



GENERAL NOTES

- A. EXCAVATION, BACKFILL, AND GRADING**
- All excavations for footings shall be placed on natural, undisturbed soil.
 - All excavations for footings shall be placed on undisturbed soil and below frost depth (30 Min). Tops of foundation shall be placed a minimum of 6" above finished grade.
 - Finish grading shall be done so as to provide positive drainage away from all building foundations. grade shall slope away 6" minimum for the first 10' of building, no negative slope driveways.
- B. WEATHER PROTECTION**
- Install roof underlayment per IRC R905.1.1
 - Install water and resistive barrier at all exterior walls per IRC R703.1 and R703.2
- C. CONCRETE**
- Install foundation and footing reinforcement as per Foundation Wall and Footing Schedule.
- D. WINDOWS**
- All window tops shall be at door header height, i.e 6'-8" (unless otherwise noted on plans).
 - Windows located 24" or closer to any exterior door must be tempered.
 - All windows in sleeping rooms shall be measured to the opening of the window and not be more than 44" above the finished floor with an operable opening no less than 5.7 sq.ft. the window height shall not be less than 24", with a net clear width of no less than 20".
- E. VENTILATION**
- Ventilation shall be provided in all crawl spaces by means of screened vents placed to provide cross ventilation.
 - Enclosed attics and spaces between rafters shall have clear ventilation to outside.
 - There shall be no gas connections allowed in any rooms used for sleeping or any corridors leading to or through any sleeping room.
- F. FIRE PROTECTION AND WARNING**
- Fireplace chimneys shall extend 24" min. above any roof within a 10' radius.
 - Smoke/ Carbon Monoxide detectors are required to meet local codes. Wire all smoke/C.M. detectors in series with battery backup.
 - Walls/ wall coverings are subject to local codes and regulations under the county where the Avrame home lot is located and must be met.
- G. STAIRWAYS**
- Max rise = $7\frac{3}{8}$ " and min. tread depth= 11" shall apply with current national and local building codes.
 - Min. headroom= 6'-8" and min. width= 36.
 - Every landing should be 36" min. in width and length.
 - Any door opening at the top of any interior flight of stairs must swing away from stairs.
 - Landings shall have a 36" min. depth and width, and clear min. head height of 80"
- H. RAILING**
- Handrails are required at all stairways that have more than 3 risers.
 - Handrails should be placed between 34" and 38" above stair nosing.
 - Handrails deeper than $2\frac{1}{4}$ " shall have finger grooves $\frac{3}{8}$ " x $\frac{1}{2}$ " deep, the full length of one side of the rail. Return handrails to end.
 - Balusters for handrails and guardrails shall be spaced so that a 4" sphere cannot pass through.
- I. PLUMBING**
- Toilets shall be 1.6 gallon flush type.
 - All work performed by a licensed plumber.
 - Provide pressure regulator and shut off valve.
 - Interior waste and vent lines shall be A.B.S.
 - Back water valves should only be used on the drains for plumbing fixtures that are below the level of the nearest upstream manhole. The fixtures that are above the nearest upstream manhole should not discharge through the back water valve.
 - It shall be the sole responsibility of the Contractor/Builder to follow all codes & regulations pertaining the type of water heater to be used in the specific State and County where the building site is located.
 - All showers, & kitchen faucets shall be 1.75 GPM or less. Lavatory faucets shall be 1.0 GPM or less.

FRAMING NOTES

- All dimensions on floor plans are to rough framing. walls calculated to be $3\frac{1}{2}$ " wide for dimensioning.
- All structural sheathing shall be APA rated and shall not exceed maximum span rating. Floor sheathing shall be $1\frac{1}{2}$ " tongue and groove. Gap all waferboard sheathing.
- Spike together all 2 x laminated built up beams using at least 16d nails at no less than 7" O.C. staggered.
- Trusses are to be engineered . designed and constructed by manufacturer to meet all local loads and codes.
- Truss anchors shall be provided at each end of all the trusses. (install to meet local requirements).
- Bi-pass doors shall be framed one inch smaller in width than door. Example: A 5'-0" slider shall have a 59" rough opening. Also, bi-fold doors shall be framed one inch wider than door and 82" in height. Bi-pass doors shall be 83" in height.
- Interior framing that is non-bearing shall be provided where required.
- Framing will include all furr downs, ceiling joists, and plantshelves as per architectural drawings.
- All hangers (joist, rafter, and beam) shall be installed as per manufacturers specs.
- Multiple plates and ledgers shall be nailed with 16d nails at 8" O.C.
- Block all horizontal edges of plywood wall sheathing with 2" nominal blocking.
- All ledger bolts shall have plate washers with a minimum diameter equal to three times the bolt diameter unless shown otherwise in plans.
- Minimum nailing shall be 6" O.C. at panel edges & 12" O.C. in the field.
- Walk-in closet shelves 16" in depth. All other closets shall be 7" deep. Space saver closets shall have an upper shelf at 84" A.F.F. and a lower shelf at 42" A.F.F. Located shelves in single shelf closets at 72" A.F.F.
- Wood beams made of two or more pieces shall have the pieces securely bolted or nailed together to prevent separation and to insure mutual load sharing. Each interconnected piece shall be continuous between supports shall have the same width as the composite beam. U.N.O.
- All framing studs shall be 16" O.C. Max. All floor sheathing with face grain at right angles to framing and glue. Glue must comply with APA specs. Floor joists shall be blocked at all bearing points. Block all horizontal edges of wall sheathing with 2x4 blocking.
- All roof sheathing shall be $\frac{5}{8}$ " (typ.) rated CDX sheathing nailed with 8d mail at 6" O.C. at panel edges, supported edges, and all blocking with 8d nails.
- All wood that is connected to concrete, steel, and wood to wood (except stud to plate) shall be connected with Simpson (or equivalent) connectors. Sheathing shall be placed no less than $\frac{1}{2}$ " from edge of panel and driven flush but shall not fracture the surface of the sheathing.
- These shall be the member grades used on this structure: Glue-Lam beams (simple span) 24F-V4 DF/DF (cantilevered) 24F-V8 DF/DF
Joists DF 2# (or better)
Headers DF 2# (or better)
Posts DF 2# (or better)
Studs DF stud grade (or better) U.N.O
Sill plates in contact w/ concrete DF #2(pressure treated)
Pre-Fab trusses or joists As per manufacturers spec's

PROJECT INFORMATION

SCOPE OF WORK

SINGLE FAMILY RESIDENCE

STRUCTURAL ENGINEER

MCNEIL ENGINEERING
8610 SOUTH SANDY PARKWAY
SANDY, UT 84070
801-255-7700
mcneilengineer.com

JURISDICTION

FORT WHITE

CODES

2020 FLORIDA BUILDING CODE - 7TH EDITION
2017 NATIONAL ELECTRICAL CODE

CONSTRUCTION

TYPE OF CONSTRUCTION	VB
OCCUPANCY CLASSIFICATION	R3
NUMBER OF STORIES	2 W/O BASEMENT
BUILDING HEIGHT	28'-1 $\frac{1}{2}$ "

BUILDING AREAS

LOWER LEVEL	
MAIN LEVEL	0 SQ. FT.
LOFT LEVEL	1,100 SQ. FT.
FINISHED AREA	435 SQ. FT.
UNFINISHED AREA	1,535 SQ. FT.
TOTAL AREA	0 SQ. FT. 1,535 SQ. FT.

AVRAME U.S.A HAS DESIGNED THIS STRUCTURE IN CONJUNCTION WITH A LICENSED ENGINEER TO MEET OR EXCEED LOCAL BUILDING CODES. AVRAME ASSUMES NO LIABILITY FOR THE ACCURACY AND CRAFTSMANSHIP OF THE OWNER/BUILDER IN FOLLOWING THE PLANS.

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO PERFORM BUILDING REVIEWS BEFORE BEGINNING CONSTRUCTION.

THESE INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- VERIFY ALL DIMENSIONS
- REVIEW ALL STAIR REQUIREMENTS
- VERIFY COMPLIANCE WITH LOCAL CODES
- VERIFY ALL FOUNDATION HOLDOWN LOCATIONS
- VERIFY ACTUAL SITE CONDITIONS

ANY DISCREPANCIES ON THE PLANS MUST BE RESOLVED BY THE BUILDER PRIOR TO CONSTRUCTION.

TRUSS DESIGN AND LAYOUT IS THE RESPONSIBILITY OF THE TRUSS MANUFACTURER.

CONSTRUCTION USING THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A BUILDING PROFESSIONAL.

INDEX OF DRAWINGS

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A2.1	EXTERIOR ELEVATIONS
A3.1	BUILDING SECTIONS & DETAILS

ELECTRICAL

M1.1	MECHANICAL, ELECTRICAL, & PLUMBING PLANS
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STRUCTURAL

S1.1	FOOTING AND FOUNDATION PLAN
S1.2	FRAMING PLANS
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BETHANY AND PETER RUZIC

TBD SW CR 778
FORT WHITE, FL 32038

TRIO 150
PROJECT (021)

DRAWN FOR ONE-TIME USE FOR

AVRAME U.S.A.

ISSUE DATE 10/26/2021

REVISIONS

REVISION DELTA



A0.1
COVER SHEET

NOTES

THIS SURVEY PLAN WAS DRAWN FROM INFORMATION PROVIDED BY THE OWNER. AVRAMEUSA ASSUMES NO RESPONSIBILITY FOR ANY UNSEEN ISSUES WITH THE LOT AND THE STRUCTURE PLACEMENT ON THE SITE. THE BUILDER IS RESPONSIBLE TO VERIFY ACTUAL SITE CONDITIONS AND TO COMPLY WITH ALL LOCAL CODES, EASEMENTS AND SETBACK.



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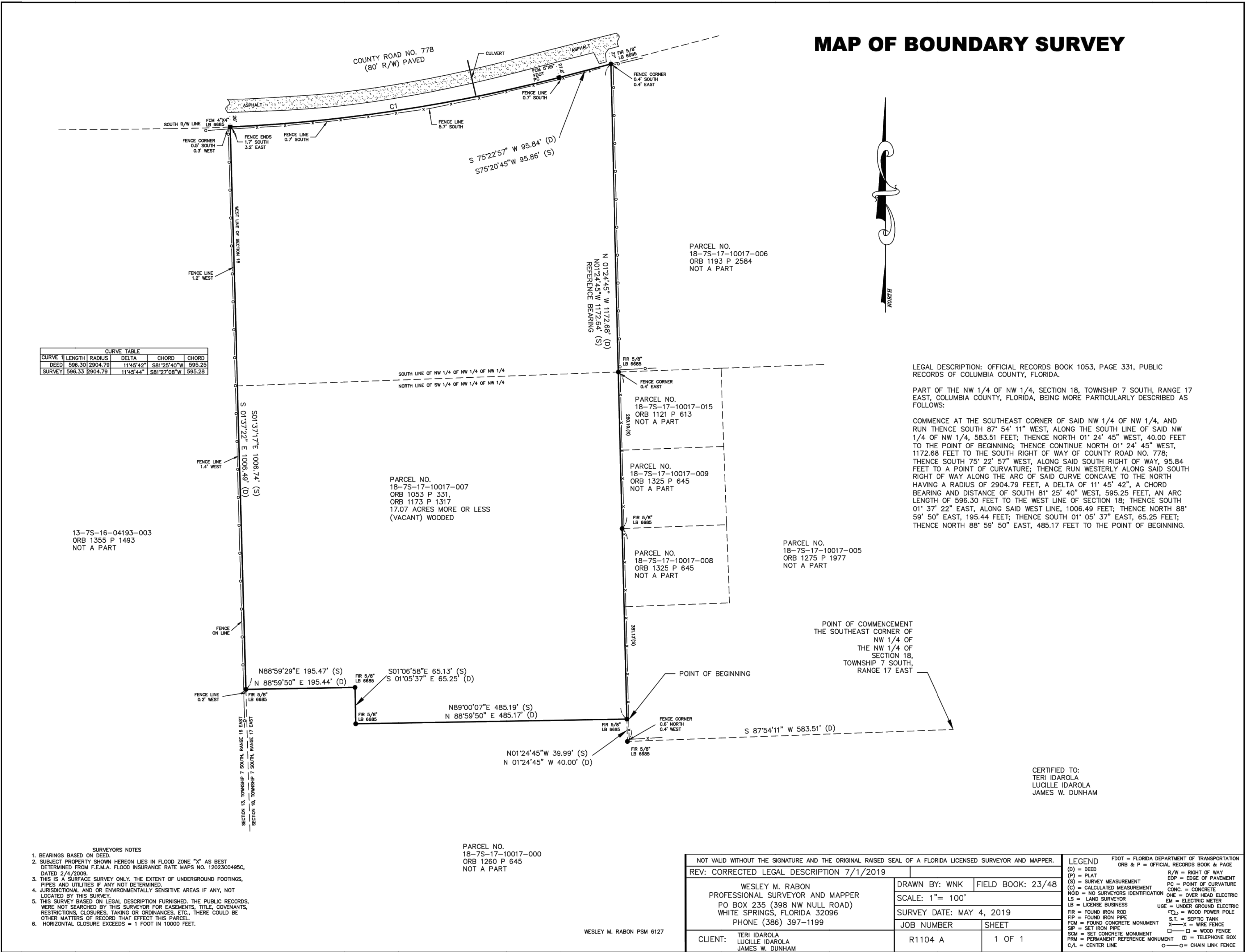
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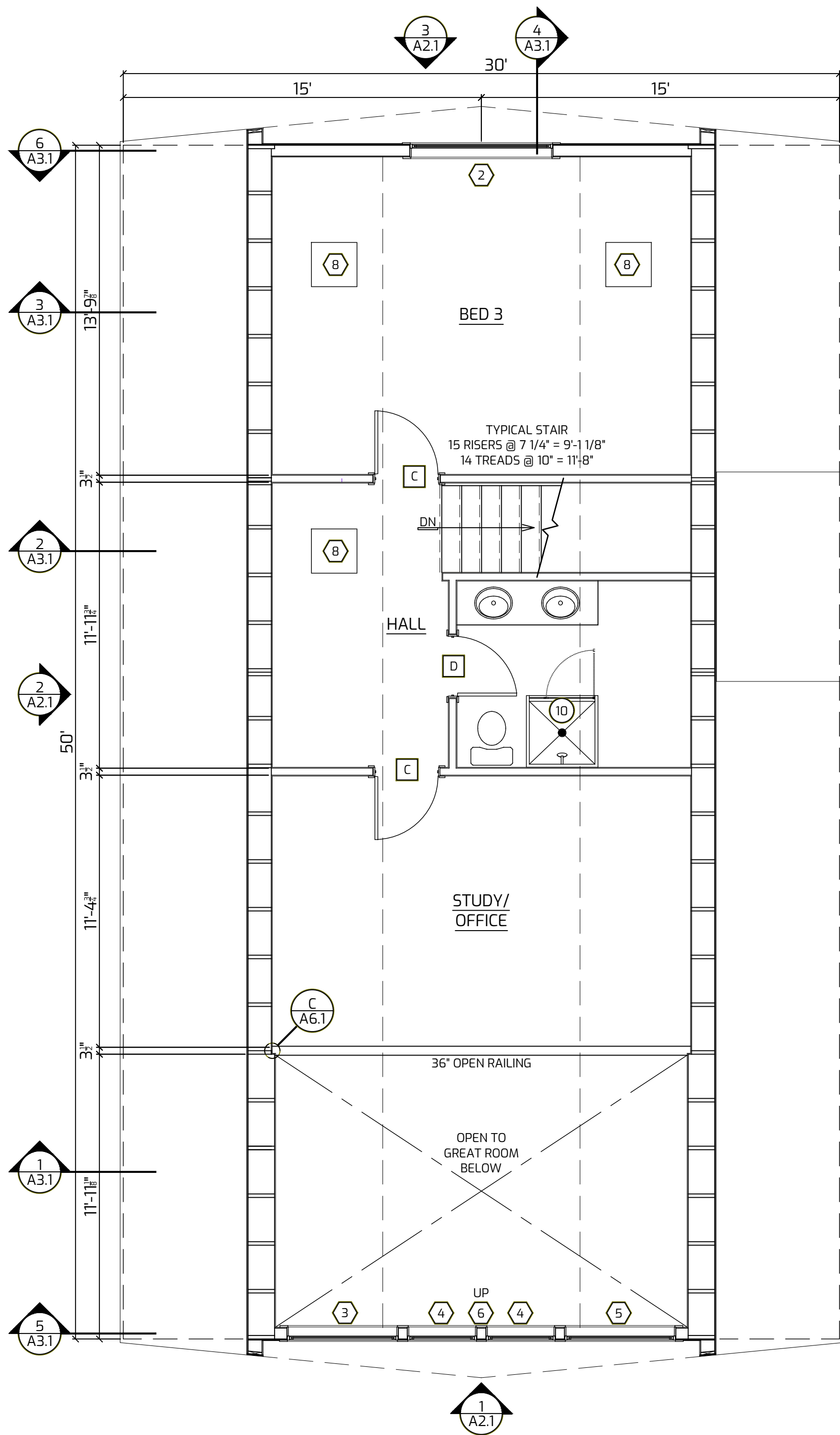
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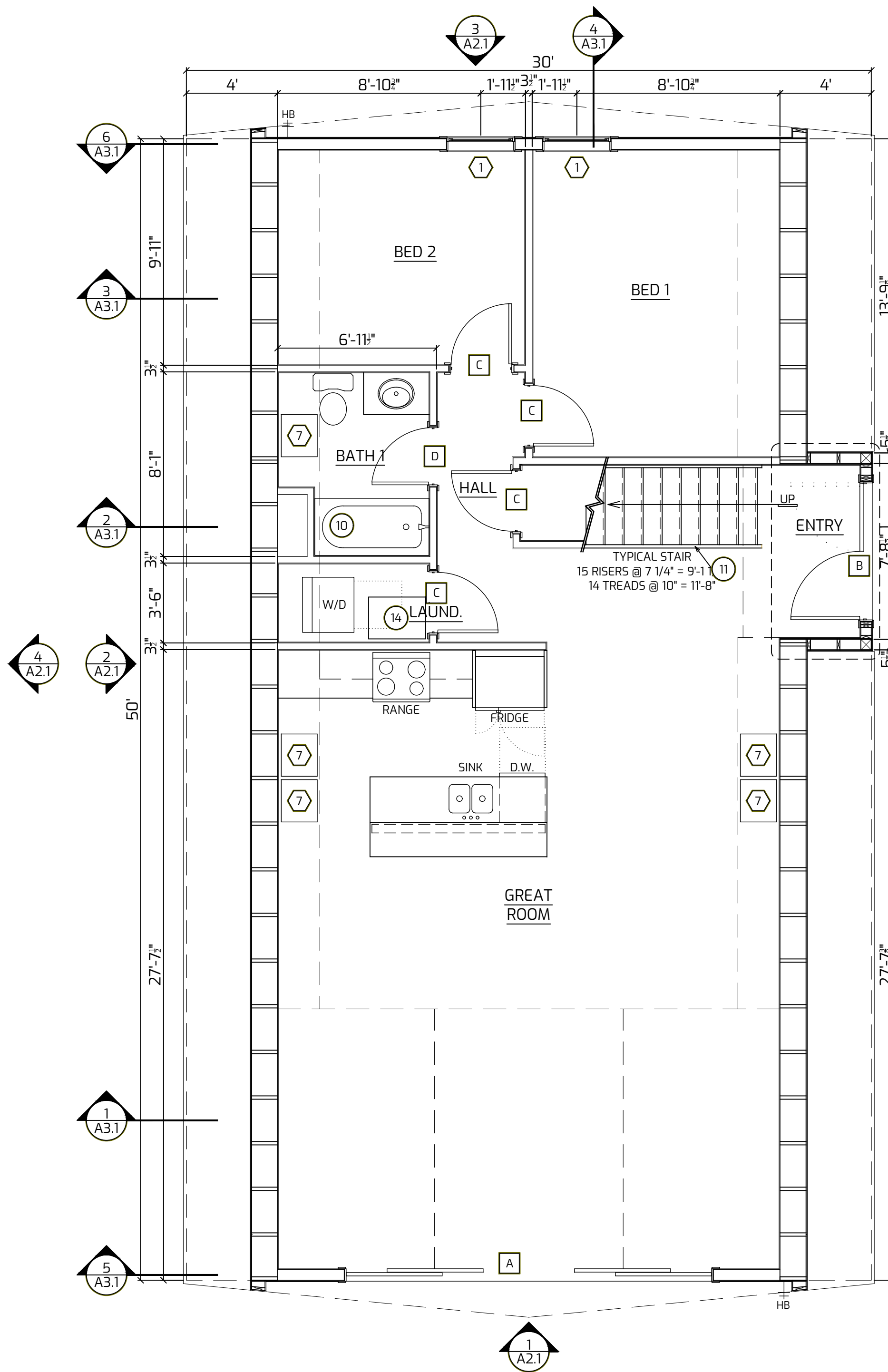
A0.2

SURVEY PLAN

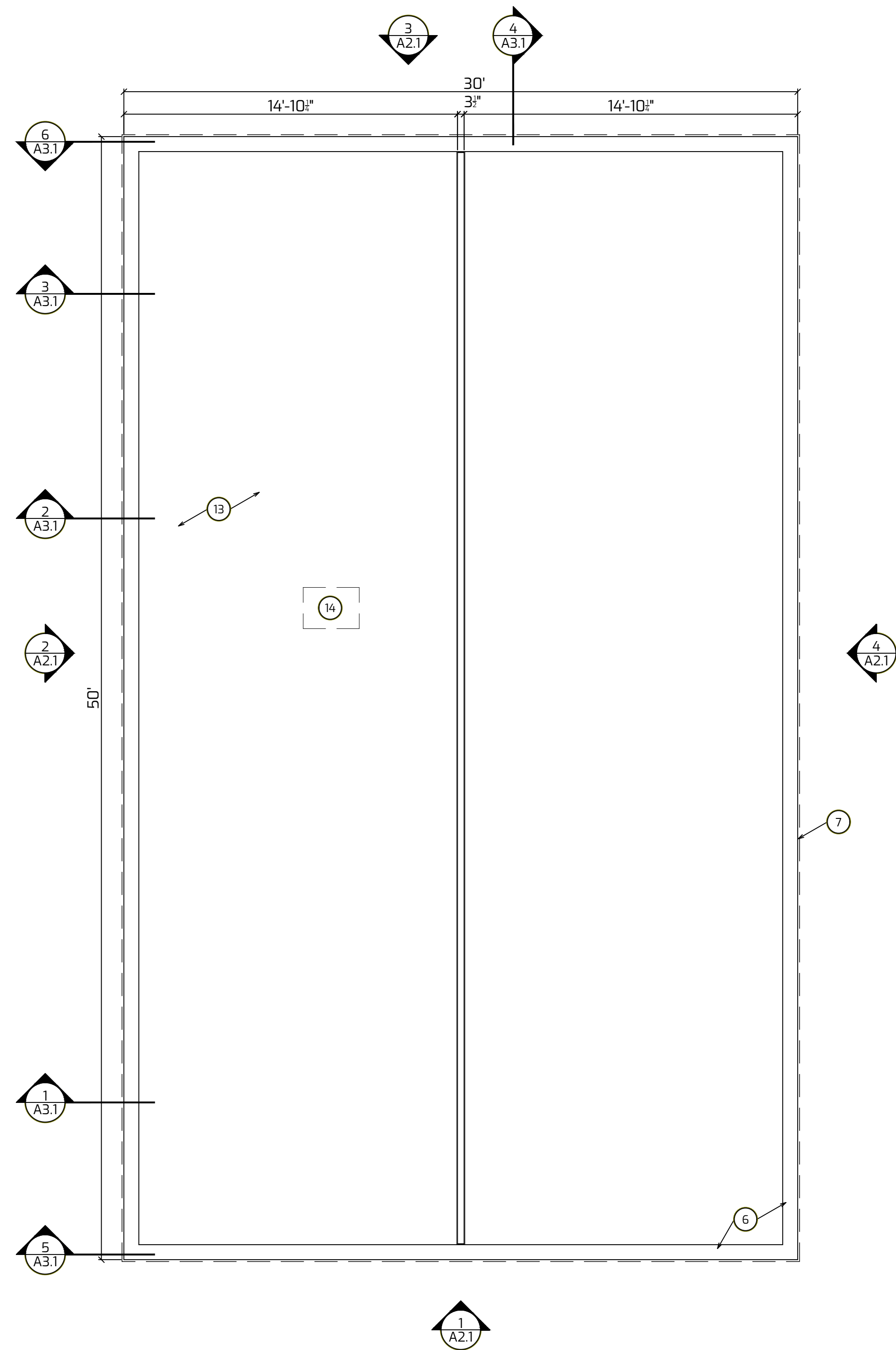




3 LOFT LEVEL FLOOR PLAN
1/4" = 1'-0"



2 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



1 LOWER LEVEL FLOOR PLAN
1/4" = 1'-0"

WINDOW SCHEDULE

	QTY.	WIDTH	HEIGHT	HEAD	J-FACTOR	SHGC	TYPE	REMARKS
1	2	3'-0"	5'-0"	6'-8"	-	-	SINGLE HUNG	-
2	1	6'-0"	3'-0"	6'-7"	-	-	SLIDER	-
3	1	4'-8 5/16"	7'-6 3/4"	7'-8 1/4"	-	-	TRAP. PICT.	SEE ELEVATION
4	2	1'-10 3/4"	7'-6 3/4"	7'-8 1/4"	-	-	PICTURE	-
5	1	4'-8 5/16"	7'-6 3/4"	7'-8 1/4"	-	-	TRAP. PICT.	SEE ELEVATION
6	1	6'-7"	5'-8 3/8"	5'-10 1/8"	-	-	TRIANGLE. PICT.	SEE ELEVATION
7	5	1'-9"	3'-1 7/8"	*	-	-	SKYLIGHT	VELUX V55 - FIXED SKYLIGHT - C04 - OWNER TO DETERMINE HEAD HEIGHT
8	3	1'-9"	3'-9 3/4"	*	-	-	SKYLIGHT	VELUX V55 - FIXED SKYLIGHT - C06 - OWNER TO DETERMINE HEAD HEIGHT

DOOR SCHEDULE

	QTY.	WIDTH	HEIGHT	THICK	J-FACTOR	SHGC	TYPE	REMARKS
A	1	16'-0"	7'-10"	1 3/4"	-	-	EXT. SLIDER	EXTERIOR SLIDER, FULL LITE., INSULATED, LOW E. WEATHER STRIP, THRESHOLD, LOCKSET
B	2	6'-0"	6'-8"	1 3/4"	-	-	EXT. FRENCH	EXTERIOR FRENCH, FULL LITE., INSULATED, LOW E. WEATHER STRIP, THRESHOLD, LOCKSET
C	6	2'-8"	6'-8"	1 3/4"	-	-	INT. SWING	
D	2	2'-6"	6'-8"	1 3/4"	-	-	INT. SWING	

KEYED NOTES

- STANDING SEAM METAL ROOF WITH SEAMS @ 16" O.C. INSTALLED PER MANUFACTURERS SPECIFICATIONS OVER ICE AND WATER MEMBRANE OVER ENTIRE ROOF SURFACE UP TO 24" DOWN FROM RIDGE TYP. DOUBLE UNDERLAYMENT REQUIRED AT ROOFS WITH SLOPE 4:12 OR LESS.
- SIDING AND TRIM PER OWNER ON TYVEK HOMEWRAP ON 1/2" EXT. SHEATHING ON 2x6 STUDS @ 16" O.C.
- 2" CONT. METAL FLASHING ABOVE ALL NEW DOORS, WINDOWS, AND HORIZ. TRIM
- FASCIA PER OWNER
- SOFFIT PER OWNER
- CONCRETE FOUNDATION - SEE STRUCTURAL FOR SIZE AND REINFORCING.
- VERTICAL DRAIN BOARD OR SPRAY APPLIED FOUNDATION DAMP PROOFING TO DRAIN TO 4"ø CONTINUOUS FOUNDATION DRAIN, SET IN GRAVEL, DRAIN TO SUMP. ALL SIDES OF FOUNDATION, BACKFILL FOUNDATION WITH GRANULAR FILL @ 95% COMPACTION
- NON-VENTED ROOF PER REScheck REPORT AND IRC R806.5
- INSULATION PER REScheck REPORT. INSTALL MIN. 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE). IRC R702.7
- TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION. FIBER-CEMENT OR GLASS MAT GYPSUM BACKER; GREEN BOARD IS NO LONGER ALLOWED IN THIS APPLICATION.
- GUARDRAIL AT STAIRWAY TO BE 36" TALL W/ NO OPENINGS ALLOWING THE PASSAGE OF A SPHERE 4" IN DIAMETER.
- 4" CONCRETE FLOOR SLAB. REINFORCED PER ENGINEER. OVER 6 MIL VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 6" GRANULAR FILL. (R506.2.3) ANY EDGE OF SLAB LESS THAN 12" BELOW GRADE SHALL BE INSULATED - R10 @ 4 FEET OR R15 @ 4 FEET FOR HEATED SLABS (IECC, SECTION 402.2.8
- CONDITIONED CRAWL SPACE
- CRAWL SPACE ACCESS. SEE FLOOR FRAMING PLANS FOR DETAILS.

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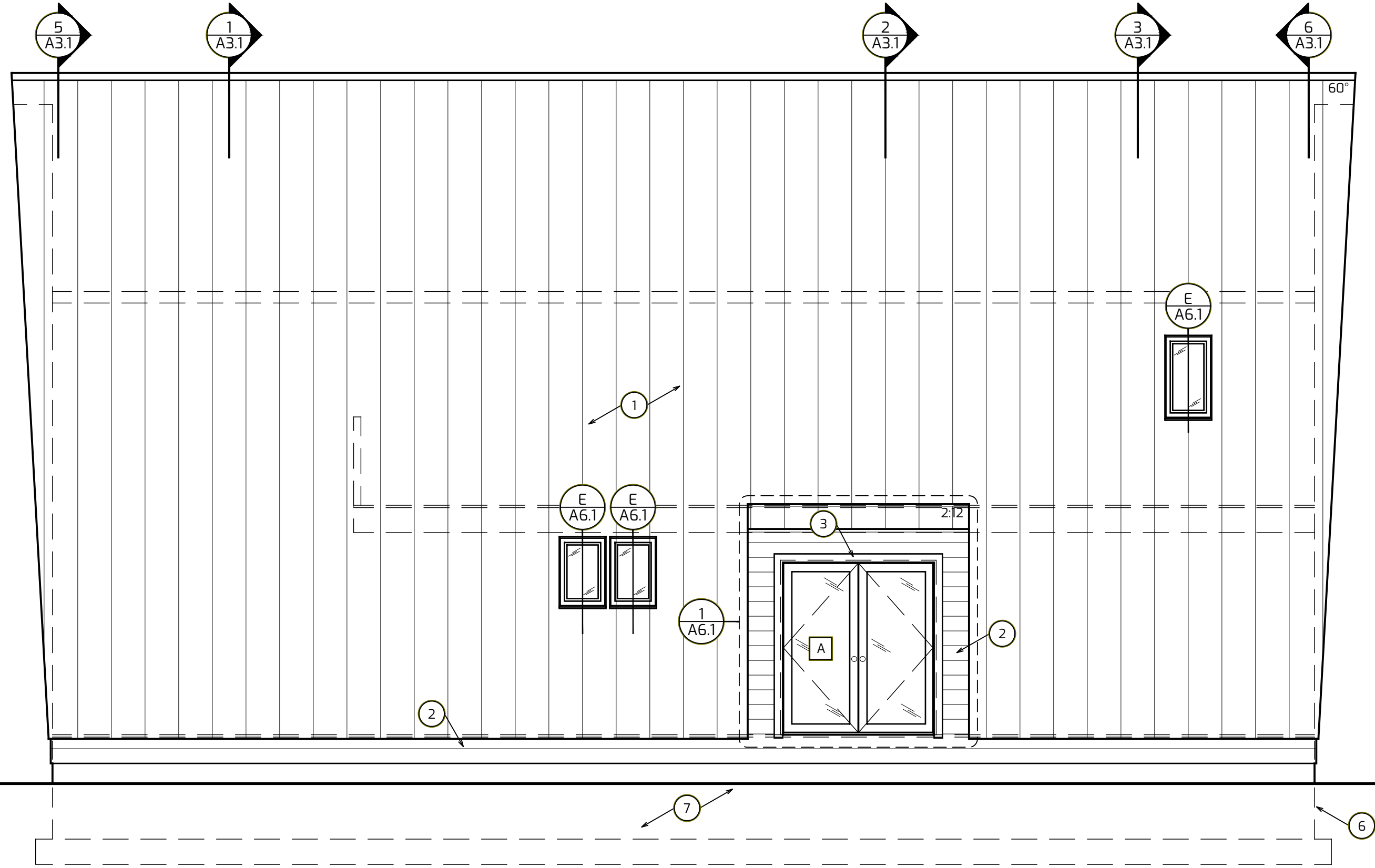
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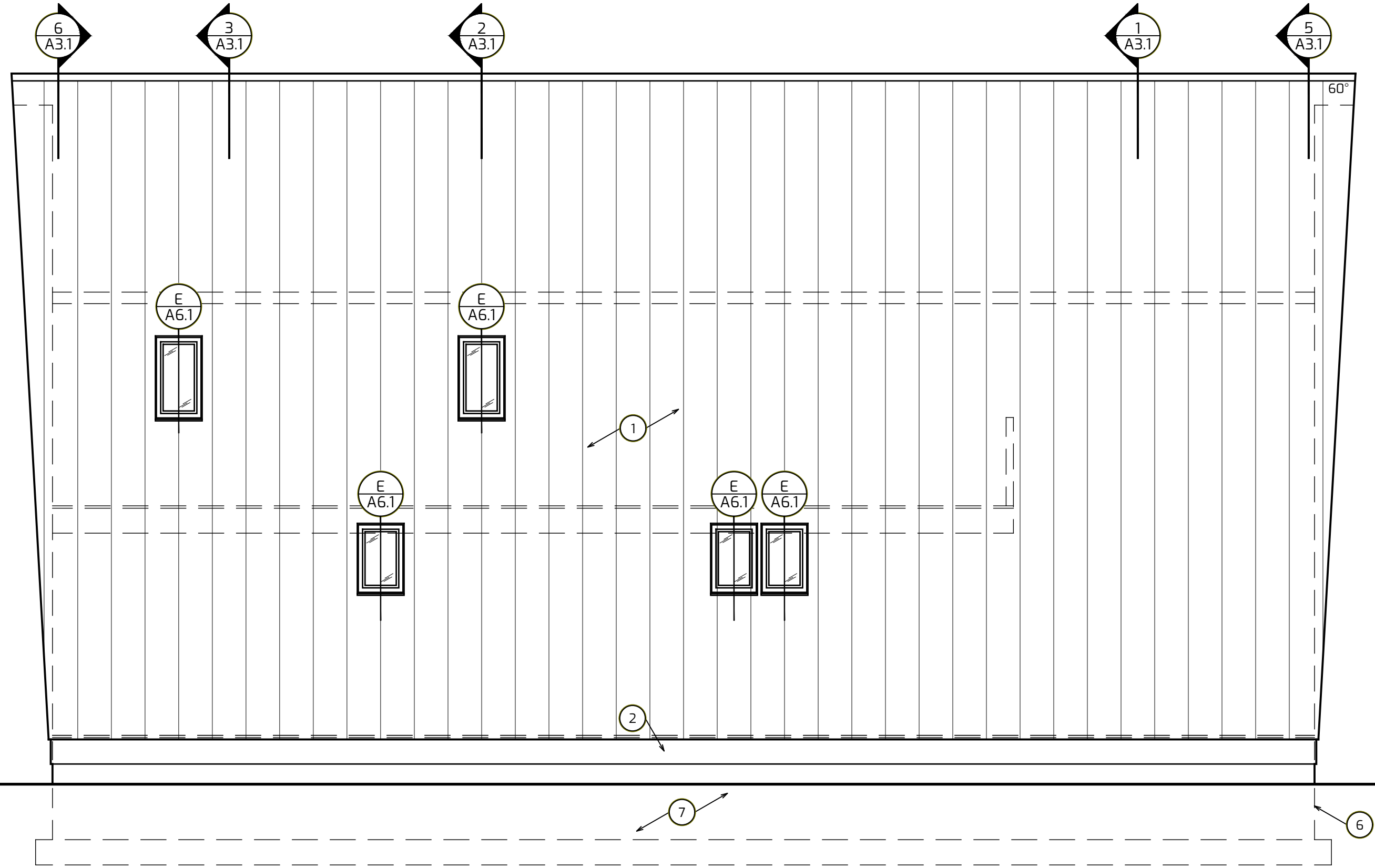
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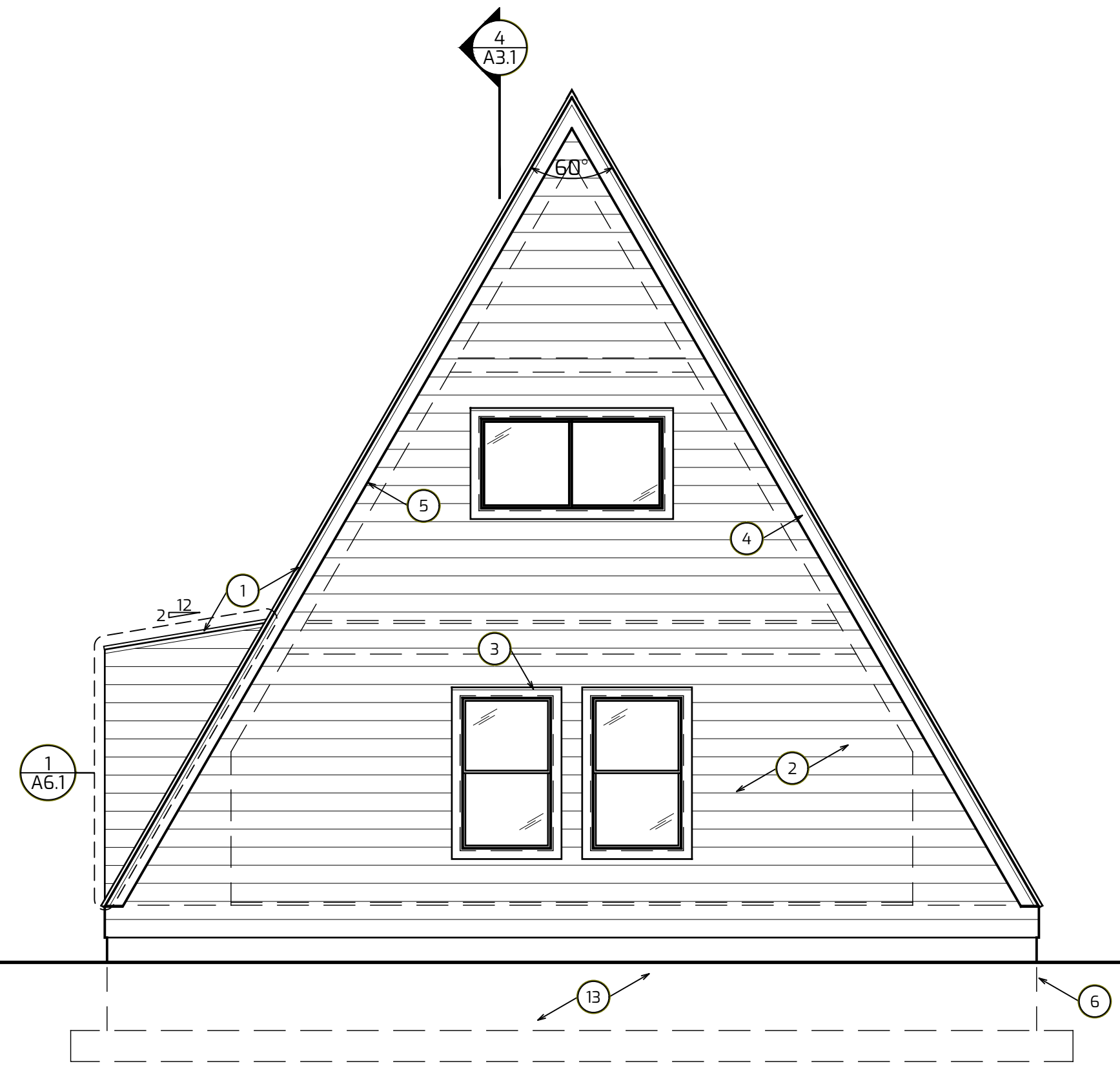
A1.1
FLOOR PLANS



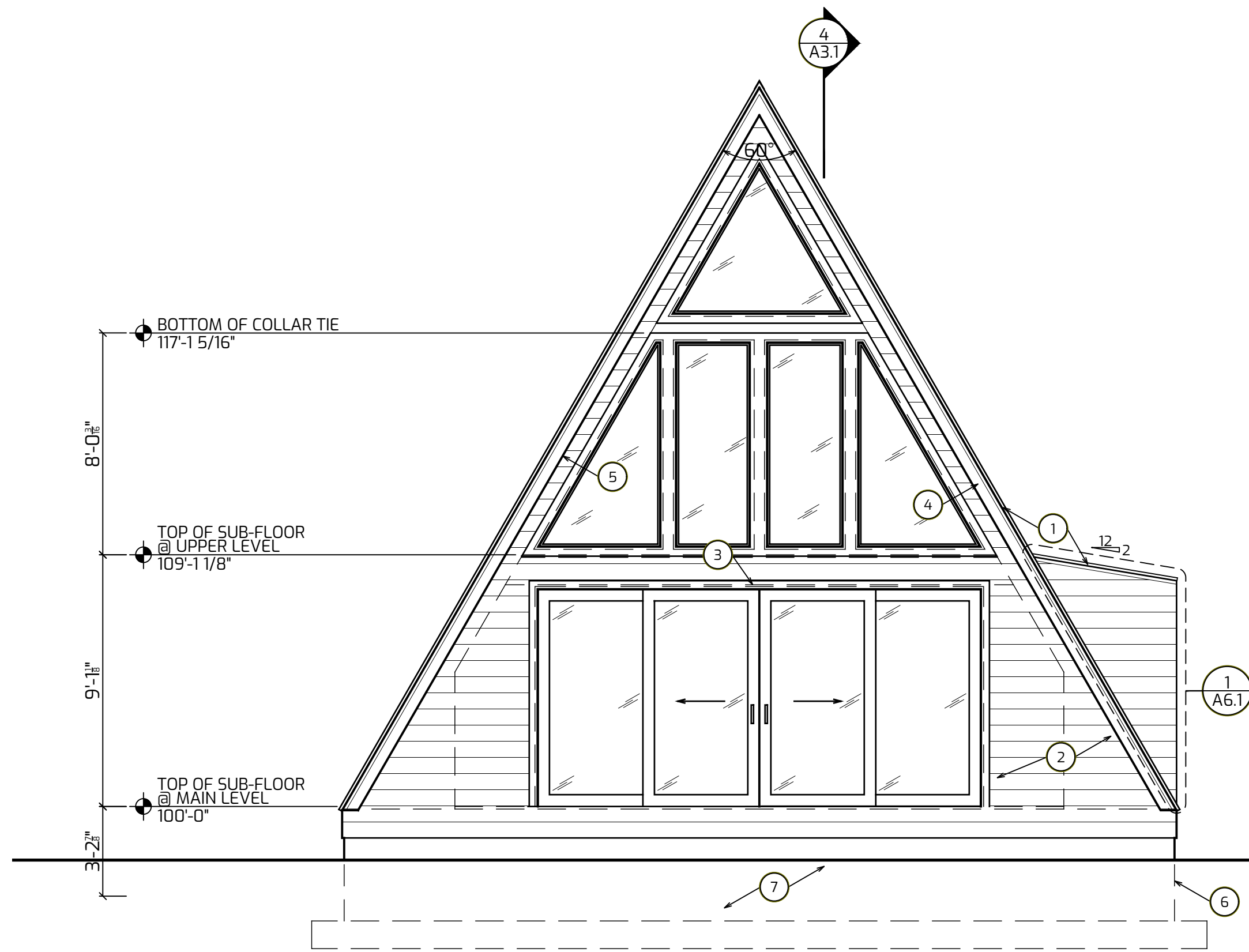
4 RIGHT ELEVATION
1/4" = 1'-0"



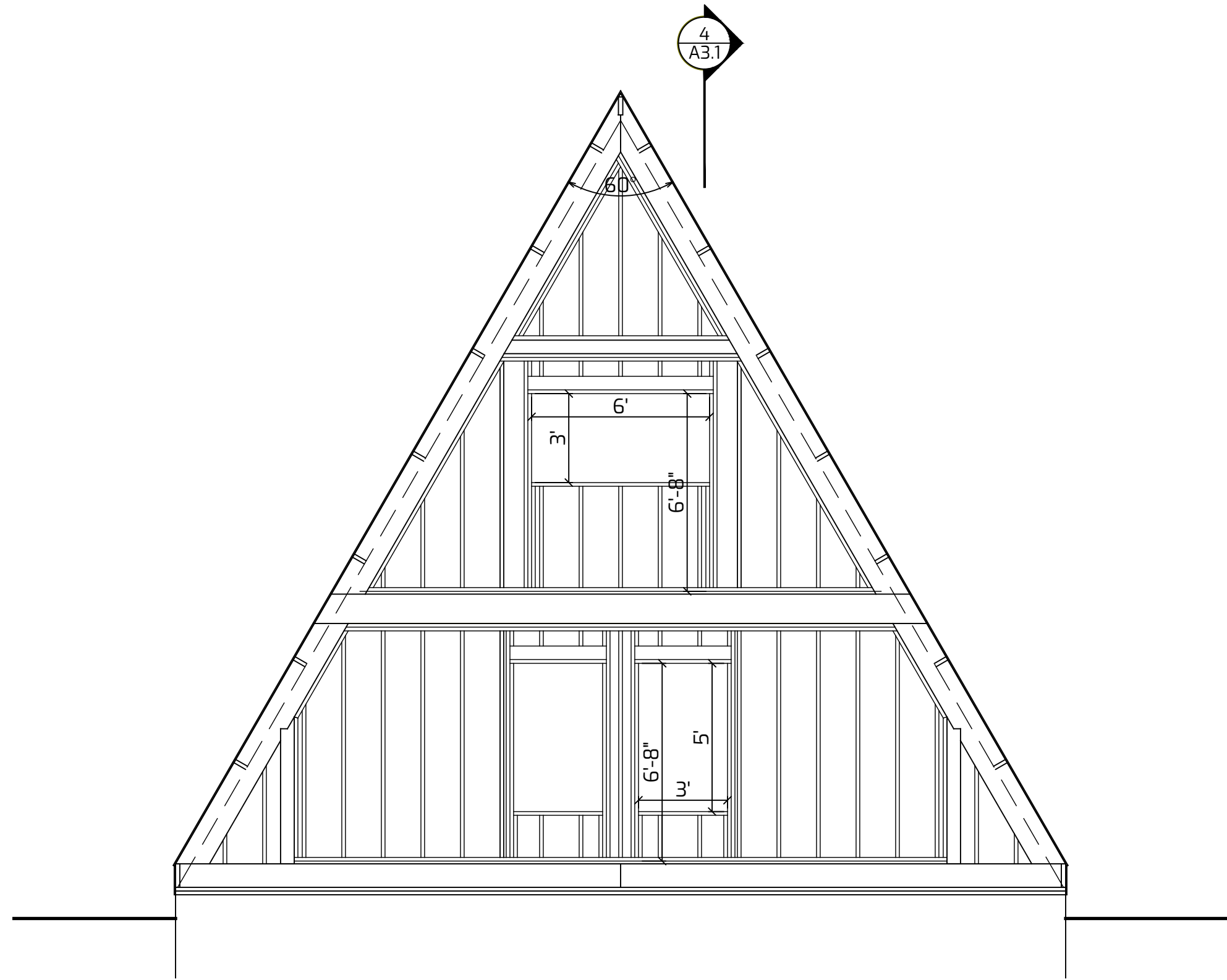
2 LEFT ELEVATION
1/4" = 1'-0"



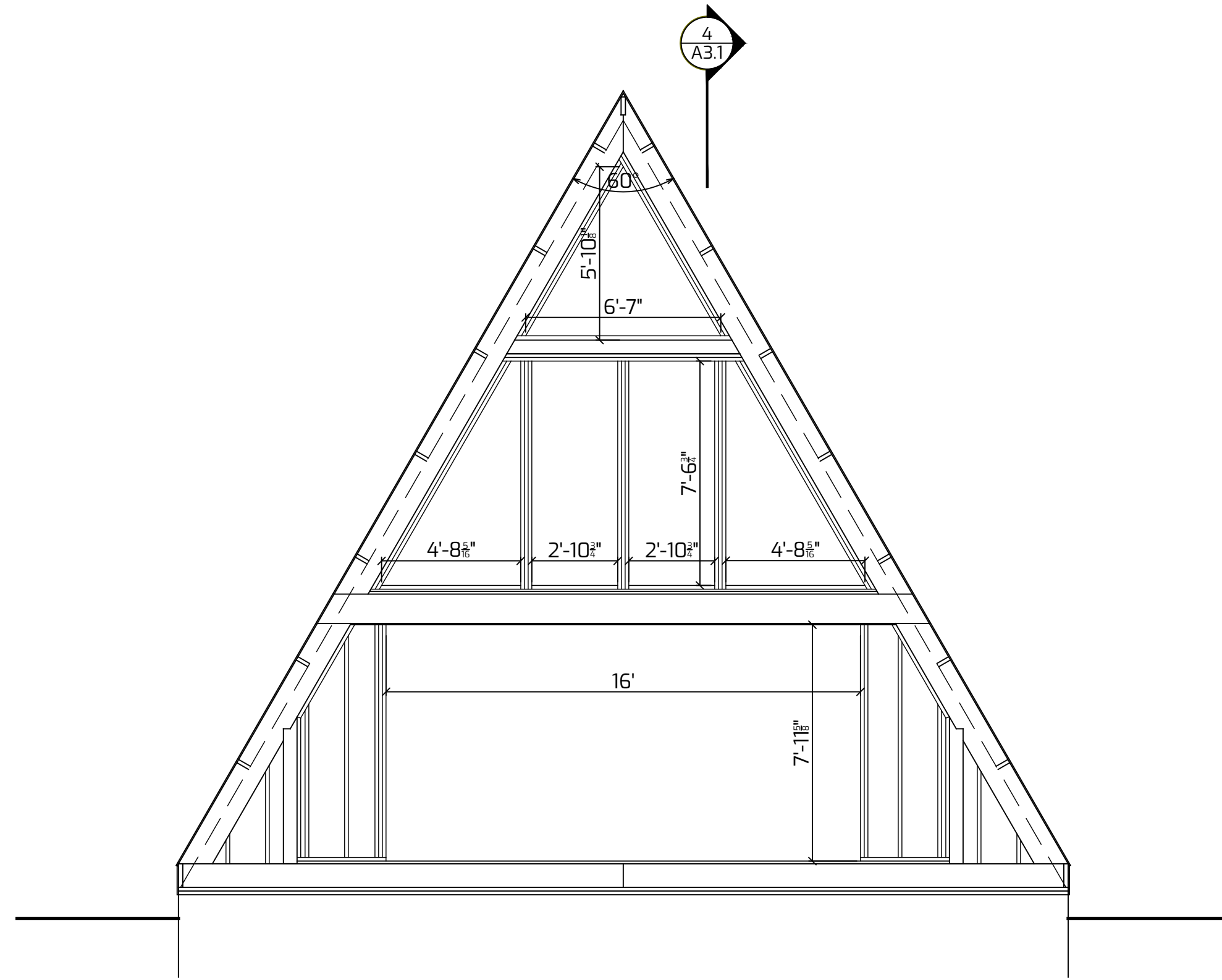
3 REAR ELEVATION
1/4" = 1'-0"



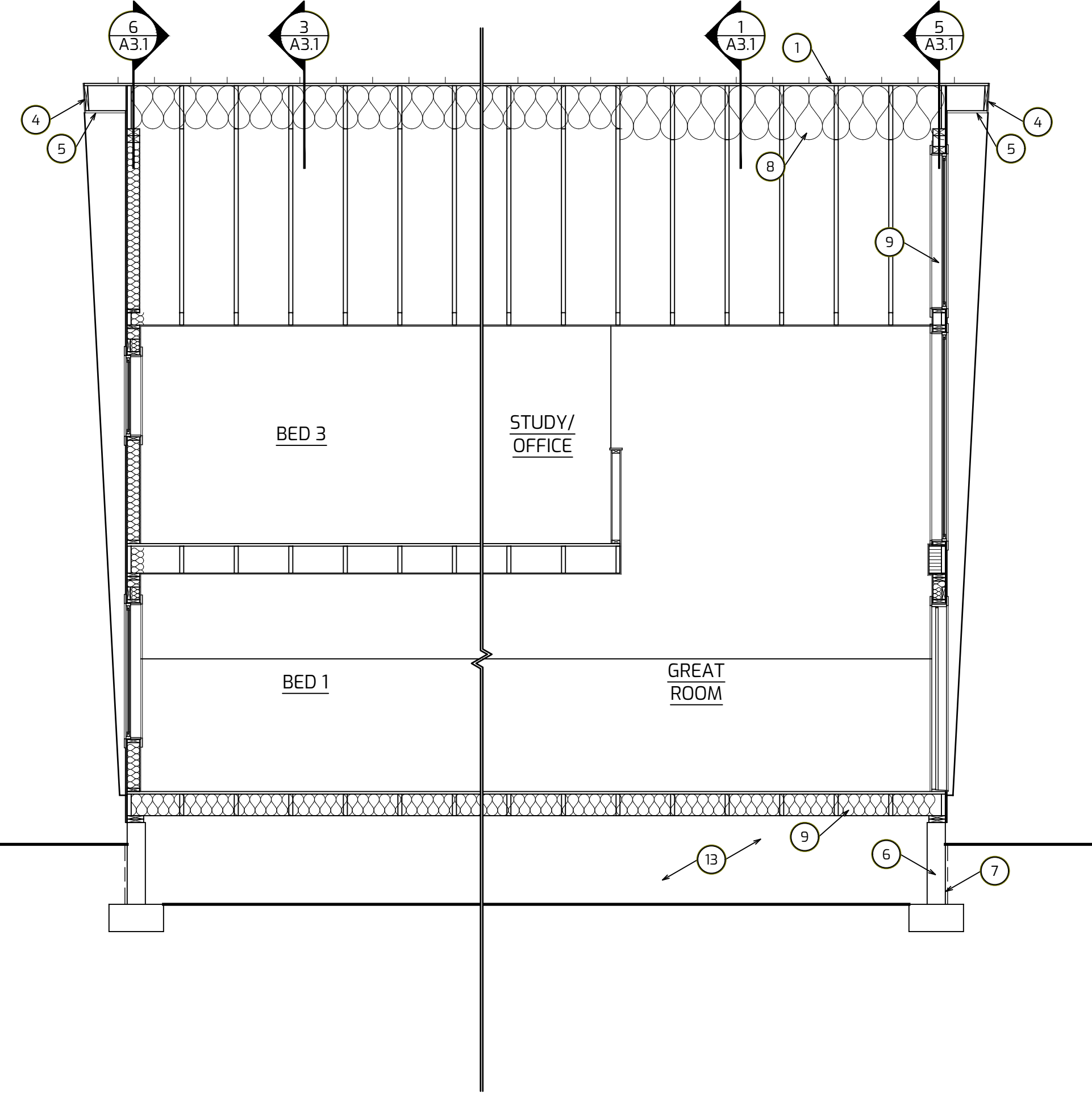
1 FRONT ELEVATION
1/4" = 1'-0"



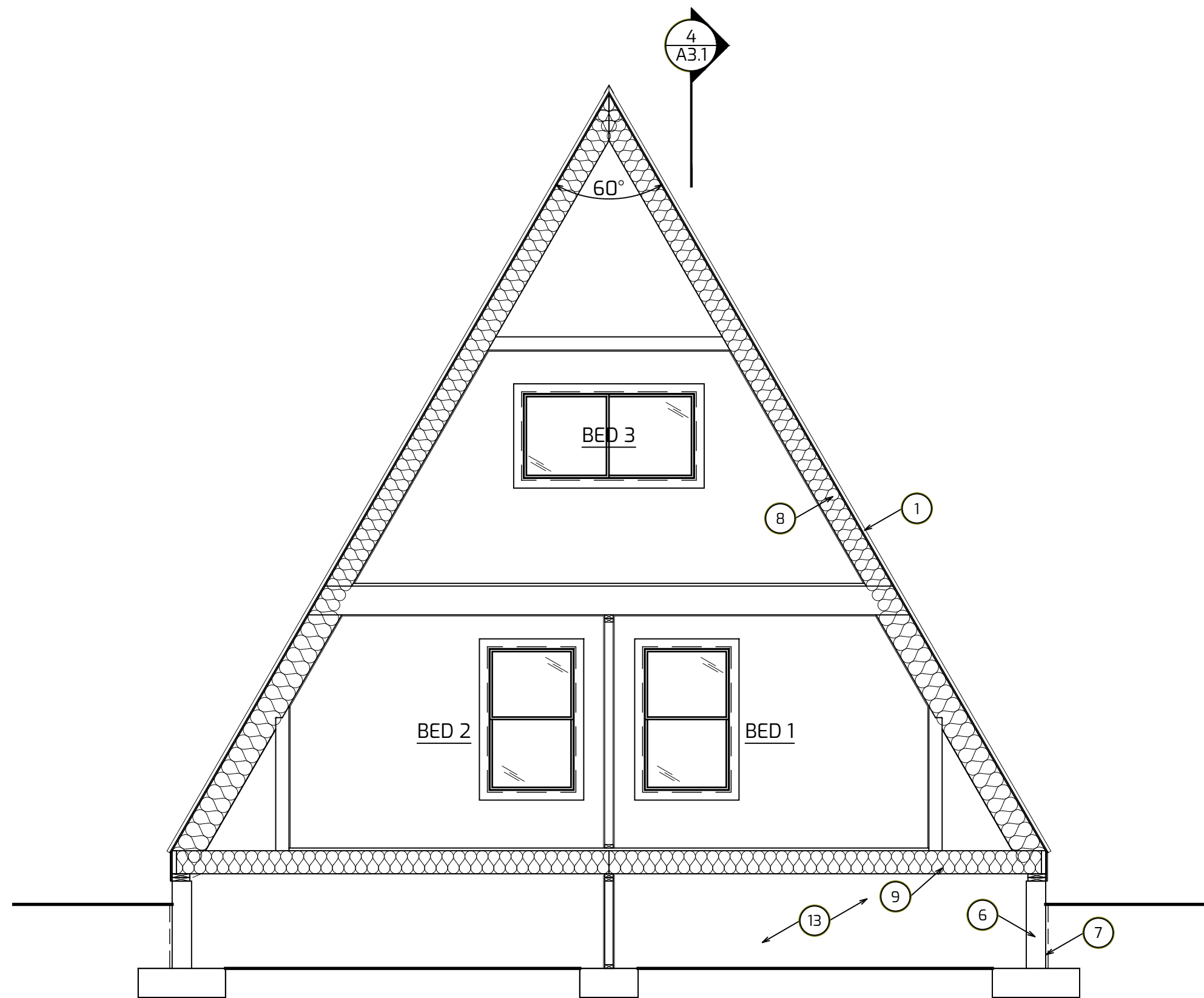
6 REAR GABLE FRAMING SECTION
1/4" = 1'-0"



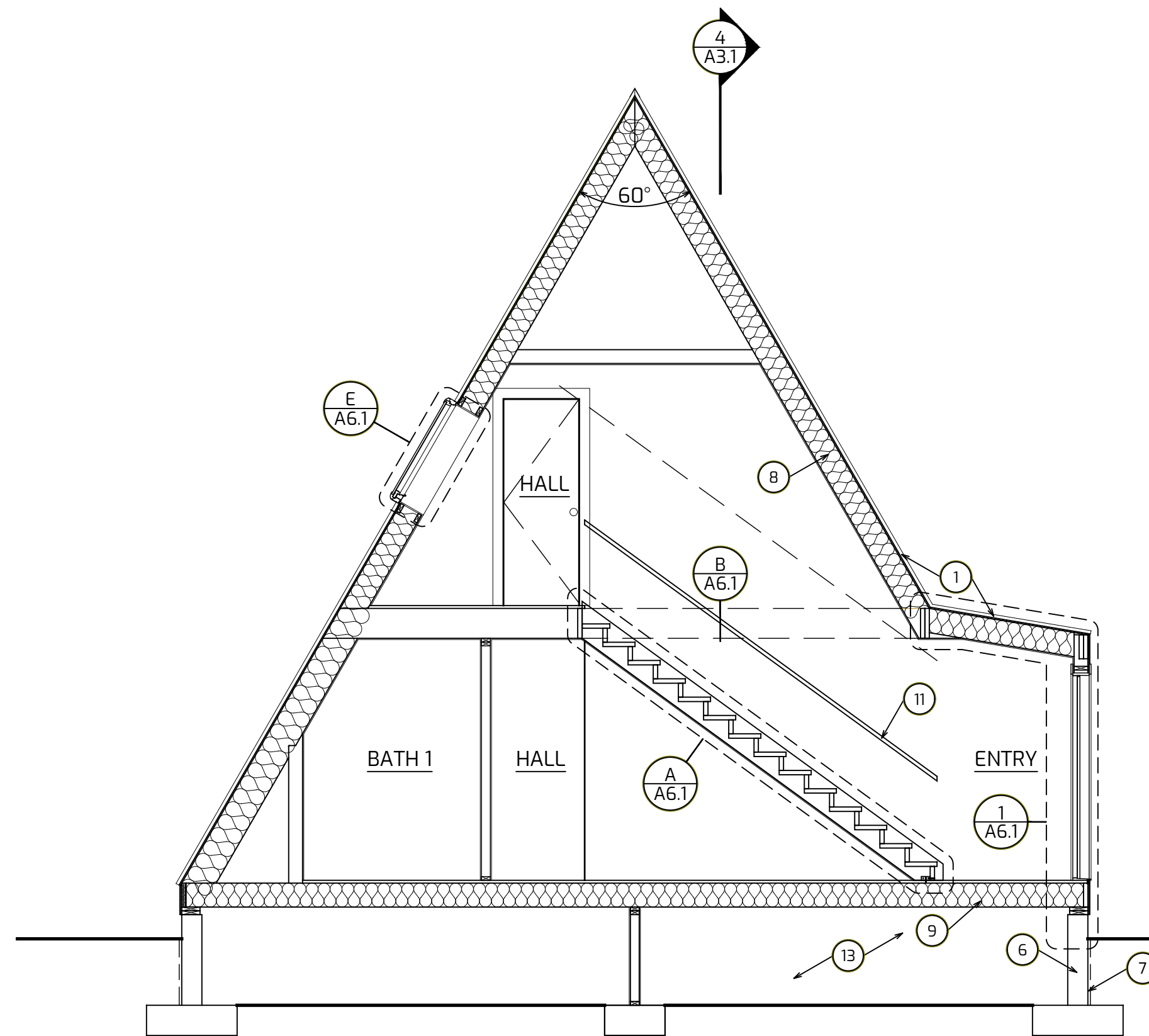
5 FRONT GABLE FRAMING SECTION
1/4" = 1'-0"



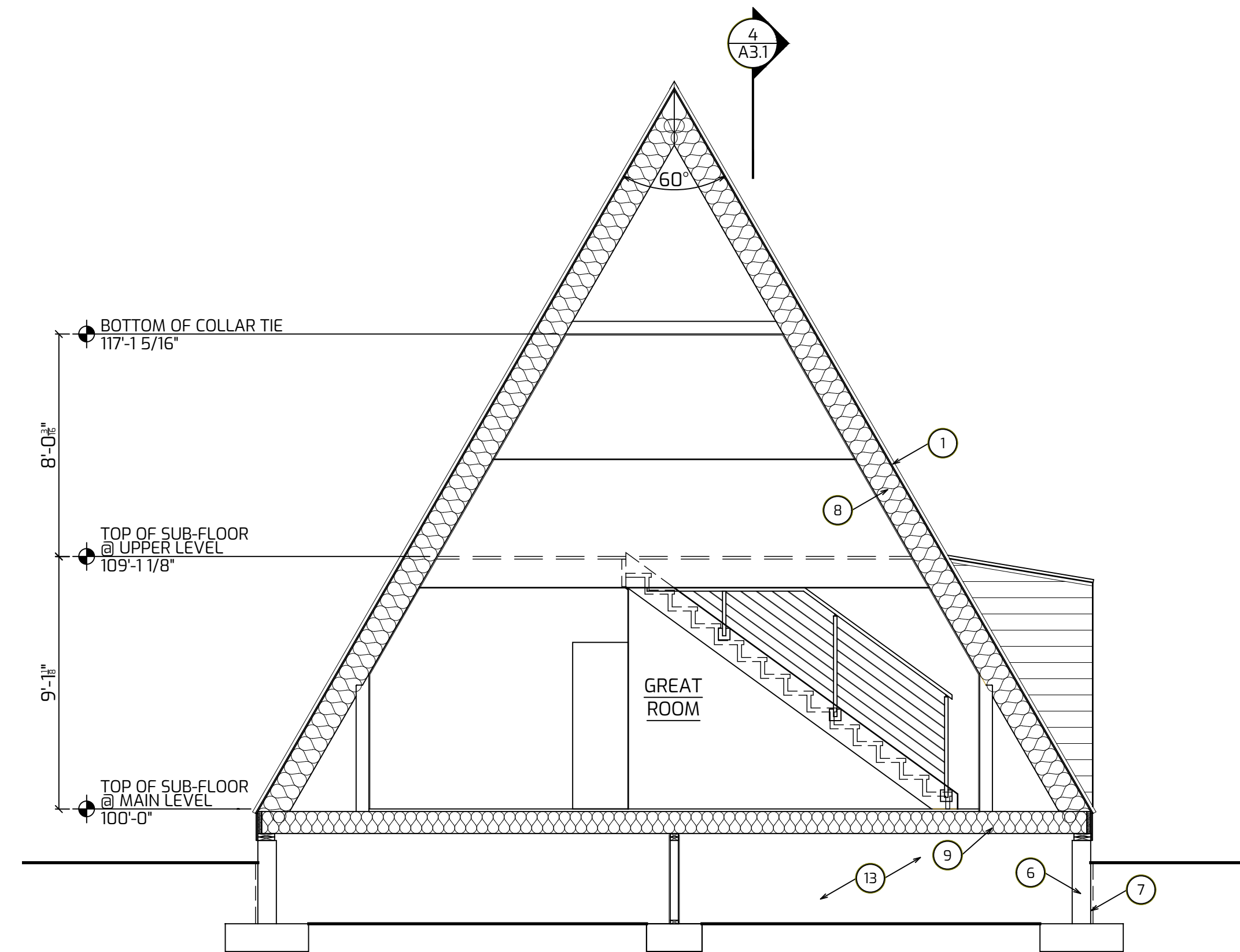
4 BUILDING LONGITUDINAL SECTION
1/4" = 1'-0"



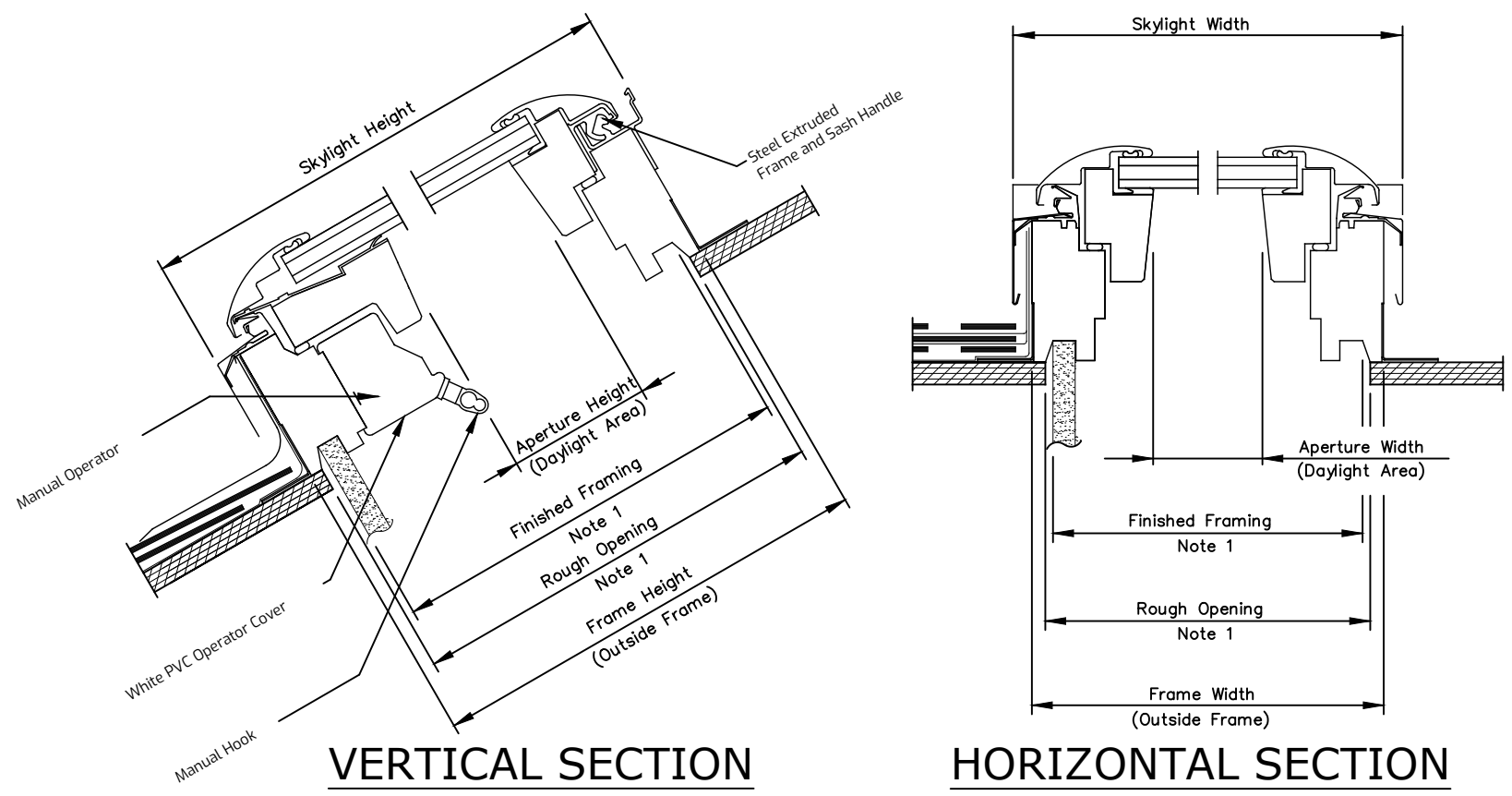
3 BUILDING CROSS SECTION
1/4" = 1'-0"



2 BUILDING CROSS SECTION
1/4" = 1'-0"



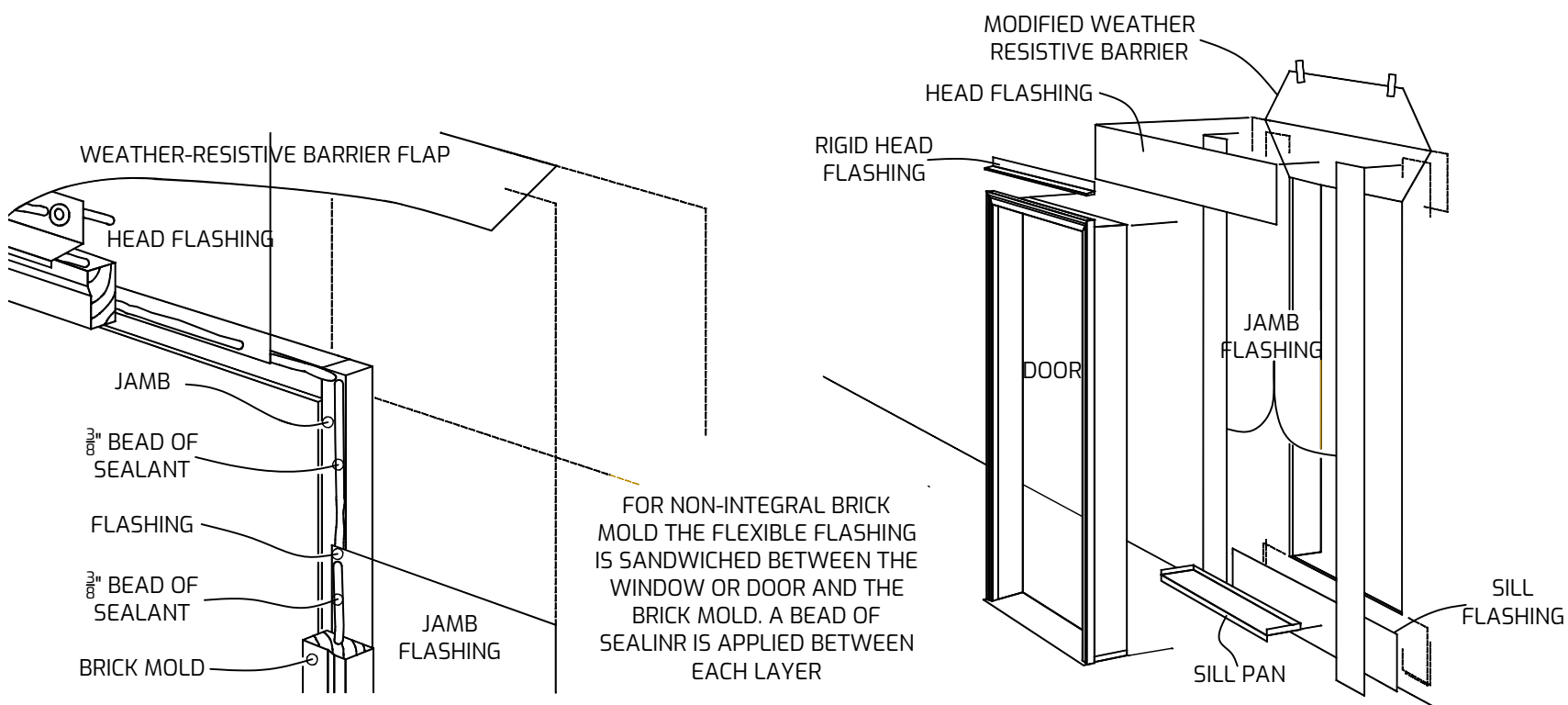
1 BUILDING CROSS SECTION
1/4" = 1'-0"



Model	Style	Size	Rough Opening Width	Frame Width	Frame Aperture Width	Skylight Width	Rough Opening Height	Frame Height	Frame Aperture Height	Skylight Height	Daylight Area (Sq. Feet)
FS	Solar Fresh Air	C01	21	21 1/2	16	22 5/8	26 7/8	27 3/8	20 7/8	28 3/8	2.27
VS	Electric Fresh Air	C04	21	21 1/2	16	22 5/8	37 7/8	38 3/8	31 7/8	39 3/8	3.50
VSE	Manual Fresh Air	C05	21	21 1/2	16	22 5/8	45 3/4	46 1/4	39 5/16	47 1/4	4.38
VSS	Fixed	C08	21	21 1/2	16	22 5/8	54 7/16	54 15/16	48	55 15/16	5.34

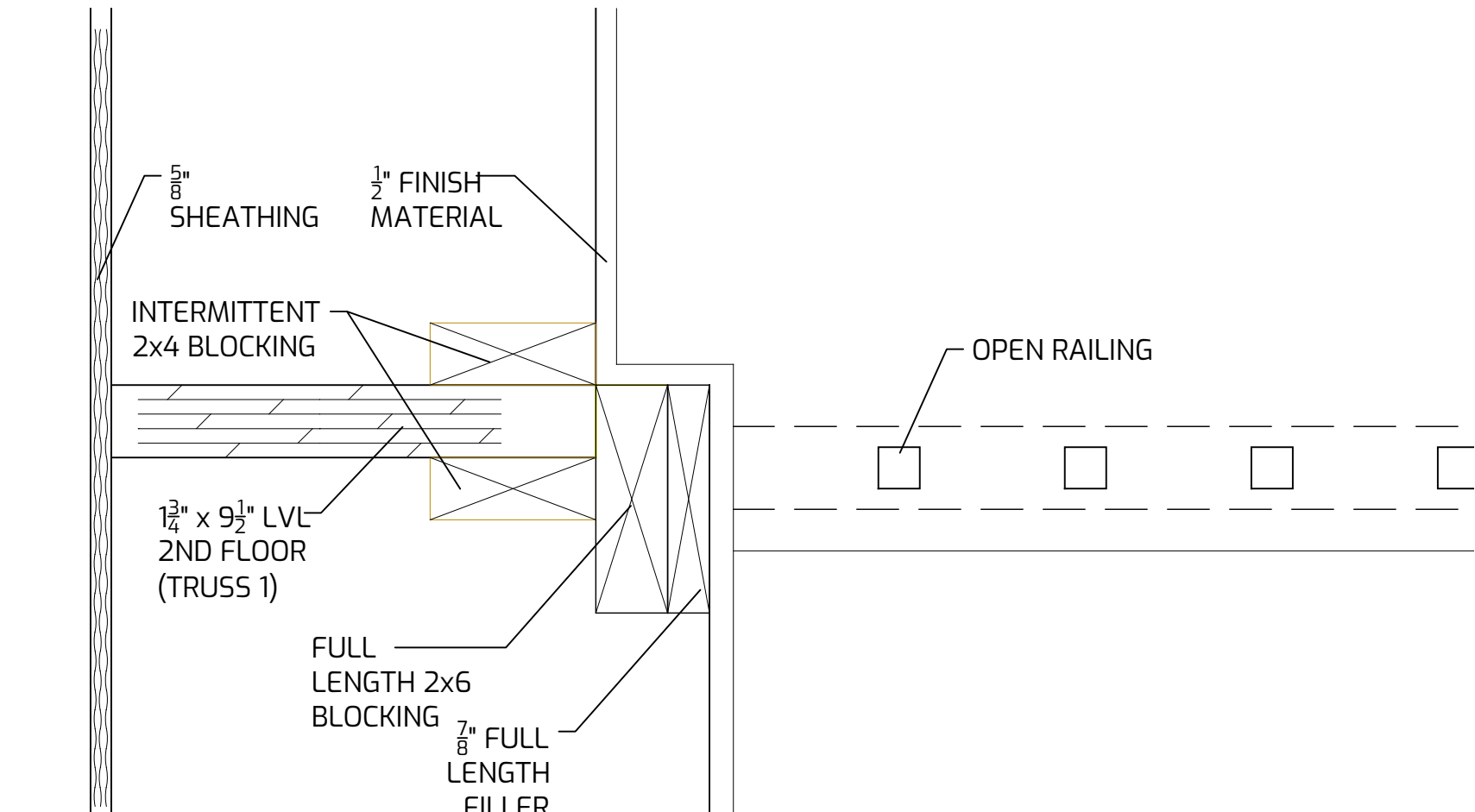
VELUX SKYLIGHT DETAILS

NO SCALE



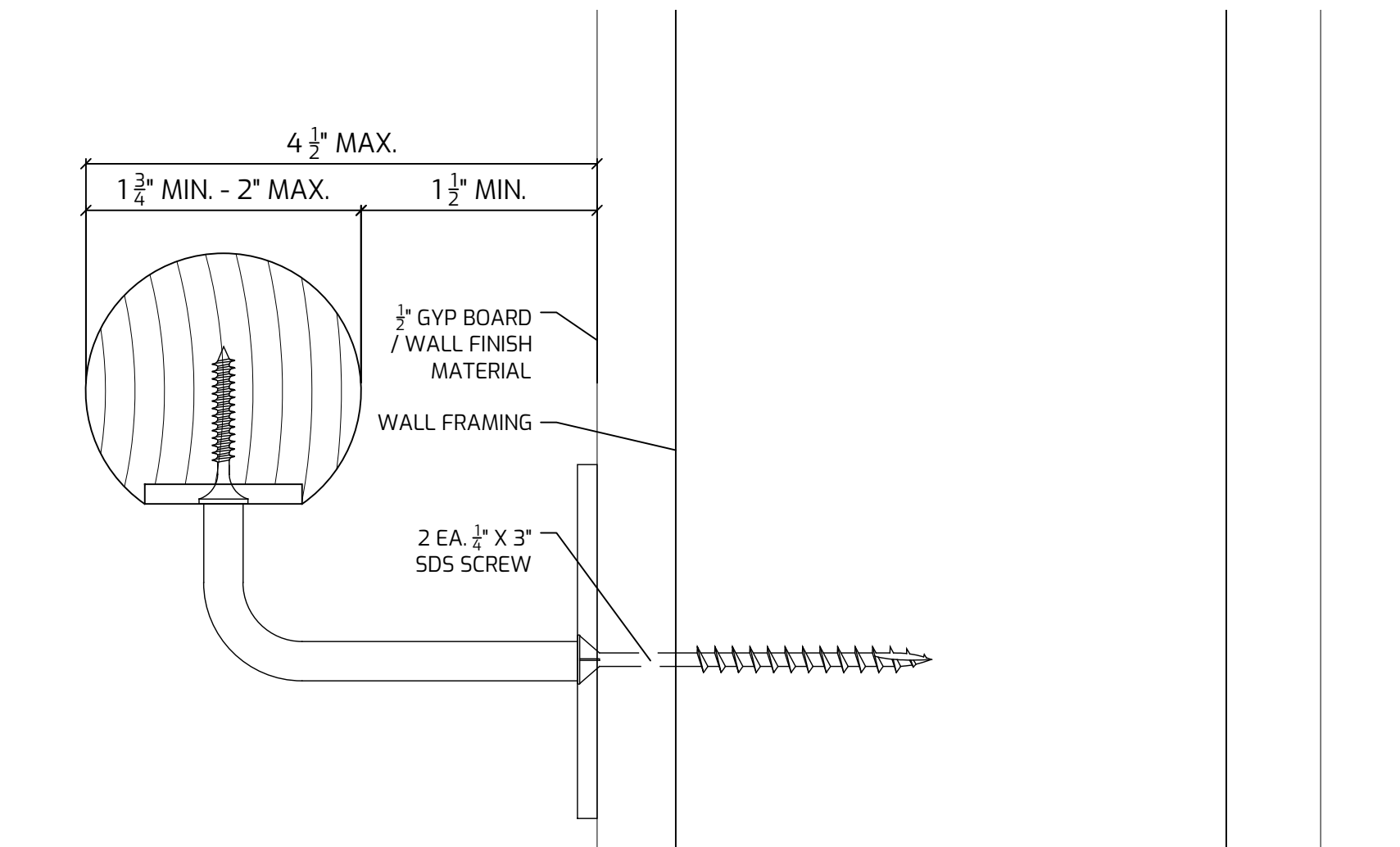
DOOR FLASHING DETAILS

NO SCALE



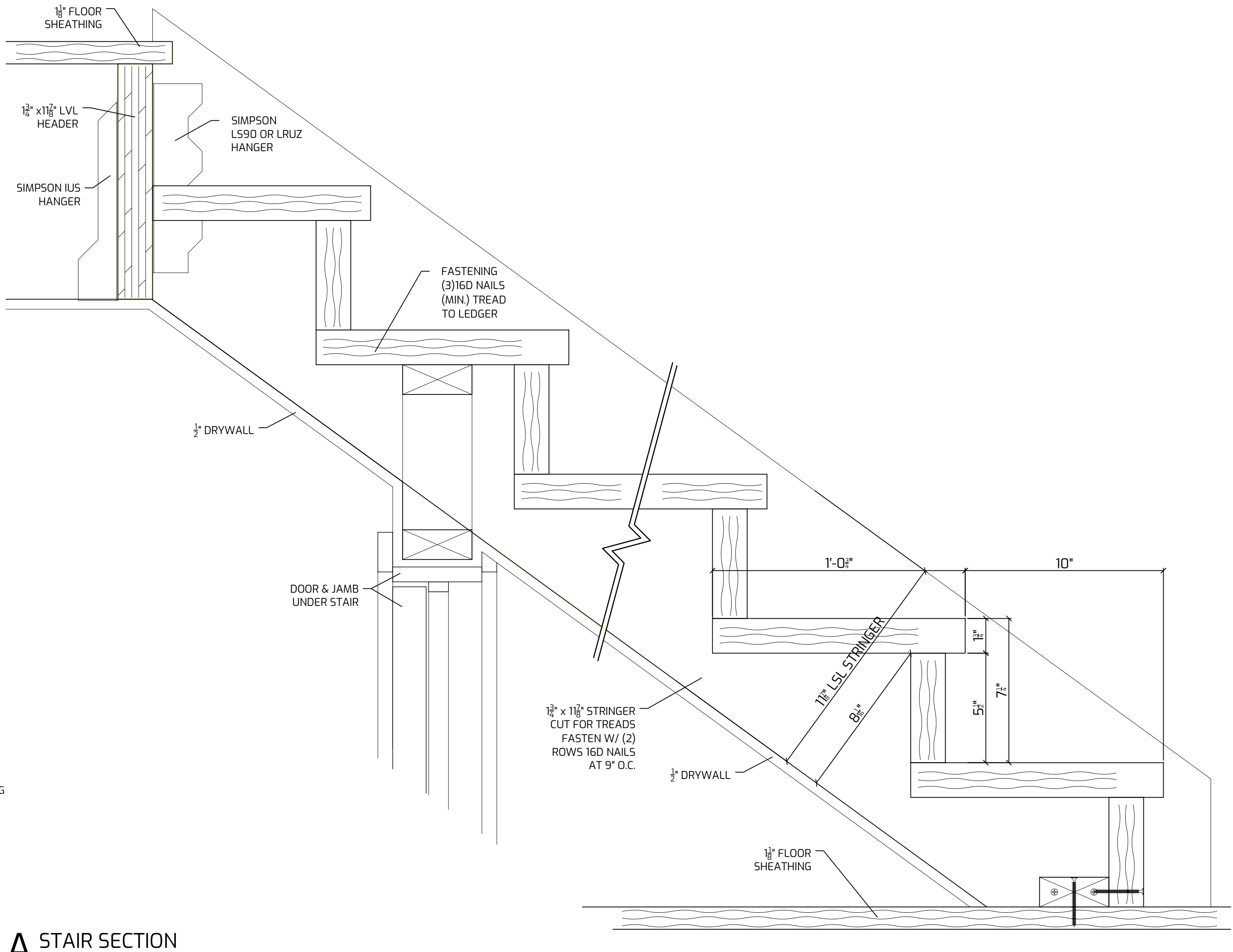
LOFT OPEN RAILING DETAIL

3" = 1'-0"



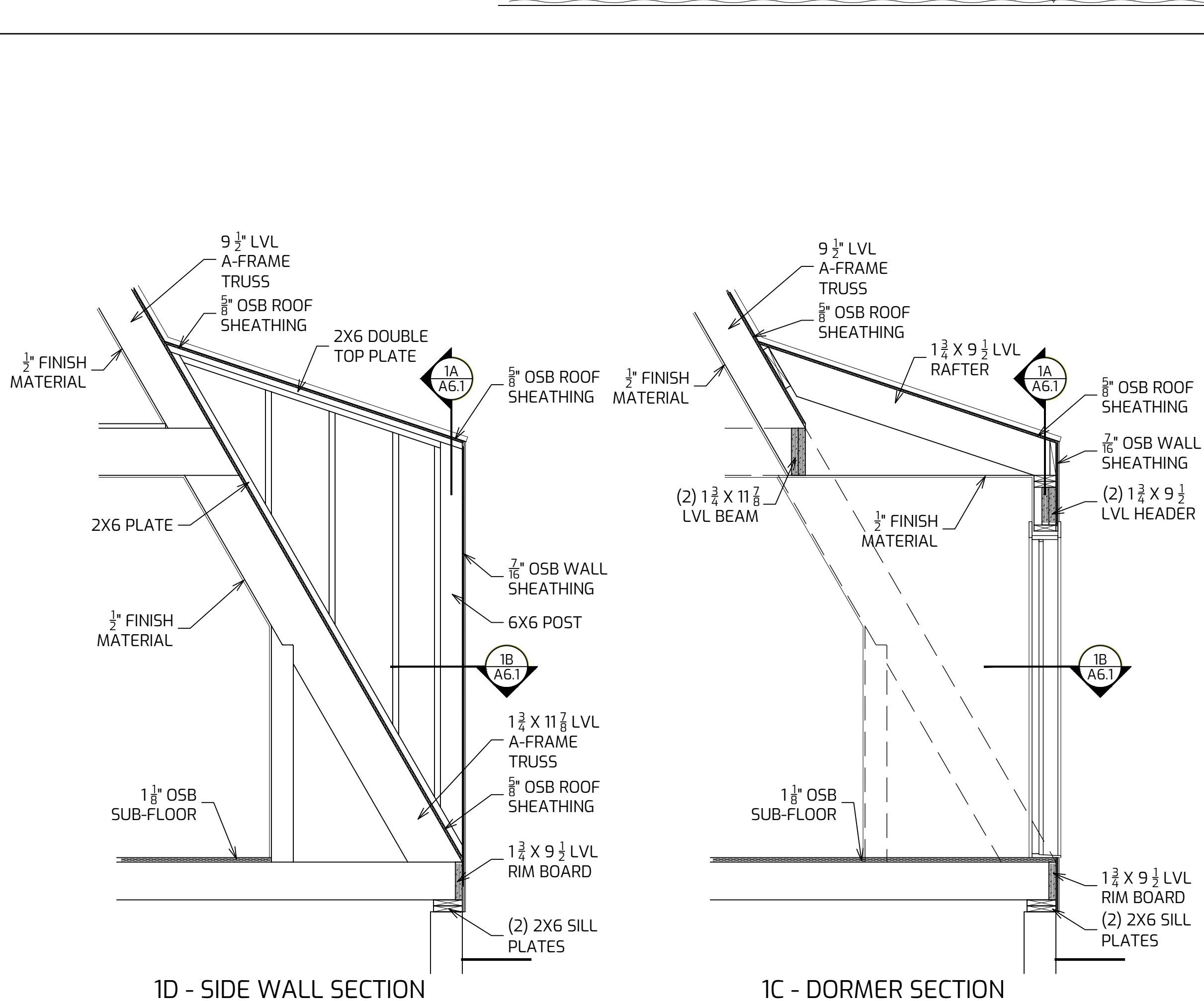
HANDRAIL SECTION

FULL SCALE



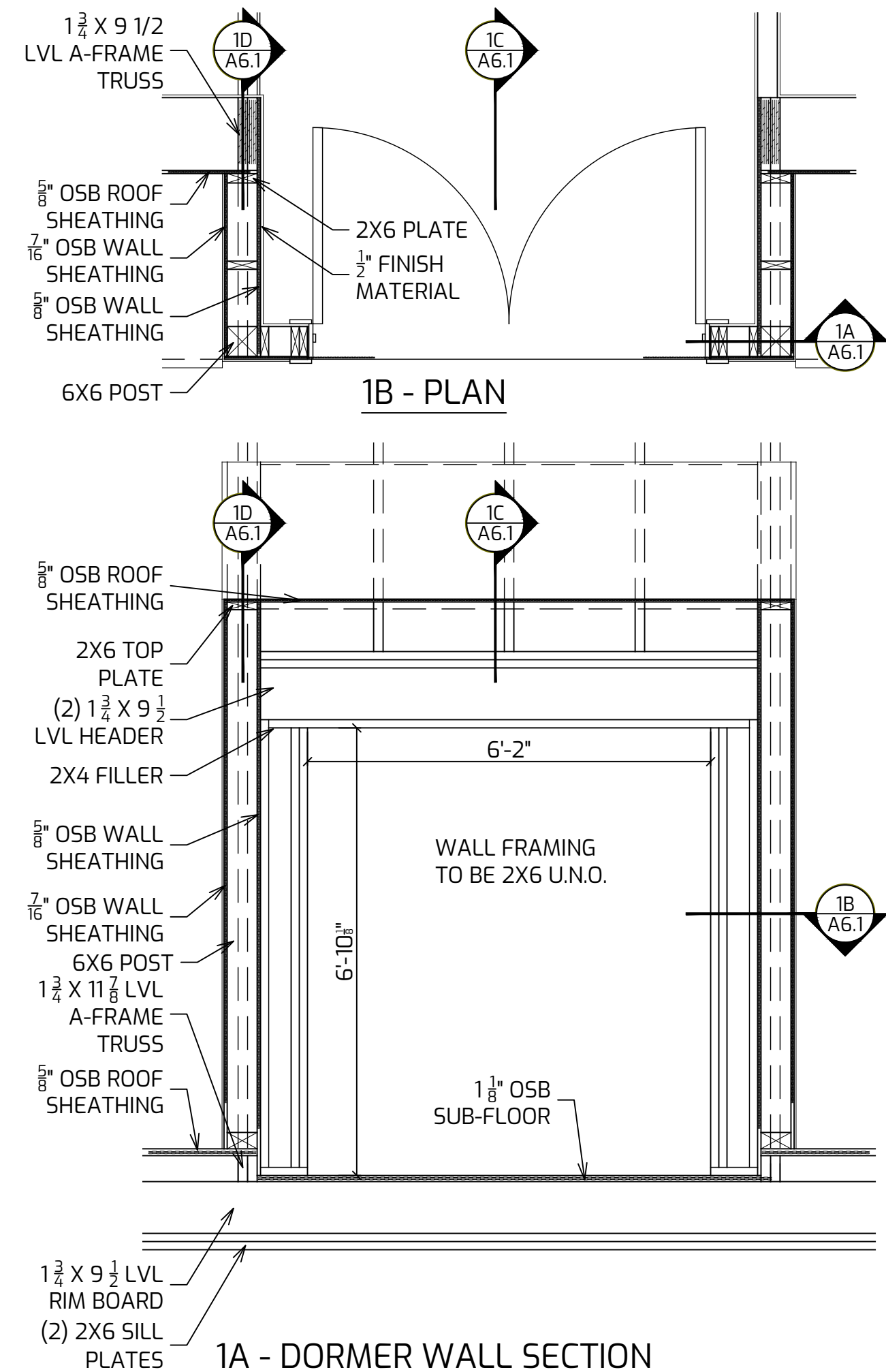
STAIR SECTION

3" = 1'-0"

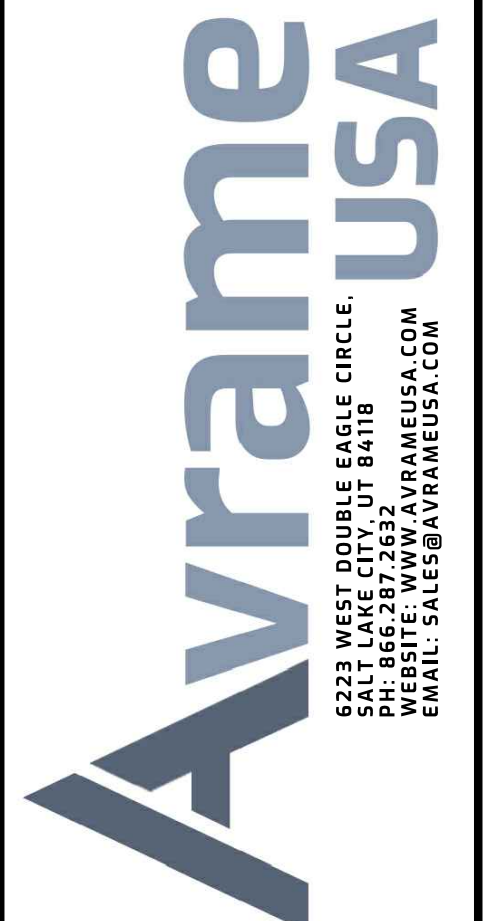


DORMER FRAMING - DOOR WALL SECTION

1/2" = 1'-0"



DORMER WALL SECTION



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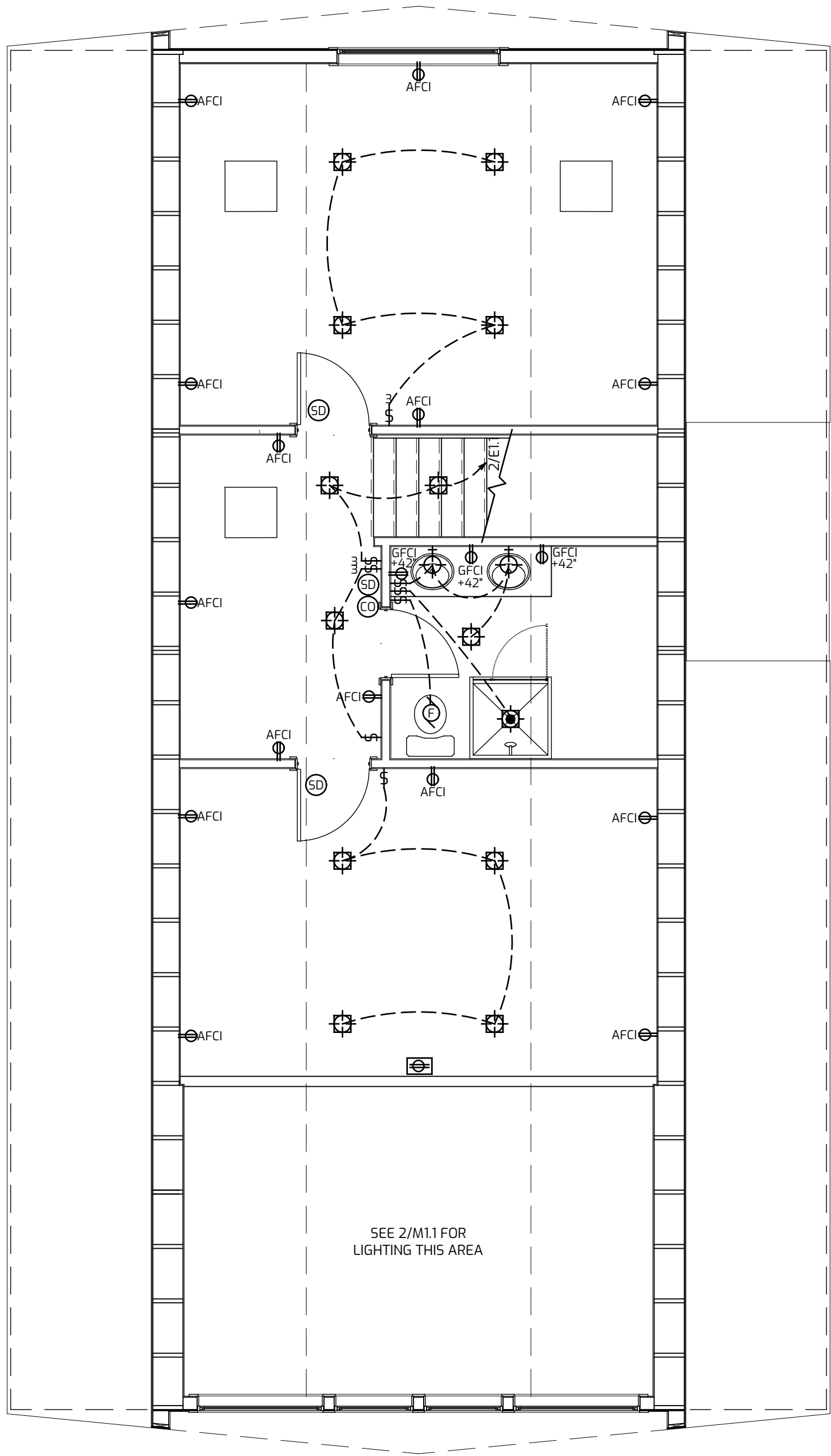
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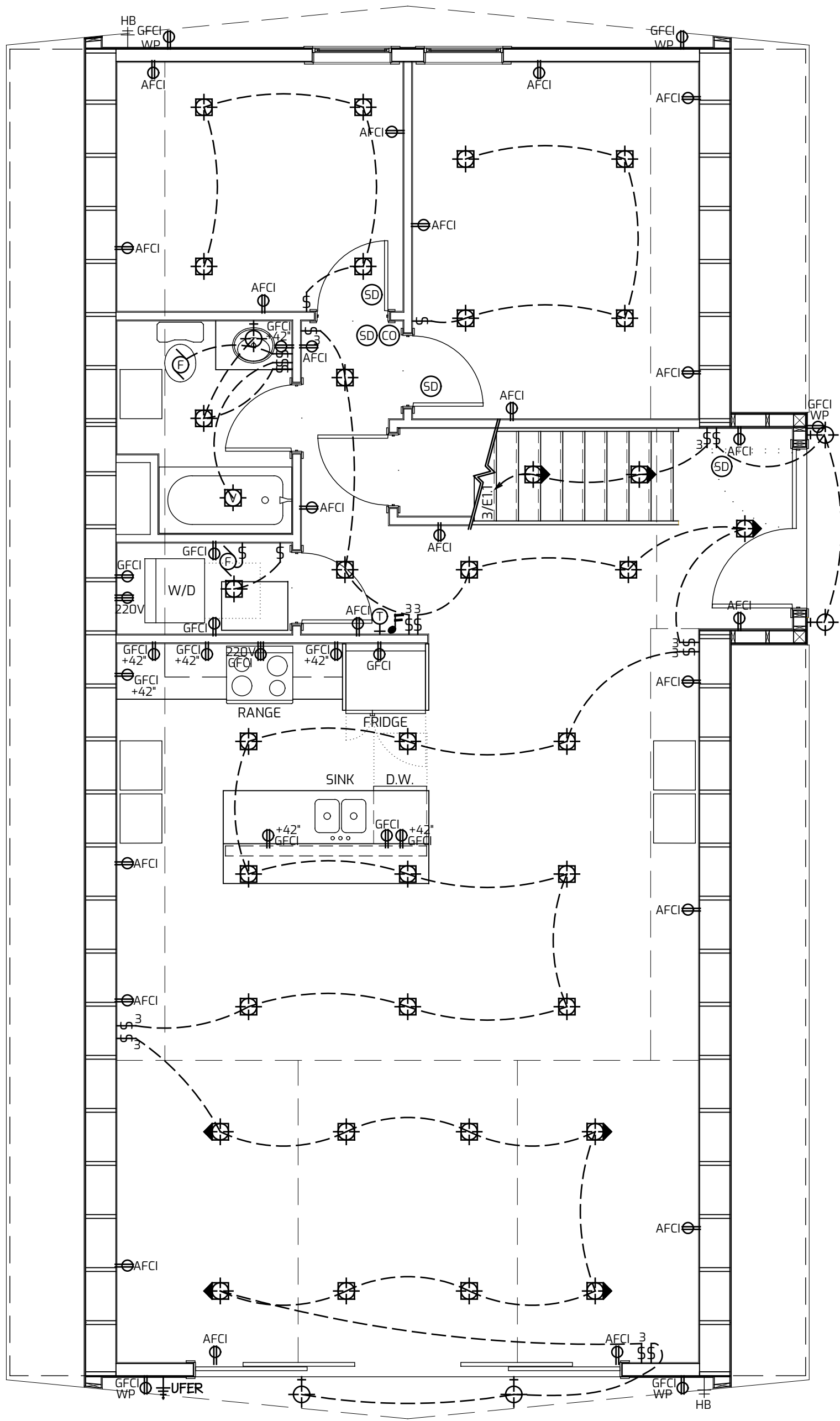
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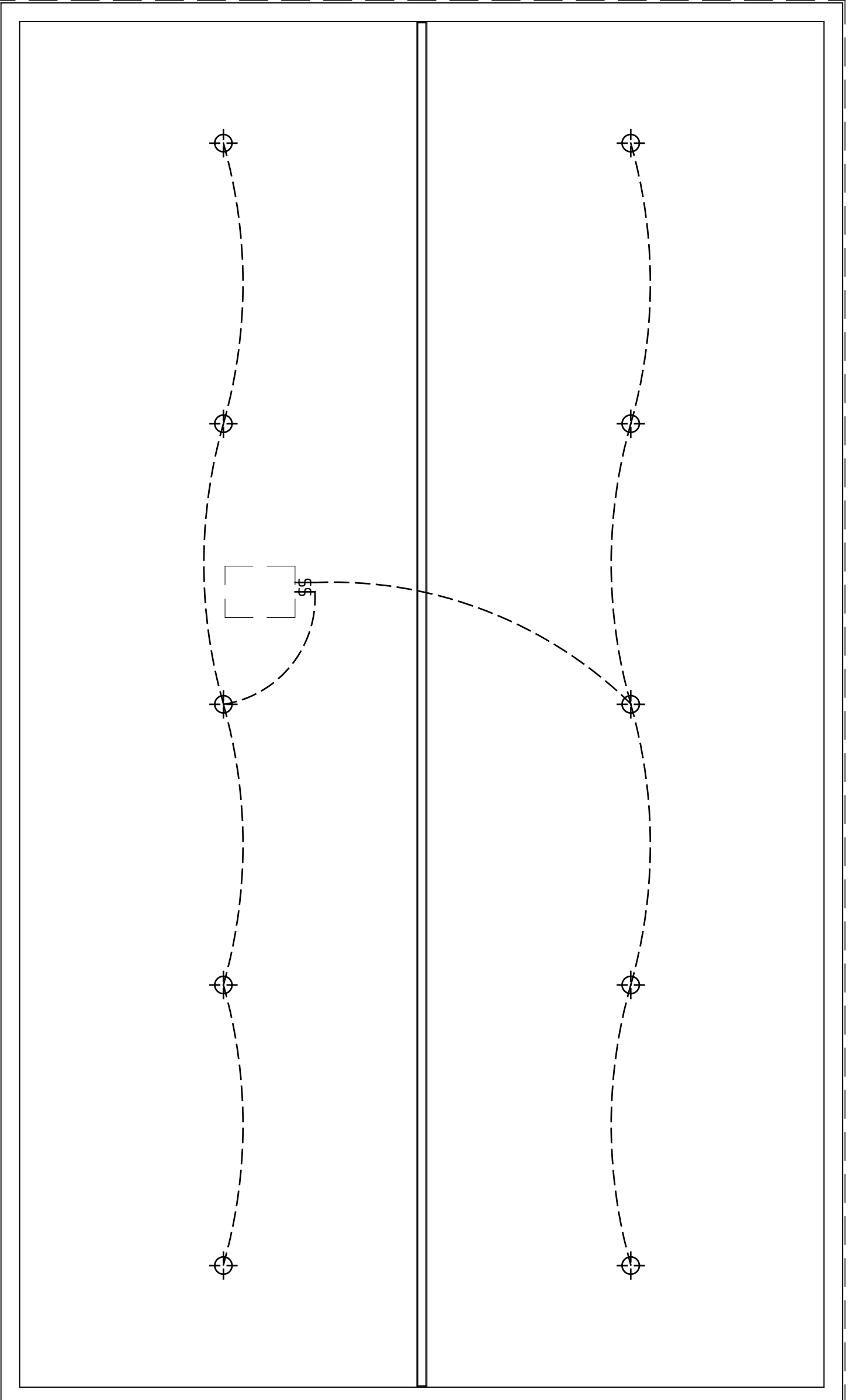
A6.1
 ARCHITECTURAL
 DETAILS



3 3RD FLOOR MECHANICAL, ELECTRICAL, AND PLUMBING PLAN
1/4" = 1'-0"



2 2ND FLOOR MECHANICAL, ELECTRICAL, AND PLUMBING PLAN
1/4" = 1'-0"



1 1ST FLOOR MECHANICAL, ELECTRICAL, AND PLUMBING PLAN
1/4" = 1'-0"

MECHANICAL, ELECTRICAL, AND PLUMBING NOTES

- ALL ELECTRICAL INSTALLATIONS SHALL COMPLY W/ 2016 NEC & 2014 NEC
- INSTALL OUTLETS SO NO POINT ALONG ANY WALL IS MORE THAN 6' FROM OUTLET.
- INSTALL RECEPTACLES ALONG KITCHEN COUNTERTOPS SO NO POINT ALONG ANY WALL IS MORE THAN 2' FROM AN OUTLET.
- ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS, IN GARAGES, UNFINISHED BASEMENTS AND OUTSIDE OUTLETS TO BE GFCI PROTECTED.
- FUEL FIRED WATER HEATERS SHALL NOT BE INSTALLED IN A ROOM USED AS A STORAGE CLOSET. NON-DIRECT-VENT WATER HEATERS LOCATED IN A SEALED ENCLOSURE SO THAT COMBUSTION AIR WILL NOT BE TAKEN FROM THE LIVING SPACE.
- PROVIDE A MIN. OF 30" OF CLEARANCE SPACE IN FRONT OF THE FURNACE AND A MIN. OF 3' ALONG SIDE AND BACK.
- ELECTRICAL PANEL MUST HAVE 30" WIDTH, 36" DEPTH AND 6'-6" HEADROOM CLEARANCE.
- UFER GROUND REQUIRED
- ALL 15- AND 20- AMPERE RECEPTACLES IN EVERY KITCHEN, FAMILY, LIVING, DINING, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION, OR SIMILAR ROOM OR AREA OF DWELLING UNITS SHALL BE LISTED AS TAMPER-RESISTANT RECEPTACLES. -E4002.14 AND -E3901.1
- WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.
- A MIN. OF TWO 20-AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL SERVE ALL WALL AND FLOOR RECEPTACLES OUTLETS IN THE KITCHEN.
- PROVIDE APPROVED BOXES OF SUPPORT FOR FAN/LIGHT COMBOS
- PROVIDE ALL BEDROOM OUTLETS, LIGHTS, SWITCHES, AND SMOKE DETECTORS W/ ARC-FAULT PROTECTION.
- ALL EXTERIOR OUTLETS TO BE GFCI WETHER PROOF.
- ALL EXTERIOR OUTLETS SHALL HAVE BUBBLE COVERS & 110V OUTLET WITH 25' OF AC UNIT.
- SMOKE DETECTORS AND CARBON MONOX. DETECTORS ARE REQUIRED TO BE INTERCONNECTED SO IF ONE SOUND, ALL SOUND.
- ALSO ALL DETECTORS ARE TO BE WIRED WITH PRIMARY POWER, AND BATTERY BACKUP.
- CARBON MONOXIDE DETECTORS REQUIRED ON ALL HABITABLE LEVELS INCLUDING ANY "BONUS ROOMS".
- ALL ELECTRICAL RECEPTACLES AND SWITCHES ARE UP A MIN. 18" ABOVE THE FLOOR, IN THE GARAGE OR ANY ROOM WITH ACCESS FROM GARAGE.
- A 125-VOLT, SINGLE PHASE, 15-OR 20-AMP RATED GFCI RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 25' OF MECHANICAL EQUIPMENT AND NOT BE CONNECTED TO THE LOAD SIDE OF THE DISCONNECTING MEANS.
- ALL ELECTRICAL BOXES IN GARAGE TO BE 2-HOUR RATED.

SYMBOLS LEGEND

UFER CONCRETE ENCASED GROUNDING ELECTRODE	UFER	220V DISCONNECT BOX FOR AC COMPRESSOR PER NEC 422.26	HACR	110V DUPLEX CONV. OUTLET	TH	THERMOSTAT CONTROL	TC
SURFACE MOUNT LIGHT FIXTURE	SLF	PUSH BUTTON AT 48" A.F.F.	PB	110V FOURPLEX CONV. OUTLET	4TH	RETURN AIR GRILLE	RA
WALL HUNG FIXTURE	WHF	CHIMES	CH	1/2 HOT OUTLET	1/2H	SUPPLY AIR GRILLE	SA
RECESSED LIGHT FIXTURE	RLF	SMOKE DETECTOR (WIRED IN SERIES)	SD	220V OUTLET	220V	'FROST FREE' HOSE BIB	FFHB
RECESSED SLOPED LIGHT	RSLF	CARBON MONOXIDE DETECTOR	CM	AFCI DUPLEX OUTLET	AFCI	GAS LINE	GL
VAPOR PROOF RECESSED	VP	GARBAGE DISPOSAL	GD	GFCI DUPLEX OUTLET	GFCI	CEILING FAN WITH LIGHT KIT	CF
SINGLE POLE SWITCH	SPS	EXHAUST FAN (MIN. 5 AIR CHANGES PER HOUR)	EF	WEATHERPROOF DUPLEX OUTLET	WP		
3-WAY SWITCH	3WS	TELEPHONE JACK AT 14" A.F.F. TYP IN CONDUIT U.N.O.	TJ	GARAGE DOOR OPENER RECEPTACLE	GO		

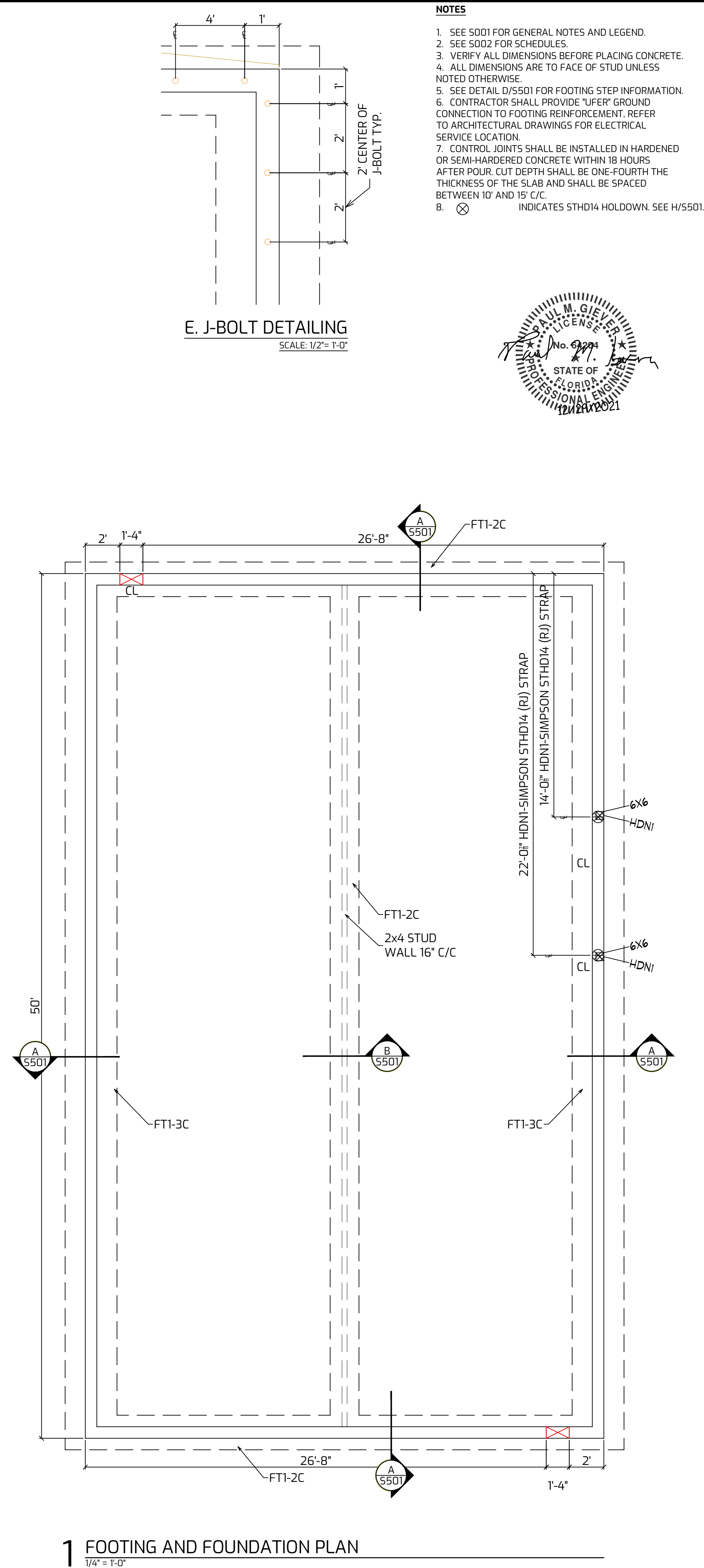
Avrame USA
6212 WEST DOUBLE EAGLE CIRCLE,
SALT LAKE CITY, UT 84118
PHONE: 801.487.8888
WEBSITE: WWW.AVRAMEUSA.COM
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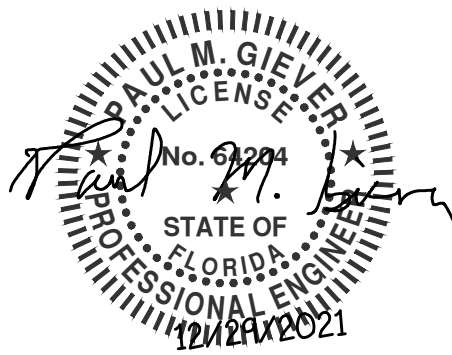
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REVISIONS
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M1.1
M.E.P. PLANS



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S1.1 FOOTING AND FOUNDATION PLAN	

- NOTES
1. SEE 5001 FOR GENERAL NOTES AND LEGEND.
 2. SEE 5002 FOR SCHEDULES.
 3. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 4. * INDICATES TRUSS W/ NOTCH AT RIDGE PER A/5502



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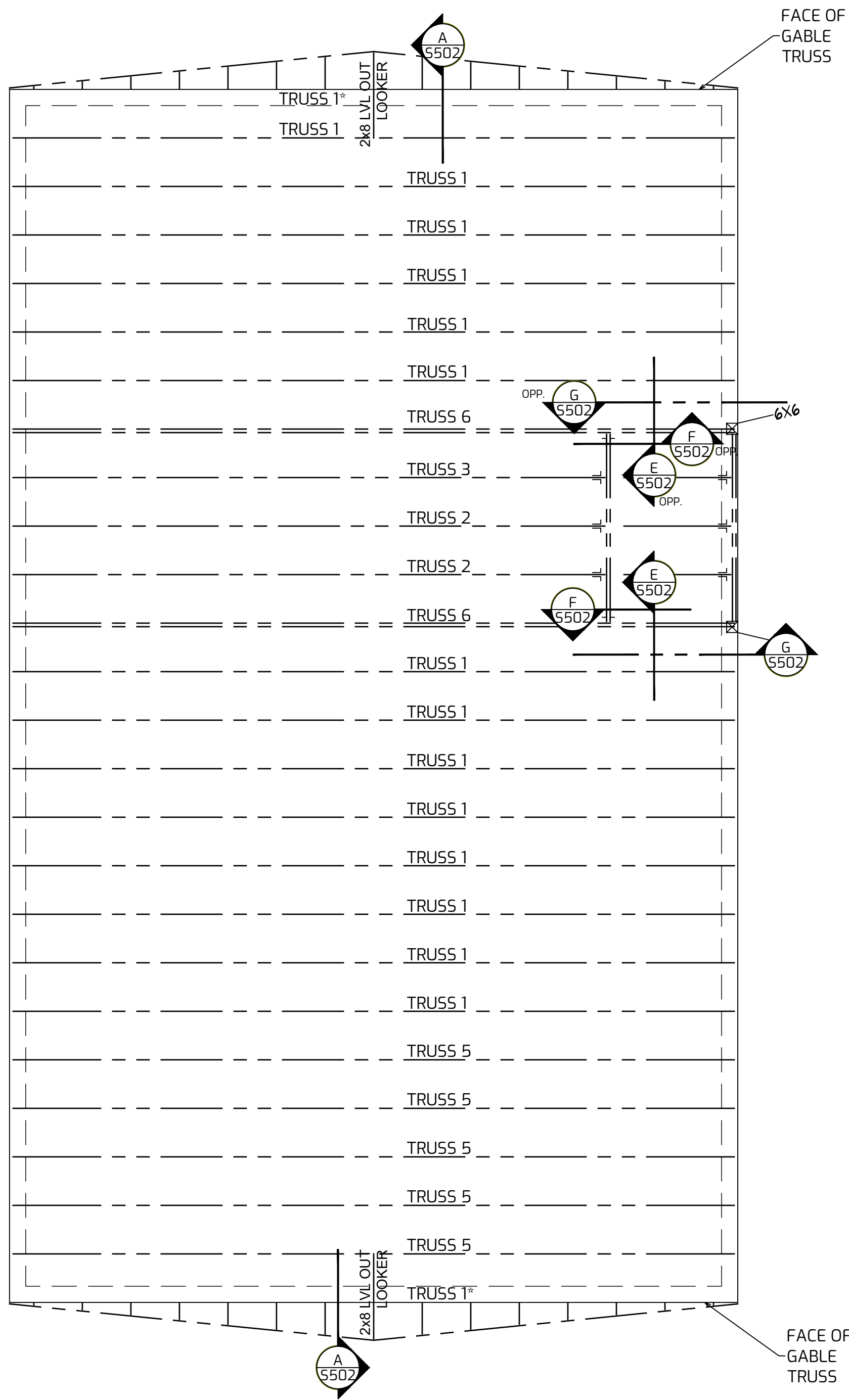
ISSUE DATE

10/26/2021

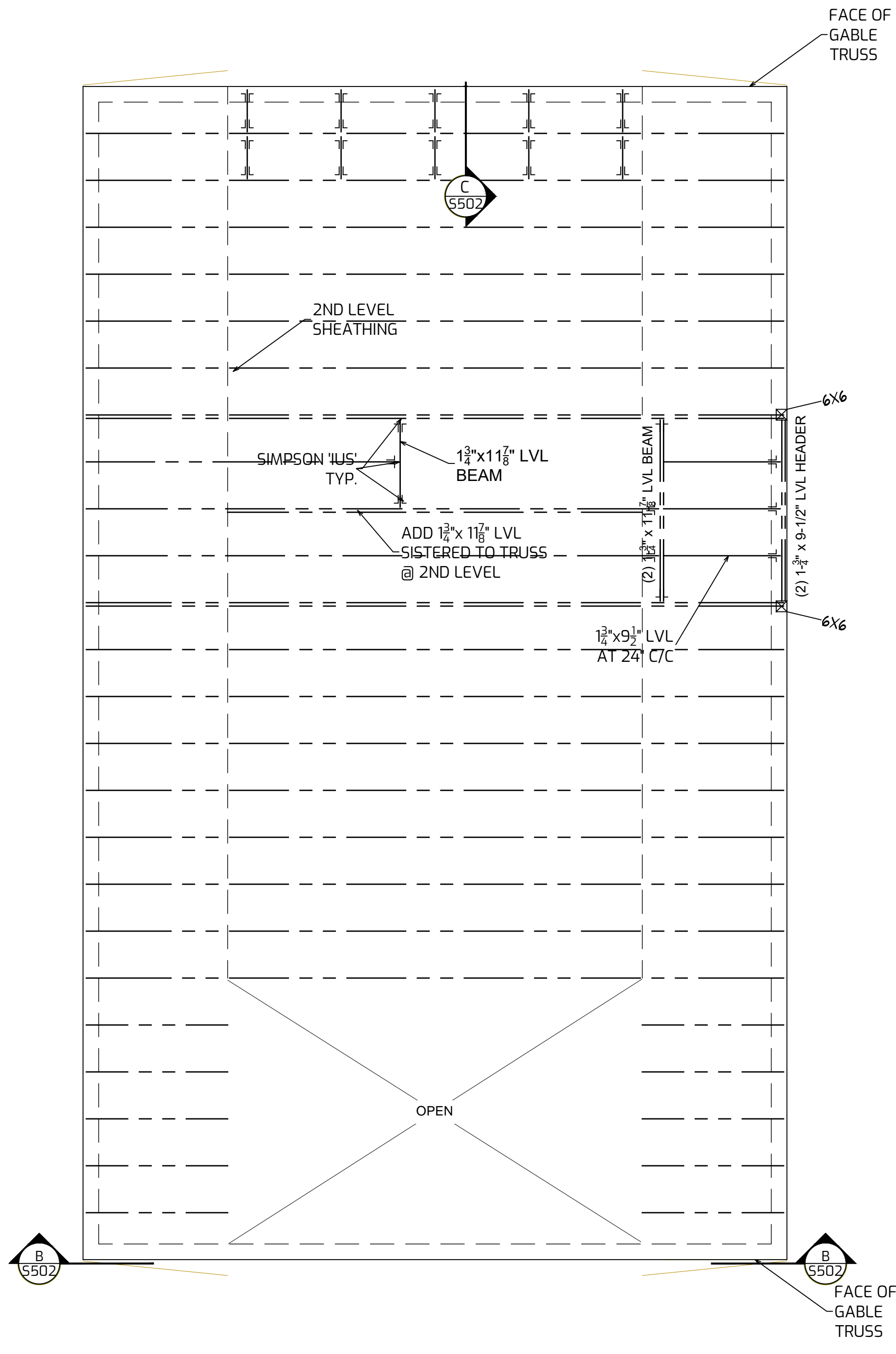
REVISIONS

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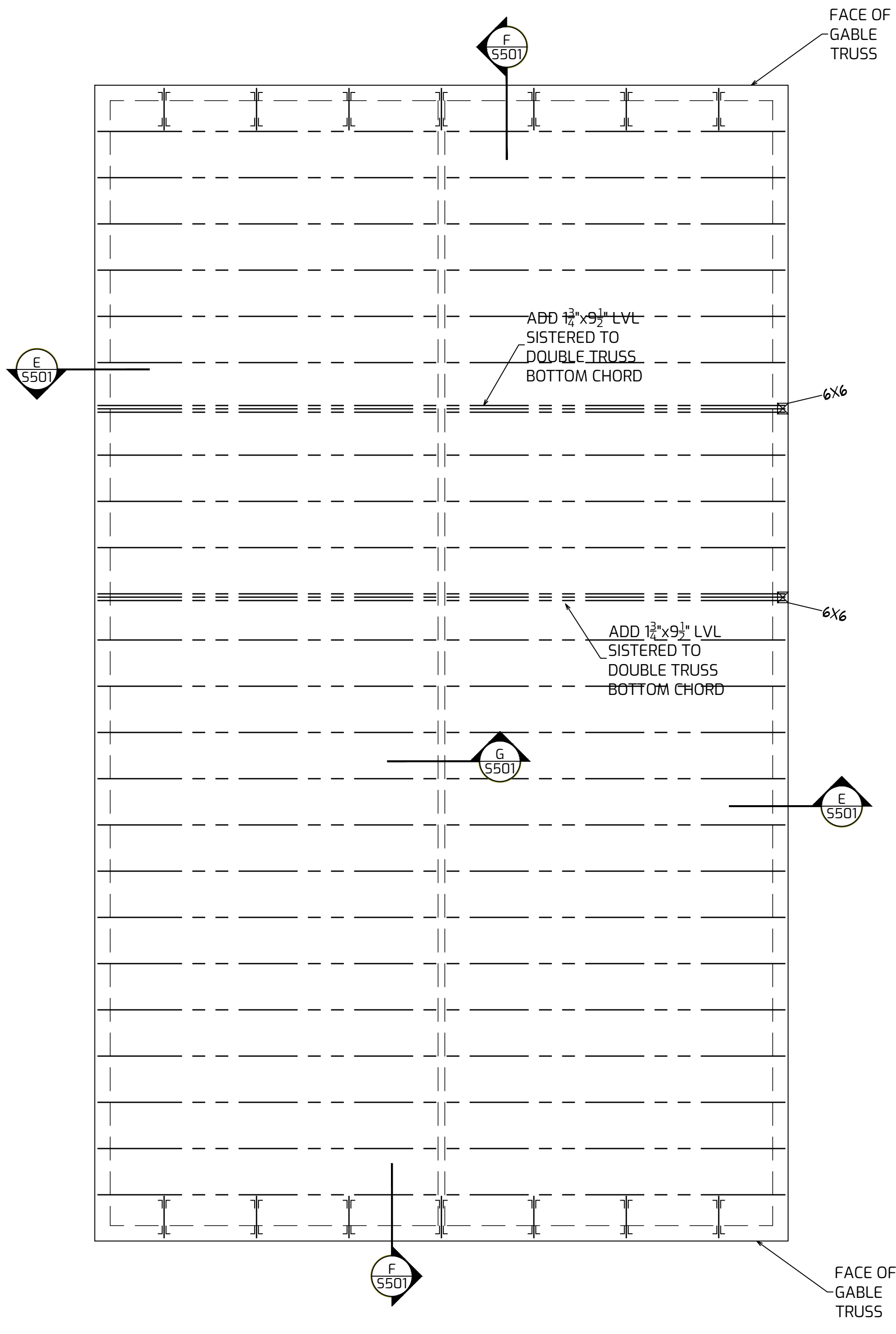
S1.2
FRAMING PLANS



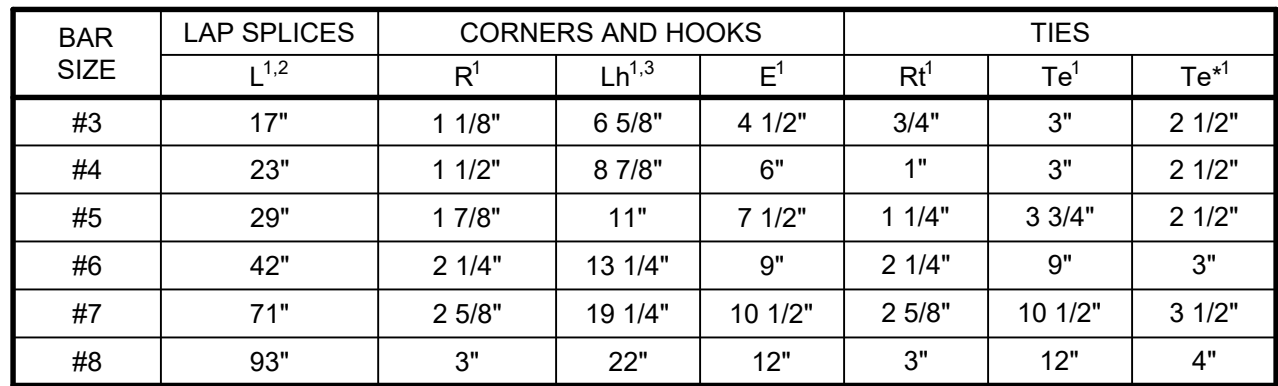
3 TRUSS PLAN
1/4" = 1'-0"



2 LOFT LEVEL FRAMING PLAN
1/4" = 1'-0"



1 MAIN LEVEL FRAMING PLAN
1/4" = 1'-0"



1. LENGTHS ARE BASED ON ACI 318-14 FOR $f_c = 3000$ psi.
2. LENGTHS ARE BASED ON CLASS B TENSION SPLICES, STAGGERING OF SPLICES IS NOT REQUIRED.
3. L_h = EMBEDMENT REQUIRED FOR TENSION HOOKS

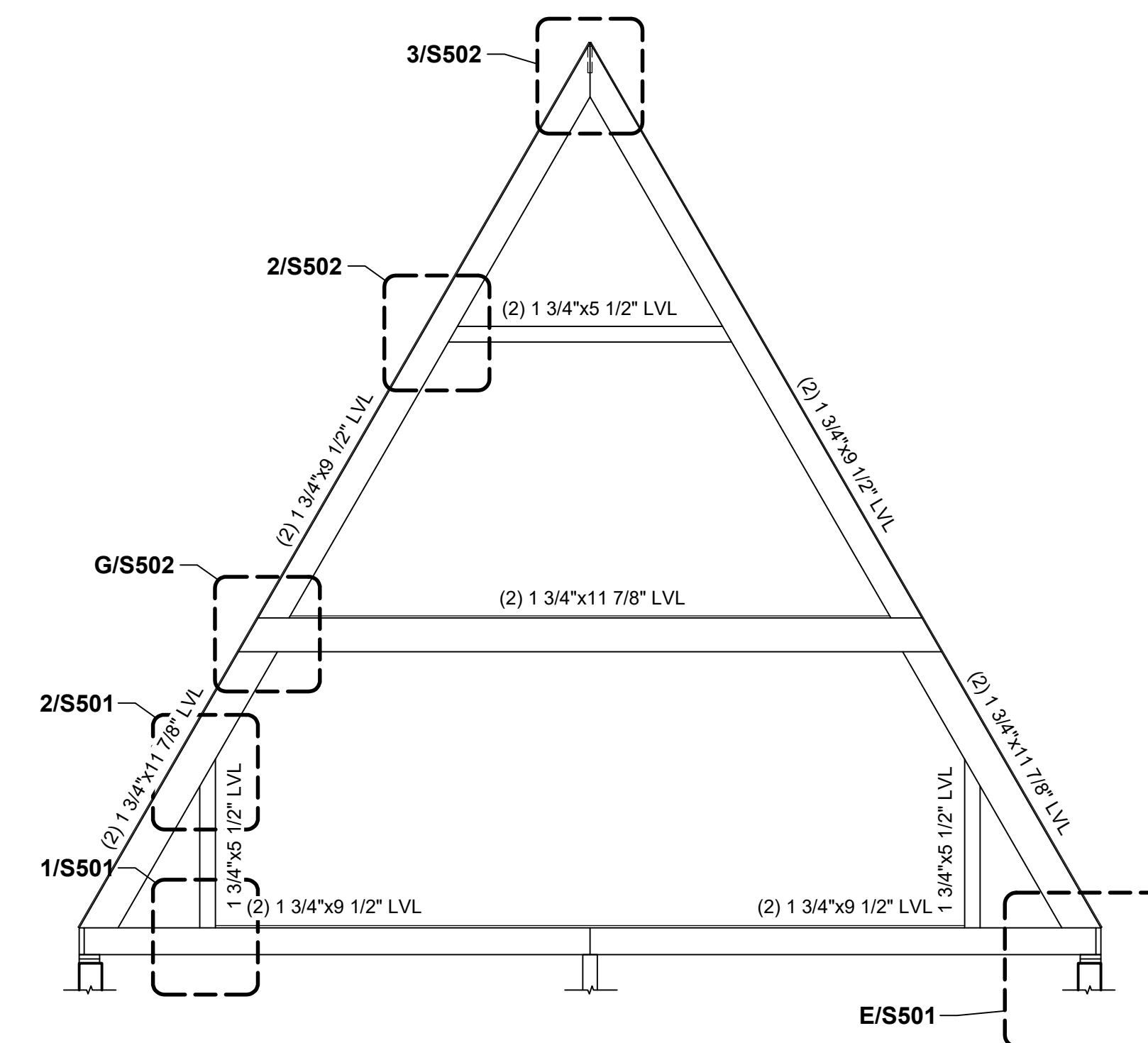
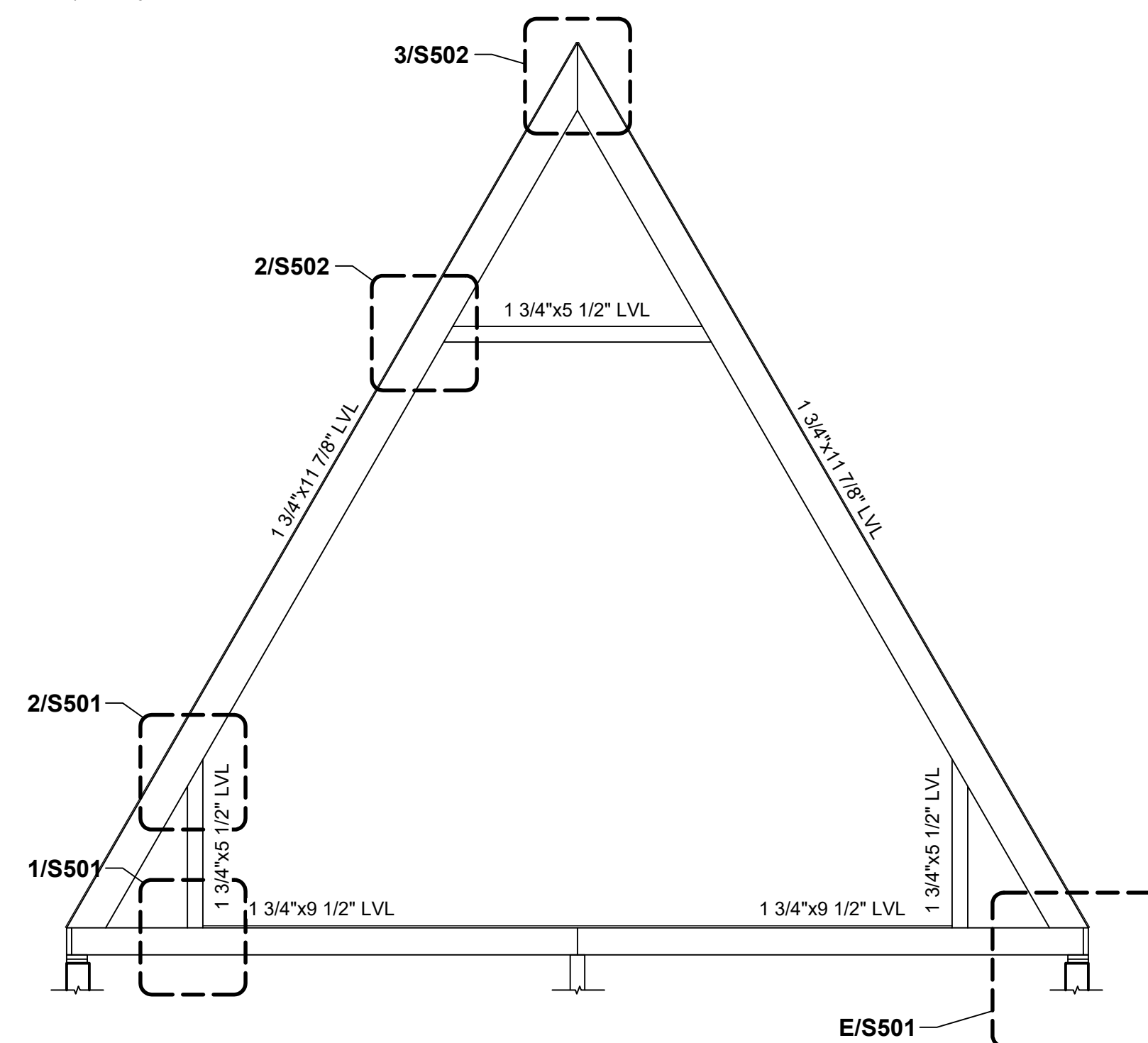
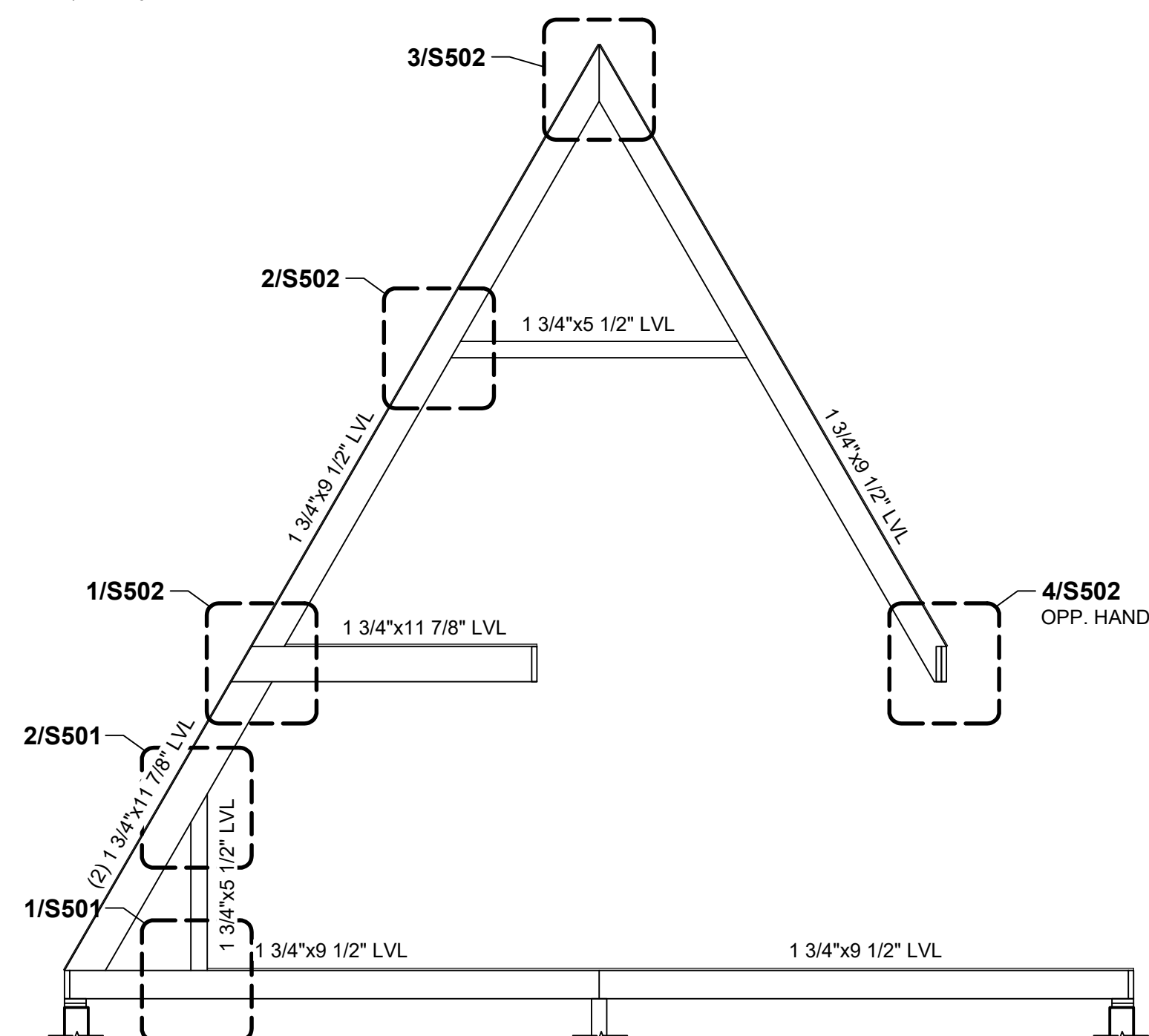
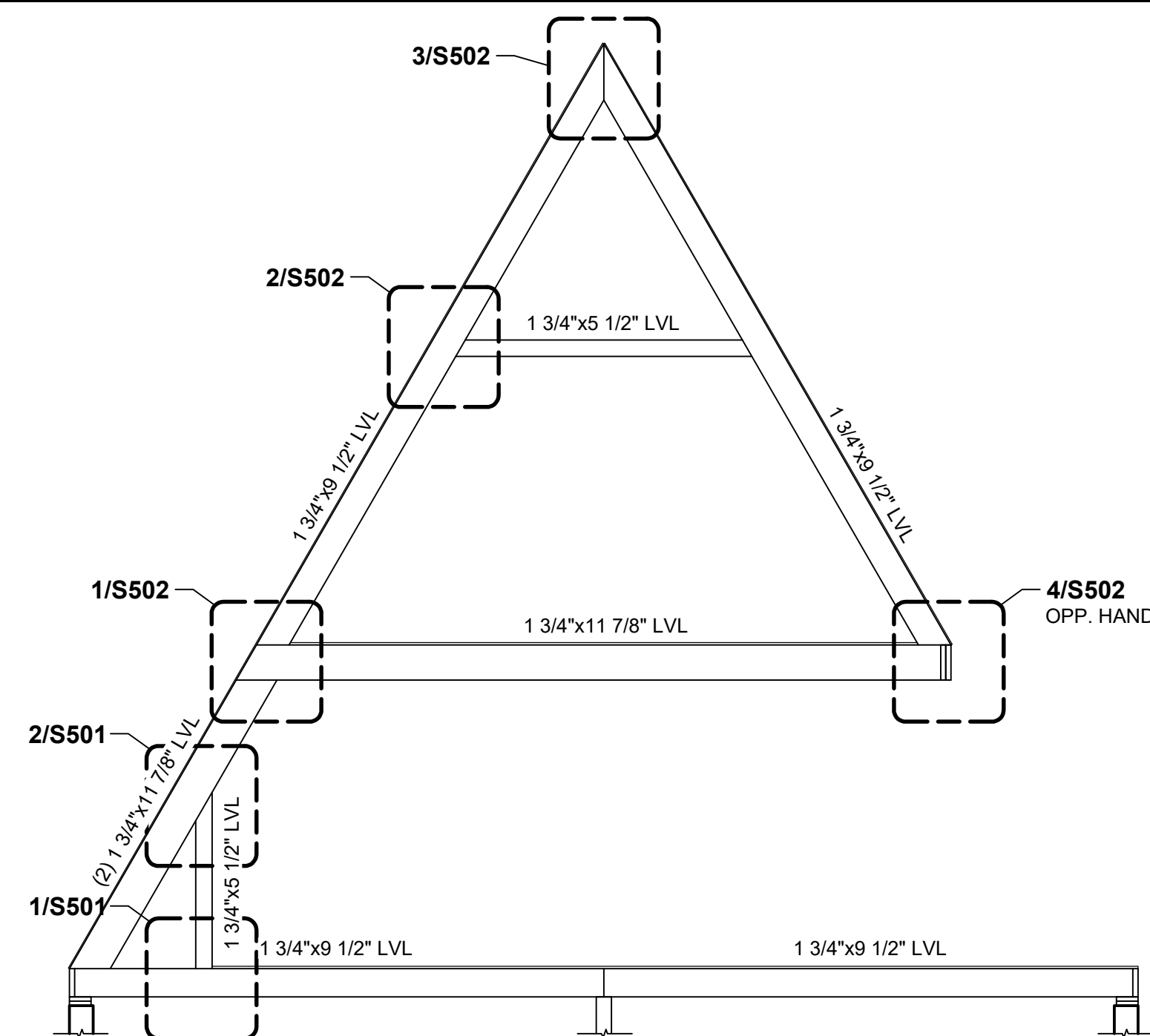
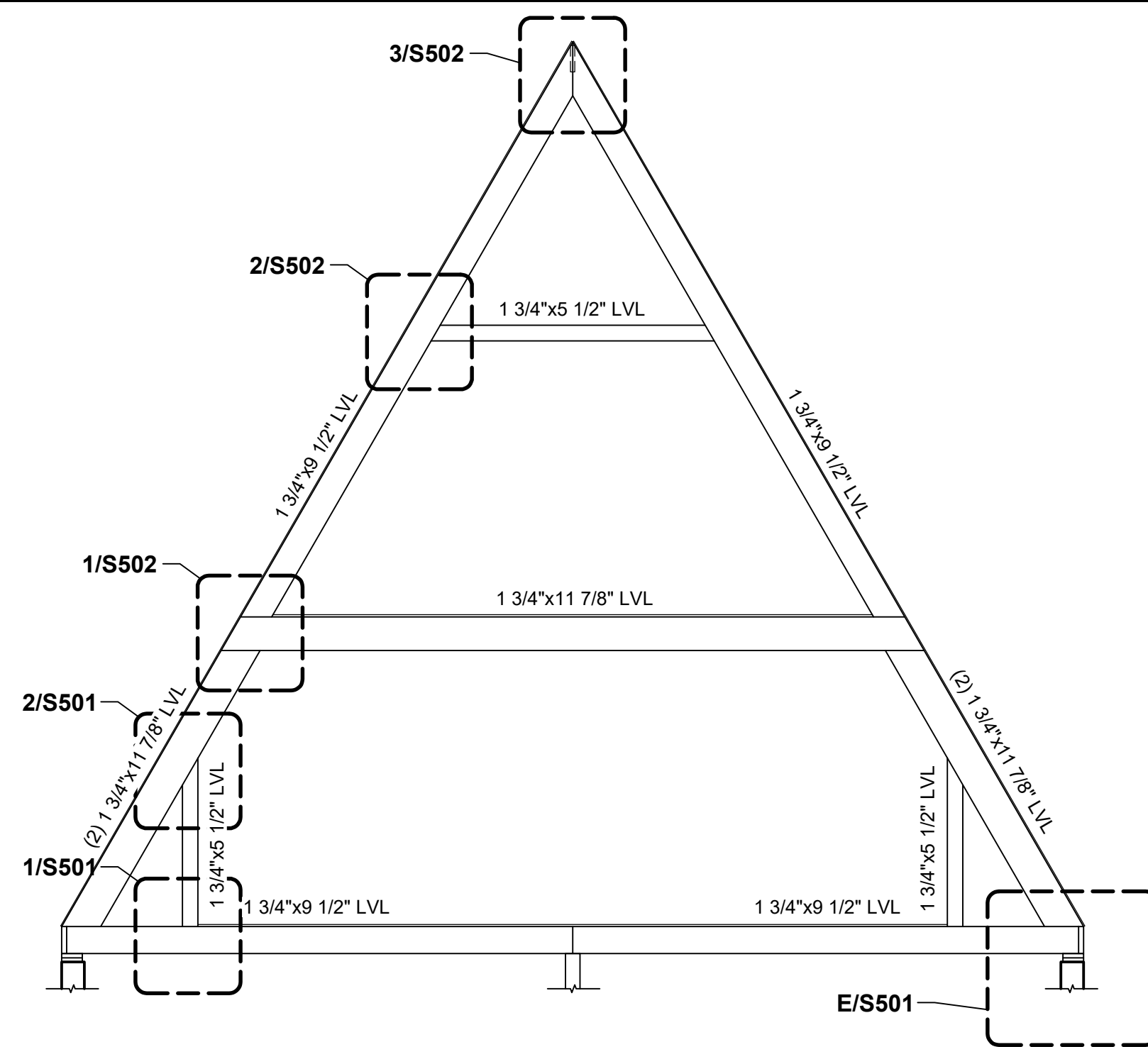
NAIL TABLE

CONCRETE REINFORCING BAR SCHEDULE

FOOTING SCHEDULE						
KEY:				<div><div>FOOTING TYPE</div><div>DIMENSION WIDTH</div><div>FT1-2C</div><div>DIMENSION LENGTH</div></div>		
FOOTING	DIMENSIONS			REINFORCEMENT EQ SP	REMARKS/DETAILS	
	W	L	T			
TYPE 1: STRIP FOOTINGS						
FT1-2C	2'-0"	CONTINUOUS	0'-10"	(2) #5 LONGITUDINAL DIRECTION, #5 AT 16" C/C TRANSVERSE DIRECTION		
FT1-3C	3'-0"	CONTINUOUS	0'-12"	(3) #5 LONGITUDINAL DIRECTION, #5 AT 16" C/C TRANSVERSE DIRECTION		

FOOTING SCHEDULE

[illegible]



- ## NOTES

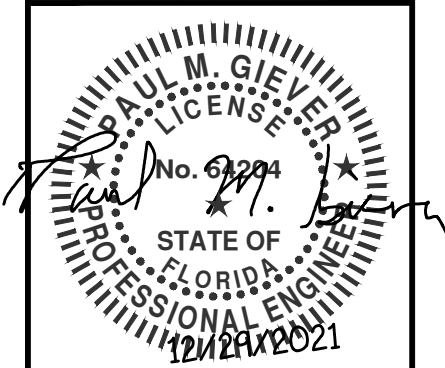
1. SEE **S001** FOR GENERAL NOTES AND LEGEND.
2. SEE **S002** FOR SCHEDULES.

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APPROVAL		
DRAWN	JMM	8/19/21
DESIGN	TDK	8/19/21
CHECKED	PMG	8/19/21
APPROVED	PMG	8/19/21

AVRAME USA
TRIO RUZIC
SW CR 778, FORT WHITE, FL 32038
TRUSS ELEVATIONS

DWG. NO.	
S201	
SCALE: AS INDICATED	
ISSUE DATE: 12/28/21	
JOB No.	REV.
8785.09	0

