
CODES: SEE NOTES  
LABELS: FL

ID PARTY: HILBORN, WERNER, CARTER  
& ASSOCIATES  
1827 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33706

DWG# : 1447-5463  
**HORTON**  
**HOMES, INC.**  
TATONTON, GA 31024

DRAWN BY: R.E.G.
SCALE: AS NOTED
DATE 02-12-08
REV:
DWG. #: 1 OF 6


THE 41X56  
MC376FG<sub>(BURTON)</sub>

MODULAR

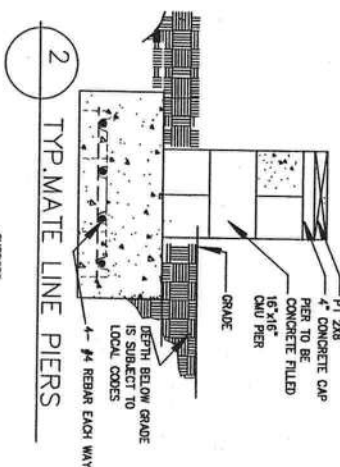


0 6" 12" 2' 4' 8' 12'

SILL MAY BE CUT OUT TO ALLOW FOR COUNTERSINKING OF NUT AND EXCESS BOLT CUT OFF TO AVOID ANCHOR BOLTS INTERFERING WITH FLOOR JOISTS.

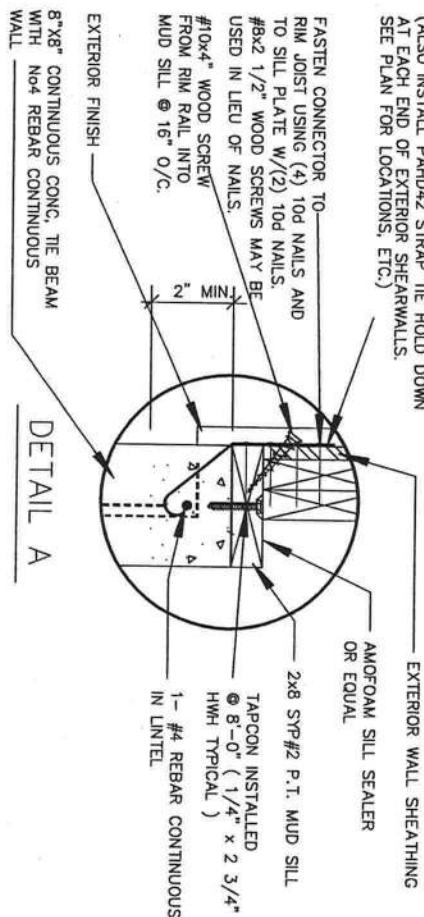
ALSO PROVIDE SIMPSON LTP4 (OR EQUAL) FROM BAND JOIST (THRU SHEATHING) TO SILL PLATE AT 16" O.C. ALONG SIDEWALLS (FIRST 6'-8" FROM ENDWALLS) AND 24" ALONG ENDWALLS.

MIN. SOIL BEARING CAPACITY 2000 PSF  
CONCRETE COMPRESSION STRENGTH 2500 PSI  
IN 28 DAYS (FOUNDATION SUBJECT TO  
LOCAL APPROVAL)



GALVANIZED FASTENERS,  
ANY FASTENER THAT PENETRATES  
PRESSURE TREATED WOOD, MUST  
BE GALVANIZED. PT SILL PLATES, ETC

16. MAX ENDWALLS AND SIDE WALLS  
ALSO INSTALL PAHD-42 STRAP THE HOLD DOWN  
AT EACH END OF EXTERIOR SHEARWALLS.  
SEE PLAN FOR LOCATIONS, ETC.)



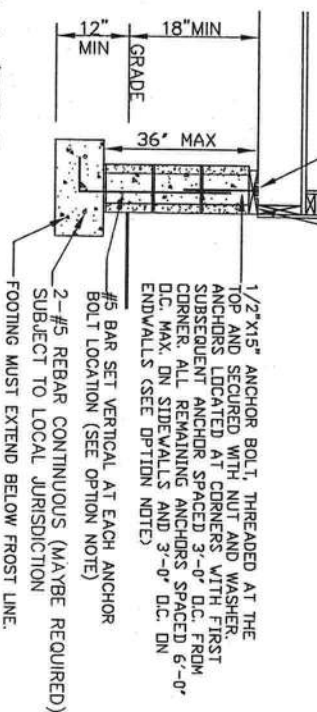
**ROBERT E. GREGG**  
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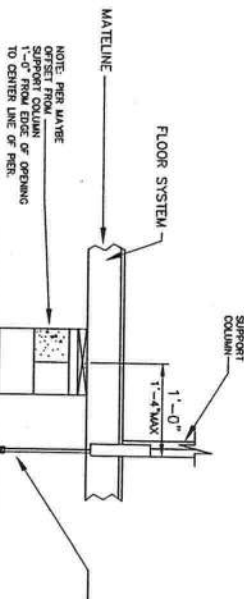
APPROVED FEB 21 2008

## SECTION A (SEE PLAN THIS PAGE)

OPTION NOTE: IN LIEU OF ANCHOR BOLTS, PRE-MANUFACTURED MUDSILL ANCHORS (IE: SIMPLEX USP) MAY BE USED. IF USED, MUDSILL ANCHORS MUST BE INSTALLED ACCORDING TO MFRS INSTRUCTIONS AND ARE SUBJECT TO LOCAL JURISDICTION.

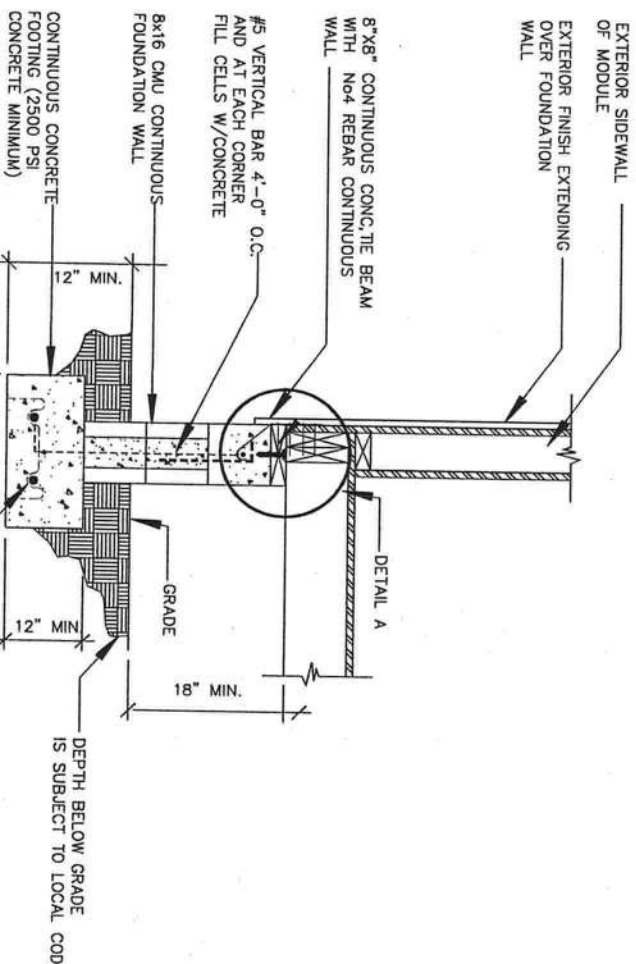


2) TYP.MATE LINE PIERS



ALL TIE-DOWN STRAPS AND CONNECTING HARDWARE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER OR A RECOGNIZED TESTING LABORATORY TO ADEQUATELY SUPPORT A 3150# ALLOWABLE LOAD MINIMUM (ULTIMATE LOAD 4725# MINIMUM) AND/OR TO COMPLY WITH ASTM D3953-91. (SUPPLIED BY OTHERS)

## DETAIL A



## SECTION A

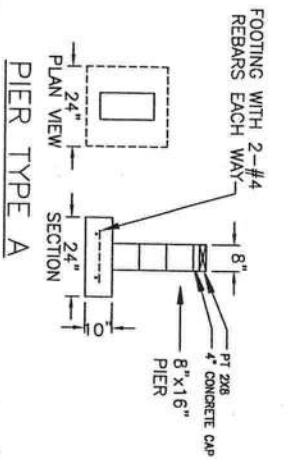
## NOTE

THIS FOUNDATION PLAN IS PROVIDED FOR REFERENCE AS A TYPICAL STANDARD. ACTUAL FOUNDATION CONDITIONS MUST BE EVALUATED FOR APPLICABILITY IF THIS PLAN IS TO BE USED. ALTERNATE FOUNDATION PLANS MAY BE DESIGNED BY OTHERS IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTION HAVING AUTHORITY.

STOOPS, LANDINGS, PORCHES, STAIRS BY OTHERS.  
TYPE, LOCATION, APPROVAL AND INSPECTION SUBJECT  
TO LOCAL AUTHORITY AND OR STATE AUTHORITY HAVING  
JURISDICTION.

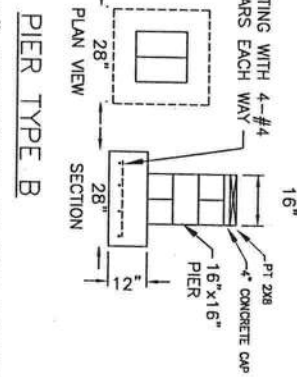
PIER TYPE A

8X16 CONCRETE BLOCK  
24"X24"X10" DEEP



PIER TYPE B

16"x16"x8" CONCRETE BLOCK FILLED  
WITH GROUT WITH 28"x28"x12" DEEP



1. ALL FOUNDATION CONSTRUCTION MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
2. ALL PIERS SHALL BE CONSTRUCTED OF 8"x8"x16" CONCRETE MASONRY UNITS CONFORMING TO ASTM C90. MASONRY UNITS SHALL BE LAID IN TYPE M OR S MORTAR OR COVERED WITH SURFACE BONDING CEMENT INSTALLED IN ACCORDANCE WITH ITS LISTING. PIER FOOTING SHALL BE AS DESCRIBED ABOVE.
3. ALL REINFORCEMENT BARS SHALL COMPLY WITH ASTM A615 GRADE 60. REINFORCEMENT BARS SHALL BE EQUALLY SPACED AND PLACED WITH 3" CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING.
4. ALL PIERS SHALL BE CAPED WITH 4" SOLD CONC CAP, AND 2x8 SYP PRESSURE TREATED STILL PLATES,
5. FULL LENGTH OF PIER. SOIL CAPACITY SHOWN ON THE PLAN IS ASSUMED. IF THE ACTUAL SOIL BEARING CAPACITY IS LESS THAN 2000PSF, THE ARCHITECT/ENGINEER MUST BE CONSULTED FOR REQUIRED ALTERNATE FOUNDATION DESIGN. FOOTING SHALL BE PLACED ON NON-EXPANSIVE SOILS ONLY.

6. BOLTS SHALL HAVE NUT AND WASHERS INSTALLED. BOLTS SHALL BE ASTM A307.
7. CLEARANCE FROM BOTTOM AND SIDES OF THE FOOTING, THE AREA UNDER FOOTINGS AND FOUNDATIONS SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIAL REMOVED PRIOR TO THEIR CONSTRUCTION. THE FOUNDATION DIMENSIONS SHOWN ARE NOMINAL. AN INCREASE IN MODULE WIDTH SHOULD BE EXPECTED DUE TO MODULAR EXPANSION, SETTING TOLERANCES, ETC. THE FOUNDATION CONTRACTOR SHOULD CONSULT WITH THE MANUFACTURER OF THE MODULES PRIOR TO CONSTRUCTION OF THE FOUNDATION TO DETERMINE THE AMOUNT OF INCREASED WIDTH TO BE ADDED TO THE NOMINAL DIMENSIONS SHOWN ABOVE.
9. TERRAIN SURROUNDING THE FOUNDATION WALL SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS.

## OPTIONAL METHOD

STOOPS, LANDINGS, PORCHES, STAIRS BY OTHERS.  
TYPE, LOCATION, APPROVAL AND INSPECTION SUBJECT  
TO LOCAL AUTHORITY AND OR STATE AUTHORITY HAVING  
JURISDICTION.

DWG# :1447-5465F

DRAWN BY: R.E.G.
SCALE: AS NOTED
DATE 02-12-08
REV:
DWG. #: 2 OF 6

THE 41X56  
MC376FG<sub>(BURTON)</sub>

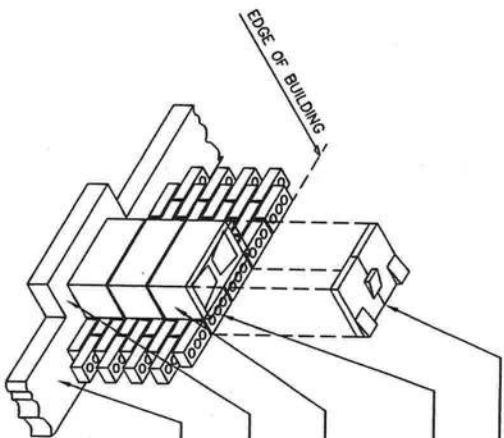
DWG# : 1447-5465F  
**HORTON HOMES, INC.**  
EATONTON, GA 31024

### OFF FRAME FOUNDATION NOTES









ALL PIERS SHALL BE CAPPED WITH A 4\"/>

PRESSURE TREATED WOOD CAP WITH SHIMS AS REQUIRED FOR FIT.

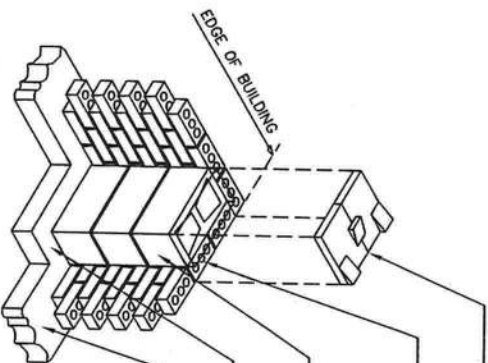
BRICKS AT PIER LOCATIONS MUST BE TIED TO CMU PIER BEYOND WITH BRICK TIES. (16\"/>

CMU PIER (SEE FOUNDATION PRINT FOR LOCATIONS/SPACING) BLOCKS MAY BE LAID IN MORTAR OR COVERED WITH SURFACE BONDING CEMENT.

FOOTING AT PIER MUST EXTEND A MINIMUM OF 4\"/>

FOOTING NOT ADJACENT TO CMU PIER TO BE SIZED ACCORDING TO LOCAL JURISDICTION CODES/REQUIREMENTS.

#### OPTIONAL PERIMETER PIER (BRICK UNDERPINNING) FOR ONFRAME FOUNDATION



ALL PIERS SHALL BE CAPPED WITH A 4\"/>

PRESSURE TREATED WOOD CAP WITH SHIMS AS REQUIRED FOR FIT.

BRICKS AT PIER LOCATIONS MUST BE TIED TO CMU PIER BEYOND WITH BRICK TIES. (16\"/>

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FOOTING NOT ADJACENT TO CMU PIER TO BE SIZED ACCORDING TO LOCAL JURISDICTION CODES/REQUIREMENTS.

#### OPTIONAL PERIMETER PIER AT CORNER (BRICK UNDERPINNING) FOR ONFRAME FOUNDATION

ROBERT E. GREGG  
REGISTERED ARCHITECT  
630 CHESTNUT STREET  
CLEARWATER, FL 33759  
Ph. 727-796-8774  
Fax 727-811-6942  
archreg@aol.com

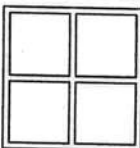
*[Signature]*  
SEAL: FL

APPROVED FEB 21 2008



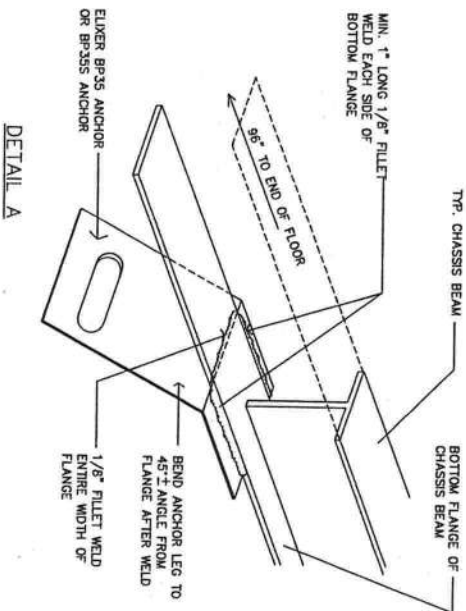
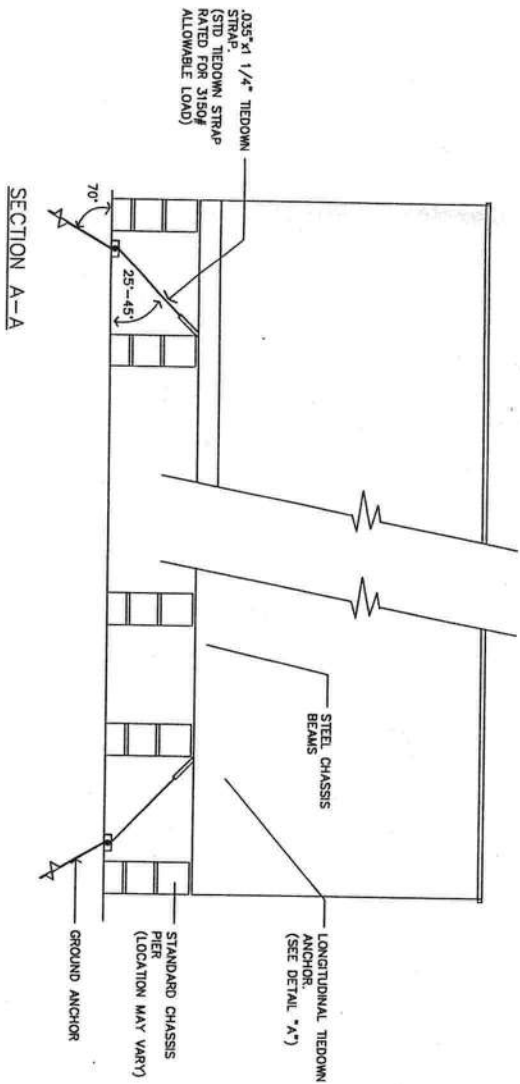
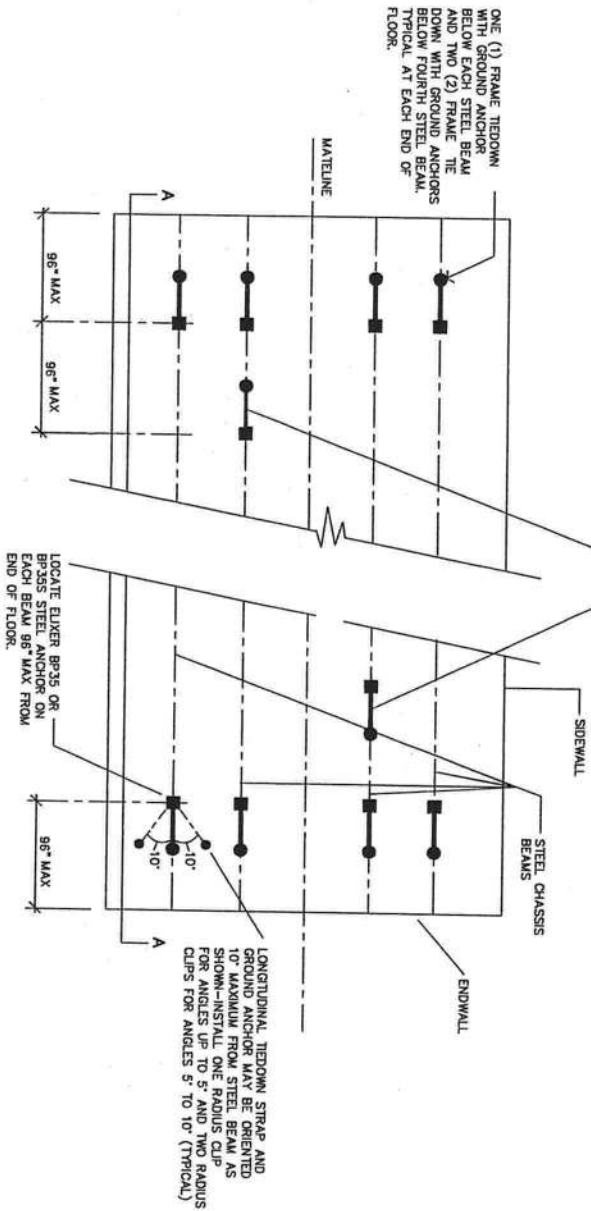
OPTIONAL PERIMETER PIER AT CORNER(BRICK UNDERPINNING)

DWG# :1447-5465F	DRAWN BY:R.E.G.
ORTON HOMES, INC.	SCALE: AS NOTED
ATLANTA, GA 31024	DATE 02-12-08
	REV:
	DWG. #: 5 OF 6



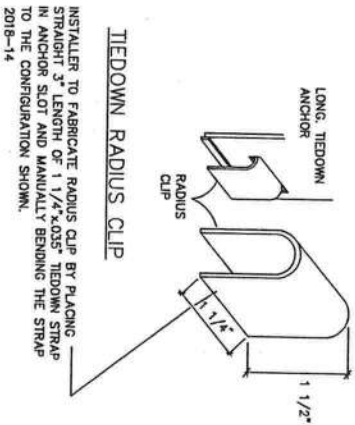
THE 41X56  
MC376FG(BURTON)

FIFTH TIE DOWN AND GROUND ANCHOR IS NOT REQUIRED WHEN HEIGHT FROM TOP OF WALL TO ROOF PEAK IS 8'-0" OR LESS



TYPICAL ALL DOUBLE WIDE MODELS  
TIEDOWN INSTALLATION

- NOTES
1. MAXIMUM WIND SPEED = 130 MPH
  2. DESIGN DOES NOT INCLUDE COASTAL, OR OCEAN HAZARD AREAS, OR REGULATORY FLOOD PLAIN AREAS.
  3. MAXIMUM WALL HEIGHT = 9'-0"
  4. MAXIMUM GABLE HEIGHT AT ENDWALL = 7'-9"
  5. MAXIMUM MODULE WIDTHS = 11'-8" THRU 14'-9"
  6. REFER TO FOUNDATION NOTES ON MODEL PLANS FOR ADDITIONAL INFORMATION.
  7. IN WIND ZONES OF 90 MPH OR LESS THE QUANTITY OF LONGITUDINAL TIE DOWN STRAPS AND GROUND ANCHORS MAYBE REDUCED TO TWO (2) PER EACH END OF BUILDING.\*\* STRAPS SHOULD BE INSTALLED ON I-BEAMS LOCATED NEAREST THE EXTERIOR SIDEWALLS.
- \*\* WHEN MAXIMUM WALL HEIGHT IS 8'-0" AND THREE (3) PER-EACH END OF BUILDING WHEN MAXIMUM WALL HEIGHT IS 9'-0"



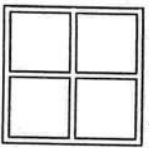
ROBERT E. GREGG  
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Fax 727-791-6942  
archreg@aol.com

*[Signature]*  
SEAL: FL

APPROVED FEB 21 2008



DWG# :1447-5465F	DRAWN BY:R.E.G.
ORTON HOMES, INC.	SCALE: AS NOTED
EATONTON, GA 31024	DATE 02-12-08
LONGITUDINAL FRAME TIE-DOWN	REV:
	DWG. #: 6 OF 6



THE 41X56  
MC376FG(BURTON)



# COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 13-3S-17-04947-000

Building permit No. 000026842

Use Classification MODULAR, UTILITY

Fire: 32.10

Permit Holder WILLIAM HARPER

Waste: 83.75

Owner of Building WANDA & EARL GREEN

Total: 115.85

Location: 4685 NE GUM SWAMP RD, LAKE CITY, FL

Date: 05/02/2008

Building Inspector

POST IN A CONSPICUOUS PLACE  
(Business Places Only)

