

DATE 04/27/2010

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028512

APPLICANT SUE SHORT PHONE 352 472-4943
ADDRESS P.O. BOX 367 NEWBERRY FL 32669
OWNER ALFRED & ANN MUELLER PHONE 561 746-7501
ADDRESS 1023 SW RIVERSIDE AVE FT. WHITE FL 32038
CONTRACTOR MAC JOHNSON ROOFING PHONE 352 472-4943
LOCATION OF PROPERTY 47S, TR ON SR 27, TL ON RIVERSIDE, 5 LOTS PAST
MONTANA ST., ON LEFT
TYPE DEVELOPMENT RE-ROOF ON SFD ESTIMATED COST OF CONSTRUCTION 7745.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE N/A DEVELOPMENT PERMIT NO.

PARCEL ID 26-6S-15-00855-002 SUBDIVISION 3 RIVERS ESTATES
LOT 32 BLOCK PHASE UNIT 11 TOTAL ACRES

RC0061384
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor Susan Short
EXISTING X10-111 BK HD N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident
COMMENTS: NOC ON FILE

Check # or Cash 9531

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Insulation
 date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 40.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 40.00
INSPECTORS OFFICE Gale Tedder CLERKS OFFICE CN

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1004-49 Date Received 4/27/10 By G Permit # 28512

Zoning Official _____ Date _____ Flood Zone _____ Land Use _____ Zoning _____

FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner _____ Date _____

Comments _____

☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # _____

☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____

School _____ = TOTAL _____

Septic Permit No. _____ Fax 352-472-6371

Name Authorized Person Signing Permit Sue Short Phone 352-472-4943

Address PO Box 367 Newberry FL 32669

Owners Name Alfred & Ann Mueller Phone 561-746-7501

911 Address 1003 SW Riverside Ave Port White FL 32038

Contractors Name Mac Johnson Roofing Inc. Phone 352-472-4943

Address PO Box 367 Newberry FL 32669

☐ Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address N/A

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 00-00-00-00855-002 Estimated Cost of Construction 7745-

Subdivision Name Three Rivers Estates Lot 32 Block _____ Unit 11 Phase _____

Driving Directions T/R on US 90 T/L on SW Branford Rd (247)
T/L on Sandhill Rd T/L on 27 T/R on Riverside Ave 5 lots
past Montana St on Left Number of Existing Dwellings on Property _____

Construction of Reroof house w/metal Total Acreage _____ Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height _____

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Number of Stories 1 Heated Floor Area _____ Total Floor Area 1000 Roof Pitch 7/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.


Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.


Contractor's Signature (Permitee)

Contractor's License Number

Columbia County

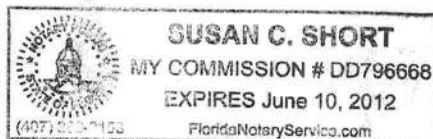
Competency Card Number

61384
RC0063184

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 15 day of April 2010
Personally known ☒ or Produced Identification ☐


State of Florida Notary Signature (For the Contractor)

SEAL:



NOTICE OF COMMENCEMENT

This Instrument Prepared By:

Name: SUSAN SHORT

Address: PO BOX 367 Newberry, FL 32669

Permit No: _____

Tax Folio No: 00-00-00-00855-002

STATE OF: FLORIDA

COUNTY OF: ALACHUA

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY: Street Address: 1023 SW RIVERSIDE AVE FORT WHITE, FL

Legal Description: LOT 32 UNIT 11 THREE RIVERS ESTATES ORB 463-380 QC 1016-667

2. GENERAL DESCRIPTION OF IMPROVEMENT(S): RE ROOF HOUSE

3. OWNER INFORMATION: a.) Name: ALFRED & ANN MUELLER TRUSTEES Address: 5505 CENTER STREET

b.) Interest in Property: OWNERS JUPITER, FL 33458

c.) Fee Simple Titleholder (if other than owner) Name: N/A Address: _____

4. CONTRACTOR: a.) Name: MAC JOHNSON ROOFING Address: PO BOX 367 Newberry, FL 32669 b.) Phone: 352-472-4943

5. SURETY: a.) Name: N/A Address: _____

b.) Amount of bond \$: N/A c.) Phone: _____

6. LENDER: a.) Name: N/A Address: _____ b.) Phone: _____

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

a.) Name: N/A Address: _____ b.) Phone: _____

8. In addition to himself, Owner designates the following person(s) to receive a copy of Lessor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

a.) Name: N/A Address: _____ b.) Phone: _____

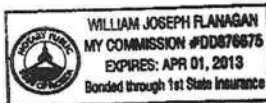
9. Expiration date of notice of commencement (the expiration date is one (1) year from the date of recording unless a different date is specified.) ONE YEAR FROM DATE RECORDED

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

X [Signature]
Signature of Owner or Owner's Authorized Officer/Director
Partner/Manager

Signatory's Title/ Office _____

The foregoing instrument was acknowledged before me this 14 day of April 2010 (year)
by ALFRED MUELLER JR. (name of person) as Self (type of authority, e.g. officer,
trustee, attorney in fact) for _____ (name of party on behalf of whom instrument was executed).



William Joseph Flanagan
Signature of Notary Public - State of Florida
Print, Type, or Stamp Commissioned Name of Notary Public
Commission Number: _____
Personally Known _____ or Produced Identification X

Verification Pursuant to Section 92.525, Florida Statutes
Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

[Signature]
Signature of Natural Person Signing Above

Columbia County Property Appraiser

DB Last Updated: 3/29/2010

2009 Tax Roll Year

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Parcel: 00-00-00-00855-002

<< Next Lower Parcel

Next Higher Parcel >>

Interactive GIS Map

Print

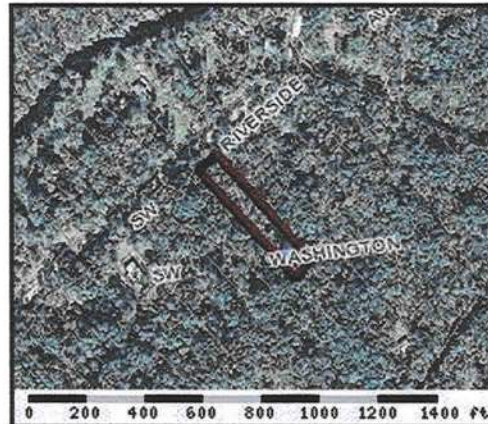
Owner & Property Info

<< Prev

Search Result: 2 of 4

Next >>

Owner's Name	MUELLER ALFRED JR &		
Mailing Address	ANN J MUELLER TRUSTEES 5505 CENTER ST. JUPITER, FL 33458		
Site Address	1023 SW RIVERSIDE AVE		
Use Desc. (code)	SINGLE FAM (000100)		
Tax District	3 (County)	Neighborhood	100000
Land Area	0.956 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 32 UNIT 11 THREE RIVERS ESTATES ORB 463-380 QC 1016-667			



Property & Assessment Values

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$17,000.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$45,804.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$62,804.00
Just Value		\$62,804.00
Class Value		\$0.00
Assessed Value		\$62,804.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$62,804 Other: \$62,804 Schl: \$62,804	

2010 Working Values

NOTE:

2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
5/19/2004	1016/667	QC	I	U	01	\$100.00

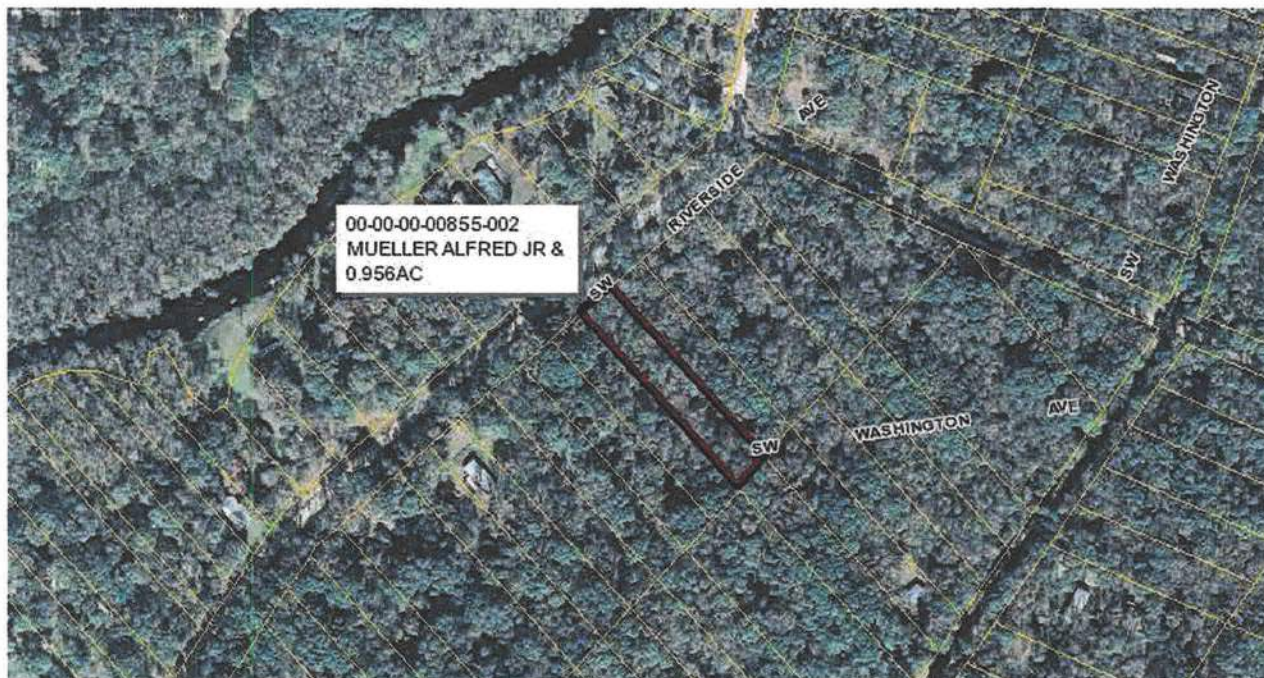
Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1983	(51)	1200	1200	\$44,252.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown



MAC JOHNSON ROOFING, INC.

Lake City (386) 755-8311
 Newberry (352) 472-4943
 Fax (352) 472-6371

P. O. Box 367 • Newberry, Florida 32669

Jacksonville (904) 359-4565
 (866) 376-4943

STATE CERTIFIED • LICENSED & BONDED • INSURED
 CCC-1325497 RC - 0061384

1-866-376-4943

PROPOSAL SUBMITTED TO:		PHONE: (561) 427-5409 427-5412	DATE: 4-09-10
NAME: ALFRED + ANN MUELLER		JOB NAME: LOB CABIN	
STREET: 5505 CENTER STREET		STREET: 1023 J.W. RIVERSIDE AVE.	
CITY: JUPITER 561-746-7501		CITY: FORT WHITE, FLA. 32038	
STATE FLORIDA 33458			

We hereby submit specifications and estimates for:

Mac Johnson Roofing, Inc. agrees to install a metal roof system application by:

- ☐ Roof Over ☐ Roof over with Purlins ☒ Re-Roof = TEAR OFF EXISTING SHINGLES, BASE + METAL. REPAIR 1x6 AS NEEDED AND N.W. CORNER. (ELF. RISER)
- New roof will consist of:
- ☒ 1. New eave drip, rake trim and transition metal
 - ☒ 2. New 26 Gauge SM Rib Metal Roof System; Color Choice COCA BROWN (AM)
 - ☒ 3. New pipe flashings
 - ☒ 4. New continuous ridge cap
 - ☒ 5. Panels to be secured with matching screws, according to code
 - ☒ 6. Contractor shall provide all necessary permits and inspections
 - ☒ 7. Metal roof has a 40 yr. limited manufacturer's warranty

PRICE INCLUDES:

1. SUPPLY AND INSTALL 1/2" PLYWOOD TO ENTIRE ROOF AFTER TEAR OFF.
2. DRY IN WITH POLY STICK MEMBRANE
3. INSTALLATION OF G.C. REFLECTIVE FOIL INSULATION TO DRY IN.
4. INSTALLATION OF 1x4 PURLINS OVER INSULATION.

Dry in with 15 lb. felt _____ Dry in with 30 lb. felt _____ DRY IN WITH POLY STICK MTS

OPTION: Optional ridge vents: \$ N/A each

NOTE: Any woodwork is additional, labor plus materials. Woodwork is \$ 38.00 per man, per hour. Plywood replacement is \$ N/A per sheet and covers labor and material. Yard will be cleaned daily. Grounds shall be magnetized. NOTE: CUSTOMER WILL SUPPLY 1x6 THAT IS AVAILABLE ON SITE. IF MORE IS NEEDED, IT WILL BE MATCHED AS CLOSE AS POSSIBLE TO EXISTING, BY LOCAL SUPPLIER. UP TO 20' FREE

ALL OF THE ABOVE WORK IS TO BE COMPLETED IN A SUBSTANTIAL AND WORKMANLIKE MANNER FOR THE SUM OF:

Galvalume Metal: \$

Painted Metal: \$

\$ 7,745.00

We hereby propose to furnish labor and materials - complete in accordance with the above specifications, with payment to be made as follows:

PAYMENT TERMS: 1/2 of amount is due upon signing Contract.

5 year warranty on workmanship

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. This proposal subject to acceptance within _____ days and is void thereafter at the option of the undersigned.

AUTHORIZED SIGNATURE

Bill Flanagan

A carrying charge of 1.5% per month will be added to the unpaid balance after thirty (30) days.

The customer will be responsible for all reasonable costs of collection including attorney's fees.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

ACCEPTED: 4/14/05

SIGNATURE

Alfred Mueller

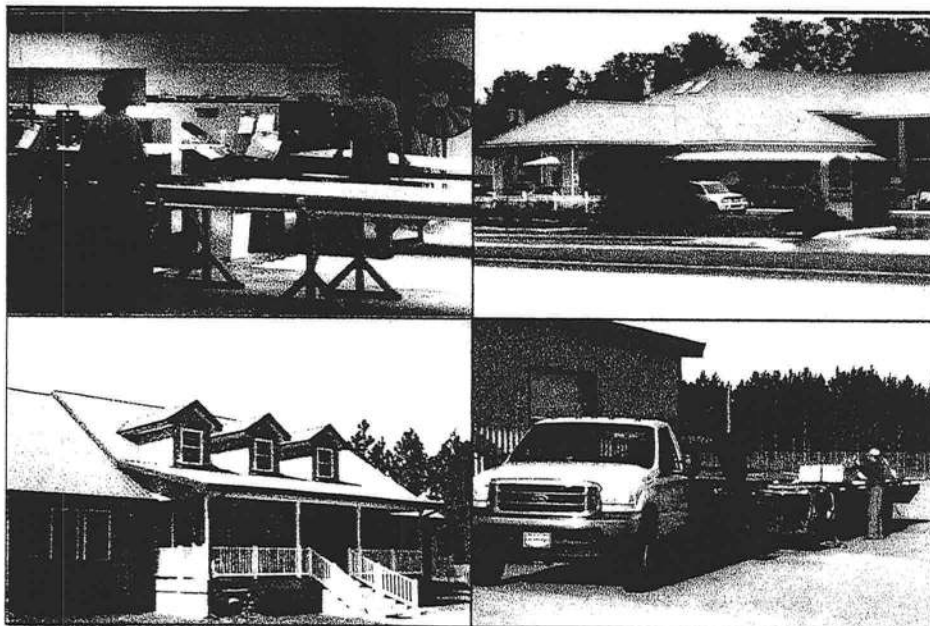
Galvalume
metal
10#
house



**Gulf Coast
Supply & Mfg. Inc.**

DETAIL MANUAL

and guide to Gulf Coast products



Tuff-Rib Roofing and Siding Panels & Accessories

4020 Sw 449th St • Horseshoe Beach, FL 32648
(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852

Gulf Coast Supply & Mfg. Inc.

Installation of Panels

Roof Pitch

Gulf Coast roofing panels require a certain degree of pitch to ensure proper water drainage. **Florida Building Code allows a minimum pitch of 2/12 for Tuff-rib® panels as long as lap screws and sealant are applied to the laps** to prevent water from siphoning over the ribs (see Fig. 5 on p. 4). Lap screws and sealant are optional when the pitch is 4/12 or greater (4/12 pitch means that there is 4 inches of rise for every 12 inches running horizontally). As a general principle, the less steep the roof, and the more necessary also that sealant be used at all side-laps. Consult our representative for recommendations for your particular roof pitch, and about roofing options if you have less than a 2/12 pitch.

Roof Preparation

Oil-canning is a wave-like, rippled appearance extending up the length of the panel after it has been installed on the roof. Any irregularities in the roof, including uneven plywood joints, warped plywood, uneven trusses, poor application of underlayment, the use of button caps with felt paper, etc., can promote oil-canning. **Care should be taken to provide a flat, uniform surface on which to attach the panels.** See page 6 for more details.

Roof Application

Panel installation should begin at the gable end of the roof opposite the prevailing rain-bearing wind (this will provide added assurance against wind-driven rain being forced under the laps). Measure one panel width in from the roof edge. At this point chalk a line from ridge to eave. Place the leading edge of the first panel along this line. It is extremely important that this panel be laid square to the eave and ridge so that the remaining panels will line up square on the roof frame. It is wise to have a person at the eave and at the ridge to ensure that the proper panel coverage is being maintained across the roof. Also be sure that the panels are properly side-lapped (see fig. 7 on page 7).

In applications where end-lapping is necessary, the upper panel on the slope should lap over the panel that is lower on the slope by about 12 inches. Lesser roof pitches require a greater amount of panel overlap. All end-lap applications should use two horizontal rows of butyl sealant tape across the panel and proper fastening to provide a maximum water seal.

An overhang of 2 to 3 inches on the eave is recommended to provide a drip edge, while only 1 inch overhang is necessary where gutters are used. The open panel ribs at the eave can be sealed with inside closures. For maximum weather-tightness, a row of butyl tape can be applied above and beneath closure material.

Trimming and Cutting Steel Panels

The best device for cutting steel panels *across the profile* is either hand snips or a nibbler. Nibblers, and especially Carborundum blades on electric saws, however, do have a tendency to either leave hot metal particles that can burn paint surfaces or to leave rust marks on panels and trim. The same is true of any filings left on the roof caused by the application of screws. Care should be taken to brush all such particles from roof surfaces after application.

To *cut panels lengthwise*: Note carefully where the panel is to be cut, and, using a straightedge, score deeply down the length of the panel with a sharp-pointed utility knife. Folding the panel along the score mark, and bending back again if necessary, should produce a clean break in the panel.

CAUTION! clean all metal shavings and particles off of roof to avoid unsightly rust stains

(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852



Gulf Coast Supply & Mfg. Inc.

How to Figure and Apply Screws

Gulf Coast Supply carries screws in 3 different lengths: 1 inch, 1½ inch, and 2½ inch. 1-inch screws will barely penetrate a 1x4, but the 1½ inch are the best all-purpose size. **1½- or 2½-inch screws are necessary for attaching ridge caps.** The table on the right can be used to figure approximate quantities of screws for various purlin spacings and sizes of roofs. For 2-foot spacing between rows of screws, multiply the total linear feet of metal times 2.7

Example: your order is 1250 feet of Tuff-rib roofing.

$$1250 \times 2.7 = 3375 \text{ screws}$$

Please confirm all estimates with your Gulf Coast representative when you placed your order.

Codes allow re-roofing over shingles without the use of battens provided the roof has been checked by a licensed roofing contractor to insure levelness and pullout integrity.

Tuff-rib metal roofing can be separated from the moisture barrier by minimum, nominal 1"x3" yellow pine battens spaced on maximum 24" centers, or according to ASCE calculations where applicable. Since **direct contact between pressure treated lumber and metal roofing must be avoided in order to prevent potential corrosion**, Gulf Coast Supply sells only untreated battens.

CAUTION: Battens must be fastened to the roof deck with minimum #6 screws at 12" on-center, or two minimum 8d common or pneumatic nails spaced 8" on-center, or one every 4" on-center (or by applicable calculations according to ASCE 7-98). **Battens must be installed to support the entire width and length of ridge, eave, hip, valley, and gable-end trims.**

For solid decking, at least 1½/32-inch structural plywood supported on rafters at a maximum of 24" on center is required.

If care is taken, metal roofing application can be aided by pre-drilling panels, allowing screws to go quickly and accurately into the desired spacing. Pre-drilling will work provided that pilot holes are placed accurately in the proper locations on panels. Purlin spacing must be uniform and carefully measured.

For panel lap details, see Figure 5 on page 4.

	Screw (purlin) Spacing		
	12 inch	18 inch	24 inch
50	270	180	135
100	540	360	270
200	1080	720	540
300	1620	1080	810
400	2160	1440	1080
500	2700	1800	1350
600	3240	2160	1620
700	3780	2520	1890
800	4320	2880	2160
900	4860	3240	2430
1000	5400	3600	2700
1100	5940	3960	2970
1200	6480	4320	3240

linear feet of panels in your order

Figure 6 Tuff-rib panel screw calculation chart

Gulf Coast Policies

Delivery policy Delivery charges apply to all orders where delivery is requested. Please consult your Gulf Coast sales department for details.

Sales tax All orders picked up at Gulf Coast Supply, and all orders delivered within the state of Florida, are subject to state sales tax. Tax exemptions should be verified prior to delivery or customer pickup.

Warrantied products A 40 year warranty applies to most material* manufactured from painted coil stock, and a 25-year warranty to Galvalume material. Ask for details.

Indemnity All prices and designs are subject to change without notice

Disclaimer While we have made every attempt at accuracy in this manual, we are not responsible for typographic, printing, or technical errors.

Oil Canning—a repeating, wave-like appearance in the length of the panel—is a common and often unavoidable phenomenon in metal panels like Tuff-rib roofing that have large, flat areas within the panel. It is therefore not a defect, nor a cause for rejection. See p. 3 for details on how to avoid oil-canning.

Return policy All panel orders and special order (non-stock) trim are considered the property of the customer and non-refundable once they are manufactured. Standard trim and accessories are refundable providing they are returned in a clean, resalable condition. Restocking charges will apply to any items at the discretion of the Gulf Coast representative.

(352) 498-0778 • Toll Free (888) 393-0335 • FAX (352) 498-7852

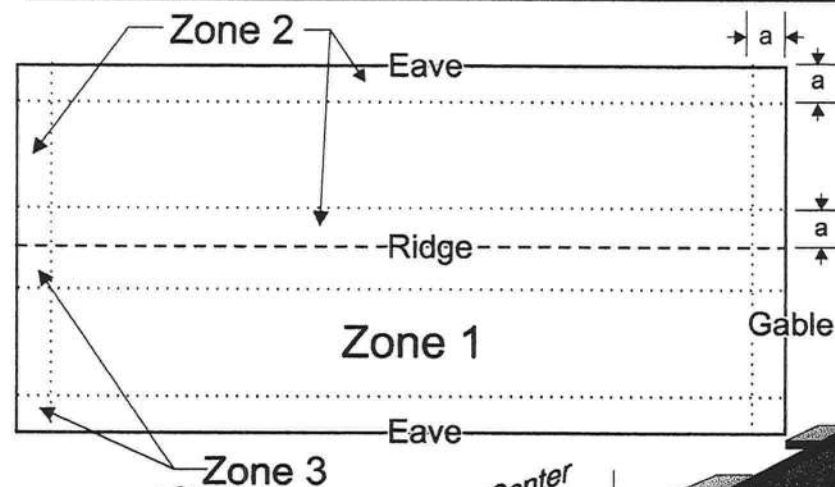
Gulf Coast Supply & Mfg. Inc.

Gulf Coast Tuff-Rib® Roofing Panels

SECTION PROPERTIES										ALLOWABLE LOADS (PSF)															
Panel Gauge	Fy KSI	Thickness In.	Fb. KSI		Weight PSF	Girth In.	Ix In.	Sx In.	Ix In.	Sx In.	Wind Load					Live Load (Stress)					Live Load (Deflection)				
			Pos.	Neg.			Positive Bending		Negative Bending		2'	2'6"	3'	3'6"	4'	2'	2'6"	3'	3'6"	4'	2'	2'6"	3'	3'6"	4'
26 ga.	80	.0187	36	36	.91	42	.0288	.0482	.0288	.1892	170	109	76	56	42	128	82	57	42	32	102	52	30	19	13
29 ga.	80	.0142	36	36	.69	40.875	.0232	.0374	.0232	.1786	133	85	59	43	33	100	64	44	33	25	82	42	25	15	10

Fastening Schedule for Various Wind Speeds

				Wind Speed Zone			
				110 MPH	120 MPH	130 MPH	140 MPH
Roof Zone	Fastener Type	Fastener Size	Attaching to:	OnCenter Spacing	OnCenter Spacing	OnCenter Spacing	OnCenter Spacing
Zone 1	Woodgrip® or WoodZac®	#9-15 x 1½	1x4 wood purlins	24"	24"	24"	24"
Zone 2	Woodgrip® or WoodZac®	#9-15 x 1½	1x4 wood purlins	24"	24"	24"	12"
Zone 3	Woodgrip® or WoodZac®	#9-15 x 1½	1x4 wood purlins	24"	12"	12"	12"



Roof Zones
Each "zone" of the roof has its own screw requirements. *Dimension a* is defined as 10% of the minimum width of the building, or 40% of the mean height of the roof, whichever is smaller; however, *a* cannot be less than either 4% of the minimum width of the building, or 3 feet.

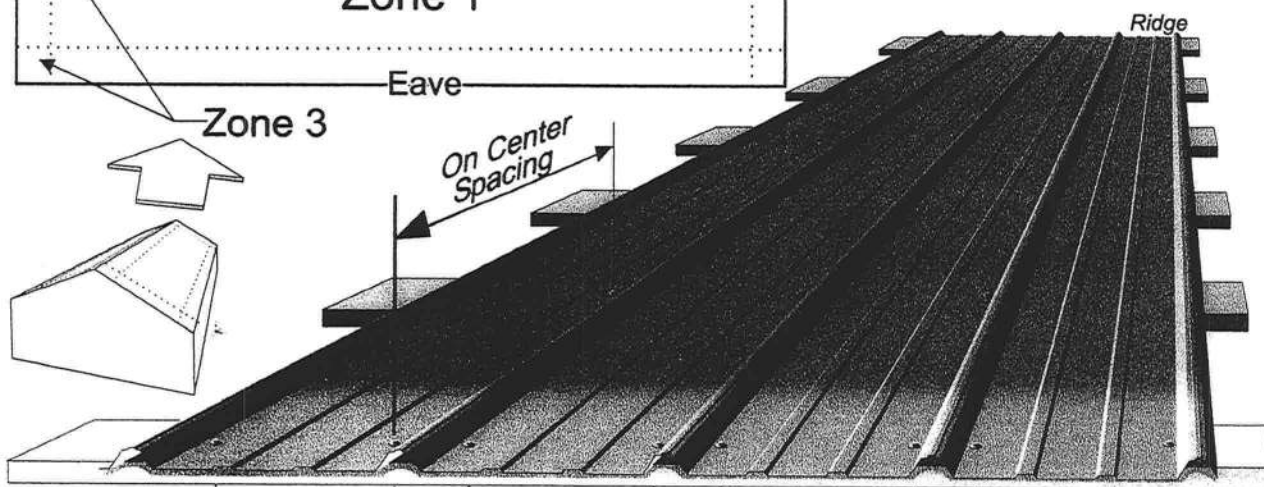


Figure 7 Screws should be placed on both sides of the ribs at both eave and ridge, and on the overlap side of the panel lap.

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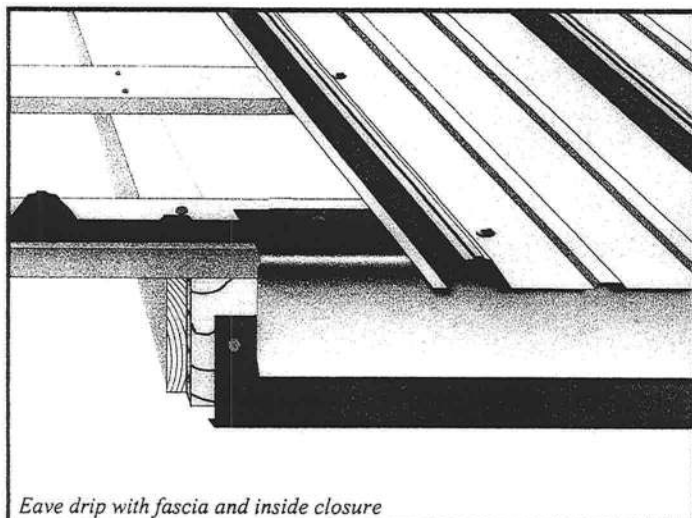
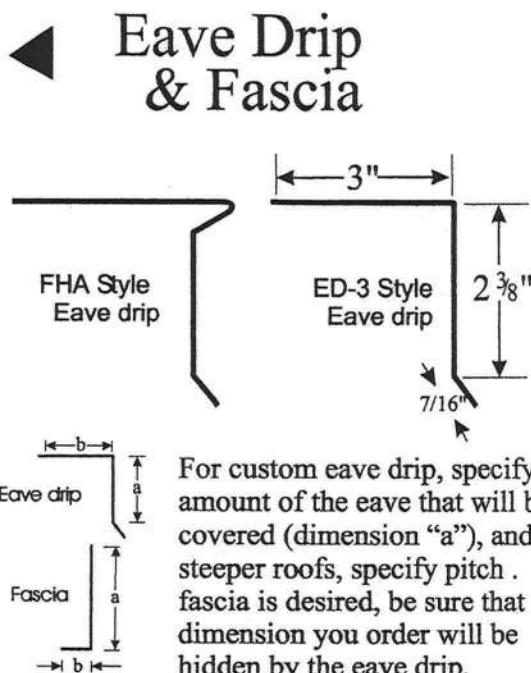


Figure 8 Eave drip and fascia give a finished look along the drip eave of the house, as well as providing protection for the materials they cover. The eave drip should completely cover the top edge of the fascia. Inside closures, which seal off the open ribs of the panels, are optional.



Summary of Stock Trims and Flashings

<i>item</i>	<i>special order information</i>
Ridge caps (RC-2)	specify pitch if less than 3/12 or greater than 6/12. Also available in larger widths. Closures recommended.
Eave drip (FHA, ED-3)	2 common styles. FHA style is pre-pitched for 3/12 to 6/12 roofs. For appearance or ease of application, order by either specific pitch or as gable trim (90°).
Gable flashings	Residential (EF-1), large (GR-2), and small (GR-1) rakes available. Use butyl sealant between rake and panel.
Valleys (PV-1)	specify pitch if greater than 7/12. Seal with universal foam closure material. Open-hemmed valleys (PV-2) aid water-tightness.
Sidewall (SW-1)	Use butyl sealant between sidewall flashing and panel.
Endwall (EW-1)	Specify pitch if greater than 5/12. Seal with outside closures.
Transition flashing	Specify pitches of both roofs. Seal lower slope using outside closures and, if desired, inside closures on upper slope.

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Ridge Cap ►

The Ridge Cap is used to seal the point at which two upward slopes meet. This can be both along the ridge of the roof as well as a covering for a hip. Either woodgrip or self-drilling lap TEK screws are applied through the ribs of the metal.

Since debris, insects, and blowing rain can find easy access under the ridge cap, closures are required to either completely or partially seal the opening. Closures under ridge caps come in 3 types: solid, vented, and hip tape.

Solid closures ("Outside Closures") are the same width as the panels. They lock together in a row placed directly under the screws that attach the ridge cap, and form a solid, water-tight, air-tight barrier.

Profile Vent® comes in 50 foot rolls, is 3 inches wide, and forms a water-retardant, insect resistant barrier that allows hot air to escape from the attic, and is superior to many more elaborate and expensive vent systems. Any length may be ordered.

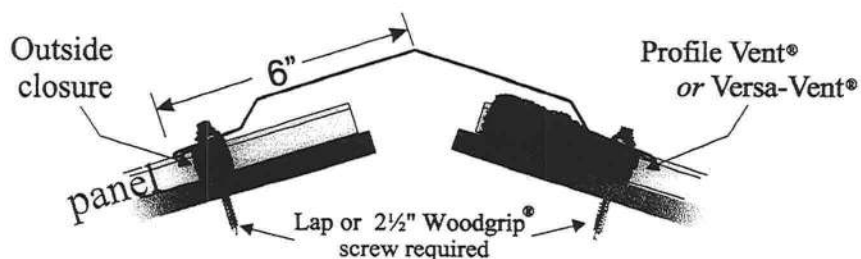
Hip closure tape (*Peel and Seal*®) is a sticky, adhesive-backed metallic tape that seals the hip roof. It is 6 inches wide and comes in 33½ foot rolls. Because it must be conformed to the rise and fall of the panel ridges, approximately 10% extra may be needed beyond the length of the hip being covered.



Figure 9 Ridge cap showing outside closure (left) and profile vent (right).



Figure 10 Pipe Boots provide a water-tight seal around roof vents and come in a variety of sizes. They seal with caulk and conform to the shape of the panel ribs.



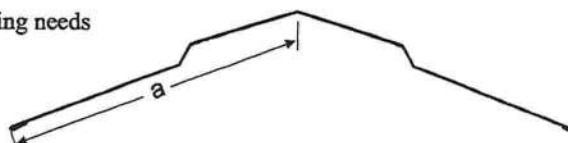
RC-2 Standard 12-inch Ridge Caps

are strong, economical and adequate for most of your roofing needs



RC-1 style 12-inch Ridge Caps

are also available in custom widths



RC-2 style over-sized ridge caps

are available with 18-inch coverage, or as a custom trim item in **total widths** (2 times "a") of 14-, 16-, 18-, 20-, 22-, and 24-inch

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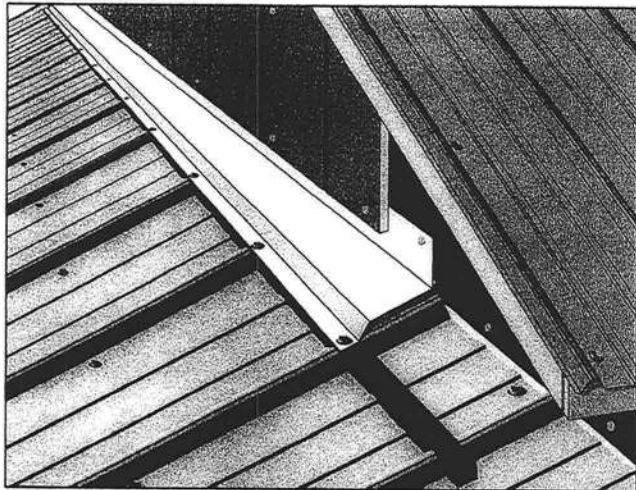
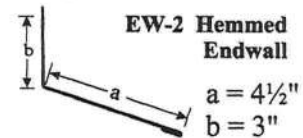
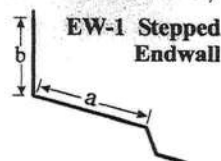
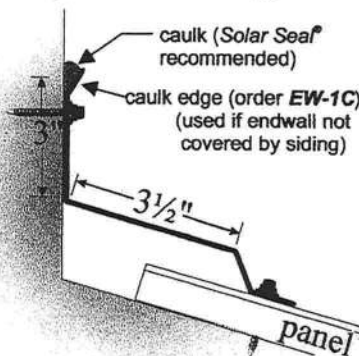


Figure 11 As with the ridge cap, the ENDWALL FLASHING above is sealed using outside closures.

Use **EW-2** hemmed endwall when cornering endwalls with sidewall flashing, such as with dormers or chimneys. For custom end-walls, specify roof pitch and dimensions "a" and "b".

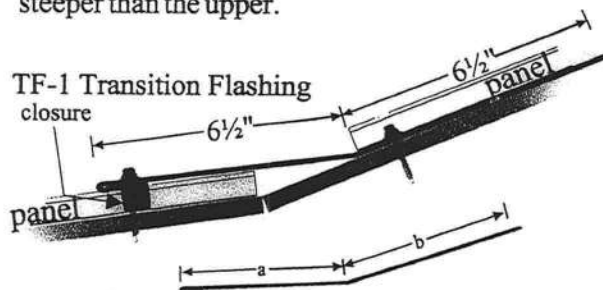
End-wall Flashing

End-wall flashing is applied where the upward slope of a roof meets a wall. The wall side of the flashing can be covered with siding or counter-flashing, and outside closures are necessary to seal between the flashing and the panel. Roof slope should be mentioned if roof exceeds 5/12 pitch.



Transition Flashing

The TRANSITION FLASHING prevents leakage at the point where two different roof pitches meet. It must be sealed on the lower side with outside closures, and can be sealed underneath the upper panels with inside closures. The similar GAMBREL FLASHING is used where the lower pitch is steeper than the upper.



For custom transition flashing specify the pitches of the two roof slopes and, if necessary, dimensions "a" and "b".

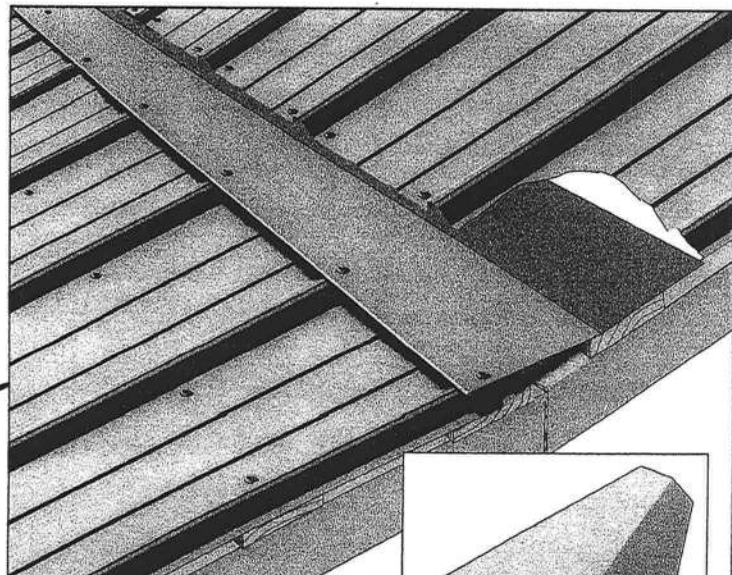


Figure 12 The transition flashing (above) and the GF-1 gambrel flashing (right) provide a continuous drainage where two slopes meet. Both seal with outside closures on the lower side.



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Gable Flashing ▶

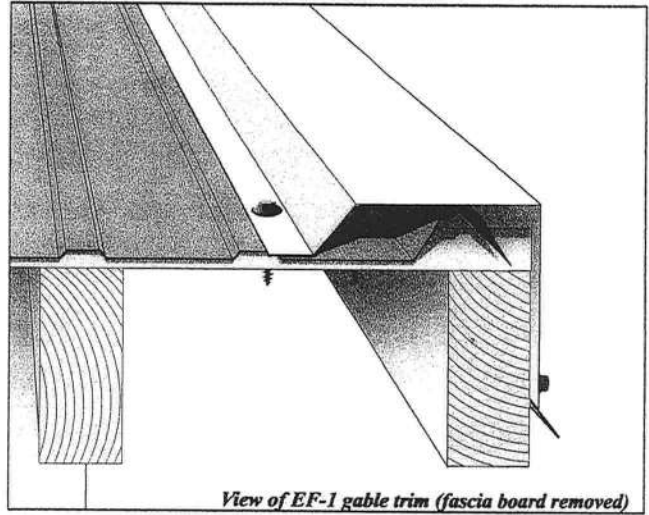
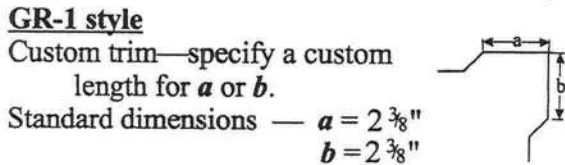
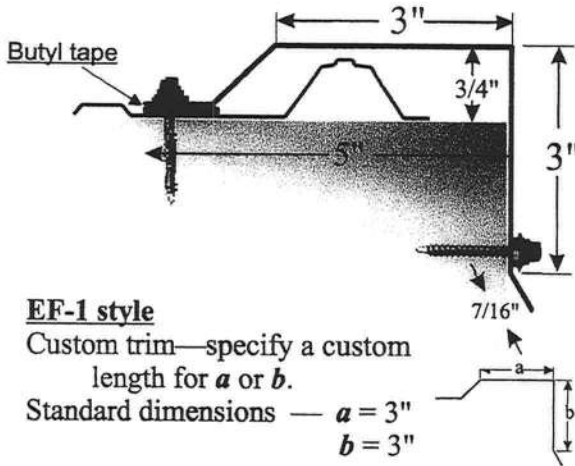


Figure 13 Gable flashing is used to trim the edge of the roofing panel at the gable end of the roof. It should match the eave drip that extends along the drip edge of the roof. If the panel is allowed to hang over the gable end, eave drip can be used instead. Butyl tape between the trim and panel eliminates leaks.

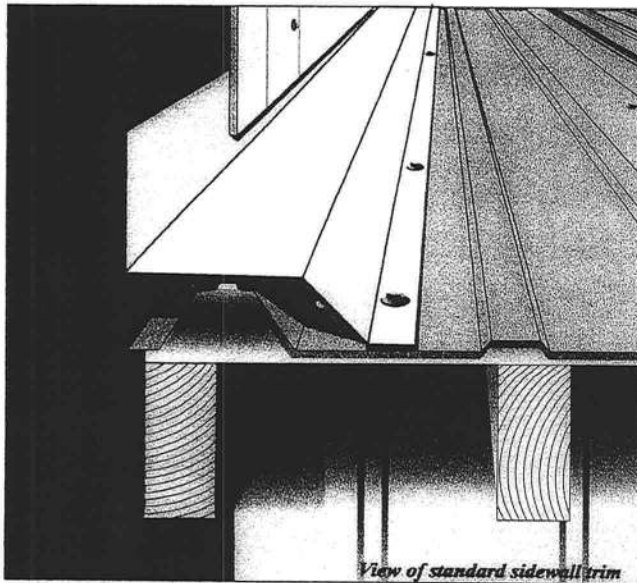
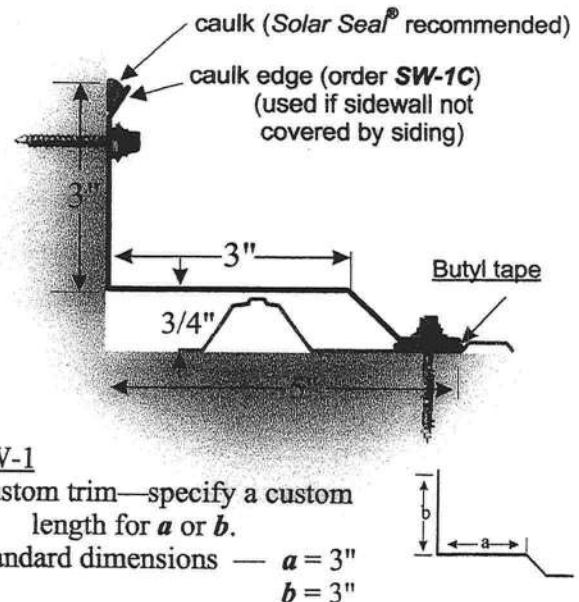


Figure 14 Sidewall flashing is applied when the side of the roof butts up against an adjacent wall. The wall-side of the flashing can either be covered over with siding or sealed with caulk (order SW-1C). Butyl tape should be applied where the "foot" of the flashing attaches to the roof.

◀ Side-wall Flashing



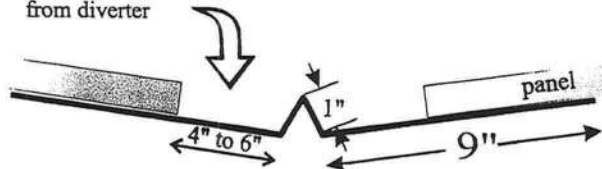
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Gulf Coast Supply & Mfg. Inc.

Preformed Valley

Install panels 4 to 6"
from diverter



PV-1 style

PV-2 style

Two basic styles of valley are available.
For custom valleys, specify dimension "a"

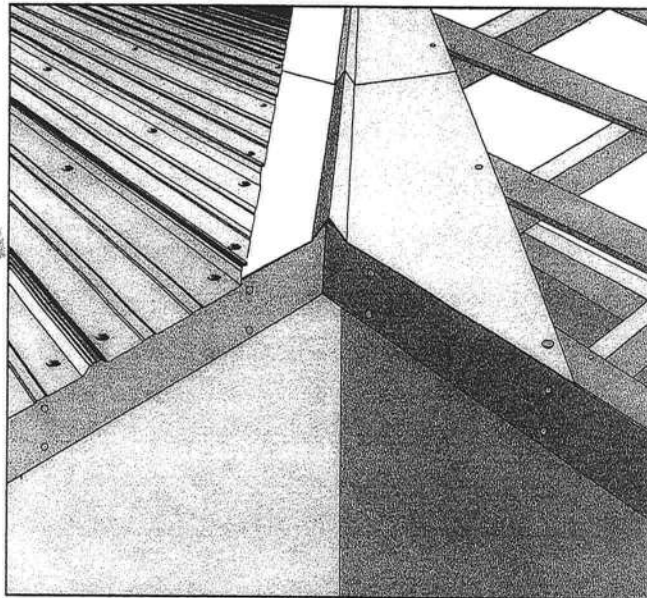


Figure 15 Pre-formed valleys use a diverter to prevent water from rushing under panels on the opposite side, while meanwhile channeling water off the roof. Expanding foam closures are often used to assure a good seal.

Gulf Coast Tuff-Rib® Siding

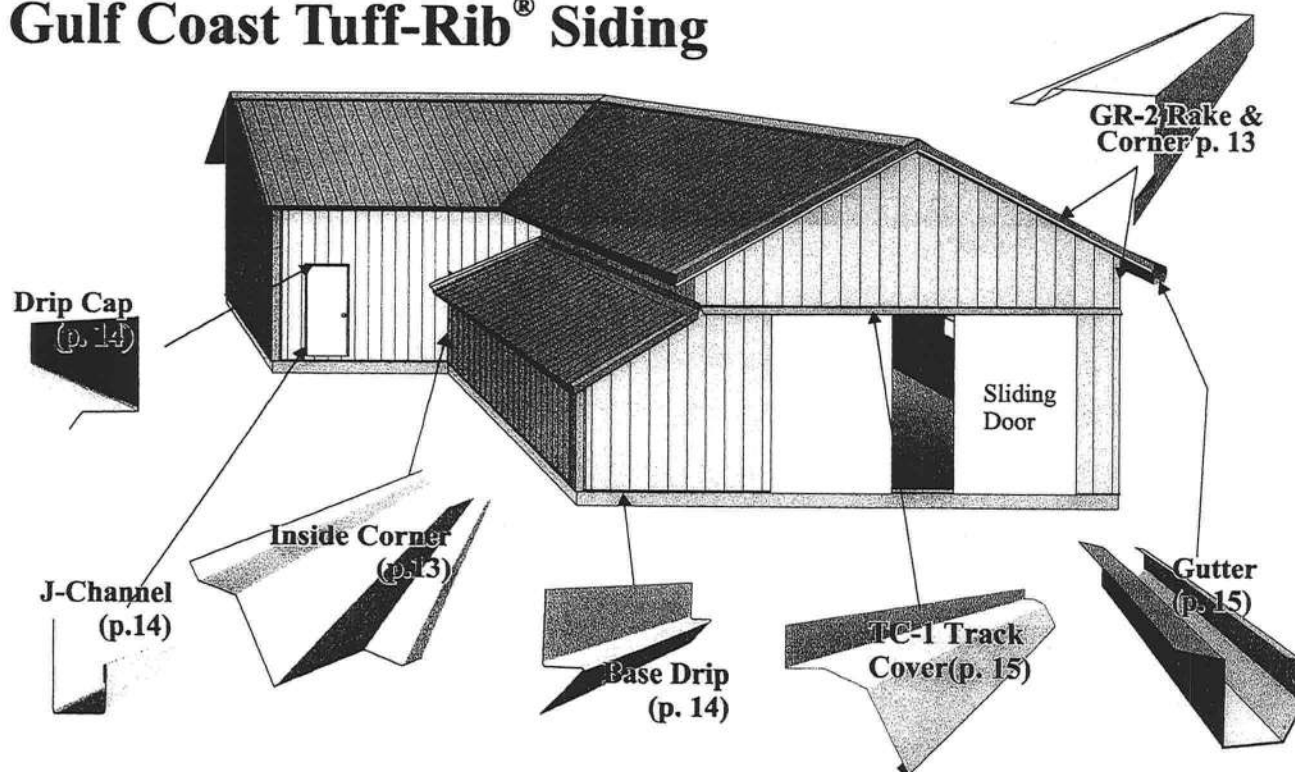


Figure 16 Common trims associated with Tuff-rib roofing panels

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GR-2 Outside Corner ▶

The GR-2 Rake and Corner can be used as a gable trim or a corner for metal-sided buildings. As an alternative, the smaller EF-1 or the GR-1 (both on p. 11) can also be used as gable rakes, and the PC-5 (below) or the GR-1 as corners.

Customizing rakes or corners is often necessary due to their landing on a panel rib. Both the GR-2 and the IS-2 can be ordered as custom trim items by specifying custom dimensions "a" or "b". Be sure to take into account the $\frac{3}{4}$ " "head space" when figuring custom dimensions.

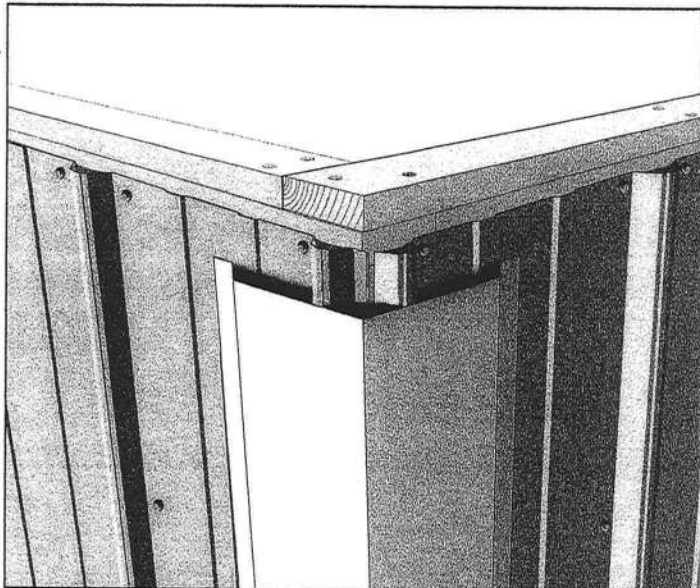
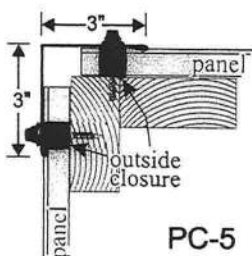


Figure 17 When used as corner trim, the GR-2 straddles the ribs of the panels where they meet at the corner of the building. The Tuff-Rib outside corner also serves as a gable rake (see below). The inside corner (IS-2) has similar dimensions but with a reverse middle bend.



The PC-5 flat corner works best on smaller structures, and where the panels are running horizontally. It can be sealed with outside closures.

PC-5

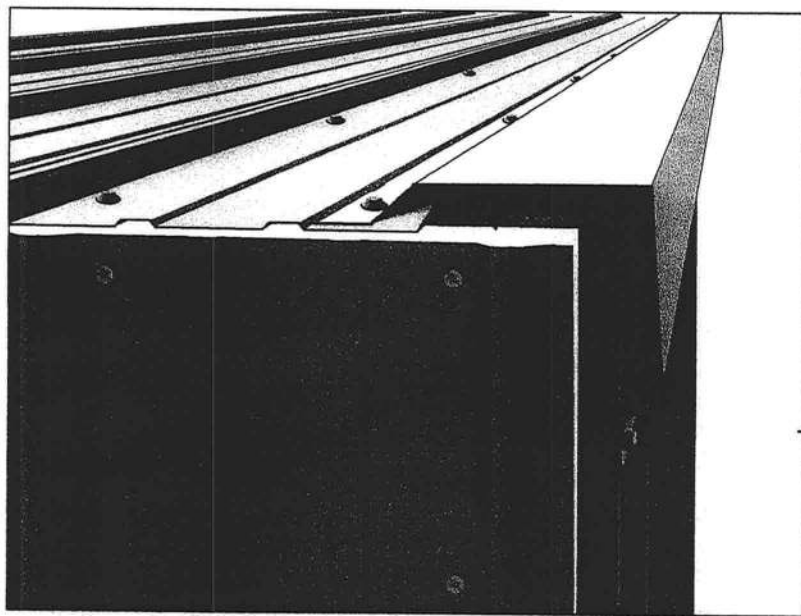
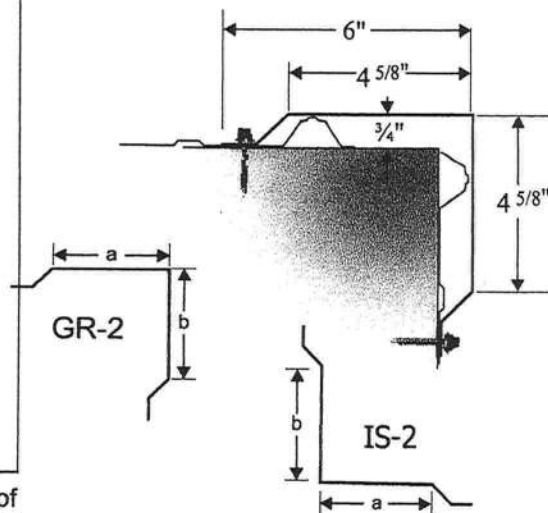


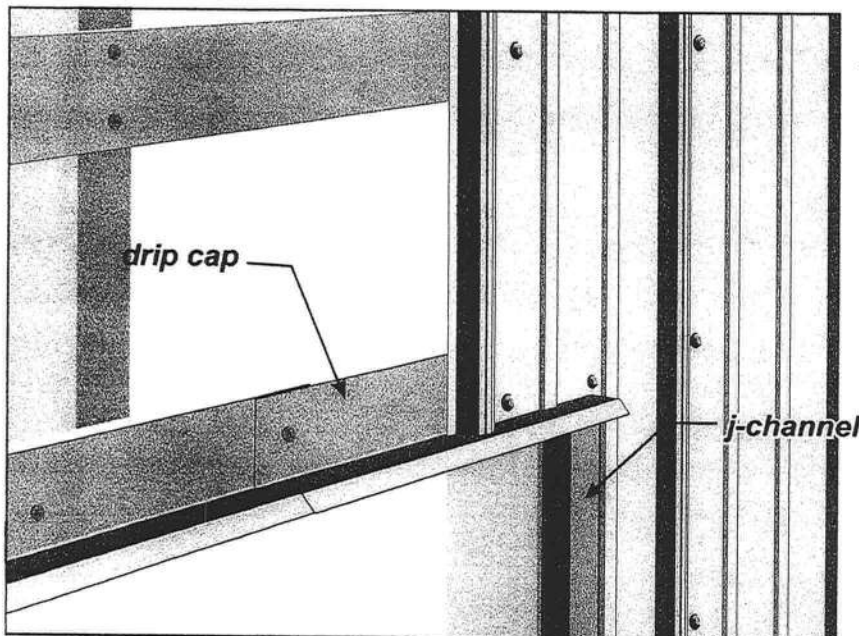
Figure 18 When used as a gable rake, the GR-2 runs parallel to the ribs of the roof panel, and is attached with screws running through the ribs of upright siding. As with the EF-1 residential rake, the roof side can be sealed with butyl sealant.

◀ GR-2 Gable Rake



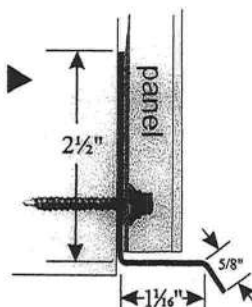


Gulf Coast Supply & Mfg. Inc.



Drip Cap and J-Channel

DC-1
Drip cap



capping the panel end

JC-1
J-channel

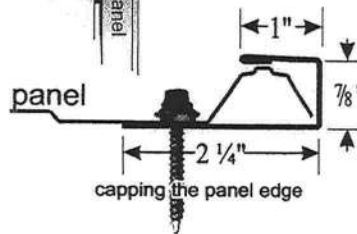


Figure 19 The drip cap is commonly used to trim out the bottoms of panels over doorways and windows, and occasionally takes the place of base drip. J-channel is used to cap raw panel edges where run-off is not a problem, and is most commonly used to trim around the bottom, sides, and occasionally the top of windows and doors, and also to cap the top sides of skirting.

Base Drip

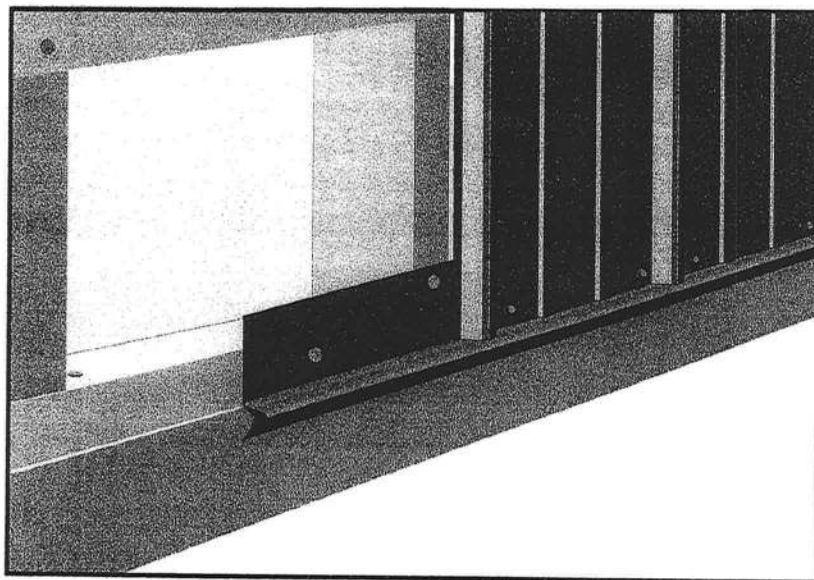
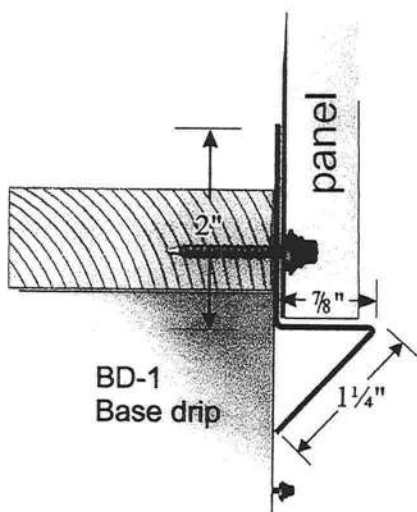


Figure 20 Base drip seals off the bottoms of panels at the floor level, where it helps to prevent the entrance of rodents and insects, as well as a base for the setting of panels.

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Columbia County
BUILDING DEPARTMENT

RE: Permit # 000028512

Inspection Affidavit

I MACY JOHNSON, licensed as a(n) Contractor* by chapter 489 of the FS
(please print name and circle Lic. Type)

License #: RC00068884

On or about 5-6-10, I did personally inspect the roof
(Date & time)

deck nailing and/or secondary water barrier work at Mirelles,
(circle one) (Job Site Address)

1003 SW Riverside Ave Port White

Based upon that examination I have determined the installation was done according to the Hurricane Mitigation Retrofit Manual (Based on 553.844 F.S.)

[Signature]
Signature

STATE OF FLORIDA
COUNTY OF

Sworn to and subscribed before me this 10 day of May, 2010

By MACY JOHNSON

Notary Public, State of Florida

Susan C. Short
(Print, type or stamp name)

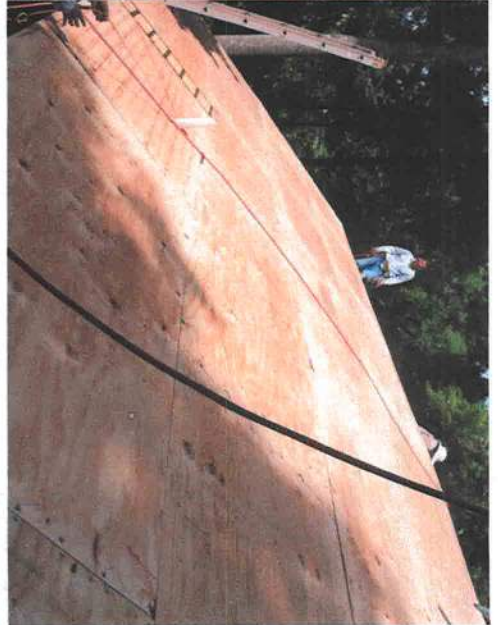
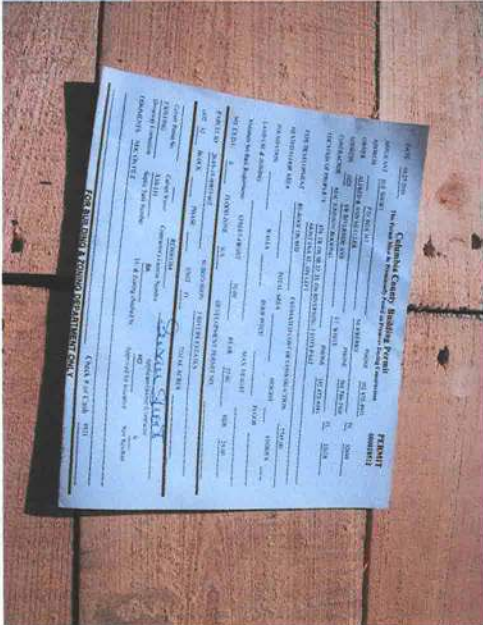
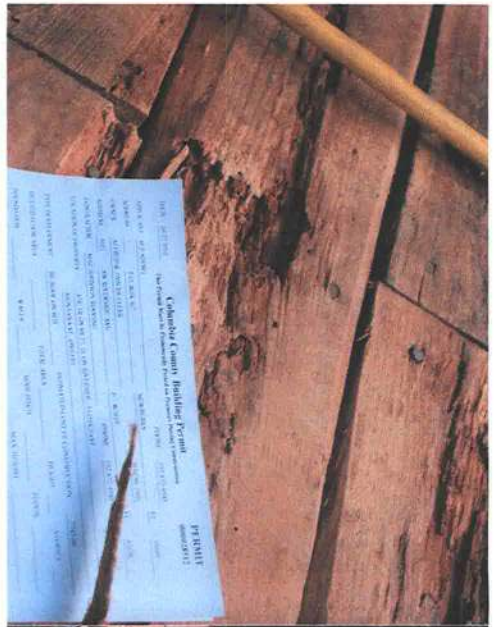
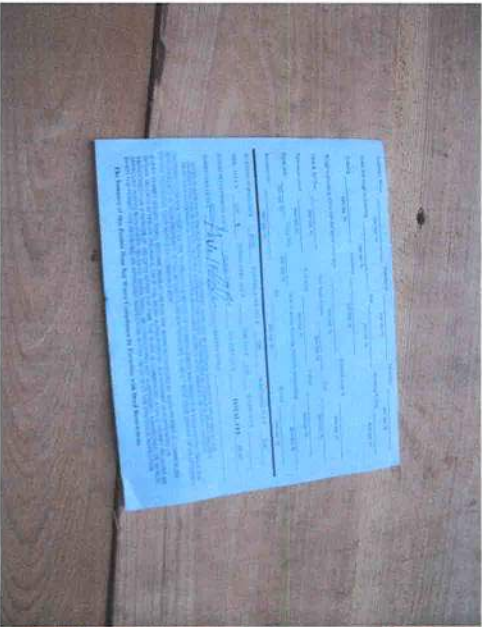
Commission No.: _____

Personally known ☒ or
Produced Identification _____
Type of identification produced. _____

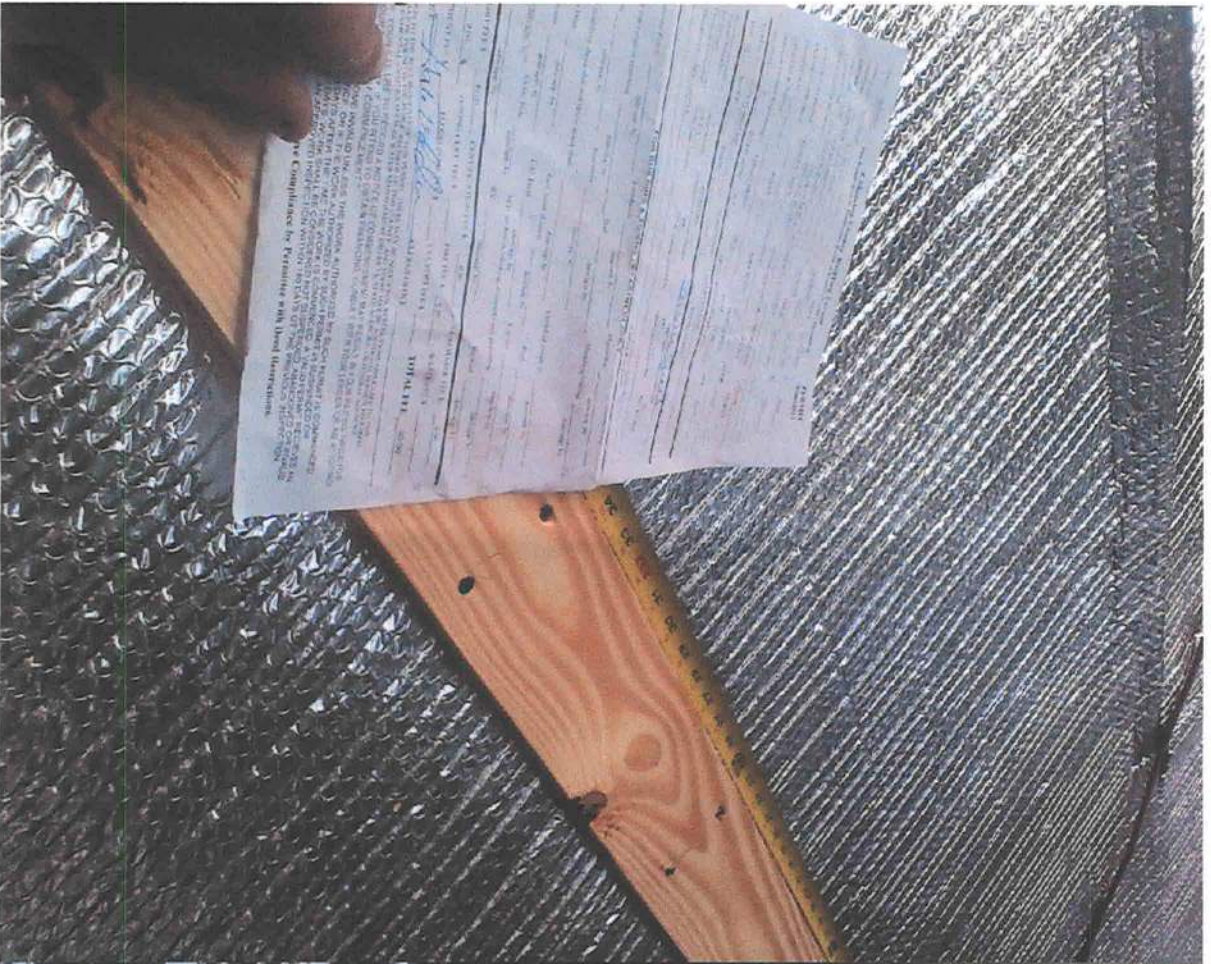
* General, Building, Residential, or Roofing Contractor certified 489 of the FS.

Any individual certified under 468 F.S. to make such an inspection. Include photographs of each plane of the roof with the permit or address # clearly shown marked on the deck for each inspection.



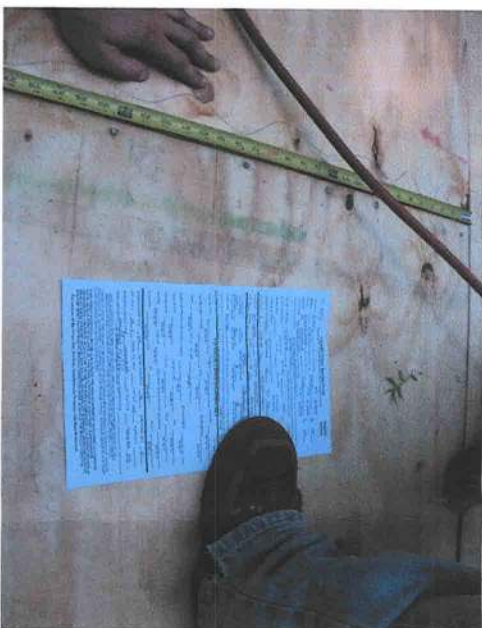










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