

DATE 005

Columbia County Building Permit

PERMIT 000023928

This Permit Expires One Year From the Date of Issue

APPLICANT ROBERT MCCASHIN PHONE 454-3807
ADDRESS 243 SE OLD BELAMY ROAD HIGH SPRINGS FL 32643
OWNER ROBERT MCCASHIN PHONE 454-3807
ADDRESS 243 SE OLD BELAMY ROAD HIGH SPRINGS FL 32643
CONTRACTOR SAME AS APPLICANT PHONE
LOCATION OF PROPERTY 441S, JUSTPAST OLENO STATE PARK, TL ON OLD BELAMY RD,
1ST DRIVEWAY ON LEFT

TYPE DEVELOPMENT DETACHED GARAGE ESTIMATED COST OF CONSTRUCTION 8000.00
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirements: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.
PARCEL ID 03-7S-17-09876-006 SUBDIVISION
LOT BLOCK PHASE UNIT TOTAL ACRES

Culvert Permit No. Culvert Waiver Contractor's License Number Robert McCashin
EXISTING X05-0334 BK Applicant/Owner/Contractor N
Comments: ONE FOOT ABOVE THE ROAD, NOC ON FILE
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

Check # or Cash 1278

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power Foundation Slab Sheathing/Nailing
Under slab rough-in plumbing Slab Sheathing/Nailing
Framing Rough-in plumbing above slab and below wood floor
Electrical rough-in Heat & Air Duct Perit. beam (Lintel)
Permanent power C.O. Final Culvert
M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection Pump pole Utility Pole Pool
M/H Pole Travel Trailer Re-roof

BUILDING PERMIT FEE \$ 40.00 CERTIFICATION FEE \$.00 SURCHARGE FEE \$.00
MISC. FEES \$.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 115.00
INSPECTORS OFFICE
CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.
"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY, IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."
This Permit Must Be Prominently Posted on Premises During Construction
PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 03-7S-17-09876-006

Building permit No. 000023928

Use Classification DETACHED GARAGE

Fire: 0.00

Permit Holder SAME AS APPLICANT

Waste:

Owner of Building ROBERT MCCASHIN

Total: 0.00

Location: 243 SE OLD BELLAMY ROAD

Date: 03/21/2006

Robert McCashin

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)



For Office Use Only Application # 0511-82 Date Received 11/23 By JLV Permit # 23928
Application Approved by - Zoning Official BLK Date 23.11.05 Plans Examiner OKJTH Date 11-23-05
Flood Zone Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
Comments

Columbia County Building Permit Application

Revised 9-23-04

Applicants Name Robert A. McCaslin Phone 386-454-3807
Address 243 SE Old Bellamy Rd. High Springs FL 32643
Owners Name Same Phone 386-454-3807
911 Address 243 SE Old Bellamy Rd. High Springs FL 32643
Contractors Name Owner - Builder Phone
Address Same

Fee Simple Owner Name & Address N/A
Bonding Co. Name & Address N/A
Architect/Engineer Name & Address Marty Humphres - Branford FL
Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy
Property ID Number 03-75-17 09876-006 Estimated Cost of Construction \$8000
Subdivision Name Lot Block Unit Phase
Driving Directions 5 on 441 just past old State Park, left on
Old Bellamy Rd. 1st Drive way on left. Green mobil home.

Type of Construction STAIRS
Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive
Total Acreage 5 Lot Size
Actual Distance of Structure from Property Lines - Front 100 Side 180 Side 100 Rear 440
Total Building Height 10' Number of Stories 1 Heated Floor Area - Roof Pitch 4/12
TOTAL 1020

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.
OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.
WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

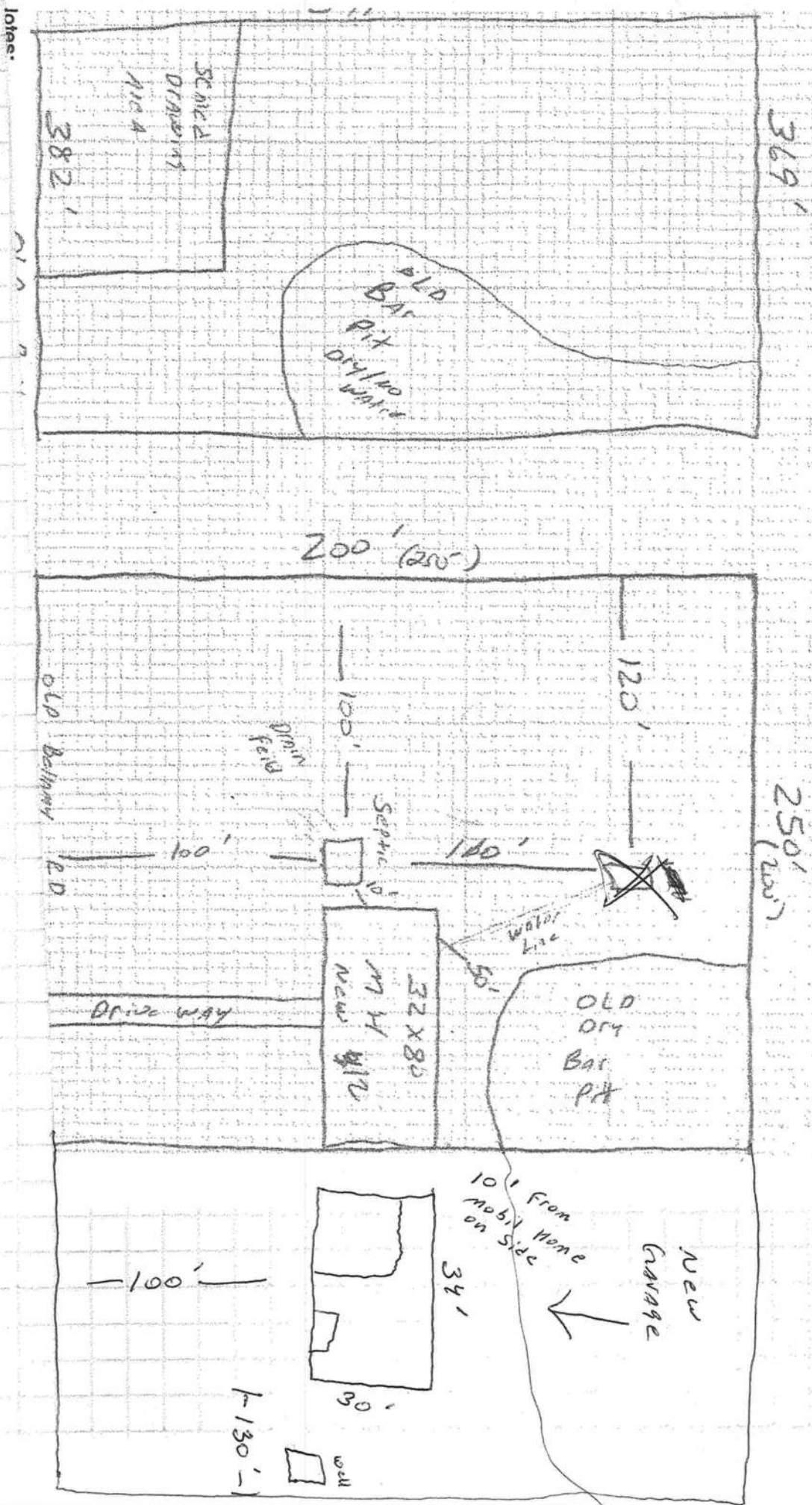
Robert McCaslin
Owner Builder or Agent (Including Contractor)

Contractor Signature
Contractors License Number
Competency Card Number
NOTARY STAMP/SEAL
LAURIE HODSON
MY COMMISSION # DD 333503
EXPIRES: June 28, 2008
Bonded thru Notary Public Underwriters
Notary Signature

STATE OF FLORIDA
COUNTY OF COLUMBIA
Sworn to (or affirmed) and subscribed before me
this 22 day of Nov. 2005
Personally known or Produced Identification

Scale: Each block represents 5 feet and 1 inch = 50 feet.

PART II - SITE PLAN





My Commission Expires September 09 2007
Commission ID 00248314

Printed Name: Marlene Pendergast
Notary Public
My Commission Expires: 09/09/2007

they are personally known to me or have produced their Florida driver's license as identification.

Frances Watson and James C. Watson

The foregoing instrument was acknowledged before me this

4th

day of

March

, 2005

by

STATE OF FLORIDA
COUNTY OF ALACHUA

Witness

Printed Name: Robert A. McCashin

Robert A. McCashin

Witness

Printed Name: Marlene Pendergast

Marlene Pendergast

Signed, sealed and delivered in our presence:

In Witness Whereof, the grantors have hereunto set her hands and seals the day and year first above written.

and the grantors do hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

C. Taxes for the year 2005 and subsequent years.

B. Restrictions and matters appearing on the plat and/or common to the subdivision;

A. Zoning restrictions, prohibitions, and other requirements imposed by governmental authority;

Subject to the following:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

and other good and valuable consideration to GRANTORS in hand paid by GRANTEE, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said GRANTEE and GRANTEES heirs, successors and assigns forever, the following described land, situate, lying and being in the County of Columbia State of Florida

Witnesseth that the GRANTORS, for and in consideration of the sum of

of the County of Columbia State of Florida, grantee.

whose address is: 9919 NW 240th Terrace, Alachua, FL 32615

of the County of Columbia State of Florida, grantors, and Robert A. McCashin, a single man

Frances Watson, joined by her husband James C. Watson

This Indenture, Made this 4th day of March, 2005 A.D., Between

Warranty Deed

Parcel ID Number: 03-7S-17-09876-000 portion of

This Document Prepared By and Return to:
Darryl J. Tompkins, Esquire
P.O. Box 519
14420 NW 151st Blvd. 32615
Alachua, Florida 32616

Inst:2005005288 Date:03/07/2005 Time:14:28
Doc Stamp-Deed : 378.00
DC,P.Dewitt Cason,Columbia County B:1039 P:2454

EXHIBIT "A"

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 3, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN EAST 100.00 FEET TO THE EAST RIGHT OF WAY LINE OF U.S. HIGHWAY NO. 441 (STATE ROAD NO. 25); THENCE N 01°37'33" W, ALONG SAID EAST RIGHT OF WAY 2120.58 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE N 01°37'33" W, ALONG SAID EAST RIGHT OF WAY, 418.92 FEET; THENCE N 88°06'34" E, 454.68 FEET; THENCE S 01°37'33" E, 541.03 FEET; THENCE N 76°50'26" W, 470.25 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT RIGHT OF WAY FOR SW OLD BELLAMY ROAD.

Inst:2005005288 Date:03/07/2005 Time:14:28
Doc Stamp-Deed : 378.00
DC, P. Dewitt Cason, Columbia County B:1039 P:2455

DISCLOSURE STATEMENT

FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND
CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN
ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).

State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

TYPE OF CONSTRUCTION

- () Single Family Dwelling
() Farm Outbuilding
() New Construction

- () Two-Family Residence
(x) Other Garage/Storage
() Addition, Alteration, Modification or other Improvement

NEW CONSTRUCTION OR IMPROVEMENT

I Robert McCashin, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number _____

Signature Robert McCashin Date 11.22.05

FOR BUILDING USE ONLY

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date 11.22.05 Building Official/Representative

James Hall

*****THIS DOCUMENT MUST BE RECORDED AT THE COUNTY CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.*****

Parcel ID Number 03-75-17-09876-006

441 South To old Bellamy rd., left on Bellamy rd. 2nd place on left. First place on left.

2nd Parcel on Left. First B walline on Left.

Inst: 2005029078 Date: 11/22/2005 Time: 12:54
DC, P. Dewitt Carson Collection

DC, P. Dewitt Cason, Columbia County B:1065 P:2331

General description of improvement: Construction of bridge

Owner Name & Address	Robert McLaughlin	243 SE Old Bellvue Rd
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Name & Address of Easement Owner	Interest in Property	Owner
M. S. Smiths H 32643		

Name & Address of Fee Simple Owner (if other than owner): MLA

Contractor Name Owner / Builder

Phone Number 386.454.3507

Surety Holders Name Robert Mcashin

Phone Number 386.454.3807

Amount of Bond,

Lender Name Robert M Cashin

Phone Number 386.454.3807

Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Phone Number 386-454-3807

Address 243 SE Old Bellamy Rd. High Springs FL 32643

(a) 7. Phone Number of the designee _____
_____ to receive a copy of the Llenor's Notice as provided in Section 713.13 (1) - _____
_____ of _____

Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) 11-28-86

TICF AS PER CHAPTER 713, Florida Statutes:

Owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Sworn to (or affirmed) and subscribed before
day of November 2005.

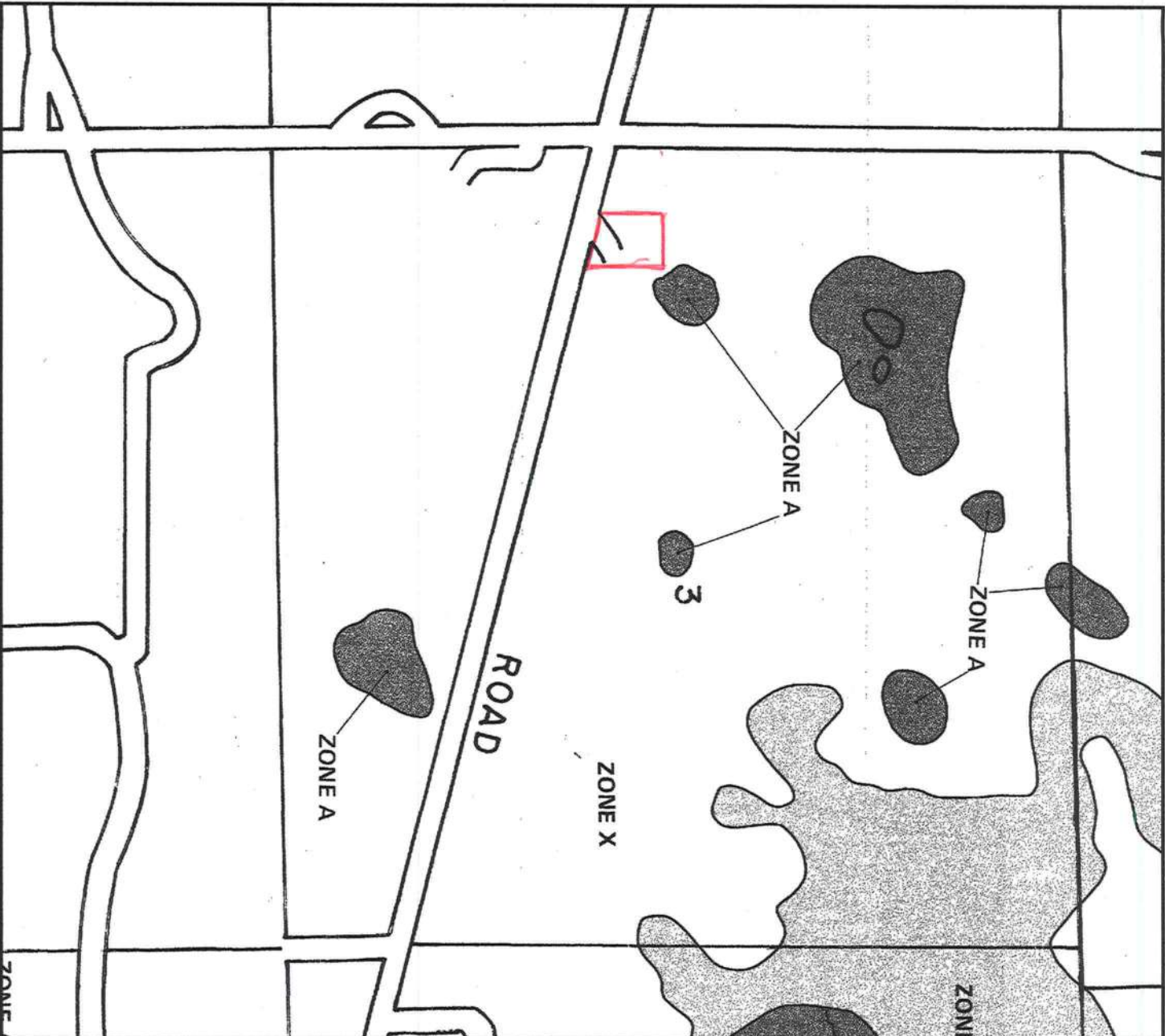
NOTARY STAMP/SEAL

Signature of Owner

DOROTHY L. SPENCER
Notary Public, State of Florida
My comm. expires Nov. 19, 2007
No. DD 269013

Signature of Notary

David J. Brown



APPROXIMATE SCALE IN FEET



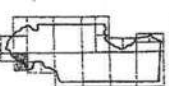
NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 280 OF 290

PANEL LOCATION

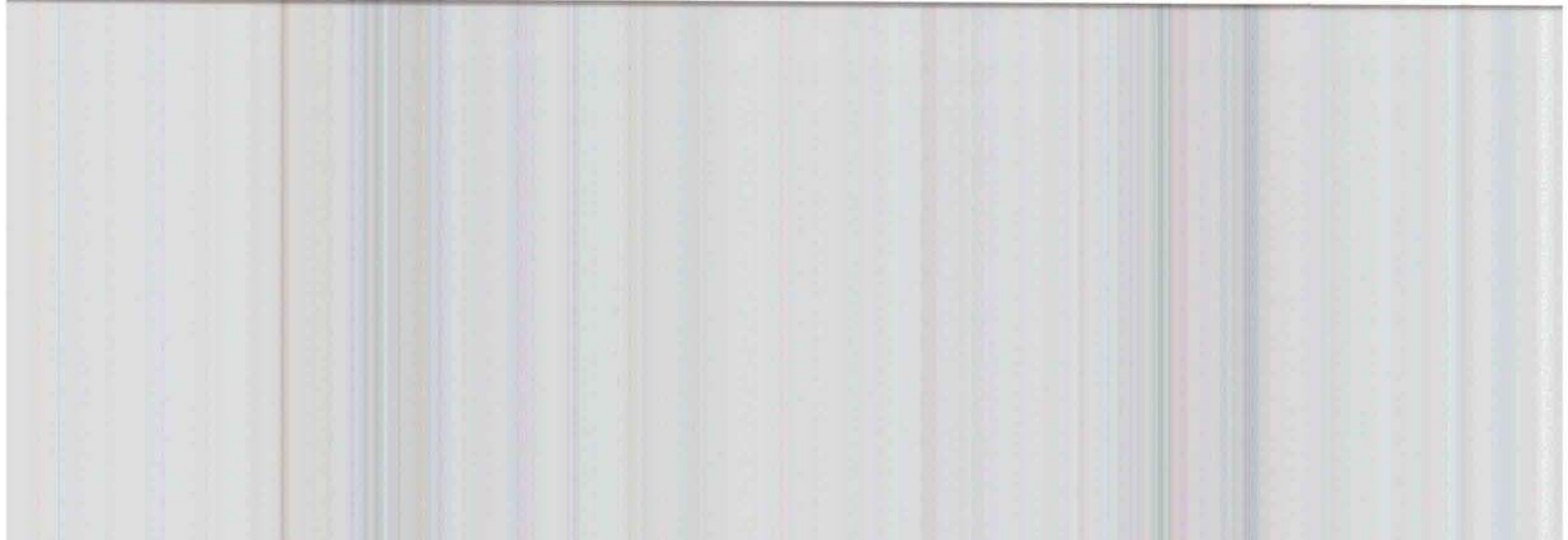


COMMUNITY-PANEL NUMBER
120070 0280 B
EFFECTIVE DATE:
JANUARY 6, 1988

Federal Emergency Management Agency



This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nifm.

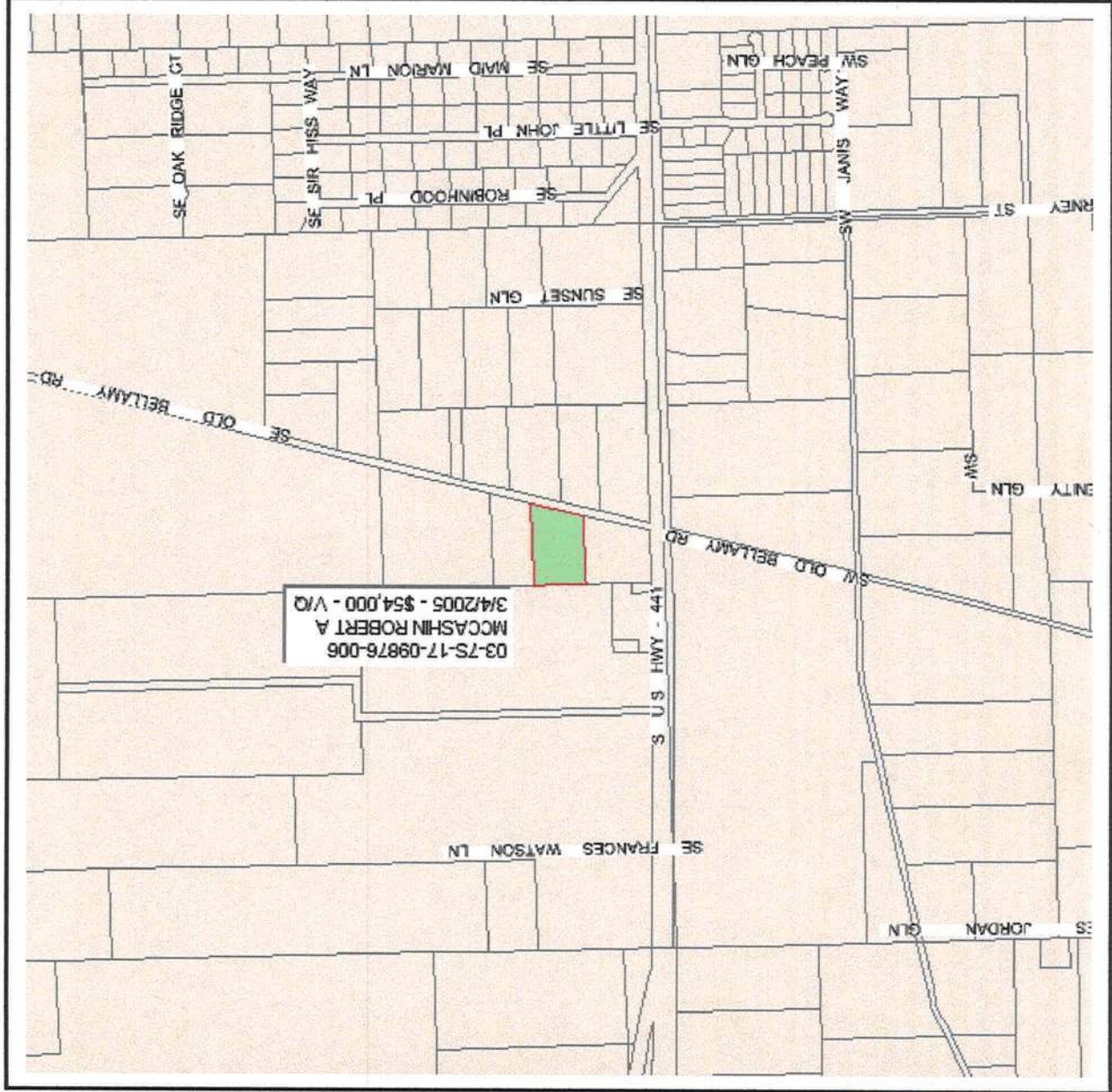


CamauSA Appraisal System
11/23/2005 10:28
Legal Description Maintenance
* PRIOR YEAR *
Sel
2005, R. 03-7S-17-09876-006
MCCASHIN ROBERT A
851 TOTAL
Land 000
AG 001
Bldg 000
Xfea 000
B

1	COMM AT SW COR OF SEC, RUN E, 100 FT TO E R/W OF U S HWY	2
3	441, N ALONG R/W 2539.50 FT, E 454.68 FT FOR POB, CONT EAST	4
5	369.49 FT, S 640.26 FT N76-50-26W 382.14 FT, N 541.03 FT TO	6
7	POB ORB 1039-2462	8
9		10
11		12
13		14
15		16
17		18
19		20
21		22
23		24
25		26
27		28

F1=Task F3=Exit F4=Prompt F10=GOTO PgUp/PgDn F24=More
Mnt 4/01/2005 LARRY

23079



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 03-7S-17-09876-006 - CROPLAND C (005200)

COMM AT SW COR OF SEC, RUN E 100 FT TO E R/W OF U S HWY 441, N ALONG R/W 2539.50 FT, E

Name: MCCASHIN ROBERT A

Site: 9919 NW 240TH TERR

Mail: ALACHUA, FL 32615

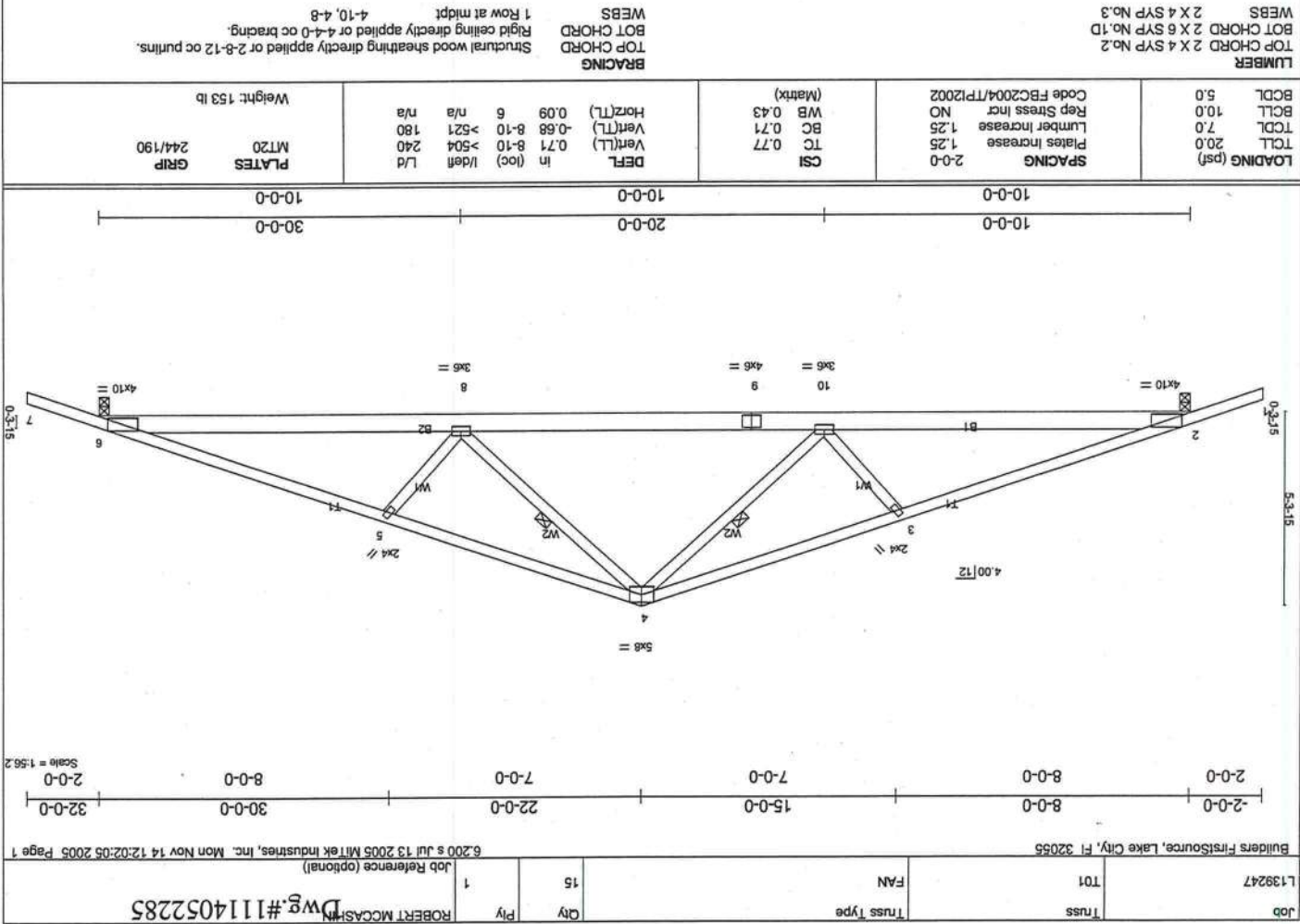
Sales Info: 3/4/2005 \$54,000.00 V / O

LandVal	\$0.00
BldgVal	\$0.00
AppVal	\$851.00
JustVal	\$27,054.00
Assd	\$851.00
Exmpt	\$0.00
Taxable	\$851.00

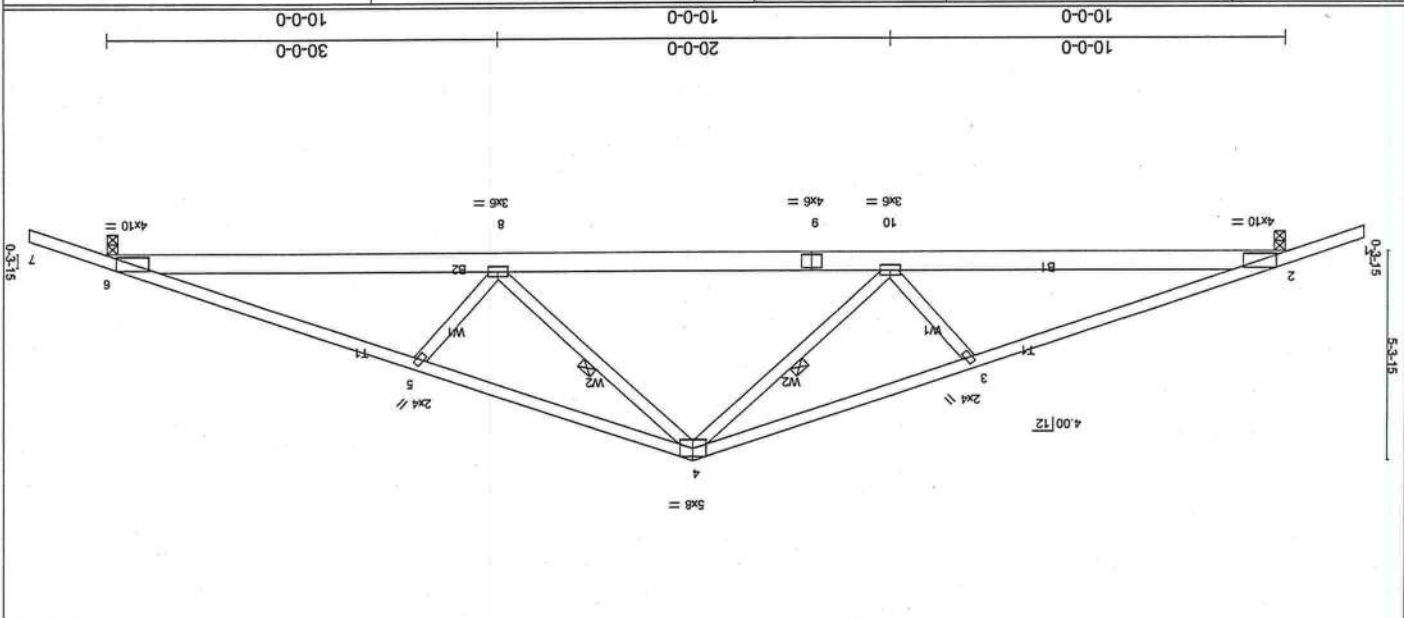


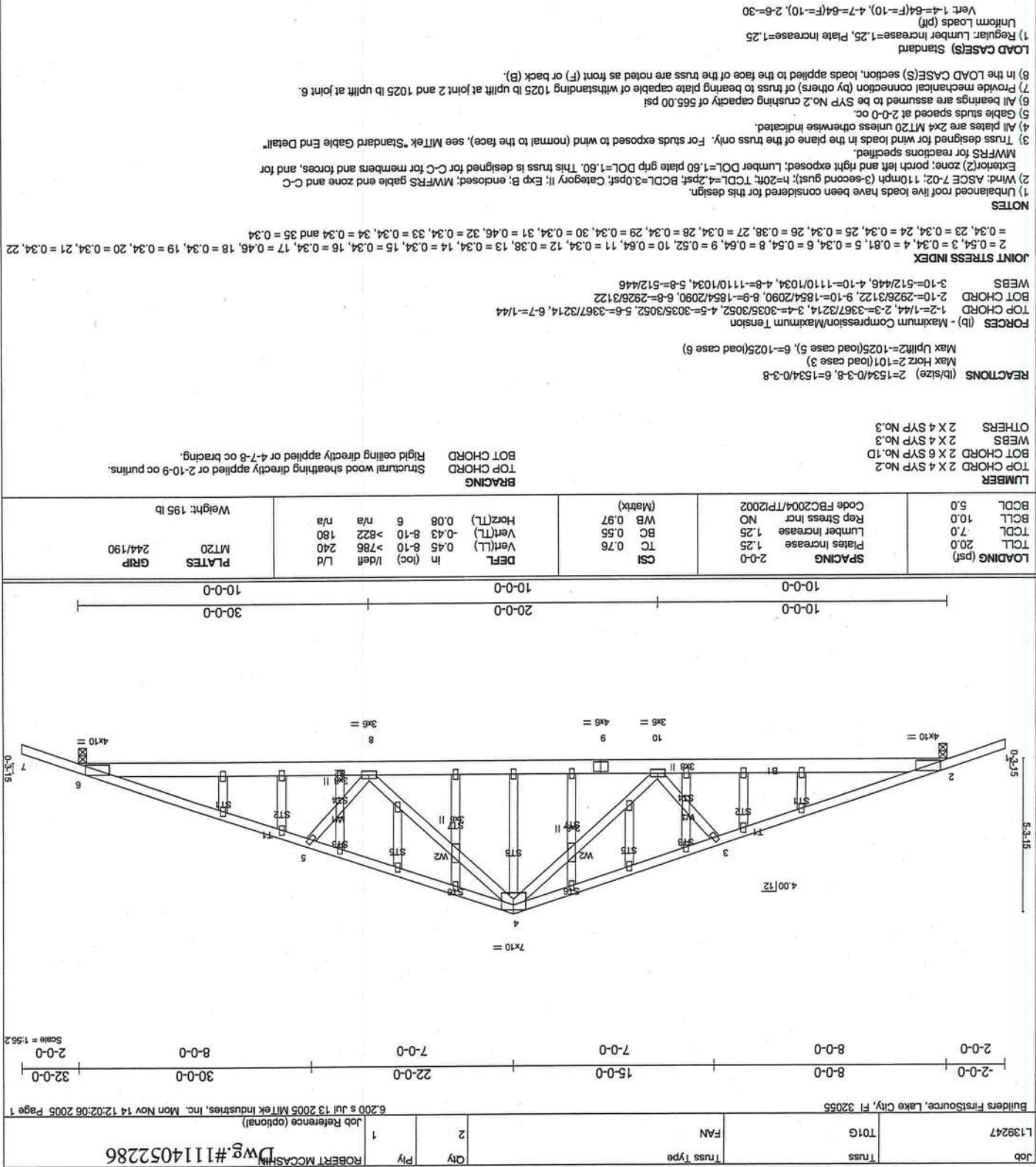
0 0.09 0.18 0.27 mi

This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



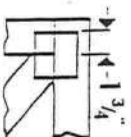
LOADING (psf)	SPACING	DEFL	BRACING	REACTIONS	FORCES	JOINT STRESS INDEX	NOTES
BCDL 5.0 BCLL 10.0 TCDL 7.0 TOLL 20.0	2-0-0 Plates Increase 1.25 Rep Stress Incr NO Code FBC2004/TP12002	CSI 0.77 TC 0.71 WB 0.43 (Mathx)	DEFL In (loc) l/d Vert (LL) 0.71 8-10 >504 240 L/d Vert (TL) -0.68 8-10 >521 180 Horz (TL) 0.09 6 n/a n/a	TOP CHORD 2 X 4 SYP No. 2 BOT CHORD 2 X 6 SYP No. 10 WEBS 2 X 4 SYP No. 3	(b) - Maximum Compression/Maximum Tension TOP CHORD 1-2=0/37, 2-3=3860/3722, 3-4=3583/3612, 4-5=3583/3612, 5-6=3860/3722, 6-7=0/37 BOT CHORD 2-10=-3397/3599, 9-10=-2172/2412, 8-9=-2172/2412, 6-8=-3397/3599 3-10=-425/361, 4-10=-1402/1330, 4-8=-1402/1330, 5-8=-425/361	2 = 0.62, 3 = 0.34, 4 = 0.88, 5 = 0.34, 6 = 0.62, 8 = 0.82, 9 = 0.76 and 10 = 0.82	1) Unbalanced roof live loads have been considered for this design. 2) Wind: ASCE 7-02: 110mph (3-second gust); h=20ft; TCDF=4.2psf; BCDL=3.0psf; Category II; Exp B; enclosed; MWFRS gable end zone and C-C Extension(2) zone; porch left and right exposed; Lumber DOL=1.60 plate gnp DOL=1.60. This truss is designed for C-C for members and forces, and for MWFRS for reactions specified. 3) All beamings are assumed to be SYP No. 2 crushing capacity of 565.00 psi 4) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1079 lb uplift at joint 2 and 1079 lb uplift at joint 6. 5) In the LOAD CASE(S) section, loads applied to the face of the truss are noted as front (F) or back (B). LOAD CASE(S) Standard 1) Regular Lumber Increase=1.25, Plate Increase=1.25 Uniform Loads (psf) Vert: 1-4=-54, 4-7=-54, 2-10=-30, 8-10=-80(F=-50), 6-8=-30



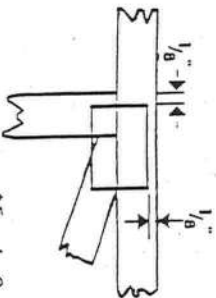


Symbols

PLATE LOCATION AND ORIENTATION



- Center plate on joint unless dimensions indicate otherwise. Dimensions are in inches. Apply plates to both sides of truss and secure seal.



- For 4 x 2 orientation, locate plates 1/8" from outside edge of truss and vertical web.



- This symbol indicates the required direction of slots in connector plates.

PLATE SIZE

4 X 4

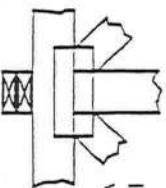
The first dimension is the width perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING



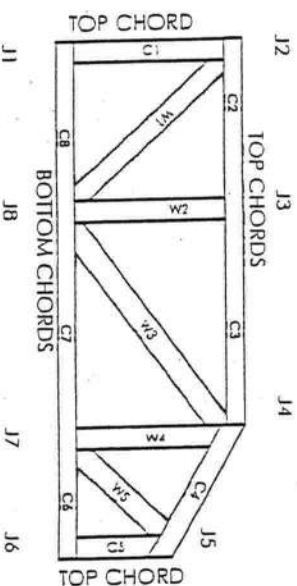
Indicates location of required continuous lateral bracing.

BEARING



Indicates location of joints at which bearings (supports) occur.

Numbering System

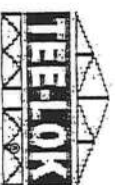


JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRUSS STARTING AT THE LOWEST JOINT FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

CONNECTOR PLATE CODE APPROVALS

BOCA	96-31, 96-67
ICBO	3907, 4922
SBCCI	9667, 9432A
WISC/DILHR	960022-W, 970036-N
NER	561



MITek Engineering Reference Sheet: MIT-7473



General Safety Notes

Failure to Follow Could Cause Properly Damage or Personal Injury

- Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
- Cut members to bear tightly against each other.
- Place plates on each face of truss at each joint and embed fully. Avoid knots and wane at joint locations.
- Unless otherwise noted, locate chord splices at 1/4 panel length (± 6" from adjacent joint.)
- Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
- Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
- Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
- Plate type, size and location dimensions shown indicate minimum plating requirements.
- Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified.
- Top chords must be sheathed or purlins provided at spacing shown on design.
- Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
- Anchorage and / or load transferring connections to trusses are the responsibility of others unless shown.
- Do not overload roof or floor trusses with stacks of construction materials.
- Do not cut or alter truss member or plate without prior approval of a professional engineer.
- Care should be exercised in handling, erection and installation of trusses.

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AT00217890025107

RONNIE BRANNON, CFC

COLUMBIA COUNTY TAX COLLECTOR

2005

REAL ESTATE

01282010000

ACCOUNT NUMBER

009876-006

ESCROW CD

ASSESSED VALUE

EXEMPTIONS

TAXABLE VALUE

MILLAGE CODE

003

0021789 02 AT 0.517 **AUTO T3 0 0810 32615-123

|||||

MCCASHIN ROBERT A
9919 NW 240TH TERR
ALACHUA FL 32615

SEE INSERT FOR IMPORTANT INFO
AND TELEPHONE NUMBERS
WWW.COLUMBIATAXCOLLECTOR.COM

03-7S-17 5200/5200 5.01 Acres
COMM AT SW COR OF SEC, RUN E
100 FT TO E R/W OF U S HWY
441, N ALONG R/W 2539.50 FT, E
454.68 FT FOR POB, CONT EAST
369.49 FT, S 640.26 FT N76-50-

TAXING AUTHORITY		MILLAGE RATE (DOLLARS PER \$1,000 OF TAXABLE VALUE)		TAXES LEVIED	
0001	BOARD OF COUNTY COMMISSIONERS	8.7260		7.43	
8002	COLUMBIA COUNTY SCHOOL BOARD				
	DISCRETIONARY	.7600		.65	
	LOCAL	5.1950		4.42	
	CAPITAL OUTLAY	2.0000		1.70	
W SR	SUWANNEE RIVER WATER MGT DIST	.4914		.42	
HLSH	SHANDS AT LAKE SHORE	1.7500		1.49	
IIDA	INDUSTRIAL DEVELOPMENT AUTH	.1380		.12	

TOTAL MILLAGE		19.0604	AD VALOREM TAXES	\$16.23
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LEVYING AUTHORITY		RATE		AMOUNT	
NON-AD VALOREM ASSESSMENTS					
FFIR FIRE ASSESSMENTS				28.09	

PAY ONLY ONE AMOUNT IN YELLOW SHADED AREA		NON-AD VALOREM ASSESSMENTS		\$28.09	
COMBINED TAXES AND ASSESSMENTS		\$44.32		PAY ONLY ONE AMOUNT	
				See reverse side for important information.	

IF PAID BY	Nov 30	42.55	Dec 31	42.99	Jan 31	43.43	Feb 28	43.88	Mar 31	44.22	IF PAID
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COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 2949 * Lake City, FL 32056-2949
PHONE: (386) 752-8787 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: March 14, 2005

ENHANCED 9-1-1 ADDRESS:

243 SE OLD BELLAMY RD (HIGH SPRINGS, FL 32643)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS:

PROPERTY APPRAISER MAP SHEET NUMBER: 134

PROPERTY APPRAISER PARCEL NUMBER: 03-7S-17-09876-000 (PARENT)

Other Contact Phone Number (If any):

Building Permit Number (If known):

Remarks:

Address Issued By:

Columbia County 9-1-1 Addressing Department

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR
FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004
WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE
COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING
CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED
ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE
METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR
ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC
WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF

- 1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE 100 MPH
- 2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE 110 MPH
- 3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant ☒ Plans Examiner ☐

All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans. Designer's name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.

Site Plan including:
a) Dimensions of lot
b) Dimensions of building set backs
c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
d) Provide a full legal description of property.

Wind-load Engineering Summary, calculations and any details required ☐

Plans or specifications must state compliance with FBC Section 1609. The following information must be shown as per section 1603.1.4 FBC

- a. Basic wind speed (3-second gust), miles per hour (km/hr).
- b. Wind importance factor, I_w , and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7.
- c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated.
- d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient.
- e. Components and Cladding. The design wind pressures in terms of psf (kN/m^2) to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.

Elevations including:

- a) All sides
- b) Roof pitch
- c) Overhang dimensions and detail with attic ventilation

- c. Crawl space (if applicable)
- b) Wood frame wall
1. All materials making up wall
 2. Size and species of studs
 3. Sheathing size, type and nailing schedule
 4. Headers sized
 5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
 6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
 7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
 8. Fire resistant construction (if applicable)
 9. Fireproofing requirements
 10. Show type of termite treatment (termicide or alternative method)
 11. Slab on grade
 - a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
 12. Indicate where pressure treated wood will be placed
 13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable) - c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)
- Floor Framing System:**
- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
 - b) Floor joist size and spacing
 - c) Girder size and spacing
 - d) Attachment of joist to girder
 - e) Wind load requirements where applicable
- Plumbing Fixture layout**
- Electrical layout including:**
- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
 - b) Ceiling fans
 - c) Smoke detectors
 - d) Service panel and sub-panel size and location(s)
 - e) Meter location with type of service entrance (overhead or underground)
 - f) Appliances and HVAC equipment
 - g) Arc Fault Circuits (AFCI) in bedrooms
 - h) Exhaust fans in bathroom
- HVAC information**
- a) Energy Calculations (dimensions shall match plans)
 - b) Manual J sizing equipment or equivalent computation
 - c) Gas System Type (LP or Natural) Location and BTU demand of equipment
- Disclosure Statement for Owner Builders**
- ***Notice Of Commencement Required Before Any Inspections Will Be Done**
- Private Potable Water**
- a) Size of pump motor
 - b) Size of pressure tank
 - c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

✓ 1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.

✓ 2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.

3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)

4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321

5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.** A development permit will also be required. Development permit cost is \$50.00

6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.

✓ 7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE - TIME WILL NOT ALLOW THIS - PLEASE DO NOT ASK

Project Name: McCashin Robert

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS	Field-Way	But Side Metal Door	See Attached

Contractor or Contractor's Authorized Agent Signature

Print Name

Date

Document # / END STAFF TICE ONI VA

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite: (1) copy of the product approval, (2) the performance characteristics which the product was tested and certified to comply with, (3) copy of the applicable manufacturers installation requirements. I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Category (cont.)	Manufacturer	Product Description	Approval Number(s)
Applied Roof Sys			
Adhesives -			
Roof Tile Adhesive			
Spray Applied Polyurethane Roof	Tremco Inc.		
Other	Tremco Metals	29 Gauge Metal Screws with Washers	
SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor	Simpsow	See eng. Blue Prints	
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

3 - Windows

Series 740/3740 Single Hung - Nail Fin Frame

THIS FENESTRATION PRODUCT COMPLIES * WITH THE

NEW FLORIDA BUILDING CODE

FOR RESIDENTIAL BUILDINGS WITH A MEAN ROOF HEIGHT OF 30 FT. OR LESS, **EXPOSURE "B"** (WHICH IS INLAND OF A LINE THAT IS 1500 FT. FROM THE COAST), AND **WALL ZONE "5"** (INSTALLED NEAR THE CORNER OF THE BUILDING).

PER **ASTM E1300**, THE CORRECT GLASS THICKNESS, BASED ON THE **NEGATIVE** DESIGN PRESSURE (DP) LISTED BELOW, HAS BEEN INSTALLED IN THIS UNIT. THE GLASS THICKNESS IS BASED ON ITS' WIDTH, HEIGHT, AND ASPECT RATIO.

WIND ZONE: 140 MPH

DESIGN PRESSURE (DP): + 45.0 / -47.2

THIS PRODUCT MEETS THE REQUIREMENTS FOR STRUCTURAL LOADS, WATER AND AIR INFILTRATION PER ATTACHED **AAMA** PERFORMANCE LABEL. BE ADVISED THAT IF LOADS ARE PLACED UP TO OR EXCEEDING THE TESTED LEVELS, THIS PRODUCT MAY BE ALTERED IN SUCH A WAY THAT FUTURE PERFORMANCE WILL BE REDUCED.

* COMPLIANCE MUST INCLUDE INSTALLATION ACCORDING TO MANUFACTURER'S INSTRUCTIONS (OR TEST REPORT) AND FLORIDA CODE REQUIREMENTS.

BetterBlit, Division of M.I. Home Products

**AAMA/NWDA 101/LS.2-97
TEST REPORT SUMMARY**

Rendered to:

MI HOME PRODUCTS, INC.

SERIES/MODEL: 740/744/3740

TYPE: Aluminum Single Hung Window with Nail Fin

Title of Test	Results
Rating	H-R45 52 x 71
Overall Design Pressure	+45.0 psf -47.2 psf
Operating Force	26 lb max
Air Infiltration	0.09 cfm/ft²
Water Resistance	6.75 psf
Structural Test Pressure	+67.5 psf -70.8psf
Deglazing	Passed
Forced Entry Resistance	Grade 10

reference should be made to Report No. 01-40656.04 for complete test item description and data.

ARCHITECTURAL TESTING, INC.


K. A. Hess, Technician

22 March 2002
1055682000 Item #0712

2- Outside Main Doors

R W Building Consultants, Inc.

Consulting and Engineering Services for the Building Industry

P.O. Box 230 Valrico, FL 33594 Phone 813.684.3831 Facsimile 813.684.3831

ENGINEER'S NOTICE OF EVALUATION # GSI-162F

JELD-WEN, INC.
3250 Lakeport Blvd.
Klamath Falls, Oregon 97601
Phone 541.783.2057 Facsimile 541.783.3592

DESCRIPTION OF UNIT

Model Designation: DoorCraft® Gladiator® Steel Door (Glazed or Opaque) with or without Side-Lites

Maximum Overall Nominal Size: up to 5'4 x 6'8 Usable In-swing Configurations: X, OXO, XO & OX

General Description: The head and jambs are wood measuring 4.5" x 1.25" with an extruded aluminum saddle threshold. The door panels and sidelite panels are 1.75" thick and consist of two 2.5 gauge (min 0.018") steel skins glued to wood stiles and rails with an expanded polystyrene core. The glazed models are routed to receive 1/2" insulated tempered lip lite inserts manufactured by ODL.

FBC Section 1707 Materials and Assembly Tests:

(1707.4.3 Exterior Door Assemblies, 1707.4.5 Millions Door Assemblies)

Test	Description	Test Location	Date	Report No.	Certifying Engineer
ASTM E330	Uniform Static Air Pressure	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTL A456W S98-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
AAMA 1302.5	Forced Entry	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTL A456W S98-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
ASTM E331	** Water Penetration	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTL A456W S98-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
ASTM E283	Air Infiltration	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTL A456W S98-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891

** Sidelites are considered a window and meet 15% of Positive Design Pressure water infiltration criteria under ASTM E331.

Design Pressure Ratings:

Configuration	Maximum Size	Design Pressure Ratings
Opaque Single	X Up To 6'0 x 6'8	+48.00 -48.00
Opaque Single with Sidelites	XO, OX, OXO Up To 5'4 x 6'8	+48.00 -48.00
Glazed Single	X Up To 6'0 x 6'8	+48.00 -48.00
Glazed Single with Sidelites	XO, OX, OXO Up To 5'4 x 6'8	+48.00 -48.00

Installation and Anchoring: See reverse side this page

Use

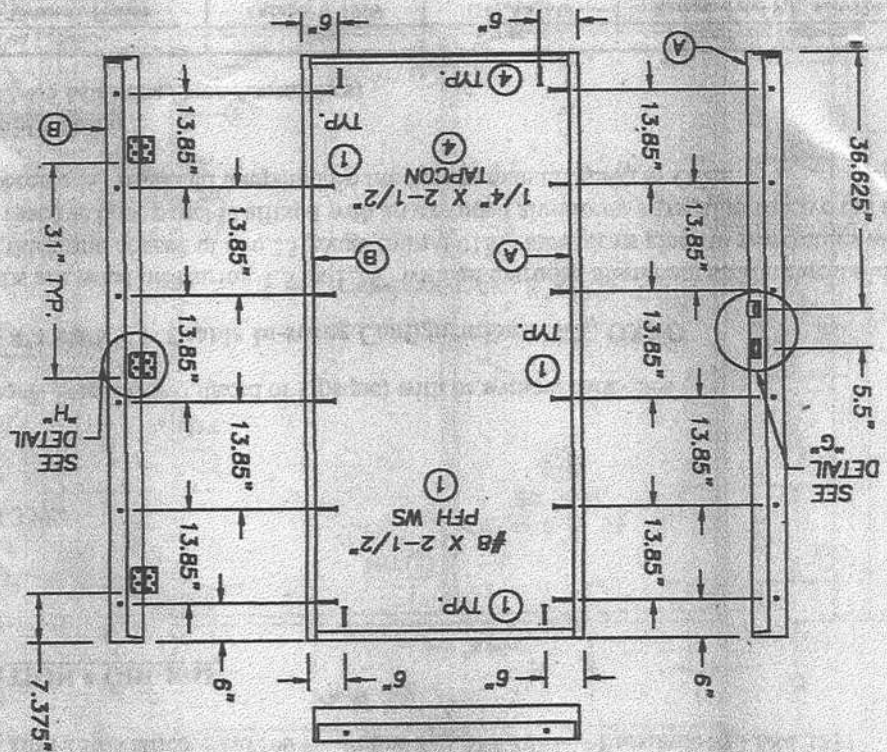
1. Evaluated for use in locations adhering to the Florida Building Code and where pressure requirements as determined by ASCE 7 Minimum Design Loads for Buildings and Other Structures does not exceed the design pressure ratings listed above.

2. For Masonry installations where the sub-buck is less than 1-1/2 inches (FBC section 1707.4.4 Anchorage Methods and sub-sections 1707.4.4.1 and 1707.4.4.2) same diameter Tapcon type concrete anchors must be substituted and the length must be such that a minimum 1-1/4" engagement of the Tapcon into the masonry wall is obtained.

Certification:

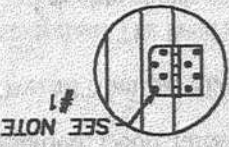
Florida Professional Engineer - Seal No. 54158 March 12, 2002 Wendell Haney

DoorCraft® Gladiator® Wood Edge In-swing Steel Door Maximum Size Up To 5'4 x 6'8

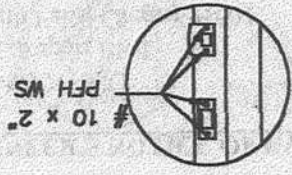


NOTE NO. 1:
WHEN ATTACHING THE
HINGE JAMB TO THE
SIDELITE JAMB USE A
#10 X 1 1/2" PFH WS.
WHEN ANCHORING A 3'0 X 8'0
DOOR TO SUB BUCK USE A
#10 X 2" PFH WS, AND A
#9 X 1" PFH WS IN THE
REMAINING OF HOLES.

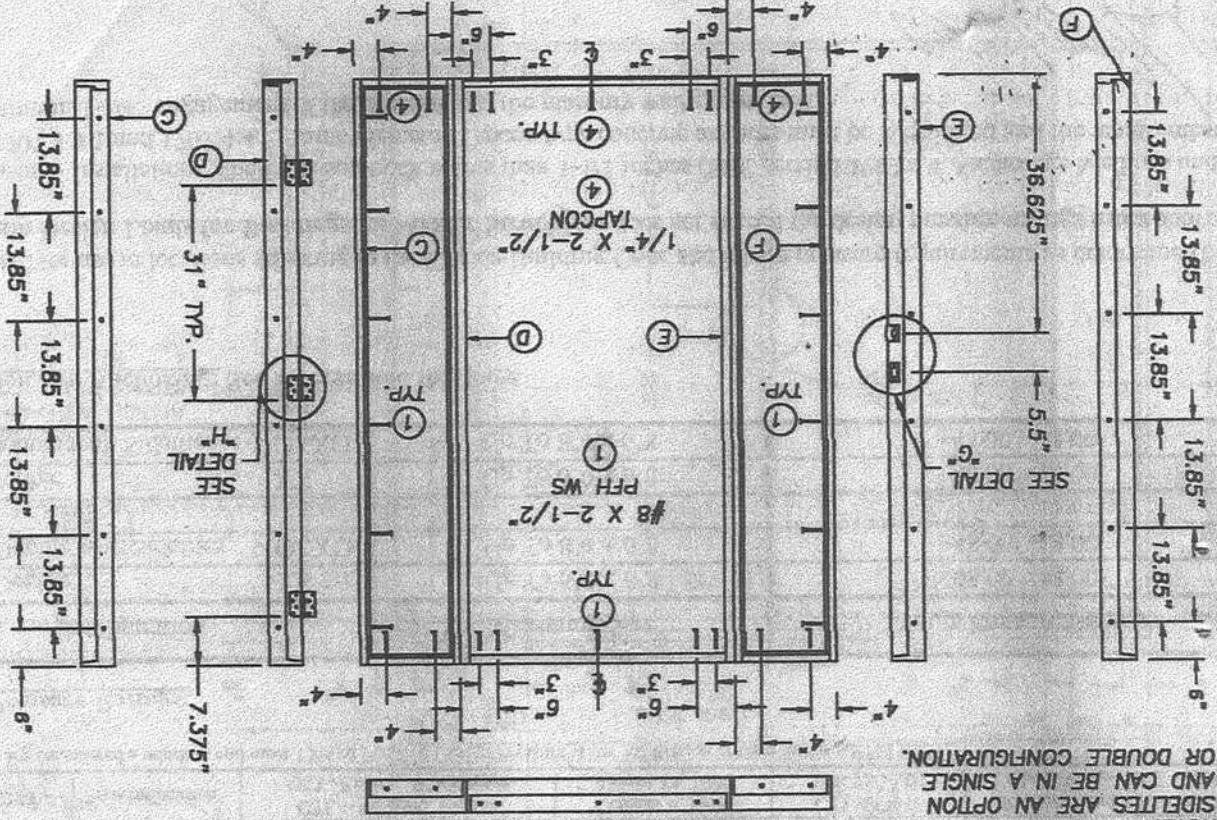
DETAIL "H"
HINGE TO DOOR
AND FRAME



DETAIL "G"
STRIKE AND DEADBOLT
PLATES TO FRAME



NOTE:
SIDELITES ARE AN OPTION
AND CAN BE IN A SINGLE
OR DOUBLE CONFIGURATION.



Garage Door

Residential List

W3										Florida Approval Seq. No.
WV	Model Numbers (Clopay Dealer)	Model Numbers (Clopay Retail)	Drawing Number (Clopay)	Door Width (Max) FxIn	Door Height (Max) FxIn	Design Load Positive (PSF)	Design Load Negative (PSF)	Double End Stiles?	Horizontal Reinforcement	
W3	1000, 1001	183, 187	101784	16-0	8-0	20	21	N	3" U-Bar (2-1-2-1)	3026R1.1
W3	4050, 4051, 4053	2050, 2051	101655	9-0	8-0	20	20	N	2-1/4" U-Bar (3 total)	4914.1
W3	4050, 4051, 4053	2050, 2051	101820	16-0	8-0	20	21	N	3" U-Bar (2-1-2-1)	4914.2
W3	73, 94, 1500	75, 84A	101308	16-0	8-0	20	21	N	3" U-Bar (2-1-1-1)	3026R1.2
W4										
WV	Model Numbers (Clopay Dealer)	Model Numbers (Clopay Retail)	Drawing Number (Clopay)	Door Width (Max) FxIn	Door Height (Max) FxIn	Design Load Positive (PSF)	Design Load Negative (PSF)	Double End Stiles?	Horizontal Reinforcement	Florida Approval Seq. No.
W4	4400, 4401, 4310, 4300, 4301	HDG, HDGL	101652	9-0	8-0	28	29	N	2-1/4" U-Bar (3 total)	3026R1.3
W4	4400, 4401, 4310, 4300, 4301	HDG, HDGL	101481	16-0	8-0	25.5	26.5	N	3" U-Bar (2-1-1-1)	3026R1.5
W4	4400, 4401, 4310, 4300, 4301	HDG, HDGL	101247	18-0	8-0	25	25	N	3" U-Bar (2-2-2-2)	3026R1.8
W4	H300, H301, H310, H400, H401	N/A	102486	9-0	12-0	28	29	N	2-1/4" U-Bar (3 total)	3026R1.3
W4	H300, H301, H310, H400, H401	N/A	102489	16-0	12-0	25.5	25.5	N	3" U-Bar (2-1-1-1)	3026R1.5
W4	H300, H301, H310, H400, H401	N/A	102490	18-0	10-0	25	25	N	3" U-Bar (2-2-2-2)	3026R1.8
W4	73, 94, 1500	75, 84A	300159	9-0	8-0	25	32	N	3" U-Bar (1-1-1-1)	3026R1.4
W4	73, 94, 1500	75, 84A	101711	16-0	8-0	24	24.5	N	3" U-Bar (2-1-2-1)	3026R1.6
W4	73, 94, 1500	75, 84A	101312	18-0	8-0	25	25	N	4" C-Channel (1-1-1-1)	3026R1.9
W4	76	N/A	102429	9-0	8-0	25	32	N	3" U-Bar (1-1-1-1)	3026R1.4
W4	H73, H76, H94, H500	N/A	102485	9-0	12-0	25	32	N	3" U-Bar (1-1-1-1)	3026R1.4
W4	H73, H94, H500	N/A	102486	16-0	12-0	24	24.5	N	3" U-Bar (2-1-2-1)	3026R1.6
W4	H73, H94, H500	N/A	102487	18-0	12-0	25	25	N	4" C-Channel (1-1-1-1)	3026R1.9
W4										
W4	C11, C12, C13, C21, C22, C23, HC11, HC12, HC13	C11, C12, C13, C21, C22, C23	103046	16-0	10-0	25	25	N	3" U-Bar (2-2-2-2)	3026R1.7
W4	G4S, G4SV, G4L, G4LV	G4S, G4SV, G4L, G4LV	103486	9-0	12-0	25	25	N	3" U-Bar (2-1-1-1)	4587.1
W4	G4S, G4SV, G4L, G4LV	G4S, G4SV, G4L, G4LV	103454	16-0	12-0	25	25	N	3" U-Bar (2-1-2-1 with 2 on ea 24" section)	4587.2
W4	G4S, G4SV	G4S, G4SV	103402	18-0	7-0**	25	25	N	4" C-Channel (1-1-1-1)	4914.3

** - doors are only approved for 7H

Residential List

W5

W	Model Numbers (Clopay Dealer)	Model Numbers (Clopay Retail)	Drawing Number (Clopay)	Door Width (Max) Ft-in	Door Height (Max) Ft-in	Design Load Positive (PSF)	Design Load Negative (PSF)	Double End Siles?	Horizontal Reinforcement	Florida Approval Seq. No.
W5	Reserve Coll. (Hemlock)	Reserve Coll. (Hemlock)	102466	9-0	8-0	32	36	N	2-1/4" U-Bar (2-1-1)	4914.4
W5	Reserve Coll. (Hemlock)	Reserve Coll. (Hemlock)	102536	16-0	8-0	30	33.3	N	4" C-Channel (1-1-1-1)	4914.10
W5	1000, 1001	183, 187	101242	9-0	8-0	30	32	N	3" U-Bar (1-1-1-1)	3026R1.10
W5	1000, 1001	183, 187	101345	16-0	8-0	30	30	Y	4" C-Channel (1-1-1-1)	3026R1.15
W5	4050, 4051, 4053	2050, 2051	101595	16-0	8-0	30	30	N	3" U-Bar (2-2-2-2)	4914.7
W5	4050, 4051, 4053	2050, 2051	102185	16-0	8-0	32	32	N	3" U-Bar (2-2-2-2) HY*	4914.6
W5	73, 94, 1500	75, 84A	102110	9-0	8-0	30	32	N	3" U-Bar (2-1-1-1)	3026R1.11
W5	73, 94, 1500	75, 84A	101593	16-0	8-0	30	30	N	3" U-Bar (2-2-2-2)	3026R1.16
W5	73, 94, 1500	75, 84A	101922	16-0	8-0	32	32	N	3" U-Bar (2-2-2-2) HY*	3026R1.14
W5	76	N/A	102548	9-0	8-0	30	32	N	3" U-Bar (2-1-1-1)	3026R1.11
W5	76	N/A	102416	16-0	8-0	30	30	N	3" U-Bar (2-1-1-1)	3026R1.16
W5	H73, H76, H94, H500	N/A	102512	16-0	12-0	30	30	N	3" U-Bar (2-2-2-2)	3026R1.9
W5	N/A	N/A	N/A	16-0	12-0	30	30	N	3" U-Bar (2-2-2-2)	3026R1.9
W5	C11, C12, C13, C21, C22, C23, C31, C32, C33, C34, C35, HC11, HC12, HC13, HC31, HC32, HC33, HC34, HC35	C11, C12, C13, C21, C22, C23, C31, C32, C33, C34, C35	102996	9-0	10-0	33	37	N	3" U-Bar (2-1-1-1)	3026R1.12
W5	C11, C12, C13, C21, C22, C23, C31, C32, C33, C34, C35, HC11, HC12, HC13, HC31, HC32, HC33, HC34, HC35	C11, C12, C13, C21, C22, C23, C31, C32, C33, C34, C35	102997	16-0	10-0	30	30	N	3" U-Bar (2-2-2-2)	3026R1.17
W5	GS4, GS4V, G4L, G4LV	GS4, GS4V, G4L, G4LV	103487	9-0	12-0	30	32	N	3" U-Bar (2-1-1-1 with 2 on every odd 24" section)	4587.3
W5	GS4, GS4V, G4L, G4LV	GS4, GS4V, G4L, G4LV	103471	16-0	12-0	30	30	N	3" U-Bar (2-2-2-2 with 3 on every odd 24" section)	4587.4
W5	AV	N/A	103445	12-2	18-0	32	32	N	2"x2" Alum. Angle (2-1-1-1)	4914.5
W5	AV	N/A	103447	16-2	18-0	32	32	Y	4" C-Channel (1-1-1-1)	4914.9
W5	AV	N/A	103446	16-2	18-0	30	30	Y	Offset 2"x2" Alum. Angle (2-1-1-1)	4914.8
W5	AV	N/A	103448	20-2	18-0	30	30	Y	6" C-Channel (1-1-1-1)	4914.11

* - 3" U-Bar specified 80ksi min yield strength steel

W5

#23928

Notice of Preventative Treatments for Termites
(as required by Florida Building Code (FBC) 104.2.6)

EDWARDS PEST CONTROL, 386 454 3051
241 SE HARDIN COURT, HIGH SPRINGS, FL, 32643
243 S.E. Old Bellamy Rd. High Springs, 32643

Address of Treatment or Lot/Block of Treatment

Date	12/12/05
Product Used	ProMise
Chemical used (active ingredient)	Imidacloprid
Area treated (square feet)	1020
Linear feet treated	
Number of gallons applied	150
Applicator	J.W. Edwards
Time	1:00 PM

Stage of treatment (Horizontal, Vertical, Adjoining Slab, retreat of disturbed area)

Horizontal

As per 104.2.6 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial and date this line _____.

#2

MCCASHIN GARAGE

PLANS

COLUMBIA COUNTY, FL

Plan Sheet Index:

Sheet No.	Description
1	title/index sheet
2	floor plan
3	front and right elevations
4	rear and left elevations
5	wall detail/strapping requirements
6	special details
7	foundation plan

Marty J. Humphreis
11-4-05

Office copy

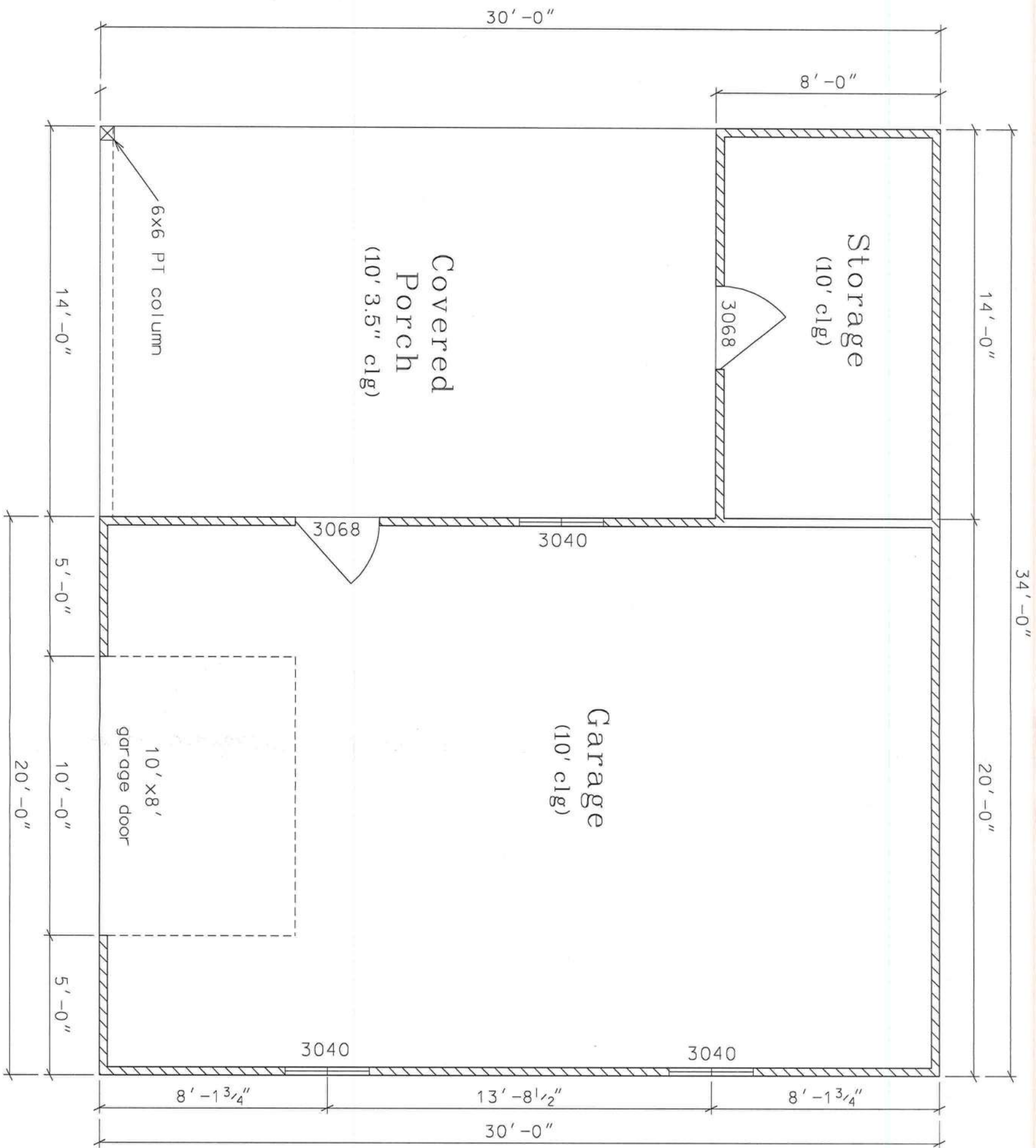
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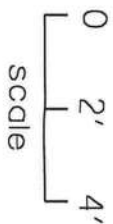
PLANS PREPARED BY:
MARTY J. HUMPHREIS P.E. # 51976
7932 240TH ST., O'BRIEN, FL 32071

MCCASHIN GARAGE
COLUMBIA COUNTY, FLORIDA

SHEET
1
OF
7



FLOOR PLAN



GARAGE & STORAGE - 712 sq. ft.
PORCH - 308 sq. ft.

shear wall locations

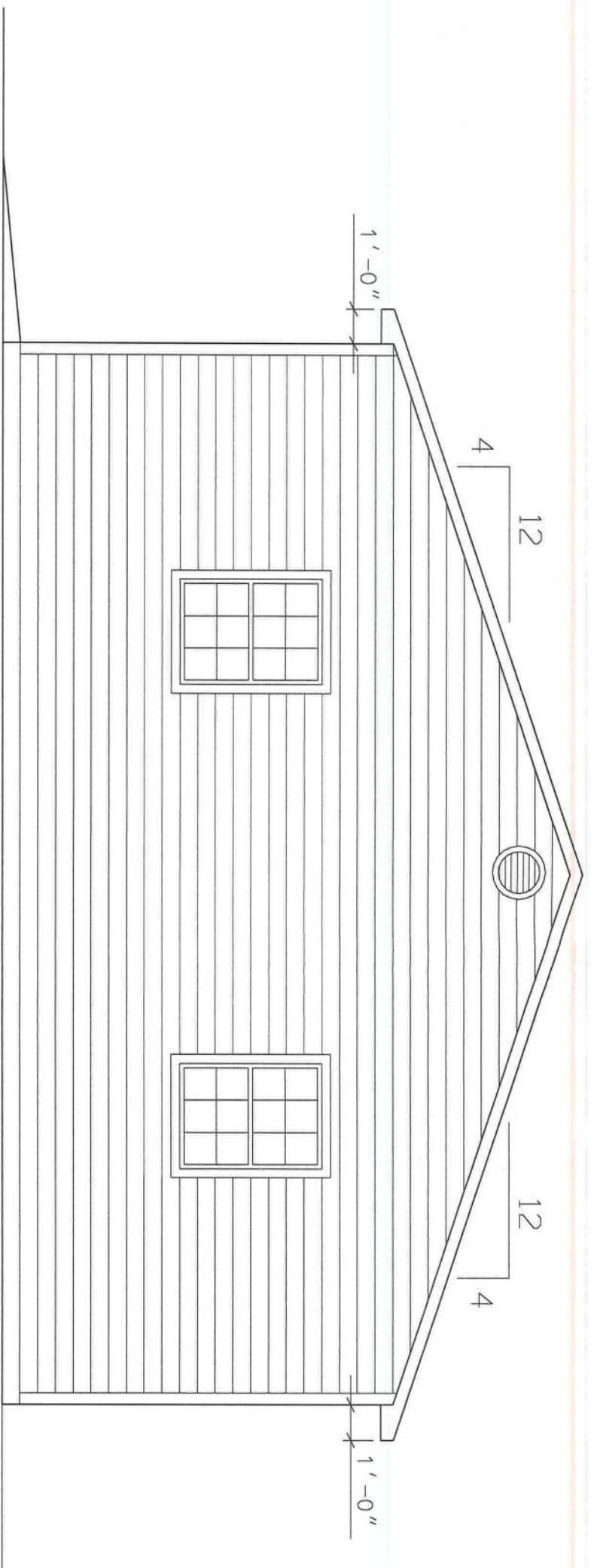
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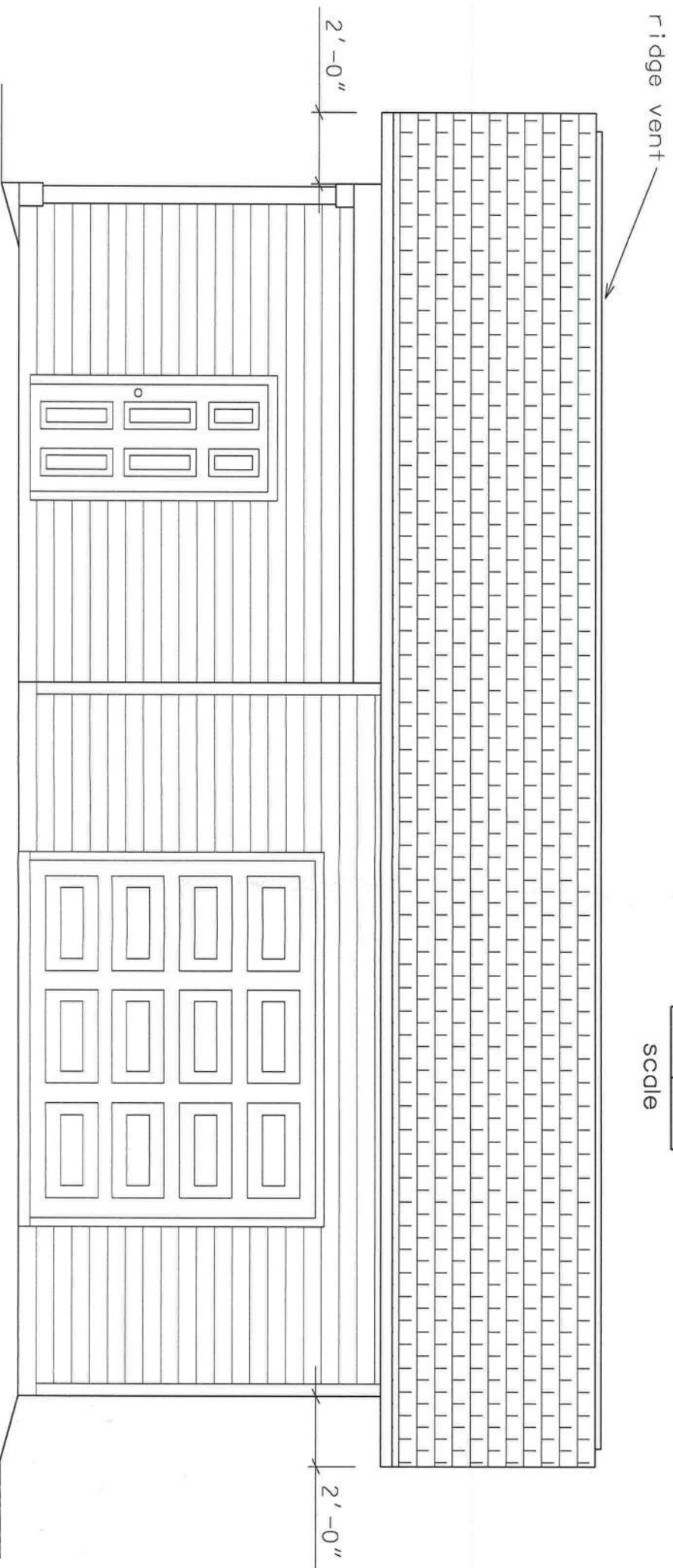


SHEET
2
OF
7



RIGHT ELEVATION

0 2' 4'
scale



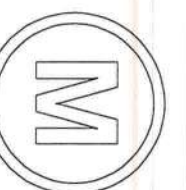
FRONT ELEVATION

0 2' 4'
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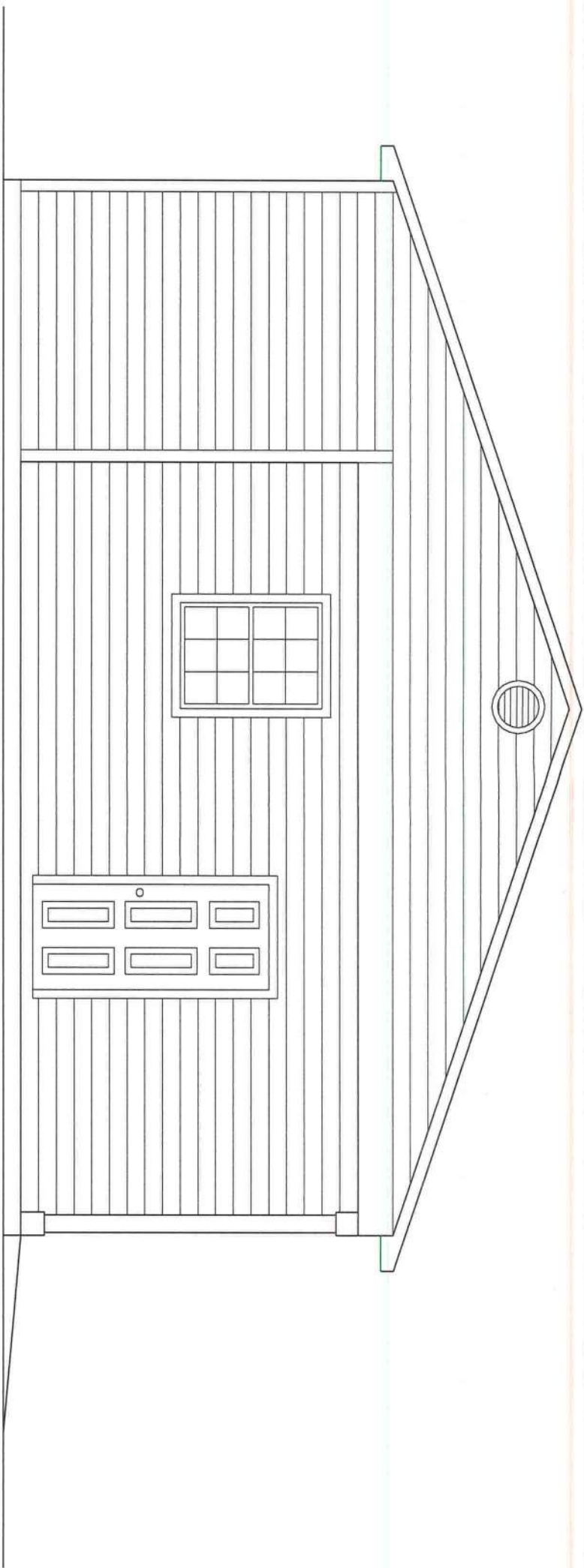
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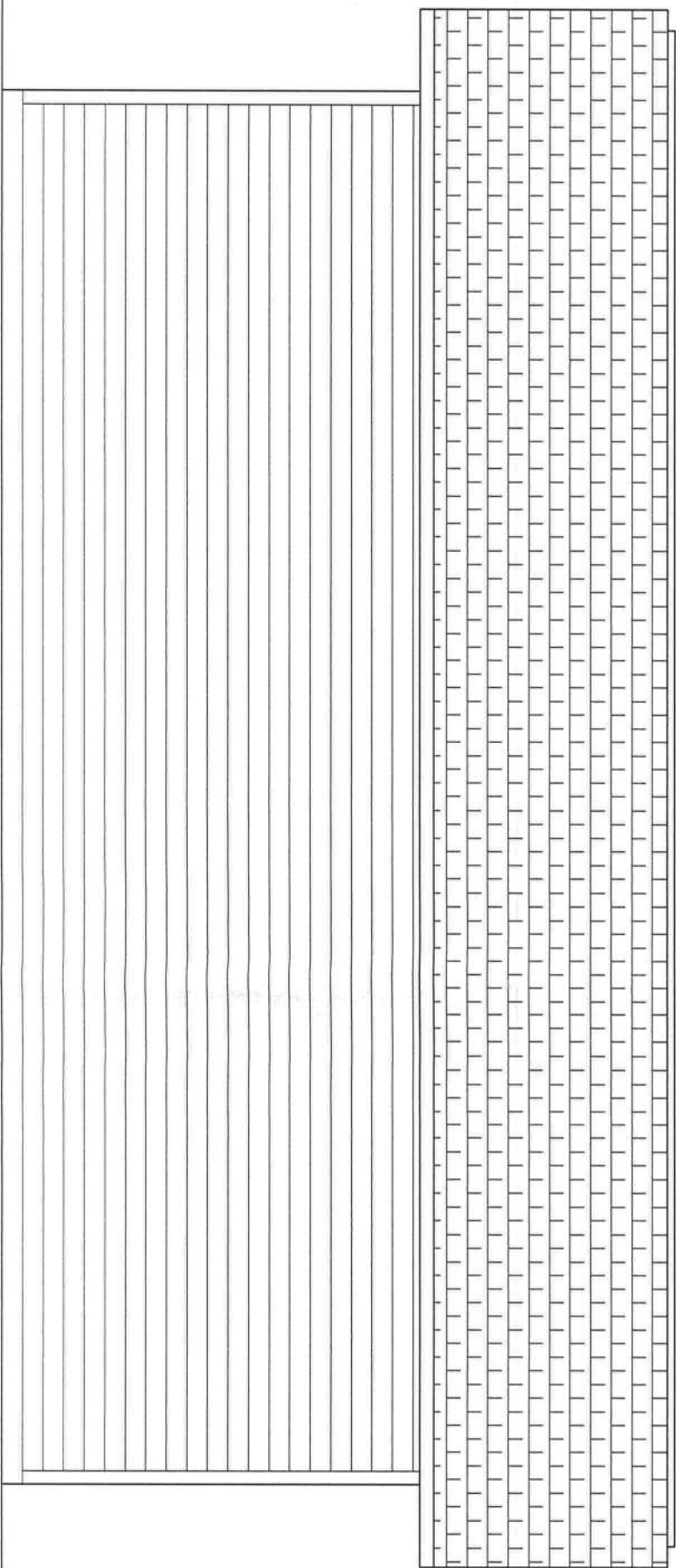


SHEET
3
OF
7



LEFT ELEVATION

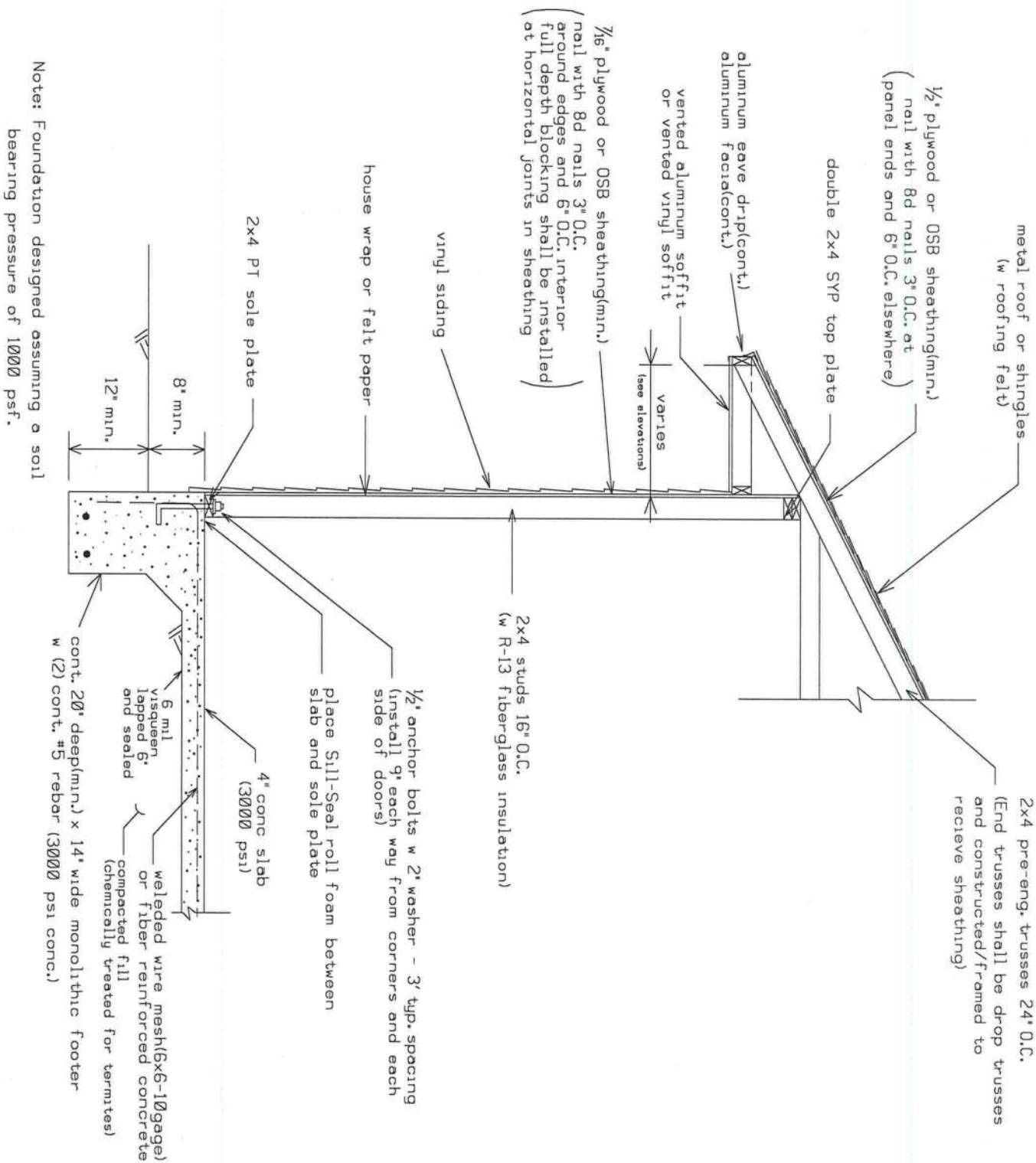
0 2' 4'
scale



REAR ELEVATION

0 2' 4'
scale

Marty J. Humphreis
11-4-05



Note: Foundation designed assuming a soil bearing pressure of 1000 psf.

SECTION A - WALL DETAIL (TYP.) N.T.S.

HEADER SIZES/MATERIAL SHALL BE AS FOLLOWS:
WINDOW AND 3' DOOR OPENINGS: 2" SYP 2X10's with 1/2" plywood between, minimum)
GARAGE DOOR OPENING: 2" SYP 2X12's with 1/2" plywood between, minimum)
PORCH BEAM: 4" SYP 2X12's, minimum)

Marty J. Humphreys
11-4-05

STRAPPING AND ANCHOR REQUIREMENTS
(Designed in accordance with 2004 FBC)

WINDLOAD DATA AND EXPOSURE:

Basic Wind Speed = 110 mph
Importance Factor = 1.0
Exposure Category = B
Residential Occupancy = Group R3
Mean Roof Height = 13' 6"
Height and Exposure Adjustment Coefficient = 1.0
Roof Cross Slope = 4:12
Wall Height = 10'
Analysis Method = FBC 1609.6 - Simplified Provisions for Low Rise Buildings (see tables 1609.6A, 1609.6B, 1609.6C and 1606.2E for wind pressure values)

TRUSS ANCHORS:

At Truss to Exterior Wall Plate Locations and porch beam locations install one Simpson model H10 anchor.

GABLE ENDS:

At gable ends install one Simpson model H5 anchor where lookouts connect to end gable truss.

At left and right end gables install one Simpson LSTA18 - 4' on center connecting gable end truss to wall framing.

BRACING: At each gable end install one 2x4 SPF 8' stud spaced 6' on center horizontal along top of bottom chord of trusses, nail with 2-12d nails at each truss including end truss. In addition, install a 2x4 brace extending from this stud at the gable end truss 45 degrees to truss at roof sheathing, nail with 2-12d nails where it crosses truss members and at ends. Gable end truss shall be built to receive sheathing with vertical members 2' on center. Vertical members of gable end truss greater than 5' in height shall be stiffened with one 2x4 SPF nailed with 12d nails 8" on center to back of vertical member. (see detail)

WALL STRAP TIES:

At top and bottom of walls install one Simpson model SP4 at each side of each widow and door. At each side of the garage door opening install 2-SPH4's each side top and bottom of the wall. At other wall locations install one SP4 at the top and bottom of the wall 4' on center.

Where Porch beam frames into wall install a 1/2" diameter piece of all-thread extending from the anchor bolt to the top of the beam with 2-2" washers and nut at top. Connect to anchor bolt at bottom with Simpson CNW coupler nut.

COLUMN:

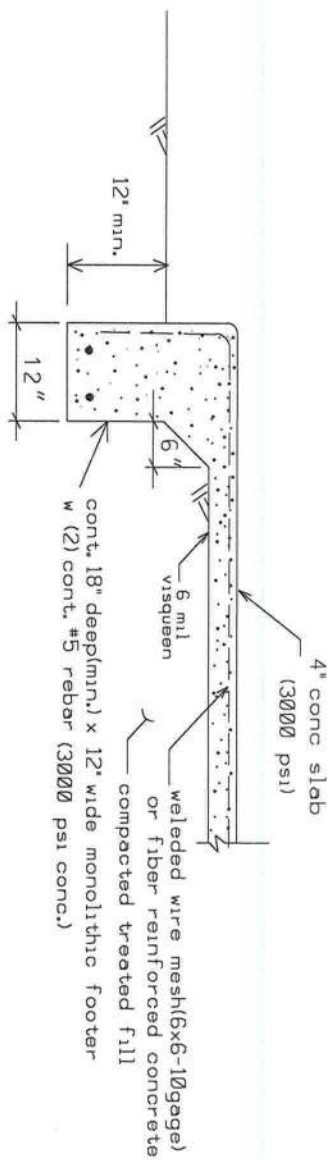
Install Simpson model CB66 and Simpson model CC66.

Equivalent capacity anchors may be substituted, installed in accordance with the manufacturers requirements.

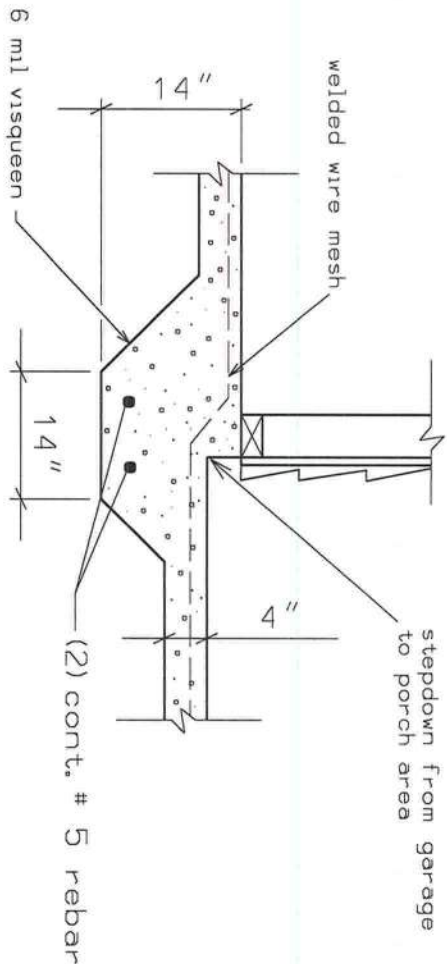


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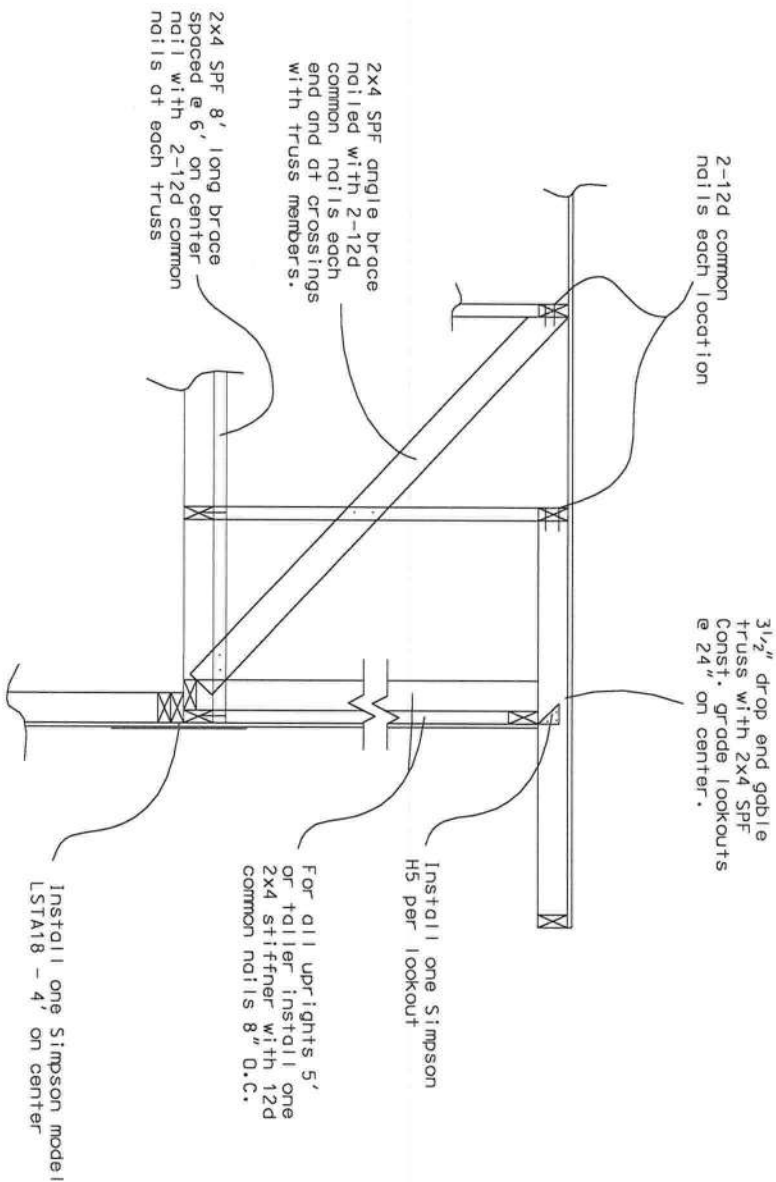
MCCASH IN GARAGE
COLUMBIA COUNTY, FLORIDA



SECTION C - PORCH FOUNDATION DETAIL N.T.S.



SECTION B - FOUNDATION DETAIL N.T.S.



GABLE END BRACING
DETAIL (N.T.S.)

WINDOWS	
SIZE	QUANTITY
3040	3

EXTERIOR DOORS	
SIZE	QUANTITY
3068	2
10080 garage dr	1

WINDOW AND DOOR SIZES

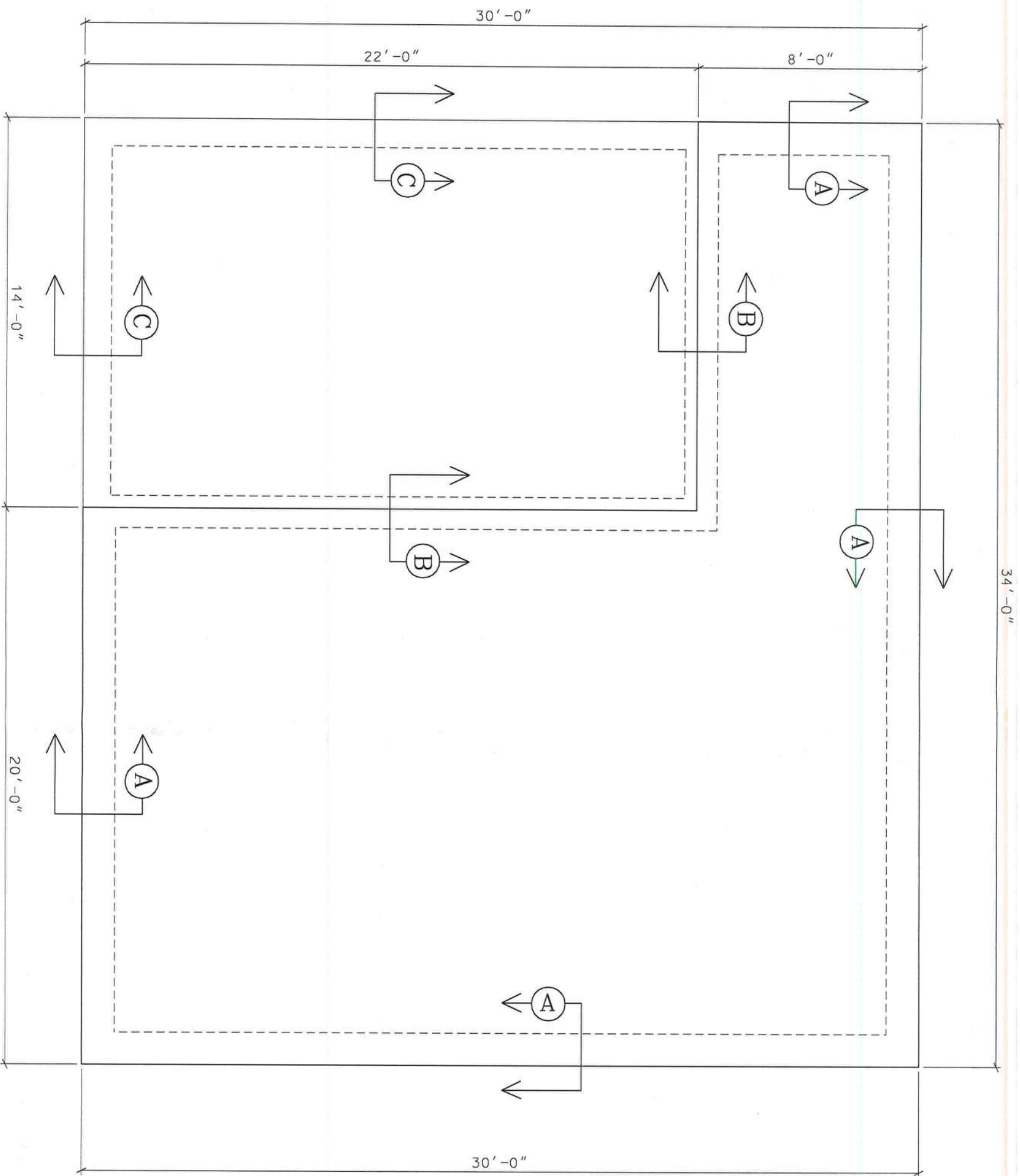
Rough-in dimensions vary per model/make of window/door. Verify actual rough-in dimensions prior to constructing opening.



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MCCASHIN GARAGE
COLUMBIA COUNTY, FLORIDA

Marty J. Humphreis
11-4-05



FOUNDATION PLAN

0 2' 4'
scale

Marty J. Humphreis
11-4-05

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SHEET
7
OF
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