# **GENERAL NOTES**

- EXCAVATION, BACKFILL, AND GRADING
  - All excavations for footings shall be placed on natural, undisturbed soil. 2. All excavations for footings shall be placed on undisturbed soil and below frost depth (30 Min). Tops of foundation shall be
  - placed a minimum of 6" above finished grade.
  - 3. Finish grading shall be done so as to provide positive drainage away from all building foundations. grade shall slope away 6" minimum for the first 10' of building. no negative slope driveways.
- WEATHER PROTECTION
  - Install roof underlayment per IRC R905.1.1
- 2. Install water and resistive barier at all exterior walls per IRC R703.1 and R703.2 **C.** CONCRETE
- 1. Install foundation and footing reinforcement as per Foundation Wall and Footing Schedule.
- **D.** WINDOWS
- All window tops shall be at door header height, i.e 6'-8" (unless otherwise noted on plans). Windows located 24" or closer to any exterior door must be tempered.
  - 3. All windows in sleeping rooms shall be measured to the opening of the window and not be more than 44" above the finished floor with an operable opening no less than 5.7 sq.ft. the window height shall not be less than 24", with a net clear width of no less than 20".
- E. VENTILATION
  - Ventilation shall be provided in all crawl spaces by means of screened vents placed to provide cross ventilation.
  - Enclosed attics and spaces between rafters shall have clear ventilation to outside.
  - 3. There shall be no gas connections allowed in any rooms used for sleeping or any corridors leading to or through any sleeping room.
- **F.** FIRE PROTECTION AND WARNING
  - 1. Fireplace chimneys shall extend 24" min. above any roof within a 10' radius.
  - 2. Smoke/ Carbon Monoxide detectors are required to meet local codes. Wire all smoke/C.M. detectors in series with battery backup. 3. Walls/ wall coverings are subject to local codes and regulations under the county where the Avrame home lot is located and must be met.
- **G.** STAIRWAYS Max rise =  $7^{-\frac{3}{4}}$  and min. tread depth= 11" shall apply with current national and local building codes.
  - 2. Min. headroom= 6'-8" and min. width= 36.
  - 3. Every landing should be 36" min. in width and length. 4. Any door opening at the top of any interior flight of stairs must swing away from stairs.
  - 5. Landings shall have a 36" min. depth and width, and clear min. head height of 80"
- **H.** RAILING
  - Handrails are required at all stairways that have more than 3 risers.
  - 2. Handrails should be placed between 34" and 38" above stair nosing.
  - Handrails deeper than  $2\frac{1}{4}$ " shall have finger grooves  $\frac{3}{4}$ " x  $\frac{1}{4}$ " deep, the full length of one side of the rail. Return handrails to end.
  - 4. Balusters for handrails and guardrails shall be spaced so that a 4" sphere cannot pass through.
- PLUMBING
- 1. Toilets shall be 1.6 gallon flush type.
- 2. All work performed by a licensed plumber. 3. Provide pressure regulator and shut off valve.
- 4. Interior waste and vent lines shall be A.B.S.
- 5. Back water valves should only be used on the drains for plumbing fixtures that are below the level of the nearest upstream manhole. The fixtures that are above the nearest upstream manhole should not discharge through the back water valve.
- 6. It shall be the sole responsibility of the Contractor/Builder to follow all codes & regulations pertaining the type of water heater to be used in the specific State and County where the building site is located.
- 7. All showers, & kitchen faucets shall be 1.75 GPM or less. Lavatory faucets shall be 1.0 GPM or less.

# FRAMING NOTES

- 1. All dimensions on floor plans are to rough framing. walls calculated to be  $3-\frac{1}{2}$  wide for dimensioning.
- 2. All structural sheathing shall be APA rated and shall not exceed maximum span rating. Floor sheathing shall be 1-1 tongue and groove.
- 3. Spike together all 2 x laminated built up beams using at least 16d nails at no less than 7" O.C. staggered.

doors shall be framed one inch wider than door and 82" in height. Bi-pass doors shall be 83" in height.

- 4. Trusses are to be engineered, designed and constructed by manufacturer to meet all local loads and codes.
- Truss anchors shall be provided at each end of all the trusses. (install to meet local requirements). 6. Bi-pass doors shall be framed one inch smaller in width than door. Example: A 5'-0" slider shall have a 59: rough opening. Also, bi-fold
- 7. Interior framing that is non-bearing shall be provided where required.
- 8. Framing will include all furr downs, ceiling joists, and plantshelves as per architectural drawings.
- 9. All hangers (joist, rafter, and beam) shall be installed as per manufacturers specs.
- 10. Multiple plates and ledgers shall be nailed with 16d nails at 8" O.C. 11. Block all horizontal edges of plywood wall sheathing with 2" nominal blocking.
- 12. All ledger bolts shall have plate washers with a minimum diameter equal to three times the bolt diameter unless shown otherwise in
- 13. Minimum nailing shall be 6" O.C. at panel edges & 12" O.C. in the field.
- 14. Walk-in closet shelves 16" in depth. All other closets shall be 7" deep. Space saver closets shall have an upper shelf at 84" A.F.F. and a lower shelf at 42" A.F.F. Located shelves in single shelf closets at 72" A.F.F.
- 15. Wood beams made of two or more pieces shall have the pieces securely bolted or nailed together to prevent separation and to insure mutual load sharing. Each interconnected piece shall be continuous between supports shall have the same width as the composite
- 16. All framing studs shall be 16" O.C. Max. All floor sheathing with face grain at right angles to framing and glue. Glue must comply with
- APA specs. Floor joists shall be blocked at all bearing points. Block all horizontal edges of wall sheathing with 2x4 blocking. 17. All roof sheathing shall be  $\frac{5}{8}$ " (typ.) rated CDX sheathing nailed with 8d mail at 6" O.C. at panel edges, supported edges, and all blocking
- 18. All wood that is connected to concrete, steel, and wood to wood (except stud to plate) shall be connected with Simpson (or equivalent) connectors. Sheathing shall be placed no less than  $\frac{1}{2}$  from edge of panel and driven flush but shall not fracture the surface of the
- 19. These shall be the member grades used on this structure: Glue-Lam beams (simple span) 24F-V4 DF/DF (cantilevered) 24F-V8 DF/DF

DF 2# (or better) DF 2# (or better) Headers Posts DF 2# (or better)

DF stud grade (or better) U.N.O Sill plates in contact w/ concrete DF #2(pressure treated) Pre-Fab trusses or joists As per manufacturers spec.'s

# PROJECT INFORMATION

# SCOPE OF WORK

SINGLE FAMILY RESIDENCE

#### STRUCTURAL ENGINEER

McNEIL ENGINEERING 8610 SOUTH SANDY PARKWAY SANDY, UT 84070 801-255-7700

mcneilengineer.com

# JURISDICTION

FORT WHITE

### CODES

2020 FLORIDA BUILDING CODE - 7TH EDITION 2017 NATIONAL ELECTRICAL CODE

#### CONSTRUCTION

TYPE OF CONSTRUCTION OCCUPANCY CLASSIFICATION R3 NUMBER OF STORIES 2 W/O BASEMENT 28'-1<sup>1</sup>/<sub>2</sub>" **BUILDING HEIGHT** 

**BUILDING AREAS** 

LOWER LEVEL 0 SQ. FT. MAIN LEVEL 1,100 SQ. FT. LOFT LEVEL FINISHED AREA 435 SQ. FT. **UNFINISHED AREA** 1,535 SQ. FT. TOTAL AREA O SQ. FT. 1,535 SQ. FT.

THESE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

1. VERIFY ALL DIMENSIONS

2. REVIEW ALL STAIR REQUIREMENTS 3. VERIFY COMPLIANCE WITH LOCAL CODES 4. VERIFY ALL FOUNDATION HOLDOWN LOCATIONS

VERIFY ACTUAL SITE CONDITIONS

# INDEX OF DRAWINGS

COVER SHEET A0.2 SURVEY PLAN

ARCHITECTURAL

ELECTRICAL

FLOOR PLANS EXTERIOR ELEVATIONS A2.1 BUILDING SECTIONS & DETAILS A3.1

AVRAME U.S.A HAS DESIGNED THIS STRUCTURE IN CONJUNCTION WITH A LICENSED ENGINEER TO MEET OR EXCEED LOCAL BUILDING CODES. AVRAME

ASSUMES NO LIABILITY FOR THE ACCURACY AND CRAFTSMANSHIP OF THE OWNER/BUILDER IN FOLLOWING THE PLANS.

ANY DISCREPANCIES ON THE PLANS MUST BE RESOLVED BY THE BUILDER PRIOR TO CONSTRUCTION.

TRUSS DESIGN AND LAYOUT IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO PERFORM BUILDING REVIEWS BEFORE BEGINNING CONSTRUCTION.

CONSTRUCTION USING THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A BUILDING PROFESSIONAL.

MECHANICAL, ELECTRICAL, & PLUMBING PLANS

STRUCTURAL

FOOTING AND FOUNDATION PLAN S1.2 FRAMING PLANS

5001 5002 5201 S501

> TRIO 150 DRAWN FOR ONE-TIME USE FOR

 $\Box$ 

AVRAME U.S.A 10/26/2021 ISSUE DATE

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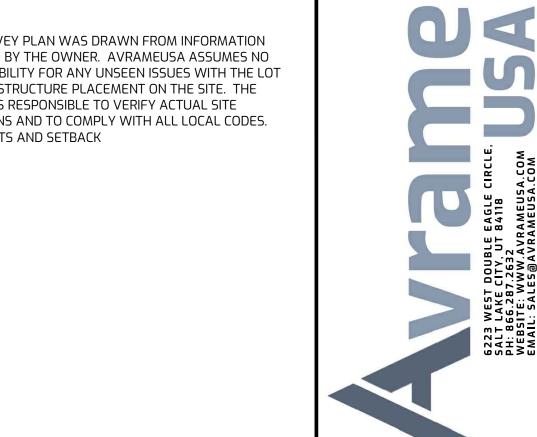
**COVER SHEET** 

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BD

THIS SURVEY PLAN WAS DRAWN FROM INFORMATION PROVIDED BY THE OWNER. AVRAMEUSA ASSUMES NO RESPONSIBILITY FOR ANY UNSEEN ISSUES WITH THE LOT AND THE STRUCTURE PLACEMENT ON THE SITE. THE BUILDER IS RESPONSIBLE TO VERIFY ACTUAL SITE CONDITIONS AND TO COMPLY WITH ALL LOCAL CODES. EASEMENTS AND SETBACK



 $\overline{\mathsf{A}}$ MHITE BD FORT

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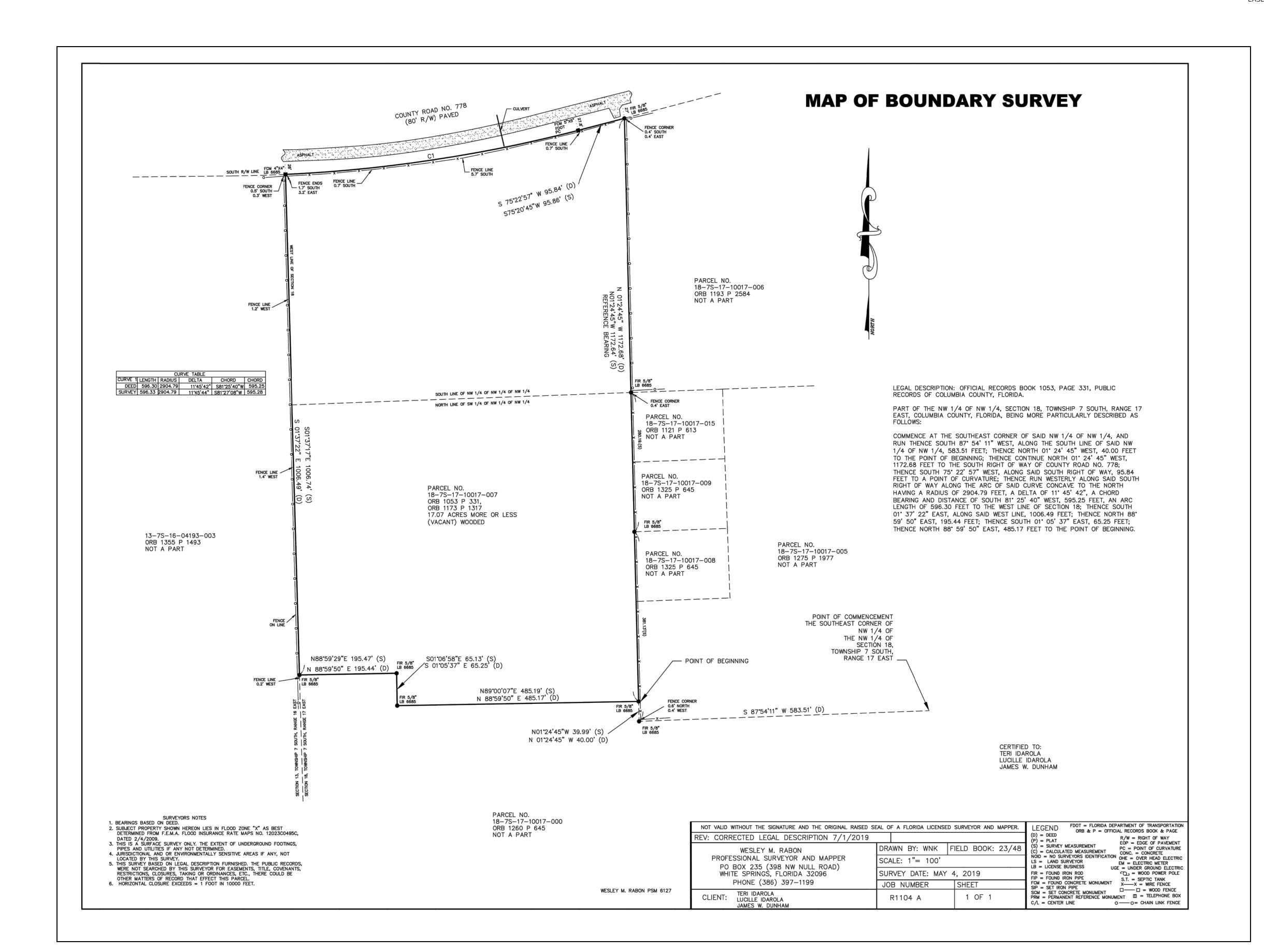
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SURVEY PLAN



	WINDOW SCHEDULE								] [
	QTY.	WIDTH	HEIGHT	HEAD	U-FACTOR	SHGC	TYPE	REMARKS	
1	2	3'-0"	5'-0"	6'-8"	-	-	SINGLE HUNG	-	
2	1	6'-0"	3'-0"	6'-7"	-	-	SLIDER	-	
(3)	1	4'-8 5/16"	7'-6 3/4"	7'-8 1/4"	-	-	TRAP. PICT.	SEE ELEVATION	
4	2	1'-10 3/4"	7'-6 3/4"	7'-8 1/4"	-	-	PICTURE		
5	1	4'-8 5/16"	7'-6 3/4"	7'-8 1/4"	-	-	TRAP. PICT.	SEE ELEVATION	
<u>(6)</u>	1	6'-7"	5'-8 3/8"	5'-10 1/8"	-	-	TRIANGLE. PICT.	SEE ELEVATION	
7	5	1'-9"	3'-1 7/8"	た	-	-	SKYLIGHT	VELUX VSS - FIXED SKYLIGHT - CO4 - OWNER TO DETERMINE HEAD HEIGHT	
8	3	1'-9"	3'-9 3/4"	rk	-	-	SKYLIGHT	VELUX VSS - FIXED SKYLIGHT - CO6 - OWNER TO DETERMINE HEAD HEIGHT	

	DOOR SCHEDULE								
	QTY. WIDTH HEIGHT THICK U-FACTOR SHGC TYPE REMARKS								
А	1	16'-0"	7'-10"	13/4"	-	-	EXT. SLIDER	EXTERIOR SLIDER, FULL LITE,. INSULATED, LOW E, WEATHER STRIP, THRESHOLD, LOCKSET	
В	2	6'-0"	6'-8"	13/4"	-	-	EXT. FRENCH	EXTERIOR FRENCH, FULL LITE,. INSULATED, LOW E, WEATHER STRIP, THRESHOLD, LOCKSET	
С	6	2'-8"	6'-8"	13/4"	-	-	INT. SWING		

**KEYED NOTES** 

1 STANDING SEAM METAL ROOF WITH SEAMS @ 16" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS. 2) SIDING AND TRIM PER OWNER ON TYVEK

HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C. 3) "Z" CONT. METAL FLASHING ABOVE ALL NEW DOORS, WINDOWS, AND HORIZ. TRIM

4 FASCIA PER OWNER 5) SOFFIT PER OWNER

6 CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING. (7) VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4"ø CONTINUOUS FOUNDATION DRAIN, SET IN GRAVEL, DRAIN TO SUMP. ALL SIDES OF

FOUNDATION. BACKFILL FOUNDATION WITH

GRANULAR FILL @ 95% COMPACTION. B) NON-VENTED ROOF PER REScheck REPORT AND IRC R806.5

(9) INSULATION PER REScheck REPORT. INSTALL MIN. 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE

INSIDE (WARM SIDE). IRC R702.7 (10) TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO

LONGER ALLOWED IN THIS APPLICATION. (11) GUARDRAIL AT STAIRWAY TO BE 36" TALL W/ NO OPENINGS ALLOWING THE PASSAGE OF A SPHERE 4" IN DIAMETER.

(12) 4" CONCRETE FLOOR SLAB. REINFORCED PER ENGINEER. OVER 6 MIL VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 6" GRANULAR FILL. (R506.2.3) ANY EDGE OF SLAB LESS THAN 12" BELOW GRADE SHALL BE INSULATED - R10 @ 4 FEET OR R15 @ 4 FEET FOR HEATED SLABS (IECC, SECTION 402.2.8

(13) CONDITIONED CRAWL SPACE (14) CRAWL SPACE ACCESS. SEE FLOOR FRAMING PLANS FOR DETAILS.

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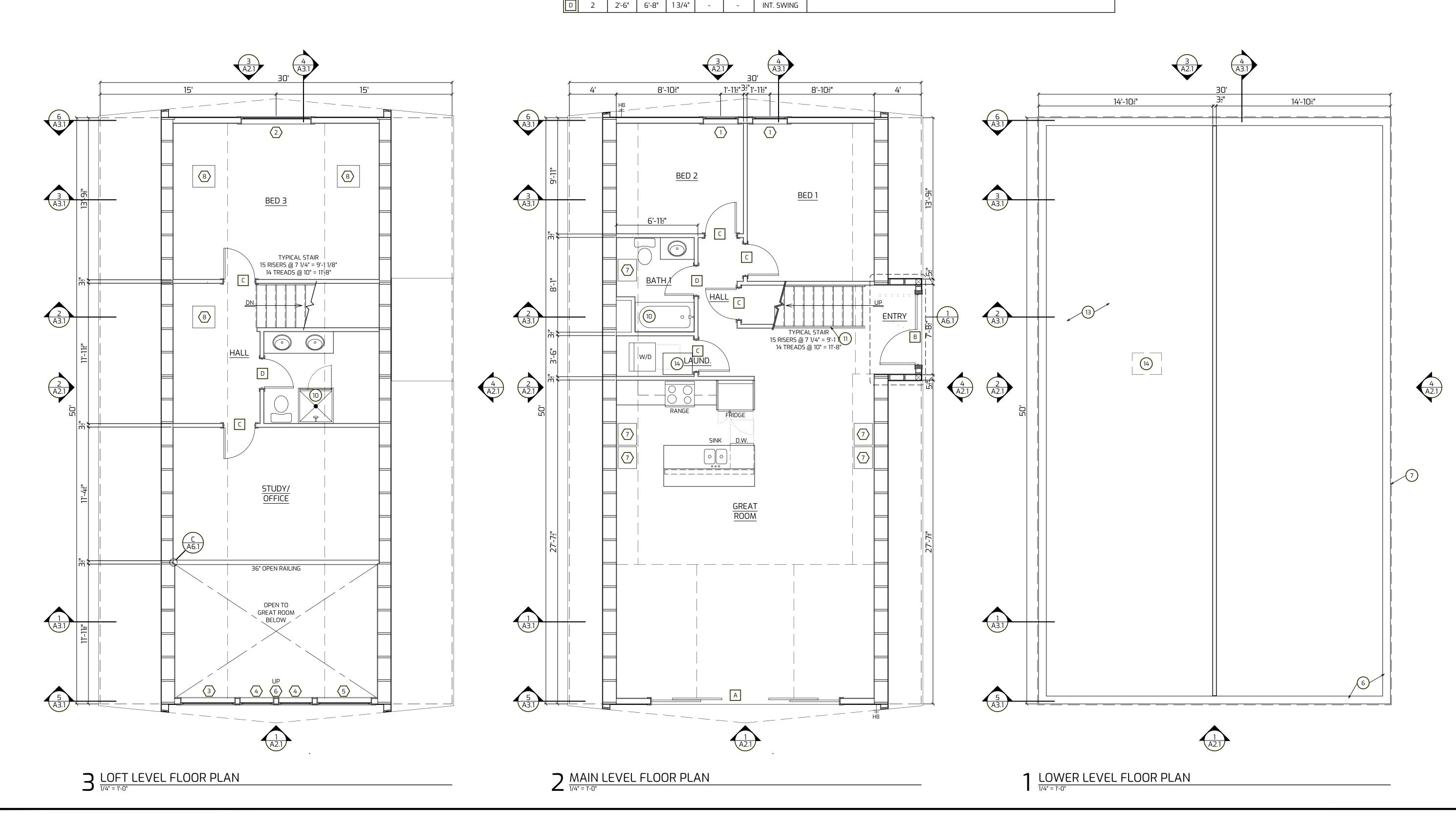
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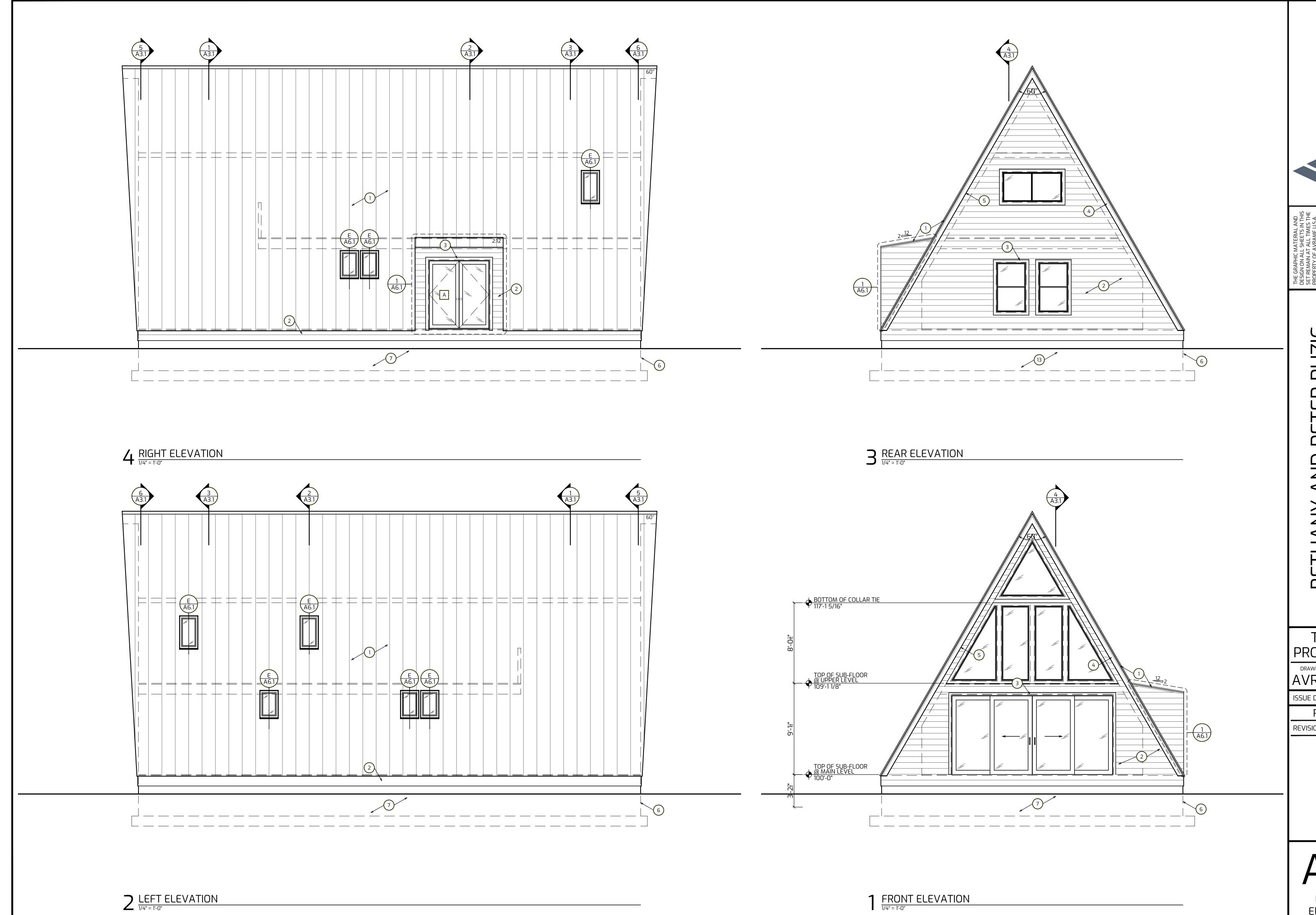
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FLOOR PLANS





6223 WEST DOUBLE EAGLE CIRCLE, SALT LAKE CITY, UT 84118 PH: 866.287.2632 WEBSITE: WWW.AVRAMEUSA.COM EMAIL: SALES@AVRAMEUSA.COM

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/ AND PETER RUZIC

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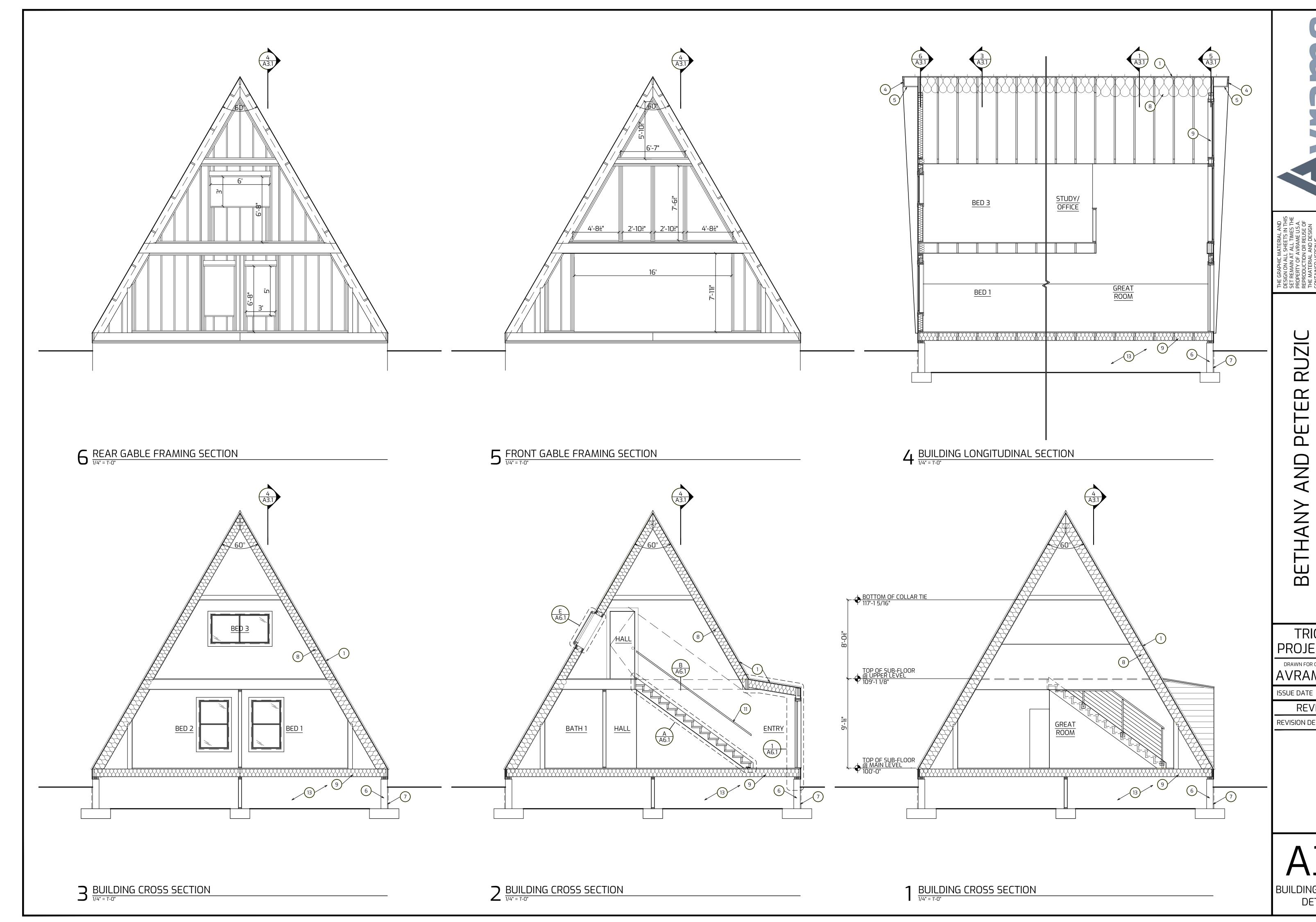
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A2.1

EXTERIOR ELEVATIONS



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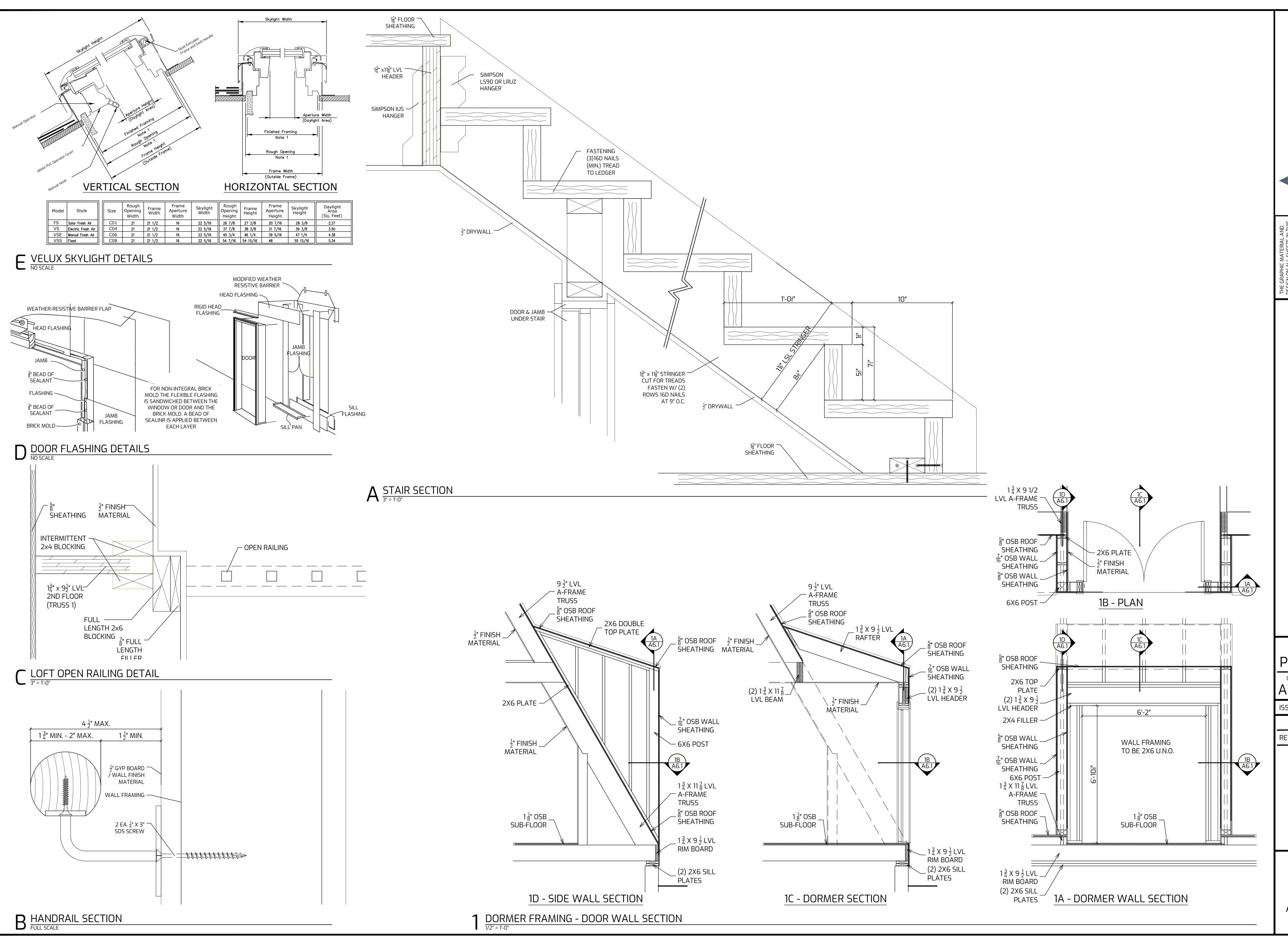
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BUILDING SECTIONS DETAILS



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ARCHITECTURAL

DETAILS

- ALL ELECTRICAL INSTALLATIONS SHALL COMPLY W/ 2016 CRC & 2014 NEC

- INSTALL OUTLETS SO NO POINT ALONG ANY WALL IS MORE THAN 6' FROM OUTLET.
- INSTALL RECEPTACLES ALONG KITCHEN COUNTERTOPS SO NO POINT ALONG ANY WALL IS MORE THAN 2' FROM AN OUTLET.

- INSTALL RECEPTACLES ALONG KITCHEN COUNTERTOPS SO NO POINT ALONG ANY WALL IS MORE THAN 2 FROM AN OUTLET.

- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, UNFINISHED BASEMENTS AND OUTSIDE OUTLETS TO BE GFCI PROTECTED.

- FUEL FIRED WATER HEATERS SHALL NOT BE INSTALLED IN A ROOM USED AS A STORAGE CLOSET. NON-DIRECT-VENT WATER HEATERS LOCATED IN A

SEALED ENCLOSURE SO THAT COMBUSTION AIR WILL NOT BE TAKEN FROM THE LIVING SPACE.
- PROVIDE A MIN. OF 30" OF CLEARANCE SPACE IN FRONT OF THE FURNACE AND A MIN. OF 3" ALONG SIDE AND BACK.

- ELECTRICAL PANEL MUST HAVE 30" WIDTH, 36" DEPTH AND 6'-6" HEADROOM CLEARANCE.

- UFER GROUND REQUIRED
- ALL 15- AND 20- AMPERE RECEPTACLES IN EVERY KITCHEN, FAMILY, LIVING, DINING, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION, OR SIMILAR ROOM OR AREA OF DWELLING UNITS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. -E4002.14 AND -E3901.1
WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS

SOUND UPON ACTIVATION OF ONE ALARM. - A MIN. OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLES OUTLETS IN THE KITCHEN.

- PROVIDE APPROVED BOXES OF SUPPORT FOR FAN/LIGHT COMBOS

- PROVIDE ALL BEDROOM OUTLETS, LIGHTS, SWITCHES, AND SMOKE DETECTORS W/ ARC-FAULT PROTECTION.

- ALL EXTERIOR OUTLETS TO BE GFCI WETHER PROOF.
- ALL EXTERIOR OUTLETS SHALL HAVE BUBBLE COVERS & 110V OUTLET WITH 25' OF AC UNIT.

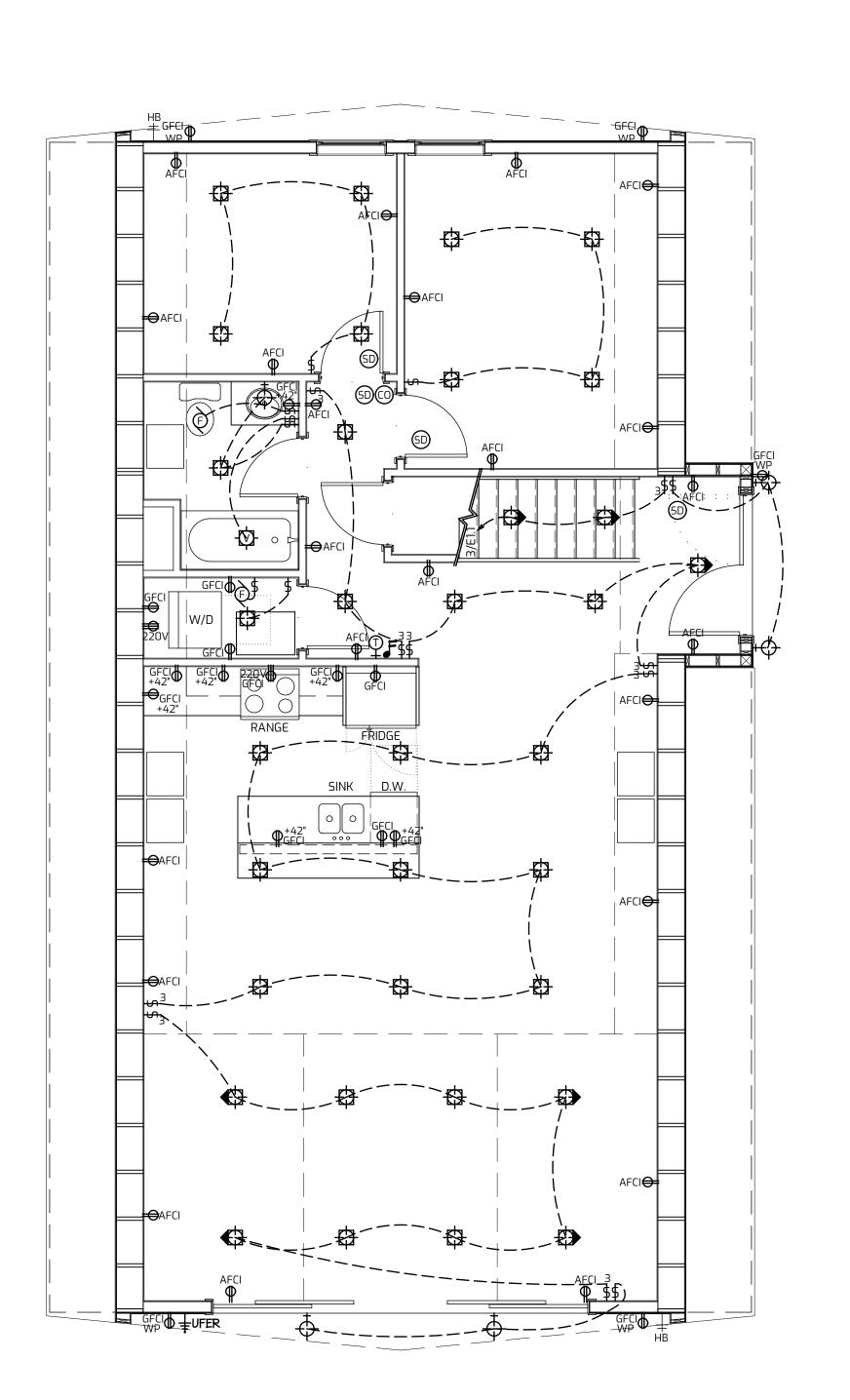
SMOKE DETECTORS AND CARBON MONOX. DETECTORS ARE REQUIRED TO BE INTERCONNECTED SO IF ONE SOUND, ALL SOUND.

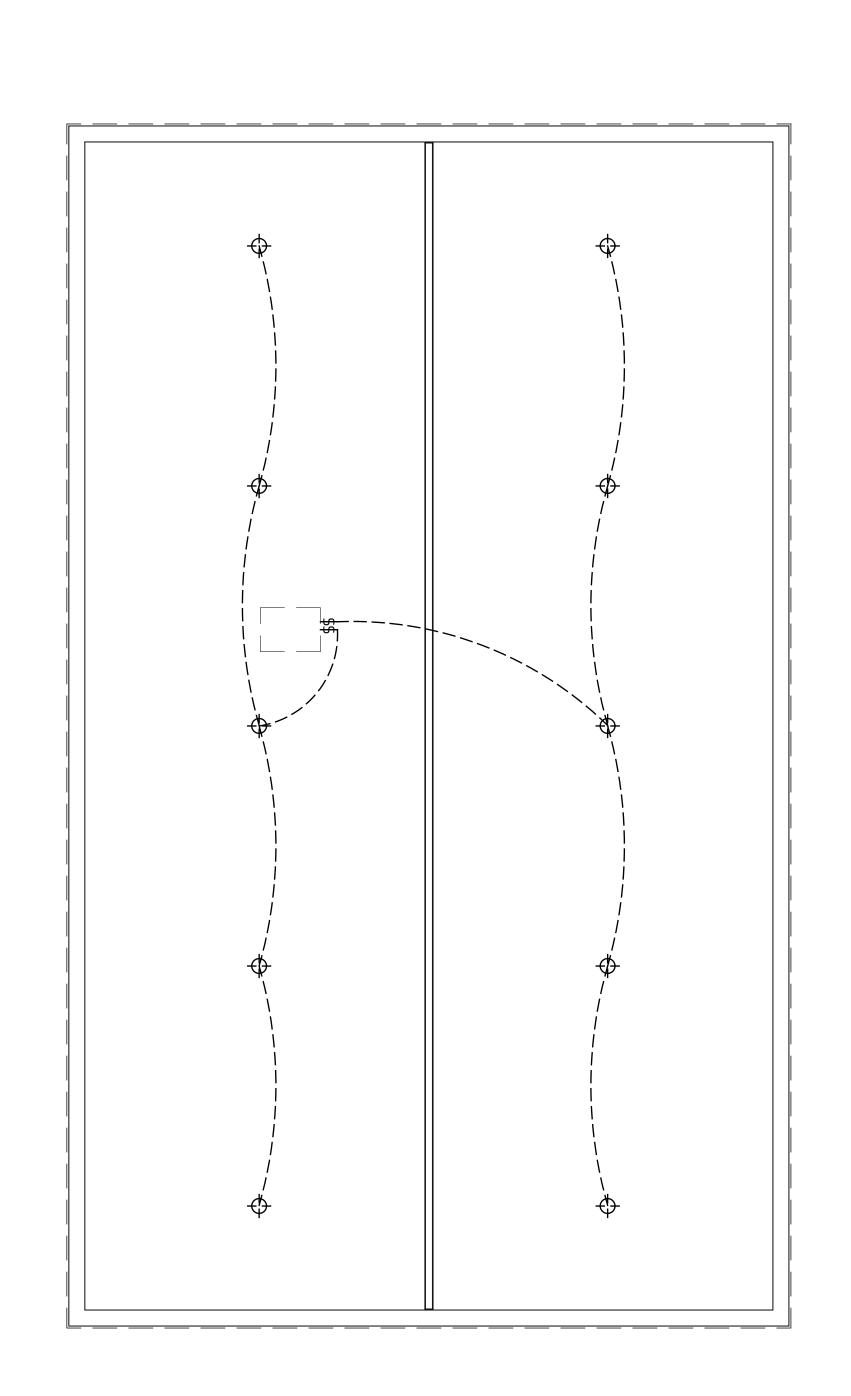
- ALSO ALL DETECTORS ARE TO BE WIRED WITH PRIMARY POWER, AND BATTERY BACKUP. - CARBON MONOXIDE DETECTORS REQUIRED ON ALL HABITABLE LEVELS INCLUDING ANY "BONUS ROOMS".

- ALL ELECTRICAL RECEPTACLES AND SWITCHES ARE UP A MIN. 18" ABOVE THE FLOOR, IN THE GARAGE OR ANY ROOM WITH ACCESS FROM GARAGE.
- A 125-VOLT, SINGLE PHASE, 15-OR 20-AMP RATED GFCI RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 25' OF MECHANICAL EQUIPMENT AND NOT

BE CONNECTED TO THE LOAD SIDE OF THE DISCONNECTING MEANS.

- ALL ELECTRICAL BOXES IN GARAGE TO BE 2-HOUR RATED.





SYMBOLS LEGEND UFER 220V DISCONNECT BOX FOR AC COMPRESSOR PER NEC 422.26 "UFER" CONCRETE ENCASED ·· +AC 110V DUPLEX CONV. OUTLET ····· → THERMOSTAT CONTROL GROUNDING ELECTRODE · = RETURN AIR GRILLE WALL HUNG FIXTURE . +(;)- CHIMES 🗜 1/2 HOT OUTLET SUPPLY AIR GRILLE SMOKE DETECTOR · (WIRED IN SERIES) 220V OUTLET RECESSED LIGHT FIXTURE **■**220V 'FROST FREE' HOSE BIB · (CO) AFCI DUPLEX OUTLET CARBON MONOXIDE DETECTOR RECESSED SLOPED LIGHT · **→**AFCI GAS LINE GFCI DUPLEX OUTLET VAPOR PROOF RECESSED · -🔯- GARBAGE DISPOSAL CEILING FAN · <del>→</del> WP WITH LIGHT KIT · · · · WEATHERPROOF . EXHAUST FAN (MIN. 5 AIR SINGLE POLE SWITCH CHANGES PER HOUR) TELEPHONE JACK AT 14" A.F.F. GARAGE DOOR OPENER · ◀ RECEPTACLE 3-WAY SWITCH · · TYP IN CONDUIT U.N.O.

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PETER RUZIC

TBD SW CR 778 FORT WHITE, FL 320

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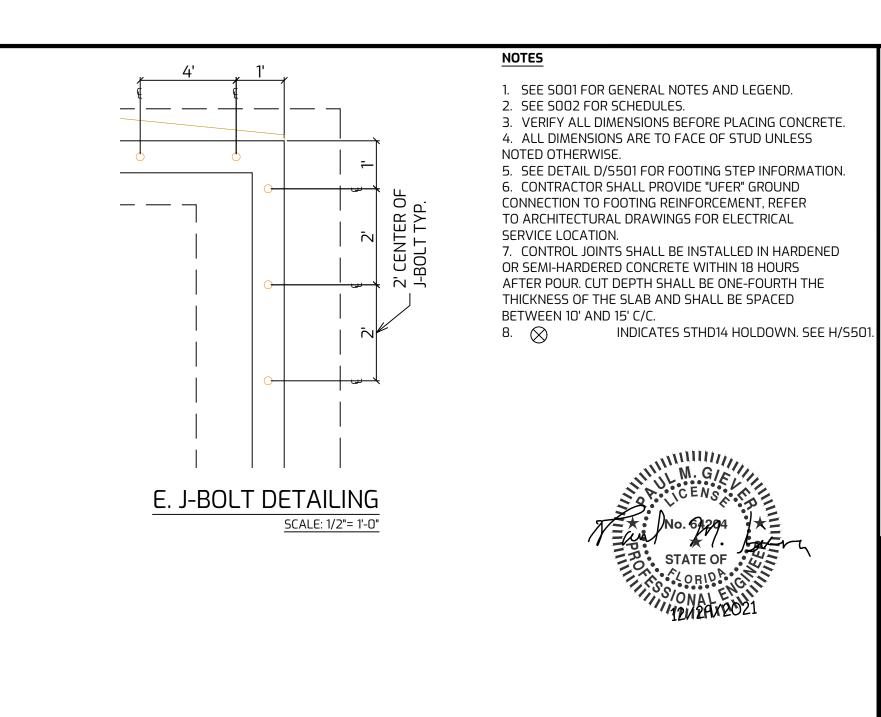
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M.E.P. PLANS

SEE 2/M1.1 FOR LIGHTING THIS AREA



FT1-2C

\_2x4 STUD WALL 16" C/C

FT1-3C-

1'-4"



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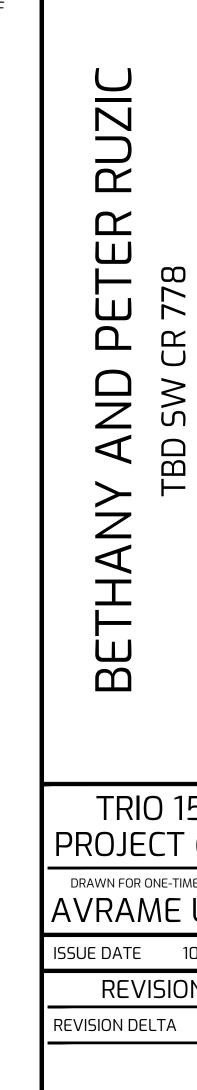
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51.1
FOOTING AND FOUNDATION PLAN

1 FOOTING AND FOUNDATION PLAN

1/4" = 1'-0"



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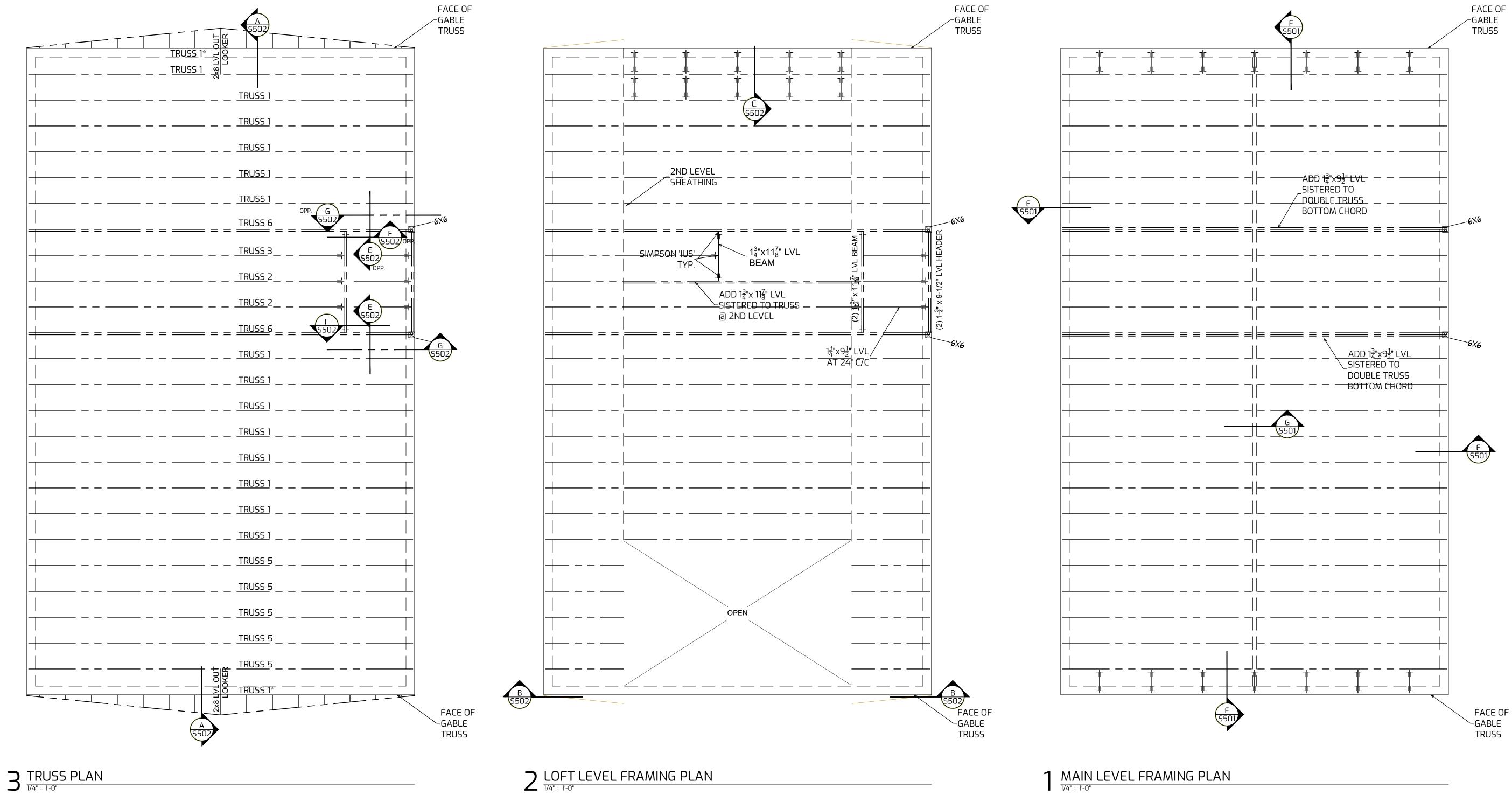
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FRAMING PLANS



#### **GENERAL NOTES** ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE AND LOCAL RULES/STANDARDS OF GOVERNING AGENCIES HAVING JURISDICTION. 2. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS. ANY ERRORS, AMBIGUITIES, AND OMISSION IN DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD FOR CORRECTION BEFORE ANY PART OF THE WORK IS STARTED. SUBSTITUTION OR CHANGES WILL NOT BE ACCEPTED UNLESS APPROVED IN WRITING. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF SITE CONDITIONS, INSTALLATION STANDARDS AND CONSTRUCTION CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO SHOP FABRICATION AND/OR FIELD ERECTION. WORK DONE WITHOUT THE ENGINEERS APPROVAL IS THE RESPONSIBILITY OF THE CONTRACTOR. 5. ELEVATIONS ON THE STRUCTURAL DRAWINGS REFERENCE THE FINISHED FLOOR ELEVATION, ASSIGNED THE DATUM 100'-0". 6. THE STRUCTURAL INTEGRITY OF THIS STRUCTURE IS DESIGNED TO BE ATTAINED IN IT'S COMPLETED STATE. WHILE UNDER CONSTRUCTION, ALL TEMPORARY BRACING AND/OR SHORING REQUIRED TO MAINTAIN STABILITY PRIOR TO COMPLETION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, INCLUDING DESIGN AND INSTALLATION. 7. PROTECTION OF EXISTING STRUCTURES DURING THE COURSE OF THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. 8. PRIOR TO DIGGING VERIFY LOCATION AND DEPTH OF UTILITIES AND OTHER UNDERGROUND INTERFERENCES. CALL TWO BUSINESS DAYS BEFORE YOU DIG AT 811. PLAN DIMENSIONS PROVIDED ARE TO FACE OF STUD. 10. <u>DESIGN CRITERIA</u> (PER 2018 IBC AND ASCE 7-16) 1. VERTICAL LOADS:

#### A. DEAD LOADS: ROOF 15 PSF FLOOR B. LIVE LOADS (IBC 1607): 40 PSF RESIDENTIAL 20 PSF ROOF LIVE LOAD C. SNOW LOADS (IBC 1608): GROUND SNOW LOAD Pg=0 PSF 2. LATERAL LOADS: A. WIND DESIGN LOAD DATA: VELOCITY (3-SEC.-GUST) V (ULT) = 121 MPH **EXPOSURE** RISK CATEGORY INTERNAL PRESSURE COEFFICIENT ±0.18 SEISMIC DESIGN LOAD DATA: RISK CATEGORY IMPORTANCE FACTOR 1.00 RHO (N-S) RHO (E-W) MAPPED SPECTRAL RESPONSE ACCELERATIONS: S1 = 0.048 SEISMIC SITE CLASS DESIGN SPECTRAL RESPONSE COEFFICIENTS: Sd1 = 0.076 SEISMIC DESIGN CATEGORY SEISMIC FORCE RESISTING SYSTEM AND RESPONSE MODIFICATION FACTOR: WOOD SHEAR PANELS R = 6.5SEISMIC RESPONSE COEFFICIENT 0.01 DESIGN BASE SHEAR 0.01W ANALYSIS PROCEDURE:

# <u>FOUNDATIONS</u>

1. FOUNDATION DESIGN BASED ON AN ALLOWABLE SOIL BEARING OF 1,500 PSF.

EQUIVALENT LATERAL FORCE PER ASCE 7-10, 12.8

## **CONCRETE**

- CONCRETE SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. ALL OTHER CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. CONCRETE DESIGN IS BASED UPON A COMPRESSIVE STRENGTH OF 2500 PSI WITH NO SPECIAL INSPECTION REQUIRED PER IBC 1705.3 REQUIRED.
- CAST IN PLACE CONCRETE SHALL MEET THE FOLLOWING REQUIREMENTS: ACI 117 - STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS. ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE. ACI 302.1R - GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION. ACI 305R - HOT WEATHER CONCRETING. ACI 306 R- COLD WEATHER CONCRETING.
- ALL CONCRETE USED IN HORIZONTAL SURFACES EXPOSED TO THE WEATHER SHALL CONTAIN AN ACCEPTABLE ADMIXTURE TO PRODUCE AIR-ENTRAINED CONCRETE WITH A TOTAL OF 4.5 PERCENT AIR CONTENT.
- THE USE OF SUPER PLASTICIZERS AND WATER REDUCERS IS ALLOWED, BUT NOT REQUIRED. ALL ADMIXTURES SHALL BE CHLORIDE FREE.
- UNLESS NOTED OTHERWISE, ALL CONCRETE FLAT WORK SHALL CONFORM TO THE FOLLOWING FINISHING TOLERANCES 1/8" GAP UNDER A 10'-0" STRAIGHT EDGE.
- ALL REINFORCING STEEL SHALL BE GRADE 60 DEFORMED BARS COMPLYING WITH ASTM SECTION A615.
- ALL DETAILING, FABRICATION AND PLACEMENT OF REINFORCING STEEL SHALL COMPLY WITH THE REQUIREMENTS OF THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES (ACI-SP-66).
- REINFORCEMENT LAP HOOKS, ETC.; SHALL BE PER THE REINFORCEMENT TABLE UNLESS

#### NOTED OTHERWISE. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT: A. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3" B. CONCRETE EXPOSED TO EARTH OR WEATHER: #6 THROUGH #18 BARS: 2" #5 BAR, W31 OR D31 WIRE AND SMALLER: 1 1/2" C. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND: SLABS, WALLS, JOISTS #14 AND 18 BARS: 1 1/2" #11 BAR AND SMALLER: 3/4" BEAMS, COLUMNS PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS: 1 1/2" D. REINFORCING SHALL EXTEND TO THE END OF THE CONCRETE AND MAINTAIN THE COVER LISTED ABOVE AT THE ENDS. 10. THOROUGHLY CLEAN FORMS AND ADJACENT SURFACES TO RECEIVE CONCRETE. REMOVE CHIPS, WOOD, SAWDUST, DIRT, OR ANY OTHER DEBRIS PRIOR TO CONCRETE PLACEMENT. 11. CLEAN REINFORCING OF LOOSE RUST, MILL SCALE, DIRT, OR ANY OTHER FOREIGN MATERIAL. ACCURATELY POSITION, SUPPORT AND SECURE REINFORCEMENT. 12. PROPORTION AND DESIGN MIXES TO RESULT IN CONCRETE SLUMP AT POINT OF PLACEMENT NOT LESS THAN 3" AND NOT MORE THAN 5" PRIOR TO SUPERPLASTICIZER. ADDITION OF WATER TO READY-MIX CONCRETE IN THE FIELD SHALL BE ALLOWED IF ON TRIP TICKET BEFORE DISCHARGE AND TESTING. 13. DEPOSIT CONCRETE IN A CONTINUOUS OPERATION UNTIL THE PLACING OF CONCRETE IS COMPLETE. IF THE POUR IS TO BE DISCONTINUOUS, CONTRACTOR SHALL USE CONSTRUCTION JOINTS, AS DETAILED ON THE DRAWINGS OR APPROVED BY THE 14. UNLESS NOTED OTHERWISE, REINFORCING IS NOT TO EXTEND THROUGH CONSTRUCTION JOINTS OF FLOOR SLABS-ON-GRADE. 15. REPAIR ALL SURFACE DEFECTS INCLUDING TIE HOLES, MINOR HONEYCOMBING AND

٠٠.	THE PART ALL CONTINUE BET LOTO INCLUDING THE HOLLO, MINOR HOME TO MINOR THE
	OTHER VISUAL IRREGULARITIES WITH CEMENT MORTAR. MORTAR FOR PATCHING SHALL
	BE THE SAME COMPOSITION AS THAT USED IN THE CONCRETE. PATCHING SHALL BE DONE
	AS SOON AS THE FORMS ARE REMOVED.
16	PROVIDE (1) 2'-0" LONG #4 REBAR AT ALL RE-ENTRANT CORNERS FOR SLARS, PITS

- -16. PROVIDE (1) 2'-0" LONG #4 REBAR AT ALL RE-ENTRANT CORNERS FOR SLABS, PITS RECESSES, OR SLAB THICKNESS CHANGES IN THE TOP 1/3 OF THE SLAB-ON-GRADE.
- 17. GROUT MATERIAL FOR BASE PLATES, SLEEVES, AND EMBEDDED STEEL SHALL BE NONMETALLIC, NON-SHRINK, PREPACKAGED GROUT CONFORMING TO ASTM C 1107.
- 18. AT CONTRACTORS OPTION TO REDUCE SHRINKAGE CRACKS FIBER REINFORCING MAY BE USED FOR SLABS ON GRADE. FIBERS SHALL BE EITHER POLYPROPYLENE OR NYLON. POLYPROPYLENE FIBERS SHALL BE MANUFACTURED BY THE FIBERMESH COMPANY, NYLON COMPANY, OR APPROVED EQUAL AND SHALL COMPLY WITH ASTM C1116, TYPE III. NYLON FIBERS SHALL BE MANUFACTURED BY THE NYLON COMPANY, OR ENGINEER APPROVED EQUAL.
- 19. SHEET VAPOR RETARDER FOR UNDER SLABS ON GRADE SHALL BE ASTM E1745, CLASS A, 10-MIL MINIMUM THICKNESS. JOINTS SHALL BE TAPED PER MANUFACTURER'S REQUIREMENTS.

#### **CONCRETE - POST INSTALLED ANCHORS**

- 1. SPECIAL INSPECTIONS ARE REQUIRED PER IBC CHAPTER 17.
- ANCHORS SHALL BE INSTALLED IN CONCRETE THAT IS A MINIMUM OF 21 DAYS OR AS RECOMMENDED BY THE MANUFACTURER.
- 3. ADHESIVE ANCHORS SHALL CONFORM TO THE FOLLOWING: A. HILTI HIT-HY 200 FAST CURE HYBRID ADHESIVE. B. ANCHORS SHALL BE ASTM A193 GRADE B7
- C. INSTALL PER ESR-3187. 4. EXPANSION ANCHORS SHALL CONFORM TO THE FOLLOWING: A. HILTI KWIK BOLT-TZ EXPANSION ANCHORS.
  - B. INSTALL PER ESR-1917 C. EXTERIOR ANCHORS SHALL BE STAINLESS STEEL OR GALVANIZED.
- 5. SUBSTITUTION OF MANUFACTURED PRODUCT IS NOT PERMITTED UNLESS APPROVED BY THE ENGINEER OF RECORD IN WRITING.

# ANCHOR RODS

- ANCHOR RODS SHALL BE ASTM F1554 GRADE 55 WITH CLASS 1A THREADS, UNLESS NOTED
- 2. FURNISH ANCHOR RODS PREFABRICATED WITH MATCHING DOUBLE HEAVY HEX NUTS JAMMED AT THE END EMBEDDED IN CONCRETE.
- FURNISH HARDENED PLATE WASHERS AND MATCHING HEAVY HEX NUTS FOR SECURING THE BASE PLATE TO THE ANCHOR RODS.
- A RIGID TEMPLATE SHALL BE USED TO LOCATE ANCHOR RODS WHILE PLACING CONCRETE.
- 5. NO HEATING OR BENDING OF THE ANCHOR RODS IS PERMITTED.
- 6. HOLES IN THE BASE MATERIAL SHALL NOT BE ENLARGED BY BURNING.

- SEE IBC FASTENING SCHEDULE (TABLE 2304.10.1) FOR GENERAL FRAMING NAILING REQUIREMENTS AND REFER TO FRAMING NAIL SCHEDULE PROVIDED FOR NAIL REQUIREMENTS.
- 2. TIMBER MATERIALS SHALL CONFORM TO THE FOLLOWING GRADES UNLESS NOTED OTHERWISE: A. WALL STUDS, TOP PLATES, BOTTOM PLATES, BEAMS, COLUMNS, AND
  - MISCELLANEOUS LIGHT FRAMING SHALL BE DOUGLAS FIR #2 OR BETTER. B. GLULAM BEAMS (GLB) SHALL BE 24F-V4 DF/DF. C. LAMINATED VENEER LUMBER (LVL) SHALL BE WESTERN SPECIES, 1.8E,F<sub>b</sub>=2,600 PSI.
- 3. FLOOR SHEATHING SHALL BE 3/4" TONGUE AND GROOVE (48/24) APA RATED, PER PS 1-07. FLOOR SHEATHING SHALL BE GLUED AND SCREWED TO THE FLOOR JOISTS. PROVIDE #10 SCREWS AT 6" C/C AT SUPPORTED PANEL EDGES AND AT BLOCKING OVER WALL LINES AND AT 12" C/C IN SUPPORTS IN PANEL FIELD. NO DIAPHRAGM BLOCKING IS REQUIRED.

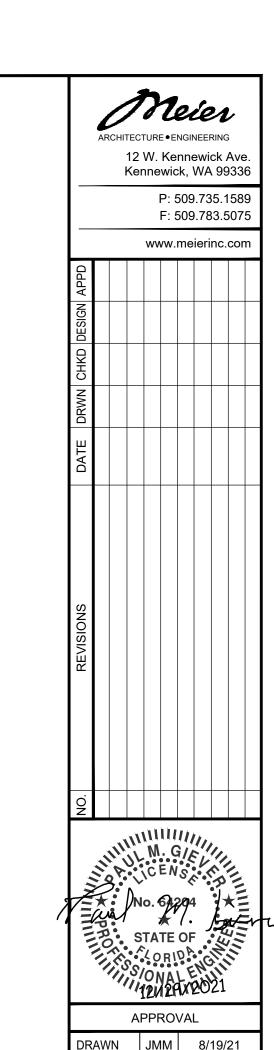
AT 6" C/C AT	JLAR TO JOISTS.	EW	EACH WAY
AT 6" C/C AT	HING AT SHEAR WALLS SHALL BE 7/16" APA RATED PLYWOOD WITH 8d NAILS	FDN	FOUNDATION
	EDGES AND 12" C/C FIELD. NAILING SHALL BE STAGGERED AT ADJACENT	FF	FINISH FLOOR
	S. BOTTOM PLATE ANCHORS SHALL BE HOOKED ANCHORS WITH 3"x3"x0.229"		
PLATE WASH		FL	FLOOR
		FT	FOOT; FEET
	THING SHALL BE 5/8" APA RATED OSB WITH 8d NAILING 6" C/C AT ALL	FT#	FOOT TYPE - NUMBER
	PANEL EDGES, BLOCKING LINES, DRAG STRUTS, AND AT 12" C/C AT SUPPORTS		
IN PANEL FIE	ELD.	FTG	FOOTING
ALL NIAH ING	DECLUDEMENTS LISTED ARE DASED LIBON THE LISE OF COMMON MURE MAILS	GB	GYPSUM BOARD
	REQUIREMENTS LISTED ARE BASED UPON THE USE OF COMMON WIRE NAILS		
(NOT SINKER	RS, BOX, ETC.) UNLESS NOTED OTHERWISE.	GLB	GLUE-LAMINATED BEAM
TIMBED DES	IGNATED AS TREATED SHALL BE PRESSURE TREATED IN ACCORDANCE WITH	HSS	HOLLOW STRUCTURAL SECTION
AWPA STANI		ICDO	
AWFASIANI	SAND G2.	ICBO	INTERNATIONAL COUNCIL OF BUILDING OFFICIALS
LINI ESS NOT	ED OTHERWISE, ALL TIMBER HEADERS SHALL BE PER THE PROVIDED	IN	INCH; INCHES
SCHEDULE.	ES OTHERWISE, ALL HIMSERTIE SERVE STINEE SE PER THE PROVISES	INT	INTERIOR
001125022.			
THE FOLLOW	VING CONDITIONS SHALL REQUIRE THE USE OF TREATED LUMBER IN	JB	JOIST BEARING
ACCORDANG	DE TO IBC 2304.12:	JST	JOIST
A. LUMBE	R IN DIRECT CONTACT WITH CONCRETE, MASONRY, OR SOIL.		
B. LUMBE	R IN MOIST OR WET ENVIRONMENTS.	K	KIP; KIPS
	R USED IN EXTERIOR APPLICATIONS AND/OR NOT PROTECTED BY A VAPOR	KSI	KIPS PER SQUARE INCH
BARRIE	ER.	LB	DOLIND: DOLINDS
		LB	POUND; POUNDS
ALL METAL F	ASTENERS IN CONTACT WITH TREATED WOOD SHALL BE GALVANIZED.	LF	LINEAR FOOT
TIMBED 001	NICOTORO CALLER CLIT RIVI ETTERO AND NUMBERO CLIALLERE RIVINARIO.	LSL	LAMINATE STRAND LUMBER
	INECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE BY SIMPSON		LAMINATE STRAND LOWDER
	COMPANY, AS SPECIFIED IN THE LATEST EDITION OF THEIR CATALOG.	LVL	LAMINATE VENEER LUMBER
PROVIDE NU	MBER AND SIZE OF FASTENERS AS SPECIFIED BY THE MANUFACTURER.	MAX	MAXIMUM
ALL BOLTS I	NI WOOD MEMBERS SHALL CONFORM TO ASTM ASST. DROVEDS MASHEDS		
	N WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.	MC	MISCELLANEOUS CHANNEL
ONDEK IHE	HEADO AND NOTO OF ALL DOLTO AND LAG OUREWO BEAKING UN WUUD.	MECH	MECHANICAL
UNLESS NOT	ED OTHERWISE, STUD WALLS SHALL BE 2x4 AT 16 INCHES C/C AT INTERIOR		
	2x6 AT 16 INCHES C/C AT EXTERIOR WALLS.	MEP	MECHANICAL, ELECTRICAL AND PLUMBING
WILLO AND		MFR	MANUFACTURER
UNLESS NOT	ED OTHERWISE, BOTTOM PLATES OF STUD WALLS SHALL BE CONNECTED TO		
	S STRUCTURE PER THE FOLLOWING:	MIN	MINIMUM
	NCRETE: 1/2" ANCHOR RODS EMBEDDED 7" INTO CONCRETE AT 6'-0" MAX AND	MISC	MISCELLANEOUS
	I 12" FROM ENDS/CORNERS. USE A 3"x3"x1/4". PLATE WASHER.	N	NORTH
	BER: PER IBC FASTENING SCHEDULE (TABLE 2304.10.1).		
· · ·		N-S	NORTH-SOUTH
		NFPA	NORTHERN FOREST PRODUCTS ASSOCIATION
		NS	NEAR SIDE
		NTS	NOT TO SCALE
		OPP	OPPOSITE HAND
		OVS	OVERSIZE
		PCF	POUNDS PER CUBIC FOOT
		PERP	PERPENDICULAR
		PL	PLATE
LEGEND			
		PLF	POUNDS PER LINEAR FOOT
		PSF	POUNDS PER SQUARE FOOT
AB	ANCHOR BOLT		
ACI	AMERICAN CONCRETE INSTITUTE	PSI	POUNDS PER SQUARE INCH
		PT	POINT
AESS	ARCHITECTURALLY EXPOSED STRUCTURAL STEEL		
AFF	ABOVE FINISH FLOOR	REF	REFERENCE
		REINF	REINFORCEMENT; REINFORCING
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION		·
ALT	ALTERNATE	REQD	REQUIRED
		SC	SCALE
	AMERICAN PLYWOOD ASSOCIATION		
APA	ANCHOR ROD	SCJ	SAWN CONTROL JOINT
APA		SECT	SECTION
APA AR	A DOLUTEOTUDA!	OLOI	
APA	ARCHITECTURAL		CIMILAD
APA AR ARCH		SIM	SIMILAR
APA AR ARCH ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS		SIMILAR SNOW LOAD
APA AR ARCH		SIM SL	SNOW LOAD
APA AR ARCH ASTM BM	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM	SIM	
APA AR ARCH ASTM BM BOF	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING	SIM SL	SNOW LOAD
APA AR ARCH ASTM BM	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM	SIM SL SOG STD	SNOW LOAD SLAB ON GRADE STANDARD
APA AR ARCH ASTM BM BOF	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING	SIM SL SOG STD SPEC	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION
APA AR ARCH ASTM BM BOF BP# BRG	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING	SIM SL SOG STD	SNOW LOAD SLAB ON GRADE STANDARD
APA AR ARCH ASTM BM BOF BP#	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER	SIM SL SOG STD SPEC SQ	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE
APA AR ARCH ASTM BM BOF BP# BRG	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING	SIM SL SOG STD SPEC SQ STIFF	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE	SIM SL SOG STD SPEC SQ	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT	SIM SL SOG STD SPEC SQ STIFF	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE	SIM SL SOG STD SPEC SQ STIFF STL STRUC	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE	SIM SL SOG STD SPEC SQ STIFF STL	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR	SIM SL SOG STD SPEC SQ STIFF STL STRUC	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONN	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN CONCRETE CONNECTION	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONN CONT	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONN	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN CONCRETE CONNECTION	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONN CONT CTR	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONN CONT	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONN CONT CTR	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONT CTR CP	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL)	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONT CTR CP	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CENTER CONTROL POINT	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONN CONT CTR CP	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL)	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W W/	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH WITH
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONT CTR CP d DB DET	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL) DOUBLE DETAIL	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH
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APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONN CONT CTR CP d DB DET DIA DIAG	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL) DOUBLE DETAIL DIAMETER	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W W/ W/O	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH WITH
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APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONT CTR CP d DB DET DIA DIAG DIM	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL) DOUBLE DETAIL DIAMETER DIAGONAL DIMENSION	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W W/ W/O WF	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH WITH WITHOUT WIDE FLANGE
APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONN CONT CTR CP d DB DET DIA DIAG DIM DL	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL) DOUBLE DETAIL DIAMETER DIAGONAL DIMENSION DEAD LOAD	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W W/ W/O WF WP	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH WITH WITHOUT WIDE FLANGE WORK POINT
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APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC COL CONC CONC CONT CTR CP d DB DET DIA DIAG DIM DL DSL	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL) DOUBLE DETAIL DIAMETER DIAGONAL DIMENSION DEAD LOAD	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W W/ W/O WF WP WUL WWF	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF DECK TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH WITH WITHOUT WIDE FLANGE WORK POINT WIND UPLIFT LOAD
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APA AR ARCH ASTM BM BOF BP# BRG C/C CIP CJ CL CLR COC CONC CONC CONT CTR CP d DB DET DIA DIAG DIM DL DSL EA EF	AMERICAN SOCIETY FOR TESTING AND MATERIALS BEAM BOTTOM OF FOOTING BASE PLATE NUMBER BEARING CENTER TO CENTER CAST-IN-PLACE CONSTRUCTION JOINT CLEARANCE CLEAR CENTER LINE OF COLUMN COLUMN CONCRETE CONNECTION CONTINUOUS CENTER CONTROL POINT PENNY (NAIL) DOUBLE DETAIL DIAMETER DIAGONAL DIMENSION DEAD LOAD DRIFT SNOW LOAD EACH EACH FACE	SIM SL SOG STD SPEC SQ STIFF STL STRUC T&B T&G TOC TOD TOF TOSW TYP UNO VERT W W/ W/O WF WP WUL WWF	SNOW LOAD SLAB ON GRADE STANDARD SPECIFICATION SQUARE STIFFENER STEEL STRUCTURAL TOP AND BOTTOM TONGUE AND GROOVE TOP OF CONCRETE TOP OF FOOTING TOP OF STEM WALL TYPICAL UNLESS NOTED OTHERWISE VERTICAL WIDE; WIDTH WITH WITHOUT WIDE FLANGE WORK POINT WIND UPLIFT LOAD WELDED WIRE FABRIC SHEAR WALL
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SHEETS SHALL BE LAID IN A STAGGERED PATTERN WITH LONG DIMENSION

PERPENDICULAR TO JOISTS.

**EMBEDMENT** 

EACH WAY



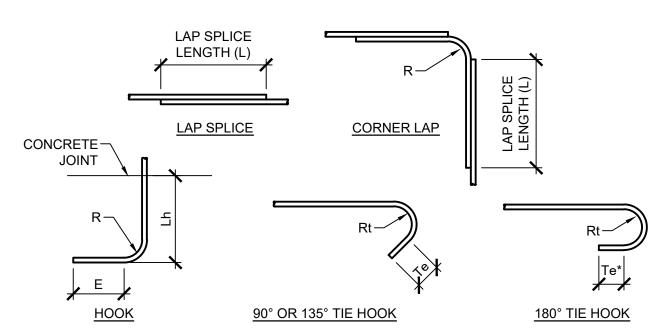
APPROVED PMG 8/19/21 -7/RA -778, FC Z ENE G DWG. NO.

DESIGN TDK 8/19/21

CHECKED PMG 8/19/21

ISSUE DATE: 12/28/21 8785.09

SCALE: AS INDICATED



BAR	LAP SPLICES	CORNERS AND HOOKS			TIES		
SIZE	L <sup>1,2</sup>	R <sup>1</sup>	Lh <sup>1,3</sup>	E <sup>1</sup>	Rt <sup>1</sup>	Te <sup>1</sup>	Te*1
#3	17"	1 1/8"	6 5/8"	4 1/2"	3/4"	3"	2 1/2
#4	23"	1 1/2"	8 7/8"	6"	1"	3"	2 1/2
#5	29"	1 7/8"	11"	7 1/2"	1 1/4"	3 3/4"	2 1/2
#6	42"	2 1/4"	13 1/4"	9"	2 1/4"	9"	3"
#7	71"	2 5/8"	19 1/4"	10 1/2"	2 5/8"	10 1/2"	3 1/2
#8	93"	3"	22"	12"	3"	12"	4"

- LENGTHS ARE BASED ON ACI 318-14 FOR fc = 3000 psi.
   LENGTHS ARE BASED ON CLASS B TENSION SPLICES, STAGGERING OF SPLICES IS NOT REQUIRED.
   Lh = EMBEDMENT REQUIRED FOR TENSION HOOKS

CONCRETE REINFORCING BAR SCHEDULE

COMMON NAIL DIMENSIONS								
SIZE	DIAMETER	LENGTH						
8d	0.131"	2 1/2"						
10d	0.148"	3"						
12d	0.148"	3 1/4"						
16d	0.162"	3 1/2"						

**NAIL TABLE** 

				FOOTING SCHEDULE			
KEY:				FOOTING TYPE——DIMENSION WIDTH  FT1-2C——DIMENSION LENGTH			
FOOTING	DIMENSIONS			REINFORCEMENT			
FOOTING	W	L	Т	EQ SP	REMARKS/DETAILS		
TYPE 1: STRIP F	OOTINGS	}					
FT1-2C	2'-0"	CONTINUOUS	0'-10"	(2) #5 LONGITUDINAL DIRECTION, #5 AT 16" C/C TRANSVERSE DIRECTION			
FT1-3C	3'-0" CONTINUOUS 0'-12"		0'-12"	(3) #5 LONGITUDINAL DIRECTION, #5 AT 16" C/C TRANSVERSE DIRECTION			

FOOTING SCHEDULE

12 W. Kennewick Ave. Kennewick, WA 99336 P: 509.735.1589 F: 509.783.5075 www.meierinc.com

APPROVAL CHECKED PMG 8/19/21 APPROVED PMG 8/19/21

SCHEDULES

DWG. NO. S002

JOB No. REV. 0

