

This Permit Expires One Year From the Date of Issue

APPLICANTDALE RACINEPHONE904 396-1451

ADDRESS2729SUMMERALL AVEJACKSONVILLEFL32207

OWNERMJE INVESTMENT PROPERTIES,LLCPHONE954.325.1786

ADDRESS228NW WILKS LANE (BLDG # 7)LAKE CITYFL32055

CONTRACTORRACINE CONSTRUCTIONPHONE904 396-1457

LOCATION OF PROPERTY90W, TR ON LAKE CITY AVE, TO END OF ROAD, DEADEND INTO  
PROPERTY, IN THE VERY BACK

TYPE DEVELOPMENTPRE-ENG. MET. BLDGESTIMATED COST OF CONSTRUCTION148000.00

HEATED FLOOR AREATOTAL AREA4400.00HEIGHT13.10STORIES1

FOUNDATIONCONCWALLSSTEELROOF PITCH1'12FLOORCONC

LAND USE & ZONINGIMAX. HEIGHT35

Minimum Set Back Requirments:STREET-FRONTREARSIDE

NO. EX.D.U.FLOOD ZONEXDEVELOPMENT PERMIT NO.

PARCEL ID27-3S-16-02327-003SUBDIVISION

LOTBLOCKPHASEUNITTOTAL ACRES10.02

CGC058011

Culvert Permit No.Culvert WaiverContractor's License NumberApplicant/Owner/Contractor

EXISTING06-0814-EBLKJTHN

Driveway ConnectionSeptic Tank NumberLU & Zoning checked byApproved for IssuanceNew Resident

COMMENTS:SDP 06-7. NOC ON FILE. 1 FOOT ABOVE ROAD. BUILDING # 7.

Check # or Cash9628

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary PowerFoundationMonolithic

date/app. bydate/app. bydate/app. by

Under slab rough-in plumbingSlabSheathing/Nailing

date/app. bydate/app. bydate/app. by

FramingRough-in plumbing above slab and below wood floor

date/app. bydate/app. bydate/app. by

Electrical rough-inHeat & Air DuctPeri. beam (Lintel)

date/app. bydate/app. bydate/app. by

Permanent powerC.O. FinalCulvert

date/app. bydate/app. bydate/app. by

M/H tie downs, blocking, electricity and plumbingPool

date/app. bydate/app. by

ReconnectionPump poleUtility Pole

date/app. bydate/app. bydate/app. by

M/H PoleTravel TrailerRe-roof

date/app. bydate/app. bydate/app. by

BUILDING PERMIT FEE \$740.00CERTIFICATION FEE \$22.00SURCHARGE FEE \$22.00

MISC. FEES \$0.00ZONING CERT. FEE \$50.00FIRE FEE \$0.00WASTE FEE \$

FLOOD DEVELOPMENT FEE \$FLOOD ZONE FEE \$25.00CULVERT FEE \$TOTAL FEE859.00

INSPECTORS OFFICECLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

## Columbia County Building Permit Application

Revised 9-23-04

For Office Use Only Application # 0608-96 Date Received 8-31-06 By LH Permit # 25097  
Application Approved by - Zoning Official BKX Date 29.09.06 Plans Examiner OK JTH Date 9-14-06  
Flood Zone X Development Permit N/A Zoning I Land Use Plan Map Category I  
Comments SDP 06-7  
~~NEED TO HAVE A PERMIT FOR THE FLOOD ZONE~~  
Fax: 399-0677 (904)

Applicants Name Dale Racine Phone 904-396-1451  
Address 2729 Summerall Ave. Jay FL 32207  
Owners Name MJE Investment Properties, LLC Phone 954-325-1786  
911 Address 228 N Wilks Lane (BUDG#7) Lake City FL 32055  
Contractors Name Racine Const. Co Dale Albert Racine Phone 904-396-1451  
Address 2729 Summerall Ave Jay, FL 32207  
Fee Simple Owner Name & Address \_\_\_\_\_  
Bonding Co. Name & Address \_\_\_\_\_  
Architect/Engineer Name & Address FRANK S. HOLAS PO Box 23656 Jay, FL 32241  
Mortgage Lenders Name & Address \_\_\_\_\_  
Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
Property ID Number 27-35-16-02327-003 Estimated Cost of Construction 148,000  
Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
Driving Directions US 90 west to Lake City Ave turn north to end of road

Type of Construction Commercial pre-engineered Metal Bldg Number of Existing Dwellings on Property \_\_\_\_\_  
Total Acreage 10.02 Lot Size \_\_\_\_\_ Do you need a - Culvert Permit or Culvert Walver or Have an Existing Drive  
Actual Distance of Structure from Property Lines - Front 350 Side 74 Side 311 Rear 20  
Total Building Height 13.10 Number of Stories 1 Heated Floor Area 0 Roof Pitch 12:12  
TOTAL 4,400

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Dale Albert Racine  
Builder or Agent (Including Contractor) Stephen C. Henderson III  
Commission # DD407563  
Expires April 15, 2009  
Bonded Troy Fair - Insurance, Inc. 800-385-7019

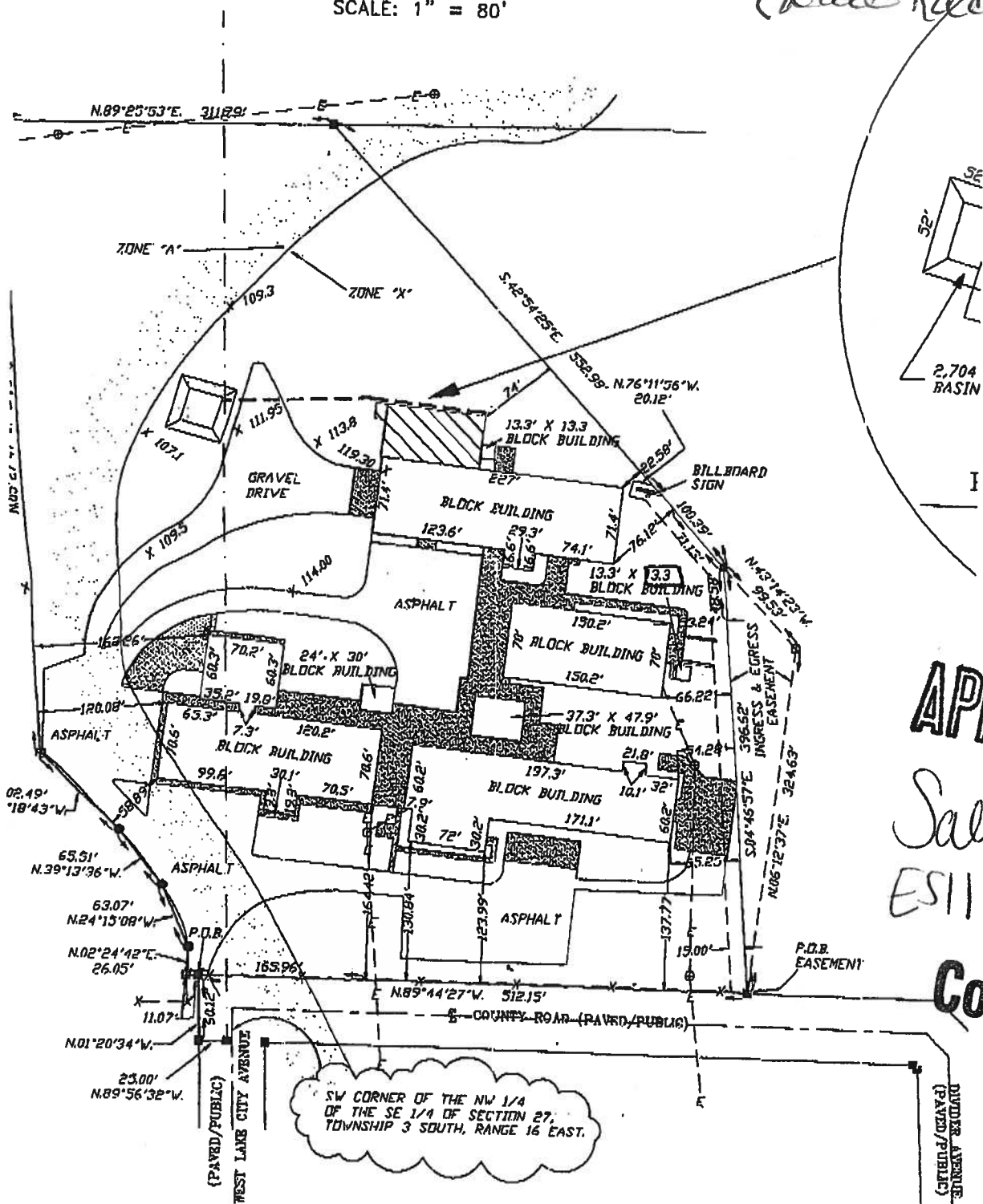
STATE OF FLORIDA  
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me  
this 13<sup>TH</sup> day of JULY 2006.  
Personally known ✓ or Produced Identification \_\_\_\_\_

Dale Albert Racine  
Contractor Signature  
Contractors License Number C&CO 58011  
Competency Card Number \_\_\_\_\_  
NOTARY STAMP/SEAL  
Notary Signature

# MJE Investment Properties (Dale Racine)

SCALE: 1" = 80'



06-0814E

**APPROVED**

Sallie Gaddy  
ESII

**Columbia CHD**

9-20-06

SW CORNER OF THE NW 1/4  
OF THE SE 1/4 OF SECTION 27,  
TOWNSHIP 3 SOUTH, RANGE 16 EAST.

Dale Racine 9-13-06

**Columbia County Property Appraiser**

DB Last Updated: 8/1/2006

**2006 Proposed Values**

Parcel: 27-3S-16-02327-003

Tax Record

Property Card

Interactive GIS Map

Print

**Owner & Property Info**

Search Result: 1 of 1

<b>Owner's Name</b>	MJE INVESTMENT PROPERTIES LLC
<b>Site Address</b>	
<b>Mailing Address</b>	3141 SE 14TH AVE FT LAUDERDALE, FL 33316
<b>Description</b>	COMM SW COR OF NW1/4 OF SE1/4, RUN W 25 FT TO A PT ON W R/W WEST LAKE CITY AVE, N ALONG R/W 60.12 FT FOR POB, RUN W 11.07 FT, N 26.05 FT, NW 24 DEG 63.07 FT, NW 39 DEG 65.51 FT, NW 47 DEG 102.49 FT, N 593.73 FT, E 311.79 FT, SE 42 DEG 552.98 FT, S 396.62 FT TO A PT ON N R/W OF CO RD, W ALONG R/W 512.15 FT TO POB. ORB 828-812, 841-720, 895-801 THRU 807, CT 963-2747, WD 1089-496

<b>Use Desc. (code)</b>	LIGHT MANU (004100)
<b>Neighborhood</b>	27316.00
<b>Tax District</b>	2
<b>UD Codes</b>	MKTA06
<b>Market Area</b>	06
<b>Total Land Area</b>	10.020 ACRES

**Property & Assessment Values**

<b>Mkt Land Value</b>	cnt: (1)	\$102,204.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (4)	\$1,011,504.00
<b>XFOB Value</b>	cnt: (3)	\$57,501.00
<b>Total Appraised Value</b>		\$1,171,209.00

<b>Just Value</b>	\$1,171,209.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$1,171,209.00
<b>Exempt Value</b>	\$0.00
<b>Total Taxable Value</b>	\$1,171,209.00

**Sales History**

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
6/29/2006	1089/496	WD	I	Q		\$1,875,000.00
9/18/2002	963/2747	CT	I	U	03	\$600,000.00
1/10/2000	895/807	WD	I	U	03	\$1,750,000.00

**Building Characteristics**

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MANUF LGHT (008000)	1983	Conc Block (15)	17340	19836	\$323,376.00
2	WAREH STOR (008400)	1983	Corg Metal (24)	19350	19350	\$159,152.00
3	WAREH STOR (008400)	1984	Conc Block (15)	10500	10696	\$147,412.00
4	WAREH STOR (008400)	1988	Conc Block (15)	20512	20694	\$381,564.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

**Extra Features & Out Buildings**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0260	PAVEMENT-A	2002	\$23,234.00	42243.000	0 x 0 x 0	AP (50.00)
0166	CONC,PAVMT	2002	\$31,829.00	26524.000	0 x 0 x 0	AP (40.00)
0140	CLFENCE 6	2002	\$2,438.00	500.000	0 x 0 x 0	AP (25.00)

**Land Breakdown**

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
004200	HEAVY MFG (MKT)	10.020 AC	1.00/1.00/1.00/1.00	\$10,200.00	\$102,204.00

Columbia County Property Appraiser

DB Last Updated: 8/1/2006

1 of 1

NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

\*\*\*THIS DOCUMENT MUST BE RECORDED AT THE COUNTY  
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.\*\*\*

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 27-35-16-02327-003

1. Description of property: (legal description of the property): Attached  
:2006020748 Date:08/31/2006 Time:09:26  
J.4 DC, P. DeWitt Cason, Columbia County B:1094 P:1533  
228 N. Wilks Lane Bldg #7
2. General description of Improvement: Pre-engineered metal Bldg addition
3. Owner Name & Address MJE Investment Properties, LLC  
3141 SE. 14th Ave Ft. Lauderdale FL 33335 Interest In Property 100%
4. Name & Address of Fee Simple Owner (if other than owner): \_\_\_\_\_
5. Contractor Name Racine Const. Co Phone Number 904-396-1451  
Address 2729 Summerall Ave Jax, Fl. 32207
6. Surety Holders Name \_\_\_\_\_ Phone Number \_\_\_\_\_  
Address \_\_\_\_\_  
Amount of Bond \_\_\_\_\_
7. Lender Name \_\_\_\_\_ Phone Number \_\_\_\_\_  
Address \_\_\_\_\_
8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:  
Name Miller Bearings, Inc. Attn: Craig Faber Phone Number 407-425-9078  
Address 17 S. Westmoreland Dr. Orlando, Fl. 32805
9. In addition to himself/herself the owner designates \_\_\_\_\_ of \_\_\_\_\_  
to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -  
(a) 7. Phone Number of the designee \_\_\_\_\_
10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) \_\_\_\_\_

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

[Signature]  
Signature of Owner Managing Partner  
Ar MJE Investment Properties, LLC

Sworn to (or affirmed) and subscribed before  
day of August 10, 2006

NOTARY STAMP/SEAL  
My Commission DD344267  
Expires October 22, 2008

[Signature]  
Signature of Notary



:2006020748 Date:08/31/2006 Time:09:26

DC,P.Dewitt Cason,Columbia County B:1094 P:1534

**EXHIBIT "A"****DESCRIPTION:**

A PART OF THE NORTH 1/2 OF THE SOUTH 1/2 OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 16 EAST, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE SW CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 27 AND RUN THENCE N.89°56'32"W., ALONG THE SOUTH LINE OF SAID NORTH 1/2 OF SOUTH 1/2 A DISTANCE OF 25.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF WEST LAKE CITY AVENUE; THENCE N.01°20'34"W., ALONG SAID WEST RIGHT-OF-WAY A DISTANCE OF 60.12 FEET TO THE POINT OF BEGINNING; THENCE N.89°44'27"E., A DISTANCE OF 11.07 FEET; THENCE N.02°54'25"E., A DISTANCE OF 26.05 A DISTANCE FEET; THENCE N.2°15'08"W., 63.07 A DISTANCE FEET; THENCE N.39°13'36"W., 65.51 A DISTANCE FEET; THENCE N.17°18'43"W., 102.49 A DISTANCE FEET; THENCE N.05°27'47"W., A DISTANCE OF 593.73 FEET; THENCE N.89°25'10"E., A DISTANCE OF 311.79 FEET; THENCE S.42°54'25"E., A DISTANCE OF 552.98 FEET; THENCE S.04°46'57"E., A DISTANCE OF 396.62 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY OF A COUNTY ROAD; THENCE N.89°44'27"W., ALONG SAID NORTH RIGHT-OF-WAY A DISTANCE OF 512.15 FEET TO THE POINT OF BEGINNING, COLUMBIA COUNTY, FLORIDA. PARCEL CONTAINS 10.02 ACRES, MORE OR LESS.

**DESCRIPTION: EASEMENT (DOCK ACCESS)**

AN EASEMENT FOR INGRESS AND EGRESS BEING A PART OF THE NORTH 1/2 OF THE SOUTH 1/2 OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 16 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE SW CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 27 AND RUN THENCE N.89°56'32"W., ALONG THE SOUTH LINE OF SAID NORTH 1/2 OF SOUTH 1/2 A DISTANCE OF 25.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF WEST LAKE CITY AVENUE; THENCE N.01°20'34"W., ALONG SAID WEST RIGHT-OF-WAY A DISTANCE OF 60.12 FEET; THENCE N.89°44'27"E., A DISTANCE OF 512.15 FEET TO THE POINT OF BEGINNING; THENCE N.06°12'37"E., A DISTANCE OF 324.63 FEET; THENCE N.43°14'23"W., A DISTANCE OF 99.53 FEET; THENCE S.04°46'57"E., A DISTANCE OF 396.62 TO THE POINT OF BEGINNING, COLUMBIA COUNTY, FLORIDA.

**DESCRIPTION: EASEMENT (BILLBOARD)**

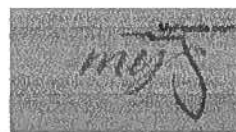
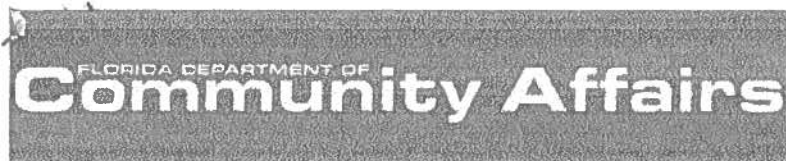
AN EASEMENT FOR INGRESS AND EGRESS BEING 15 FEET IN WIDTH AS MEASURED TO THE LEFT OF AND PERPENDICULAR TO THE FOLLOWING DESCRIBED LINE:

AN EASEMENT FOR INGRESS AND EGRESS BEING A PART OF THE NORTH 1/2 OF THE SOUTH 1/2 OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 16 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE SW CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 27 AND RUN THENCE N.89°56'32"W., ALONG THE SOUTH LINE OF SAID NORTH 1/2 OF SOUTH 1/2 A DISTANCE OF 25.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF WEST LAKE CITY AVENUE; THENCE N.01°20'34"W., ALONG SAID WEST RIGHT-OF-WAY A DISTANCE OF 60.12 FEET; THENCE N.89°44'27"E., A DISTANCE OF 512.15 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT; THENCE N.04°46'57"W., 396.62 FEET; THENCE N.42°54'25"E., 100.39 FEET; THENCE N.76°11'56"W., 201.2 FEET TO THE POINT OF TERMINATION OF SAID LINE.

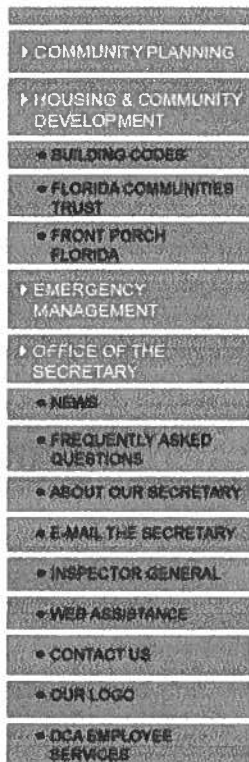
**DESCRIPTION: EASEMENT (WELL)**

AN EASEMENT FOR GENERAL UTILITY PURPOSES AND MAINTENANCE OVER, UNDER, AND ACROSS THE FOLLOWING DESCRIBED PARCEL, SAID PARCEL BEING MEASURED 5.00 FEET TO THE LEFT AND 5.00 FEET TO THE RIGHT OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT THE SW CORNER OF THE NW 1/4 OF THE SE 1/4 OF SAID SECTION 27 AND RUN THENCE N.89°56'32"W., ALONG THE SOUTH LINE OF SAID NORTH 1/2 OF SOUTH 1/2 A DISTANCE OF 25.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY OF WEST LAKE CITY AVENUE; THENCE N.01°20'34"W., ALONG SAID WEST RIGHT-OF-WAY A DISTANCE OF 60.12 FEET; THENCE S.09°44'27"E., A DISTANCE OF 678.38 FEET; THENCE N.02°15'55"E., A DISTANCE OF 14.71 FEET TO THE POINT OF BEGINNING OF SAID CENTERLINE; THENCE CONTINUE N.02°15'55"E., A DISTANCE OF 10.00 FEET TO THE POINT OF TERMINATION OF SAID CENTERLINE. TOGETHER WITH AN EASEMENT ALONG THE EXISTING MAIN LINE AND ITS BRANCHES AS PERTINENT TO THE ABOVE DESCRIBED PROPERTY BEING 5.00 FEET TO THE RIGHT AND 5.00 FEET TO THE LEFT OF THE EXISTING LINE.


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**Product Approval**

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<b>FL #</b>	FL2274-R2
<b>Application Type</b>	Revision
<b>Code Version</b>	2004
<b>Application Status</b>	Approved
<b>Comments</b>	
<b>Archived</b>	<input type="checkbox"/>
<b>Product Manufacturer</b>	Janus International Corporation
<b>Address/Phone/Email</b>	134 East Luke Road Temple, GA 30179 (770) 562-6052 donm@janusintl.com
<b>Authorized Signature</b>	Don Mills donm@janusintl.com
<b>Technical Representative</b>	Don Mills
<b>Address/Phone/Email</b>	134 East Luke Road Temple, GA 301794435 (770) 562-6052 donm@janusintl.com
<b>Quality Assurance Representative</b>	
<b>Address/Phone/Email</b>	
<b>Category</b>	Exterior Doors
<b>Subcategory</b>	Roll-Up Exterior Door Assemblies
<b>Compliance Method</b>	Evaluation Report from a Florida Registered Architect or a Licensed Florida Professional Engineer <input checked="" type="checkbox"/> Evaluation Report - Hardcopy Received
<b>Florida Engineer or Architect Name who developed the Evaluation Report</b>	Joseph H. Dixon, Jr.
<b>Florida License</b>	PE- 7768
<b>Quality Assurance Entity</b>	National Accreditation and Management Institute
<b>Validated By</b>	Walter T. Holz, Jr.

Certificate of Independence

Referenced Standard and Year (of

**Standard****Year**

Standard)	ASCE 7	2002
	ASTM E330	2002
	FBC Test Protocol TAS 201	1994
	FBC Test Protocols TAS 202, TAS 203	1994

Equivalence of Product Standards  
Certified By

Sections from the Code           1609, 1620  
  1625  
  1626.2  
  1714.5.3

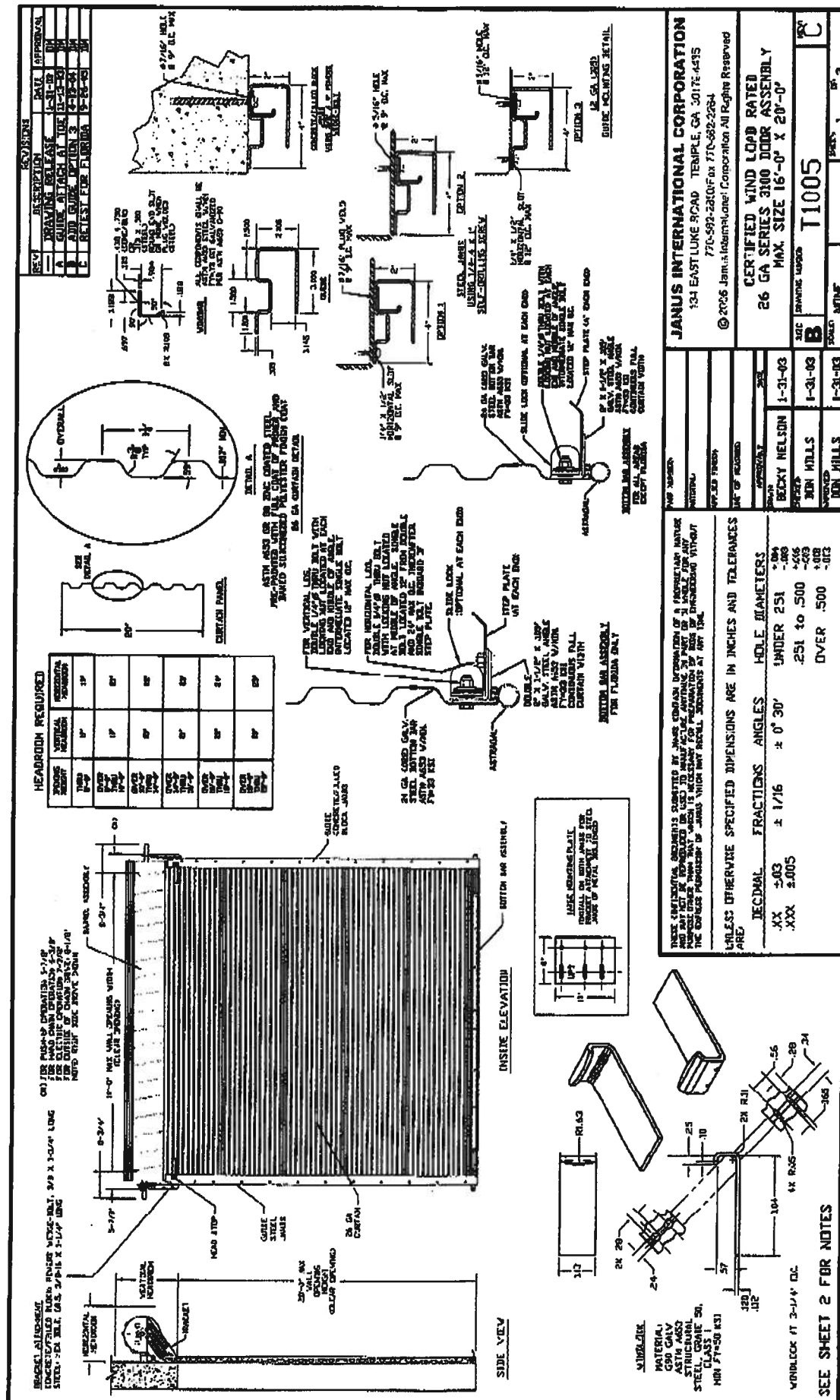
Product Approval Method           Method 2 Option B

Date Submitted                   11/15/2005  
Date Validated                   11/16/2005  
Date Pending FBC Approval       11/23/2005  
Date Approved                   12/07/2005

Summary of Products		
FL #	Model, Number or Name	Description
2274.1	Series 3100 Commercial	Dwg T1004
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other:</b> Openings thru 12'-0" x 20'-0", +36.0/-41.0 psf design load rated. Not to be used in HVHZ.		<b>Installation Instructions</b> Verified By: <b>Evaluation Reports</b> PTID 2274 R2 T Dwg T1000-A 750 3.pdf PTID 2274 R2 T Dwg T1001-A 750 6.pdf PTID 2274 R2 T Dwg T1002-A 750 8-8.pdf PTID 2274 R2 T Dwg T1003-A 750 10.pdf PTID 2274 R2 T Dwg T1004-B 3100 12.pdf PTID 2274 R2 T Dwg T1005-C 3100 16.pdf PTID 2274 R2 T Dwg T1006-S-A 850-S 8-8.pdf PTID 2274 R2 T Evaluation Report 2004 Rev 11- 11-05.pdf PTID 2274 R2 T Series 3100 Calculations.pdf PTID 2274 R2 T Series 3100 Installation.pdf PTID 2274 R2 T Series 750 Calculations.pdf PTID 2274 R2 T Series 750 Installation.pdf PTID 2274 R2 T Series 850 Installation.pdf PTID 2274 R2 T Test CTLA-1024W 3100 12.pdf PTID 2274 R2 T Test CTLA-1115W 850 8-8.pdf PTID 2274 R2 T Test CTLA-1194W 3100 12.pdf PTID 2274 R2 T Test CTLA-1432W 3100 16.pdf PTID 2274 R2 T Test CTLA-1432W- 1 3100 16.pdf PTID 2274 R2 T Test CTLA-983W 750 3.pdf PTID 2274 R2 T Test CTLA-983W-1 750 6.pdf PTID 2274 R2 T Test CTLA-983W-2 750 8-8.pdf PTID 2274 R2 T Test CTLA-983W-3 750 10.pdf
2274.2	Series 3100 Commercial	Dwg T1005
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b>		<b>Installation Instructions</b> Verified By: <b>Evaluation Reports</b>









**SUWANNEE  
RIVER  
WATER  
MANAGEMENT  
DISTRICT**

9225 CR 49  
LIVE OAK, FLORIDA 32060  
TELEPHONE: (386) 362-1001  
TELEPHONE: 800-226-1066  
FAX (386) 362-1056

**GENERAL PERMIT**

**PERMITTEE:**

FIRST NATIONAL BANK OF NORTHWEST  
FLORIDA  
101 EAST 23RD STREET  
PANAMA CITY, FL 32405

**PERMIT NUMBER:** ERP06-0109

**DATE ISSUED:** 06/22/2006

**DATE EXPIRES:** 06/22/2009

**COUNTY:** COLUMBIA

**TRS:** S27/T3S/R16E

**PROJECT:** MILLER BEARING PROJECT

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

MICHAEL PETERS

FIRST NATIONAL BANK OF NORTHWEST FLORIDA  
101 EAST 23RD STREET  
PANAMA CITY, FL 32405

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

**Construction and operation of a surfacewater management system serving 0.11 acres of impervious surface on a total project area of 0.20 acres in a manner consistent with the application package submitted by Keen Engineering certified on May 25, 2006.**

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the

permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

**Standard Conditions for All General Permits:**

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to

operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the



system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;

- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;
- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not

commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.



29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by  Date Approved 6-22-06  
District Staff

   
Clerk Executive Director



STATE OF FLORIDA

AC# 2025575

DEPARTMENT OF BUSINESS AND  
PROFESSIONAL REGULATION

QB0002511

06/09/05 040972785

QUALIFIED BUSINESS ORGANIZATION  
RACINE CONSTRUCTION CO

(NOT A LICENSE TO PERFORM WORK.  
ALLOWS COMPANY TO DO BUSINESS IF  
IT HAS A LICENSED QUALIFIER.)

IS QUALIFIED under the provisions of Ch.489 FS.

Expiration date: AUG 31, 2007

L05060903301

STATE OF FLORIDA

AC# 2527236

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION  
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# 102063361173

BATCH NUMBER LICENSE NBR

DATE

06/23/2006 050856096 JCG058N11

THE GENERAL CONTRACTOR

NAMED BELOW IS CERTIFIED

UNDER THE PROVISIONS OF CHAPTER 489 FS.

EXPIRATION DATE AUG 31, 2008

RACINE, DAGE ALBERT  
RACINE CONSTRUCTION COMPANY

2729 SUMMERL AVE FL 3207  
JACKSONVILLE

JEB BUSH  
GOVERNOR

EMONE MARSHALLER  
SECRETARY

DISPLAY AS REQUIRED BY LAW



# ACORD™ CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)  
06/08/2006PRODUCER (904)268-7310 FAX (904)268-2801  
J.P. Perry Insurance, Inc.  
3342 Kori Road  
Jacksonville, FL 32257

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED Racine Construction Co  
2729 Summerall Ave  
Jacksonville, FL 32207

## INSURERS AFFORDING COVERAGE

NAIC #

INSURER A: Southern Owners Insurance

10190

INSURER B: Owners

32700

INSURER C:

INSURER D:

INSURER E:

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSRD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A	GENERAL LIABILITY	7865236406	06/01/2006	06/01/2007	EACH OCCURRENCE \$ 1,000,000
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY				DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
	<input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR				MED EXP (Any one person) \$ 10,000
					PERSONAL & ADV INJURY \$ 1,000,000
					GENERAL AGGREGATE \$ 2,000,000
					PRODUCTS - COMP/OP AGG \$ 2,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:				
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				
B	AUTOMOBILE LIABILITY	4320270601	12/12/2005	12/12/2006	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000
	<input checked="" type="checkbox"/> ANY AUTO				BODILY INJURY (Per person) \$
	<input type="checkbox"/> ALL OWNED AUTOS				BODILY INJURY (Per accident) \$
	<input type="checkbox"/> SCHEDULED AUTOS				PROPERTY DAMAGE (Per accident) \$
	<input checked="" type="checkbox"/> HIRED AUTOS				
<input checked="" type="checkbox"/> NON-OWNED AUTOS					
	GARAGE LIABILITY				AUTO ONLY - EA ACCIDENT \$
	<input type="checkbox"/> ANY AUTO				OTHER THAN EA ACC \$
					AUTO ONLY: AGG \$
	EXCESS/UMBRELLA LIABILITY				EACH OCCURRENCE \$
	<input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE				AGGREGATE \$
					\$
	DEDUCTIBLE				\$
	RETENTION \$				\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY				WC STATU-TORY LIMITS OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED?				E.L. EACH ACCIDENT \$
	If yes, describe under SPECIAL PROVISIONS below				E.L. DISEASE - EA EMPLOYEE \$
	OTHER				E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

## CERTIFICATE HOLDER

Columbia County Building & Zoning Department  
135 NorthEast Hernando Avenue  
Suite B21  
Lake City, FL 32055

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

Joseph Perry, III/KLW



**ACORD™ CERTIFICATE OF LIABILITY INSURANCE**DATE(MM/DD/YYYY)  
12/8/2005PRODUCER Phone: 781-455-0700 Fax: (781) 449-8976  
Roblin Insurance Agency, Inc.  
144 Gould Street  
Needham MA 02494

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

INSURED  
YJNK VIII  
30750 US Highway 19N  
Clearwater FL 33758

## INSURERS AFFORDING COVERAGE

NAIC#

INSURER A: AIG Companies

INSURER B:

INSURER C:

INSURER D:

INSURER E:

## COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR ADD'L LTR INSD	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE(MM/DD/YY)	POLICY EXPIRATION DATE(MM/DD/YY)	LIMITS	
	<b>GENERAL LIABILITY</b> <input type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> OCCUR  <input type="checkbox"/>  GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC				EACH OCCURRENCE	\$
					DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
					MED EXP (Any one person)	\$
					PERSONAL & ADV INJURY	\$
					GENERAL AGGREGATE	\$
					PRODUCTS - COMP/OP AGG	\$
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS <input type="checkbox"/> NON-OWNED AUTOS				COMBINED SINGLE LIMIT (Ea accident)	\$
					BODILY INJURY (Per person)	\$
					BODILY INJURY (Per accident)	\$
					PROPERTY DAMAGE (Per accident)	\$
	<b>GARAGE LIABILITY</b> <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT	\$
					OTHER THAN AUTO ONLY: EA ACC	\$
					AGG	\$
	<b>EXCESS/UMBRELLA LIABILITY</b> <input type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE  <input type="checkbox"/> DEDUCTIBLE <input type="checkbox"/> RETENTION \$				EACH OCCURRENCE	\$
					AGGREGATE	\$
						\$
						\$
						\$
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY	FLA - 5641996	12/1/2005	12/1/2006	X WC STATU-TORY LIMITS	OTH-ER
A	ANY PROPRIETARY PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below	AOS - 5641997	12/1/2005	12/1/2006	EL EACH ACCIDENT	\$ 1,000,000
					EL D SEASE - EA EMPLOYEE	\$ 1,000,000
					EL D SEASE - POLICY LIMIT	\$ 1,000,000
	OTHER					

## DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

Coverage applies only those employees leased to, but not subcontractors of, Racine Construction Co.  
ATTENTION CERTIFICATE HOLDER: A fax request on your companies letter head can be sent to 727-772-7291 to obtain a list of active employees covered by workers' compensation on your job site or facility as it pertains to this certificate of insurance.

## CERTIFICATE HOLDER

Columbia County Building & Zoning  
Department  
135 Northeast Hernando Ave, Ste 821  
Lake City FL 32055

## CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

AUTHORIZED REPRESENTATIVE

*Ben Roblin*

District No. 1 - Ronald Williams  
District No. 2 - Dewey Weaver  
District No. 3 - George Skinner  
District No. 4 - William Whitley  
District No. 5 - Elizabeth Porter

**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**



September 29, 2006

Mr. Dale Racine  
Racine Construction Co.  
2729 Summerall Ave.  
Jacksonville, FL 32207

Re: SDP # 06-07

Dear Mr. Racine:

This letter is to inform you that your application for a Site Development Plan was approved by the Columbia County Planning and Zoning Board at the meeting on September 28, 2006.

Any necessary permits required by the County's Building Department can be obtained at this time.

If you have any questions concerning this matter, please feel free to contact me at (386) 758-1008.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner".

Brian L. Kepner  
County Planner

APPLICATION FOR SITE AND DEVELOPMENT PLAN APPROVAL  
BY THE COLUMBIA COUNTY PLANNING AND ZONING BOARD

SECTION TO BE COMPLETED BY APPLICANT

INFORMATION CONCERNING TITLE HOLDER(S) AND AGENT

Name of Title Holder(s): MJE Investment Properties LLC

Address: 3141 S.E. 14<sup>th</sup> Ave FL 33335  
State: Zip:

Telephone: 954-325-1786

Do any other persons have any ownership or interest in subject property? Yes \_\_\_\_\_ No ☒

If yes, list such persons: \_\_\_\_\_

Title Holder's Representative (Agent), if applicable: Dale Racine, Racine Const. Co.

Address: 2729 Summerall Ave FL 32207  
State: Zip:

Telephone: 904-396-1451

A Site and Development Plan Approval is requested in conformity with the County's Zoning Regulations to permit (check as appropriate):

( ) Alteration of site square footage of gross floor area of alteration: \_\_\_\_\_

(X) New construction on a site-square footage of gross floor area of new construction: 4,400

( ) Relocation of a structure-square footage of gross floor area of structure: \_\_\_\_\_

on the property described below, and in conformity with the site plan dated: \_\_\_\_\_

Type of Use: Warehousing

(retail commercial, repair garage, office, warehousing, assembling, etc.)

Legal description (add additional pages as necessary):

See attached

Size of property in acres or fractions thereof: 10.020 Acres

Present Use: Industrial

(commercial, industrial, residential, agricultural, etc.)

Future Land Use Plan Map Category: Industrial

Zoning District: Industrial

Application for Site and Development Plan  
Approval by Planning and Zoning Board

ACTIONS BY APPLICANT ON PROPERTY

A previous site and development plan application:

\_\_\_\_\_ was made with respect to these premises, Application No. \_\_\_\_\_  
X was not made with respect to these premises.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

If titleholder(s) are represented by an agent, a letter of such designation from the title holder(s) addressed to the county's Building and Zoning Coordinator must be attached.

Dale A. Racine

Applicant Name (Type or Print)

Dale A. Racine

Applicant Signature

9/12/06

Date

APPLICANT ACKNOWLEDGES THAT EITHER APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT THE PUBLIC HEARINGS BEFORE THE BOARD, OTHERWISE THE REQUEST WILL NOT BE CONSIDERED (UNLESS APPLICANT'S APPEARANCE IS PREVIOUSLY WAIVED BY STAFF).

FOR OFFICE USE ONLY

Date Filed: 13 SEPT 06

Site and Development Plan Application No. 06-7

Fee Amount: \$ 300.00 Receipt No.: 3492

Planning and Zoning Board Decision: \_\_\_\_\_

(Granted, Denied, Etc.)

Date of Action of Planning and Zoning Board: 28 SEPT. 06

**MJE Investment Properties, LLC**

**3141 S. E. 14th Ave.  
Fort Lauderdale, Florida 33335**

**September 11, 2006**

**Columbia County Planning and Zoning Board  
P. O. Box 1529  
Lake City, Florida 32056-1529**

**To Whom It May Concern,**

**Mr. Dale A. Racine, Racine Construction Company, is authorized to act as our agent in matters concerning the construction project at 228 N. Wilks Lane Building #7 (Parcel ID #27-3S-16-02327-003).**

**If you have any questions, please feel free to contact me at 954-325-1786.**

**Sincerely**

  
**John Jeremiah**

Return to:  
Vision Title of Alachua County, LLC  
4881 NW 8th Avenue, Suite 1  
Gainesville, FL 32605

## Warranty Deed

Inst:2006016330 Date:07/10/2006 Time:11:34

Doc Stamp-Deed : 13125.00

17 DC, P. DeWitt Cason, Columbia County B:1089 P:496

This Indenture, made, June 29, 2006 A.D.

Between

First National Bank Northwest Florida, National Banking Association whose  
post office address is: P.O. Box 59900, Panama City, FL 32417, Grantor and MJE  
Investment Properties, LLC, a Florida Limited Liability Company whose post  
office address is: 3141 SE 14th Avenue, Ft. Lauderdale, FL 33316, Grantee,

Witnesseth, that the said Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00 ), to it in hand  
paid by the said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee forever, the  
following described land, situate, lying and being in the County of Columbia, State of Florida, to wit:

SEE ATTACHED EXHIBIT 'A' ATTACHED HERETO AND MADE A PART HEREOF.

Subject to taxes for the current year, covenants, restrictions and easements of record, if any.

Parcel Identification Number: R02327-003

And the said Grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all  
persons whomsoever.

In Witness Whereof, the said Grantor has caused this instrument to be executed in its name by its duly authorized officer  
and caused its corporate seal to be affixed the day and year first above written.

First National Bank Northwest Florida, National Banking  
Association

By: [Signature] (Seal)

Its: Gregory G. Bernard, Vice President

Signed and Sealed in Our Presence:

Mary L. Poole

Witness Print Name: Mary L. Poole

Gayle Dempsey

Witness Print Name: Gayle Dempsey

(Corporate Seal)

State of Florida  
County of Bay

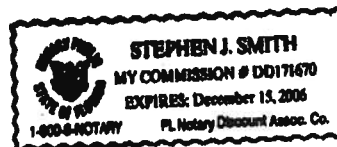
The foregoing instrument was acknowledged before me this 27th day of June, 2006, by Gregory G. Bernard, the  
Vice President of First National Bank Northwest Florida, National Banking Association. He is ☒ personally known  
to me or has ☐ produced drivers licenses as identification.

Stephen J. Smith (Seal)  
Notary Public  
Notary Printed Name: Stephen J. Smith

My Commission Expires:

Prepared by:  
Beverly K. Smith, an employee of  
Vision Title of Alachua County, LLC,  
4881 NW 8th Avenue, Suite 1  
Gainesville, Florida 32605

File Number: GV06-331





**Exhibit "A"**

Inst:2006016330 Date:07/10/2006 Time:11:34

Doc Stamp-Deed : 13125.00

File Number: GV06-331

DC, P. DeWitt Cason, Columbia County B:1089 P:497

A part of the North Half of the South Half of Section 27, Township 3 South, Range 16 East being more particularly described as follows, commence at the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section 27 and run thence North 89° 56'32" West along the South line of said North Half of South Half a distance of 25.00 feet to a point on the West right-of-way of West Lake City Avenue, thence North 01° 20'34" West, along said West right-of-way a distance of 60.12 feet to the Point of Beginning; thence North 89° 44'27" West, a distance of 11.07 feet; thence North 02° 24'42" East, a distance of 26.05 feet, thence North 24° 15'08" West, a distance of 63.07 feet, thence North 39° 13'36" West, a distance of 65.51 feet, thence North 47° 18'43" West, a distance of 102.49 feet, thence North 05° 27'47" West, a distance of 593.73 feet, thence North 89° 25'53" East, a distance of 311.79 feet, thence South 42° 54'25" East, a distance of 552.98 feet, thence South 04° 46'57" East, a distance of 396.62 feet to a point on the North right-of-way of a County Road, thence North 89° 44'27" West, along said North right-of-way a distance of 512.15 feet to the Point of Beginning, Columbia County, Florida.

**Description: Easement (Dock Access)**

An Easement for ingress and egress being a part of the North Half of the South Half of Section 27, Township 3 South, Range 16 East, more particularly described as follows, commence at the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section 27 and run thence 89° 56'32" West, along the South line of said North half of South half a distance of 25.00 feet to a point on the West right-of-way of West Lake City Avenue, thence North 01° 20'34" West along said West right-of-way a distance of 60.12 feet; thence South 89° 44'27" East, a distance of 512.15 feet to the Point of Beginning thence North 06° 12'37" East, a distance of 324.63 feet, thence North 43° 14'23" West, a distance of 99.53 feet, thence South 04° 46'57" East, a distance of 396.62 to the Point of Beginning, Columbia County, Florida.

**Description: Easement (Billboard)**

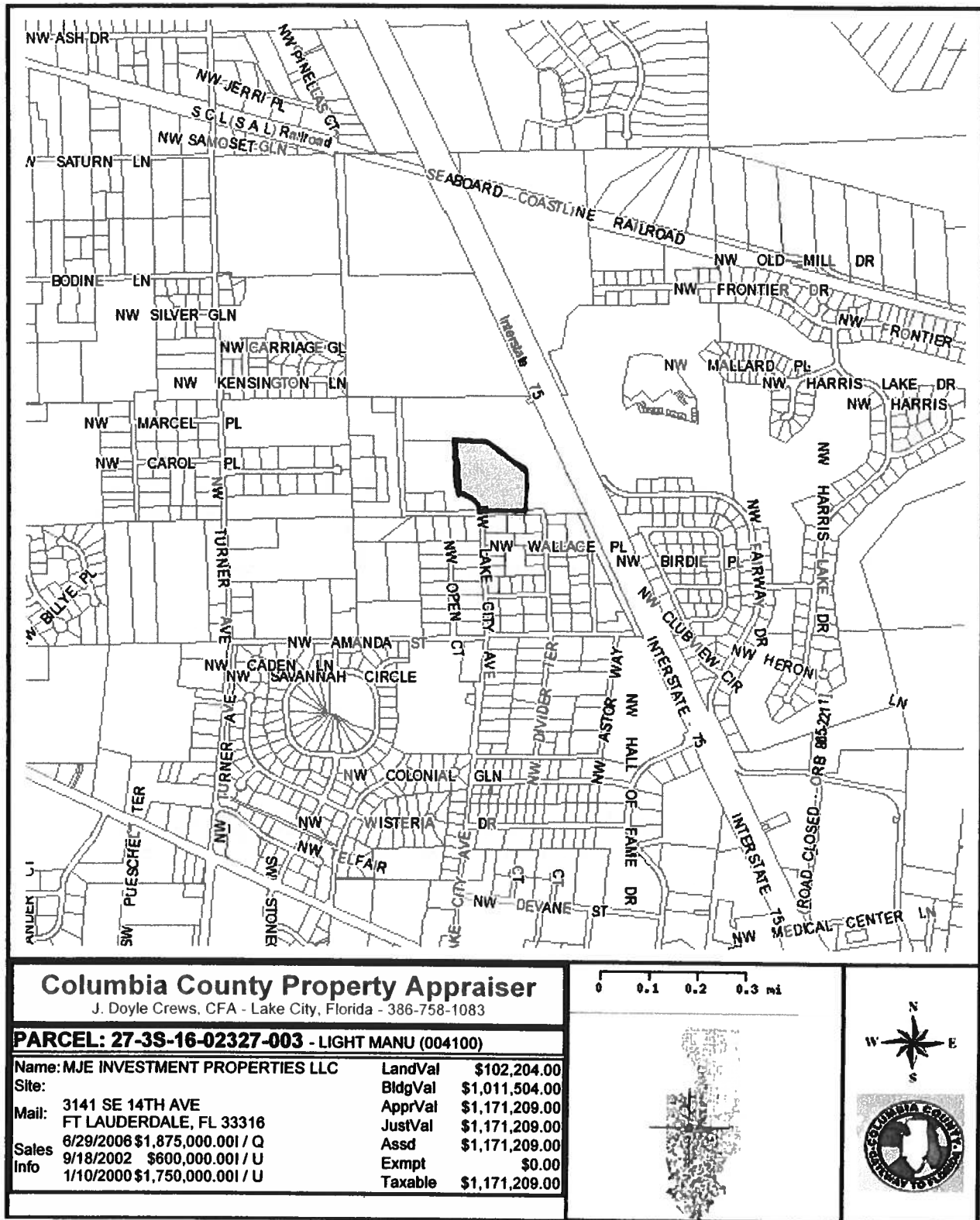
An easement for ingress and egress being 15 feet in width as measured to the left of and perpendicular to the following described line: An easement for ingress and egress being a part of the North Half of the South Half of Section 27, Township 3 South, Range 16 East, more particularly described as follows, commence at the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section 27 and run thence North 89° 56'32" West, along the South line of said North Half of South Half a distance of 25.00 feet to a point of the West right-of-way of West Lake City Avenue; thence North 01° 20'34" West, along said West right-of-way a distance of 60.12 feet, thence South 89° 44'27" East, a distance of 512.15 feet to the Point of Beginning of said Easement, thence North 04° 46'57" West, 396.62 feet; thence North 42° 54'25" West 100.39 feet; thence North 76° 11'56" West, 20.12 feet to the point of termination of said line.

**Description: Easement (Well)**

An easement for general utility purposes and maintenance over, under and across the following described parcel, said parcel being measured 5.00 feet to the left and 5.00 feet to the right of the following described centerline: Commence at the Southwest corner of the Northwest Quarter of the Southeast Quarter of said Section 27 and run thence North 89° 56'32" West, along the South line of said North Half of South Half a distance of 25.00 feet to a point on the West right-of-way of West Lake City Avenue, thence North 01° 20'34" West, along said West right-of-way a distance of 60.12 feet, thence South 89° 44'27" East, a distance of 678.38 feet, thence North 02° 15'55" East, a distance of 14.71 feet to the Point of Beginning of said centerline, thence continue North 02° 15'55" East, a distance of 10.00 feet to the point of termination of said centerline, together with an easement along the existing main line and its branches as pertinent to the above described property being 5.00 feet to the right and 5.00 feet to the left of the existing line.

File Number: GV06-331

Legal Description with Non Homestead  
Closer's Choice



This information, GIS Map Updated: 9/1/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



**SUWANNEE  
RIVER  
WATER  
MANAGEMENT  
DISTRICT**

9225 CR 49  
LIVE OAK, FLORIDA 32060  
TELEPHONE: (386) 362-1001  
TELEPHONE: 800-226-1066  
FAX (386) 362-1056

**GENERAL PERMIT**

**PERMITTEE:**  
FIRST NATIONAL BANK OF NORTHWEST  
FLORIDA  
101 EAST 23RD STREET  
PANAMA CITY, FL 32405

**PERMIT NUMBER:** ERP06-0109  
**DATE ISSUED:** 06/22/2006  
**DATE EXPIRES:** 06/22/2009  
**COUNTY:** COLUMBIA  
**TRS:** S27/T3S/R16E

**PROJECT: MILLER BEARING PROJECT**

Approved entity to whom operation and maintenance may be transferred pursuant to rule 40B-4.1130, Florida Administrative Code (F.A.C.):

MICHAEL PETERS  
FIRST NATIONAL BANK OF NORTHWEST FLORIDA  
101 EAST 23RD STREET  
PANAMA CITY, FL 32405

Based on information provided, the Suwannee River Water Management District's (District) rules have been adhered to and an environmental resource general permit is in effect for the permitted activity description below:

**Construction and operation of a surfacewater management system serving 0.11 acres of impervious surface on a total project area of 0.20 acres in a manner consistent with the application package submitted by Keen Engineering certified on May 25, 2006.**

It is your responsibility to ensure that adverse off-site impacts do not occur either during or after construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You or any other substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, F.A.C., if they object to the District's actions. Failure to request a hearing within 14 days will constitute a waiver of your right to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the

permit.

This permit is issued under the provisions of chapter 373, F.S., chapter 40B-4, and chapter 40B-400, F.A.C. A general permit authorizes the construction, operation, maintenance, alteration, abandonment, or removal of certain minor surface water management systems. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surface water management system shown on the application and other documents included in the application. This is to notify you of District's agency action concerning Notice Of Intent. This action is taken pursuant to rule 40B-4 and 40B-400, F.A.C.

**Standard Conditions for All General Permits:**

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill materials placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharged from the permitted system, including, but not limited to, the parameters in chapter 62-302, F.A.C., shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Wastes" by the U.S. Environmental Protection Agency.
3. The operational and maintenance phase of an environmental resource permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharges during and after construction shall be made only through the facilities authorized by the permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to

Permit No.: ERP06-0109

Project: MILLER BEARING PROJECT

Page 3 of 7

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operating schedules established by the District.

5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, F.A.C.

6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.

7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.

8. It is the responsibility of the permittee to obtain all other clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.

10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, F.S., such inspection and report shall be made by an engineer.

11. The permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. The permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.

12. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, F.A.C.

13. The permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, F.A.C., or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, F.A.C.

14. All activities shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit.

15. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications, shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.

16. Activities approved by this permit shall be conducted in a manner which do not cause violations of state water quality standards.

17. Prior to and during construction, the permittee shall implement and maintain all erosion and sediment control measures (best management practices) required to retain sediment on-site and to prevent violations of state water quality standards. All practices must be in accordance with the guidelines and specifications in the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual unless a project specific erosion and sediment control plan is approved as part of the permit, in which case the practices must be in accordance with the plan. If site-specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the permittee shall implement additional best management practices as necessary, in accordance with the Florida Stormwater, Erosion, and Sedimentation Control Inspector's Manual. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.

18. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than seven days after the construction activity in that portion of the site has temporarily or permanently ceased.

19. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District a Construction Commencement Notice Form No. 40B-1.901(14) indicating the actual start date and the expected completion date.

20. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an Annual Status Report Form No. 40B-1.901(15). These forms shall be submitted during June of each following year.

21. For those systems which will be operated or maintained by an entity requiring an easement or deed restriction in order to provide that entity with the authority necessary to operate or maintain the



system, such easement or deed restriction, together with any other final operation or maintenance documents as are required by Paragraph 40B-4.2030(2)(g), F.A.C., and Rule 40B-4.2035, F.A.C., must be submitted to the District for approval. Documents meeting the requirements set forth in these subsections of District rules will be approved. Deed restrictions, easements and other operation and maintenance documents which require recordation either with the Secretary of State or Clerk of the Circuit Court must be so recorded prior to lot or unit sales within the project served by the system, or upon completion of construction of the system, whichever occurs first. For those systems which are proposed to be maintained by county or municipal entities, final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local governmental entity. Failure to submit the appropriate final documents referenced in this paragraph will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system.

22. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of that phase or portion of the system to a local government or other responsible entity.

23. Within 30 days after completion of construction of the permitted system, or independent portion of the system, the permittee shall submit a written statement of completion and certification by a registered professional engineer or other appropriate individual as authorized by law, using the supplied As-Built Certification Form No. 40B-1.901(16) incorporated by reference in Subsection 40B-1.901(16), F.A.C. When the completed system differs substantially from the permitted plans, any substantial deviations shall be noted and explained and two copies of as-built drawings submitted to the District. Submittal of the completed form shall serve to notify the District that the system is ready for inspection. The statement of completion and certification shall be based on on-site observation of construction (conducted by the registered professional engineer, or other appropriate individual as authorized by law, or under his or her direct supervision) or review of as-built drawings for the purpose of determining if the work was completed in compliance with approved plans and specifications. As-built drawings shall be the permitted drawings revised to reflect any changes made during construction. Both the original and any revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawing. All surveyed dimensions and elevations shall be certified by a registered surveyor. The following information, at a minimum, shall be verified on the as-built drawings:

- a. Dimensions and elevations of all discharge structures including all weirs, slots, gates, pumps, pipes, and oil and grease skimmers;

- b. Locations, dimensions, and elevations of all filter, exfiltration, or underdrain systems including cleanouts, pipes, connections to control structures, and points of discharge to the receiving waters;
- c. Dimensions, elevations, contours, or cross-sections of all treatment storage areas sufficient to determine stage-storage relationships of the storage area and the permanent pool depth and volume below the control elevation for normally wet systems, when appropriate;
- d. Dimensions, elevations, contours, final grades, or cross-sections of the system to determine flow directions and conveyance of runoff to the treatment system;
- e. Dimensions, elevations, contours, final grades, or cross-sections of all conveyance systems utilized to convey off-site runoff around the system;
- f. Existing water elevation(s) and the date determined; and
- g. Elevation and location of benchmark(s) for the survey.

24. The operation phase of this permit shall not become effective until the permittee has complied with the requirements of the condition in paragraph 23 above, the District determines the system to be in compliance with the permitted plans, and the entity approved by the District in accordance with Rule 40B-4.2035, F.A.C., accepts responsibility for operation and maintenance of the system. The permit may not be transferred to such approved operation and maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall request transfer of the permit to the approved responsible operation and maintenance operating entity if different from the permittee. Until the permit is transferred pursuant to Rule 40B-4.1130, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

25. Should any other regulatory agency require changes to the permitted system, the permittee shall provide written notification to the District of the changes prior to implementation so that a determination can be made whether a permit modification is required.

26. This permit does not eliminate the necessity to obtain any required federal, state, local and special District authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and in this chapter and Chapter 40B-4, F.A.C.

27. The permittee is hereby advised that Section 253.77, F.S., states that a person may not

Permit No.: ERP06-0109

Project: MILLER BEARING PROJECT

Page 7 of 7

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commence any excavation, construction, or other activity involving the use of sovereign or other lands of the state, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.

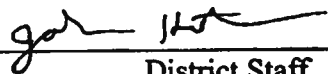
28. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered specifically approved unless a specific condition of this permit or a formal determination under 40B-400.046, F.A.C., provides otherwise.

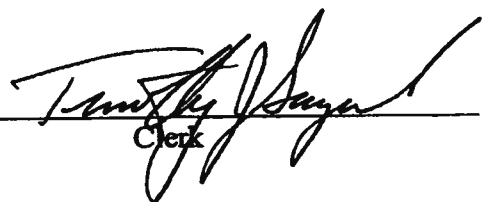
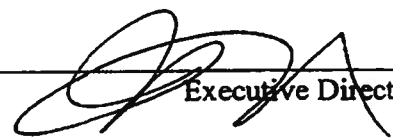
29. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of ownership or control of the permitted system or the real property at which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rule 40B-4.1130, F.A.C. The permittee transferring the permit shall remain liable for any corrective actions that may be required as a result of any permit violations prior to such sale, conveyance or other transfer.

30. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the District.

31. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

Approved by  Date Approved 6-22-06  
District Staff

 Clerk  
 Executive Director



## Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056

4784 Rosselle Street • Jacksonville, FL 32254

2230 Greensboro Highway • Quincy, FL 32351

Tel (386) 755-3633 • Fax (386) 752-5456

Tel (904) 381-8901 • Fax (904) 381-8902

Tel (850) 442-3495 • Fax (850) 442-4008

September 13, 2006

Racine Construction Company  
2729 Summerall Avenue  
Jacksonville, Florida 32207  
Attention: Mr. Dale Racine

Reference: Miller Bearing Addition  
228 Northwest Wilks Avenue  
Lake City, Florida  
Cal-Tech Project No. 06-525J

Dear Mr. Racine,

Cal-Tech Testing, Inc. has completed the subsurface investigation and engineering evaluation for the proposed building at the above referenced location. Our work was performed in conjunction with and authorized by you.

### Introduction

We understand you will construct a single-story, metal-frame addition with a plan area of approximately 4,400 square feet. Support for the structure is to be provided by conventional, shallow spread footings and monolithic slab. We understand that the design bearing pressure for the foundations is 2,000 pounds per square foot (psf). Detailed foundation loads have not been provided; however, we assume column and wall loads will not exceed 20 kips and 2.0 kips per foot, respectively.

The purposes of our investigation were to evaluate the existing subgrade soils for an allowable bearing pressure of 2,000 psf and to present recommendations for foundation design and construction.

### Site Investigation

The subsurface conditions were investigated by performing two (2) Standard Penetration Test borings advanced to a depth of 10 feet. The borings were performed at the approximate locations indicated on the attached Report of Soil Borings, and were located in the field taping distances from existing site features.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

### Findings

The soil borings encountered two soil strata. The first layer consisted of about four feet of very loose to loose, grey to tan fine sands (SP). The equivalent N-values of this layer range from 2 to 11 blows per foot.

The second layer consisted of an undetermined thickness of loose to medium dense, generally grey and orange, clayey sands (SC) and very stiff tan, grey and orange sandy clays (CL). The equivalent N-values of this layer range from 5 to 23 blows per foot.

Ground water was not encountered at the maximum boring depth of 10 feet.

For a more detailed description of the subsurface conditions encountered, please refer to the attached Report of Soil Borings. Note that the transition between soil layers may be gradual and not abrupt as indicated by the logs; therefore, the thickness of soil layers should be considered approximate.

### Discussion and Recommendations

The site soils appear to be very loose to loose to a depth of about 4 feet and then medium dense and very stiff below. Based upon these findings, moderate site improvement should be performed; however, it is our opinion the site soils are suitable to provide support for the building using conventional, shallow spread footings. We concur that the foundations may be sized using a maximum soil bearing pressure of 2,000 psf; however, we recommend foundations have minimum widths of 18 and 24 inches for strip and isolated footings, respectively, even though the allowable soil bearing pressure may not be developed. The bottoms of foundations should be embedded a minimum of 18 inches below the lowest adjacent grade (finished surface grade, for example).

Due to the generally very loose to loose condition of the immediate bearing soils, we believe it would be beneficial to proof-roll and then proof-compact the bearing soils in all foundation and floor slab areas. These bearing soils should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a depth of at least 2 feet. Compaction of the bearing soils will reduce settling of the foundations and thereby reduce the likelihood of distress in the structure.

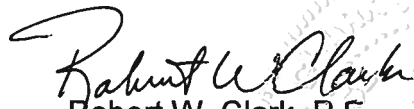
Our evaluation is based upon subsurface conditions encountered at this site and as presented within this report. However, subsurface conditions may exist that differ from our findings. We request that we be notified if substantially different subsurface conditions are encountered.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be further assistance.

Respectfully submitted,  
Cal-Tech Testing, Inc.

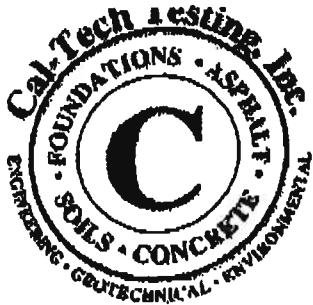


Linda Creamer  
President / CEO



Robert W. Clark, P.E.  
Geotechnical Engineer  
Registered Florida No. 52210

9/15/06



## Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
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The purposes of our investigation were to evaluate the existing subgrade soils for an allowable bearing pressure of 2,000 psf and to present recommendations for foundation design and construction.

### Site Investigation

The subsurface conditions were investigated by performing two (2) Standard Penetration Test borings advanced to a depth of 10 feet. The borings were performed at the approximate locations indicated on the attached Report of Soil Borings, and were located in the field taping distances from existing site features.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

### Findings

The soil borings encountered two soil strata. The first layer consisted of about four feet of very loose to loose, grey to tan fine sands (SP). The equivalent N-values of this layer range from 2 to 11 blows per foot.

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### Discussion and Recommendations

The site soils appear to be very loose to loose to a depth of about 4 feet and then medium dense and very stiff below. Based upon these findings, moderate site improvement should be performed; however, it is our opinion the site soils are suitable to provide support for the building using conventional, shallow spread footings. We concur that the foundations may be sized using a maximum soil bearing pressure of 2,000 psf; however, we recommend foundations have minimum widths of 18 and 24 inches for strip and isolated footings, respectively, even though the allowable soil bearing pressure may not be developed. The bottoms of foundations should be embedded a minimum of 18 inches below the lowest adjacent grade (finished surface grade, for example).

Due to the generally very loose to loose condition of the immediate bearing soils, we believe it would be beneficial to proof-roll and then proof-compact the bearing soils in all foundation and floor slab areas. These bearing soils should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a depth of at least 2 feet. Compaction of the bearing soils will reduce settling of the foundations and thereby reduce the likelihood of distress in the structure.



Our evaluation is based upon subsurface conditions encountered at this site and as presented within this report. However, subsurface conditions may exist that differ from our findings. We request that we be notified if substantially different subsurface conditions are encountered.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be further assistance.

Respectfully submitted,  
Cal-Tech Testing, Inc.



Linda Creamer  
President / CEO



Robert W. Clark, P.E.  
Geotechnical Engineer  
Registered Florida No. 52210

## COLUMBIA COUNTY BUILDING DEPARTMENT

### **COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001 WITH AMENDMENTS**

ALL REQUIREMENTS LISTED ARE SUBJECT TO CHANGE

EFFECTIVE MARCH 1, 2002

**ALL BUILDING PLANS MUST INCLUDE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 WITH AMENDMENTS BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SIGNATURE AND SEAL OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA. THE FOLLOWING BASIC WIND SPEED AS PER SECTION 1606 SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE \_\_\_\_\_ 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE \_\_\_\_\_ 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

#### **APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

**GENERAL REQUIREMENTS:** Two (2) complete sets of plans containing a floor plan, site plan, foundation plan, floor/roof framing plan or truss layout, wall sections and all exterior elevations with the following criteria and documents:

#### Applicant

#### Plans Examiner

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Designers name and signature on document (FBC 104.2.1) If licensed architect or engineer, official seal shall be affixed.  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Two (2) Copies of Approved Site Plan</u>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Minimum Type Construction</u> (FBC Table 500)   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>Wind Load Engineering Summary, calculations and any details required:</u><br>a) Plans or specifications must state compliance with FBC Section 1606<br>b) The following information must be shown as per section 1606.1.7 FBC <ol style="list-style-type: none"><li>1. Basic wind speed (MPH)</li><li>2. Wind importance factor (I) and building category</li><li>3. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated</li><li>4. The applicable internal pressure coefficient</li><li>5. Components and Cladding. The design wind pressure in terms of psf (kN/m<sup>2</sup>), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional</li></ol> |
| <input type="checkbox"/>            | <input type="checkbox"/> | <u>Fire Resistant Construction Requirements shall include:</u><br>a) Fire resistant separations (listed system)  |
| <input type="checkbox"/>            | <input type="checkbox"/> | b) Fire resistant protection for type of construction  |
| <input type="checkbox"/>            | <input type="checkbox"/> | c) Protection of openings and penetrations of rated walls (listed systems)   |
| <input type="checkbox"/>            | <input type="checkbox"/> | d) Fire blocking and draft-stopping  |
| <input type="checkbox"/>            | <input type="checkbox"/> | e) Calculated fire resistance  |

**Fire Suppression Systems shall include: (To be reviewed by Fire Department)**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Fire sprinklers  |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Fire alarm system (early warning) with name of licensed installer. If not shown on plans or not known at time of permitting, a separate permit shall be required by the licensed installer |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Smoke evacuation system schematic  |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Stand-pipes<br>Pre-engineered system<br>Riser diagram  |

**Life Safety Systems shall include: (To be reviewed by Fire Department)**

- |                          |                          |                                       |
|--------------------------|--------------------------|---------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Occupancy load and egress capacity |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Early warning                      |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Smoke control                      |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Stair pressurization               |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Systems schematic                  |

**Occupancy Load/Egress Requirements shall include:**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Occupancy load (gross and net)  |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Means of egress<br>exit access, exit and exit discharge   |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Stair construction/geometry and protection  |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Doors   |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Emergency lighting and exit signs   |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Specific occupancy requirements<br>1. Construction requirements<br>2. Horizontal exits/exit passageways |

**Structural Requirements shall include:**

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Soil conditions/analysis   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Show type of termite treatment (termicide or alternative method) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | c) Design loads   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d) Wind requirements  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e) Building envelope  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | f) Structural calculations  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | g) Foundations  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | h) Wall systems   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | i) Floor systems  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | j) Roof systems   |
| <input type="checkbox"/>            | <input type="checkbox"/> | k) Threshold inspection plan (if applicable)                        |
| <input type="checkbox"/>            | <input type="checkbox"/> | l) Stair systems  |

**Materials shall include:**

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Wood  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Steel   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | c) Aluminum  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d) Concrete  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e) Plastic   |
| <input type="checkbox"/>            | <input type="checkbox"/> | f) Glass (mfg. Listing for wind zone including details for installation and attachments) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | g) Masonry   |
| <input type="checkbox"/>            | <input type="checkbox"/> | h) Gypsum board and plaster  |
| <input type="checkbox"/>            | <input type="checkbox"/> | i) Insulating (mechanical)   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | j) Roofing (mfg. Listed system for wind zone with installation and attachments)          |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | k) Insulation  |

**Accessibility Requirements shall include:**

- |                                     |                          |                                   |
|-------------------------------------|--------------------------|-----------------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Site requirements              |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Accessible route               |
| <input type="checkbox"/>            | <input type="checkbox"/> | c) Vertical accessibility         |
| <input type="checkbox"/>            | <input type="checkbox"/> | d) Toilet and bathing facilities  |
| <input type="checkbox"/>            | <input type="checkbox"/> | e) Drinking fountains             |
| <input type="checkbox"/>            | <input type="checkbox"/> | f) Equipment                      |
| <input type="checkbox"/>            | <input type="checkbox"/> | g) Special occupancy requirements |
| <input type="checkbox"/>            | <input type="checkbox"/> | h) Fair housing requirements      |

**Interior Requirements shall include:**

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input type="checkbox"/>            | <input type="checkbox"/> | a) Interior finishes (flame spread/smoke develop) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Light and ventilation                          |
| <input type="checkbox"/>            | <input type="checkbox"/> | c) Sanitation                                     |

**Special Systems shall include:**

- |                          |                          |               |
|--------------------------|--------------------------|---------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Elevators  |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Escalators |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Lifts      |

**Swimming Pools – Commercial** – Plans shall be signed and sealed by a Professional Engineer registered in the State of Florida and approved by the Department of Business and Professional Regulation/Health Department Indicating compliance with the Florida Administrative Code, Chapter 64E-9 And Section 424 of the Florida Building Code

**Electrical:**

- |                                     |                          |  |
|-------------------------------------|--------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Electrical wiring, services, feeders and branch circuits, over-current protection, grounding, wiring methods and materials, GFCIs |
| <input type="checkbox"/>            | <input type="checkbox"/> | b) Equipment   |
| <input type="checkbox"/>            | <input type="checkbox"/> | c) Special Occupancies   |
| <input type="checkbox"/>            | <input type="checkbox"/> | d) Emergency Systems   |
| <input type="checkbox"/>            | <input type="checkbox"/> | e) Communication Systems   |
| <input type="checkbox"/>            | <input type="checkbox"/> | f) Low Voltage   |
| <input type="checkbox"/>            | <input type="checkbox"/> | g) Load calculations   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | h) Riser diagram   |

**Plumbing:**

- |                          |                          |                                |
|--------------------------|--------------------------|--------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Minimum plumbing facilities |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Fixture requirements        |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Water supply piping         |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Sanitary drainage           |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Water heaters               |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Vents                       |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Roof drainage               |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Back flow prevention        |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Irrigation                  |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Location of water supply    |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Grease traps                |
| <input type="checkbox"/> | <input type="checkbox"/> | l) Environmental requirements  |
| <input type="checkbox"/> | <input type="checkbox"/> | m) Plumbing riser              |

**Mechanical:**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Energy calculation (signed and sealed by Architect or Engineer, registered in the State of Florida) |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Exhaust systems (clothes dryer exhaust, kitchen equipment exhaust, Specialty equipment exhaust)     |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Equipment   |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Equipment location  |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Make-up air   |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Roof mounted equipment  |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Duct systems  |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Ventilation   |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Combustion air  |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Chimneys, fireplaces and vents  |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Appliances  |
| <input type="checkbox"/> | <input type="checkbox"/> | l) Boilers   |
| <input type="checkbox"/> | <input type="checkbox"/> | m) Refrigeration   |
| <input type="checkbox"/> | <input type="checkbox"/> | n) Bathroom ventilation  |
| <input type="checkbox"/> | <input type="checkbox"/> | o) Laboratory  |

**Gas:**

- |                          |                          |                            |
|--------------------------|--------------------------|----------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Gas piping              |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Venting                 |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Combustion air          |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Chimney's and vents     |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Appliances              |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Type of gas             |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Fireplaces              |
| <input type="checkbox"/> | <input type="checkbox"/> | h) LP tank locations       |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Riser diagram/shut offs |

**Disclosure Statement for Owner Builders**

☐ ☐

☒

**\*\*\*Notice of Commencement Required Before Any Inspections will be Done**

☐ ☐

**Private Potable Water:**

- |                             |
|-----------------------------|
| a) Size of pump motor       |
| b) Size of pressure tank    |
| c) Cycle stop valve if used |

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS:**

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all construction projects; If you were required to have a Site and Development Plan Approval, list SDP number.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also requested. (386) 758-1084
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic tank approval or sewer tap is required
4. **City Approval:** If the project is located within the city limits of the Town of Fort White prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) **has been** established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) **has not been** established shall meet the requirements of section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**  
A development permit will also be required. The development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit must be made (\$25.00). Culvert installation for commercial, industrial and other uses shall conform to the approved site plan or to the specifications of a registered engineer. Joint use culverts will comply with Florida Department of Transportation specifications. If the project is to be located on a F.D.O.T. maintained road, then an F.D.O.T. access permit is required.
7. **Suwannee River Water Management District Approval:** All commercial projects must have an SRWMD permit issued or an exemption letter, before a building will be issued.

**ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS – PLEASE DO NOT ASK**

## **COLUMBIA COUNTY BUILDING DEPARTMENT**

### **COMMERCIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001 WITH AMENDMENTS**

**ALL REQUIREMENTS LISTED ARE SUBJECT TO CHANGE**  
**EFFECTIVE MARCH 1, 2002**

**ALL BUILDING PLANS MUST INCLUDE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 WITH AMENDMENTS BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SIGNATURE AND SEAL OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA. THE FOLLOWING BASIC WIND SPEED AS PER SECTION 1606 SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

**GENERAL REQUIREMENTS:** Two (2) complete sets of plans containing a floor plan, site plan, foundation plan, floor/roof framing plan or truss layout, wall sections and all exterior elevations with the following criteria and documents:

**Applicant**                      **Plans Examiner**

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | Designers name and signature on document (FBC 104.2.1) If licensed architect or engineer, official seal shall be affixed.   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <b><u>Two (2) Copies of Approved Site Plan</u></b>  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <b><u>Minimum Type Construction</u></b> (FBC Table 500)   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <b><u>Wind Load Engineering Summary, calculations and any details required:</u></b><br>a) Plans or specifications must state compliance with FBC Section 1606<br>b) The following information must be shown as per section 1606.1.7 FBC <ol style="list-style-type: none"><li>1. Basic wind speed (MPH)</li><li>2. Wind importance factor (I) and building category</li><li>3. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated</li><li>4. The applicable internal pressure coefficient</li><li>5. Components and Cladding. The design wind pressure in terms of psf (kN/m<sup>2</sup>), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional</li></ol> |
| <input type="checkbox"/>            | <input type="checkbox"/> | <b><u>Fire Resistant Construction Requirements shall include:</u></b><br>a) Fire resistant separations (listed system)<br>b) Fire resistant protection for type of construction<br>c) Protection of openings and penetrations of rated walls (listed systems)<br>d) Fire blocking and draft-stopping<br>e) Calculated fire resistance   |
| <input type="checkbox"/>            | <input type="checkbox"/> |   |
| <input type="checkbox"/>            | <input type="checkbox"/> |   |
| <input type="checkbox"/>            | <input type="checkbox"/> |   |
| <input type="checkbox"/>            | <input type="checkbox"/> |   |
| <input type="checkbox"/>            | <input type="checkbox"/> |   |

**Fire Suppression Systems shall include: (To be reviewed by Fire Department)**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Fire sprinklers  |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Fire alarm system (early warning) with name of licensed installer. If not shown on plans or not known at time of permitting, a separate permit shall be required by the licensed installer |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Smoke evacuation system schematic  |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Stand-pipes  |
|                          |                          | Pre-engineered system   |
|                          |                          | Riser diagram   |

**Life Safety Systems shall include: (To be reviewed by Fire Department)**

- |                          |                          |                                       |
|--------------------------|--------------------------|---------------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Occupancy load and egress capacity |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Early warning                      |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Smoke control                      |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Stair pressurization               |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Systems schematic                  |

**Occupancy Load/Egress Requirements shall include:**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Occupancy load (gross and net)             |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Means of egress                            |
|                          |                          | exit access, exit and exit discharge          |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Stair construction/geometry and protection |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Doors                                      |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Emergency lighting and exit signs          |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Specific occupancy requirements            |
|                          |                          | 1. Construction requirements                  |
|                          |                          | 2. Horizontal exits/exit passageways          |

**Structural Requirements shall include:**

- |                                     |                          |   |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | a) Soil conditions/analysis   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | b) Show type of termite treatment (termicide or alternative method) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | c) Design loads   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | d) Wind requirements  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | e) Building envelope  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | f) Structural calculations  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | g) Foundations  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | h) Wall systems   |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | i) Floor systems  |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | j) Roof systems   |
| <input type="checkbox"/>            | <input type="checkbox"/> | k) Threshold inspection plan (if applicable)                        |
| <input type="checkbox"/>            | <input type="checkbox"/> | l) Stair systems  |

**Materials shall include:**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Wood  |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Steel   |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Aluminum  |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Concrete  |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Plastic   |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Glass (mfg. Listing for wind zone including details for installation and attachments) |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Masonry   |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Gypsum board and plaster  |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Insulating (mechanical)   |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Roofing (mfg. Listed system for wind zone with installation and attachments)          |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Insulation  |



**Accessibility Requirements shall include:**

- |                          |                          |                                   |
|--------------------------|--------------------------|-----------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Site requirements              |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Accessible route               |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Vertical accessibility         |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Toilet and bathing facilities  |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Drinking fountains             |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Equipment                      |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Special occupancy requirements |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Fair housing requirements      |

**Interior Requirements shall include:**

- |                          |                          |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Interior finishes (flame spread/smoke develop) |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Light and ventilation                          |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Sanitation                                     |

**Special Systems shall include:**

- |                          |                          |               |
|--------------------------|--------------------------|---------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Elevators  |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Escalators |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Lifts      |

**Swimming Pools – Commercial** – Plans shall be signed and sealed by a Professional Engineer registered in the State of Florida and approved by the Department of Business and Professional Regulation/Health Department Indicating compliance with the Florida Administrative Code, Chapter 64E-9 And Section 424 of the Florida Building Code

**Electrical:**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Electrical wiring, services, feeders and branch circuits, over-current protection, grounding, wiring methods and materials, GFCIs |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Equipment   |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Special Occupancies   |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Emergency Systems   |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Communication Systems   |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Low Voltage   |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Load calculations   |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Riser diagram   |

**Plumbing:**

- |                          |                          |                                |
|--------------------------|--------------------------|--------------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Minimum plumbing facilities |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Fixture requirements        |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Water supply piping         |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Sanitary drainage           |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Water heaters               |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Vents                       |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Roof drainage               |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Back flow prevention        |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Irrigation                  |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Location of water supply    |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Grease traps                |
| <input type="checkbox"/> | <input type="checkbox"/> | l) Environmental requirements  |
| <input type="checkbox"/> | <input type="checkbox"/> | m) Plumbing riser              |

**Mechanical:**

- |                          |                          |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Energy calculation (signed and sealed by Architect or Engineer, registered in the State of Florida) |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Exhaust systems (clothes dryer exhaust, kitchen equipment exhaust, Specialty equipment exhaust)     |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Equipment   |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Equipment location  |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Make-up air   |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Roof mounted equipment  |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Duct systems  |
| <input type="checkbox"/> | <input type="checkbox"/> | h) Ventilation   |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Combustion air  |
| <input type="checkbox"/> | <input type="checkbox"/> | j) Chimneys, fireplaces and vents  |
| <input type="checkbox"/> | <input type="checkbox"/> | k) Appliances  |
| <input type="checkbox"/> | <input type="checkbox"/> | l) Boilers   |
| <input type="checkbox"/> | <input type="checkbox"/> | m) Refrigeration   |
| <input type="checkbox"/> | <input type="checkbox"/> | n) Bathroom ventilation  |
| <input type="checkbox"/> | <input type="checkbox"/> | o) Laboratory  |

**Gas:**

- |                          |                          |                            |
|--------------------------|--------------------------|----------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Gas piping              |
| <input type="checkbox"/> | <input type="checkbox"/> | b) Venting                 |
| <input type="checkbox"/> | <input type="checkbox"/> | c) Combustion air          |
| <input type="checkbox"/> | <input type="checkbox"/> | d) Chimney's and vents     |
| <input type="checkbox"/> | <input type="checkbox"/> | e) Appliances              |
| <input type="checkbox"/> | <input type="checkbox"/> | f) Type of gas             |
| <input type="checkbox"/> | <input type="checkbox"/> | g) Fireplaces              |
| <input type="checkbox"/> | <input type="checkbox"/> | h) LP tank locations       |
| <input type="checkbox"/> | <input type="checkbox"/> | i) Riser diagram/shut offs |

**Disclosure Statement for Owner Builders**

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

**\*\*\*Notice of Commencement Required Before Any Inspections will be Done**

<input type="checkbox"/>	<input type="checkbox"/>
--------------------------	--------------------------

**Private Potable Water:**

- |                          |                          |                             |
|--------------------------|--------------------------|-----------------------------|
| <input type="checkbox"/> | <input type="checkbox"/> | a) Size of pump motor       |
|                          |                          | b) Size of pressure tank    |
|                          |                          | c) Cycle stop valve if used |

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS:**

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all construction projects; If you were required to have a Site and Development Plan Approval, list SDP number.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser is required. A copy of property deed is also requested. (386) 758-1084
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic tank approval or sewer tap is required
4. **City Approval:** If the project is located within the city limits of the Town of Fort White prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) **has been** established shall meet the requirements of section 8.8 of the Columbia County Land Development Regulations. Any project that is located within a flood zone where the base flood elevation (100 year flood) **has not been** established shall meet the requirements of section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**  
A development permit will also be required. **The development permit cost is \$50.00**
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit must be made (**\$25.00**). Culvert installation for commercial, industrial and other uses shall **conform to the approved site plan or to the specifications of a registered engineer. Joint use culverts will comply with Florida Department of Transportation specifications.** If the project is to be located on a F.D.O.T. maintained road, then an F.D.O.T. access permit is required.
7. **Suwannee River Water Management District Approval:** All commercial projects must have an SRWMD permit issued or an exemption letter, before a building will be issued.

**ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS – PLEASE DO NOT ASK**

DIGGA STEEL BUILDINGS  
203 PARK STREET  
GREEN COVE SPRINGS, FL 32043

DATE: 8/26/06

MILLER

Re: JOB NO. 16287

BUILDING SIZE:

WIDTH : 50 ft.

LENGTH : 88 ft.

EAVE HT : 13.75 ft.

JOBSITE : GREEN COVE SPRINGS, FL

To Whom It May Concern:

This is to certify that the above referenced building is designed in accordance with the order documentation, the Ninth Edition of the American Institute of Steel Construction (AISC) "Manual of Steel Construction" and the 1986 Edition of American Iron and Steel Institute (AISI) "Cold Formed Steel Design Manual. "The basic loads of the subject building meet or exceed the minimum county climatic data as published in the 1996 edition of the MBMA "Low Rise Building Systems Manual ".

The criteria for application of design loads are follows  
Governing Code : FBC 04

Roof Dead Load : 2 psf plus wt. of metal bldg structure

Live Load based on the tributary area :

0 - 200 sq. ft.....20 psf  
201 - 600 sq. ft.....See Sec 4.9.1 of ASCE 7-02  
over 600 sq. ft.....12 psf

Collateral Load	: 0 psf	Roof Snow Load	: 0 psf
Wind Load (3 sec gust)	: 120 mph	Snow Exp. Fac	: N/A
Enclosure Type	: Closed	Snow Imp. Fac.	: N/A
Wind Exp. Cat	: B	Seismic Coef SDS	: 0.14
Wind Imp. Factor	: 1.00	Seismic Coef SDI	: 0.10
Ground Snow Load	: 0 psf	Seismic Imp. Fac1	: 1.0

This Letter of Certification applies solely to the building and its component parts as furnished by the Metal Building Manufacturer. Doors, windows and louvers are not structural components of the building. It is the responsibility of the owner to determine if wind lock accessories are supplied if required. Certification specifically excludes any foundation, masonry, or general contract work.

Sincerely,

*Charles W. Embden*  
CHARLES W. EMBDEN, P.E.

8/28/06



**Columbia County, Florida  
Building & Zoning Department**

Number of pages including cover sheet 6

Date 11 SEPT. 06

**To:**

DALE RACINE

**Phone:** \_\_\_\_\_

**Fax:** 904. 399. 0677

**From:**

**Brian L. Kepner  
County Planner**

**Phone:** 386-758-1008

**Fax:** 386-758-2160

**Remarks:** ☐ Urgent ☐ For review ☐ ASAP ☐ Please comment

**Confidentiality Notice:** This facsimile transmission is confidential and is intended only for the review of the party to whom it is addressed. It may contain proprietary and/or privileged information protected by law. If you are not the intended recipient, you may not use, copy or distribute this facsimile message or its attachments. If you have received this transmission in error, please immediately telephone the sender above to arrange for its return.

District No. 1 - Ronald Williams  
District No. 2 - Dewey Weaver  
District No. 3 - George Skinner  
District No. 4 - William Whitley  
District No. 5 - Elizabeth Porter

**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**



11 September2006

Dale Racine  
Racine Construction Company  
2729 Summerall Avenue  
Jacksonville, FL 32207

COPY TRANSMITTED VIA FACSIMILE  
ORIGINAL TRANSMITTED VIA U.S. MAIL

RE: Site and Development Plan Approval Required for Building  
Permit Application # 0608-96

Dear Dale:

The property for the above referenced building permit application is located within an Industrial zoning district. In accordance with Columbia County's Land Development Regulations, Site and Development Plan must be approved by the Planning and Zoning Board before a building permit can be issued for the above referenced application. The fee for a request for Site and Development Plan approval is \$300.00 and must be submitted 15 days prior to a scheduled meeting. The next Planning and Zoning Board meeting I could schedule an application for would be 28 September 2006. I would have to receive the application back no later than the end of the day 13 September 2006. I have enclosed a Site and Development Plan application.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1008.

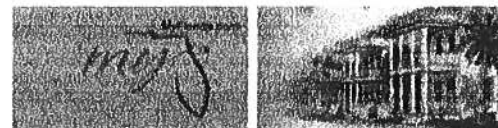
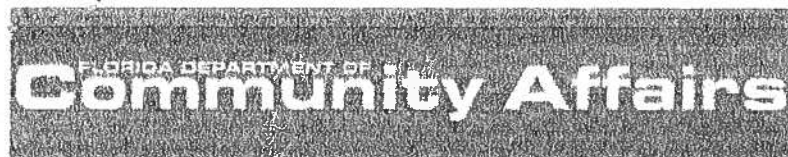
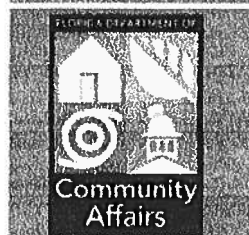
Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner".

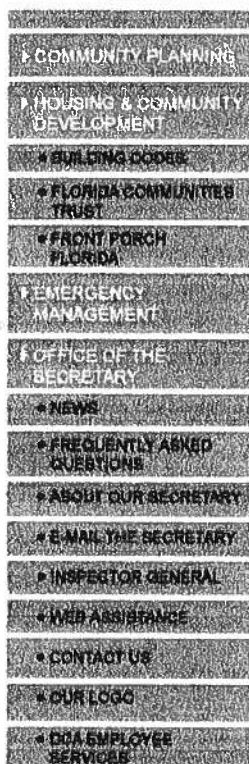
Brian L. Kepner  
Land Development Regulation Administrator,  
County Planner

Enclosure

xc: MJE Investment Properties, LLC


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**Product Approval**

USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **[Application Detail](#)**


FL # FL2274-R2  
 Application Type Revision  
 Code Version 2004  
 Application Status Approved  
 Comments  
 Archived ☐

Product Manufacturer Janus International Corporation  
 Address/Phone/Email 134 East Luke Road  
 Temple, GA 30179  
 (770) 562-6052  
 donm@janusintl.com

Authorized Signature Don Mills  
 donm@janusintl.com

Technical Representative Don Mills  
 Address/Phone/Email 134 East Luke Road  
 Temple, GA 301794435  
 (770) 562-6052  
 donm@janusintl.com

Quality Assurance Representative  
 Address/Phone/Email

Category Exterior Doors  
 Subcategory Roll-Up Exterior Door Assemblies

Compliance Method Evaluation Report from a Florida Registered Architect or a  
 Licensed Florida Professional Engineer  
☒ Evaluation Report - Hardcopy Received

Florida Engineer or Architect Name Joseph H. Dixon, Jr.  
 who developed the Evaluation Report  
 Florida License PE- 7768  
 Quality Assurance Entity National Accreditation and Management Institute  
 Validated By Walter T. Holz, Jr.

Certificate of Independence

Referenced Standard and Year (of **Standard** **Year**

Standard)	ASCE 7	2002
	ASTM E330	2002
	FBC Test Protocol TAS 201	1994
	FBC Test Protocols TAS 202, TAS 203	1994

Equivalence of Product Standards  
Certified By

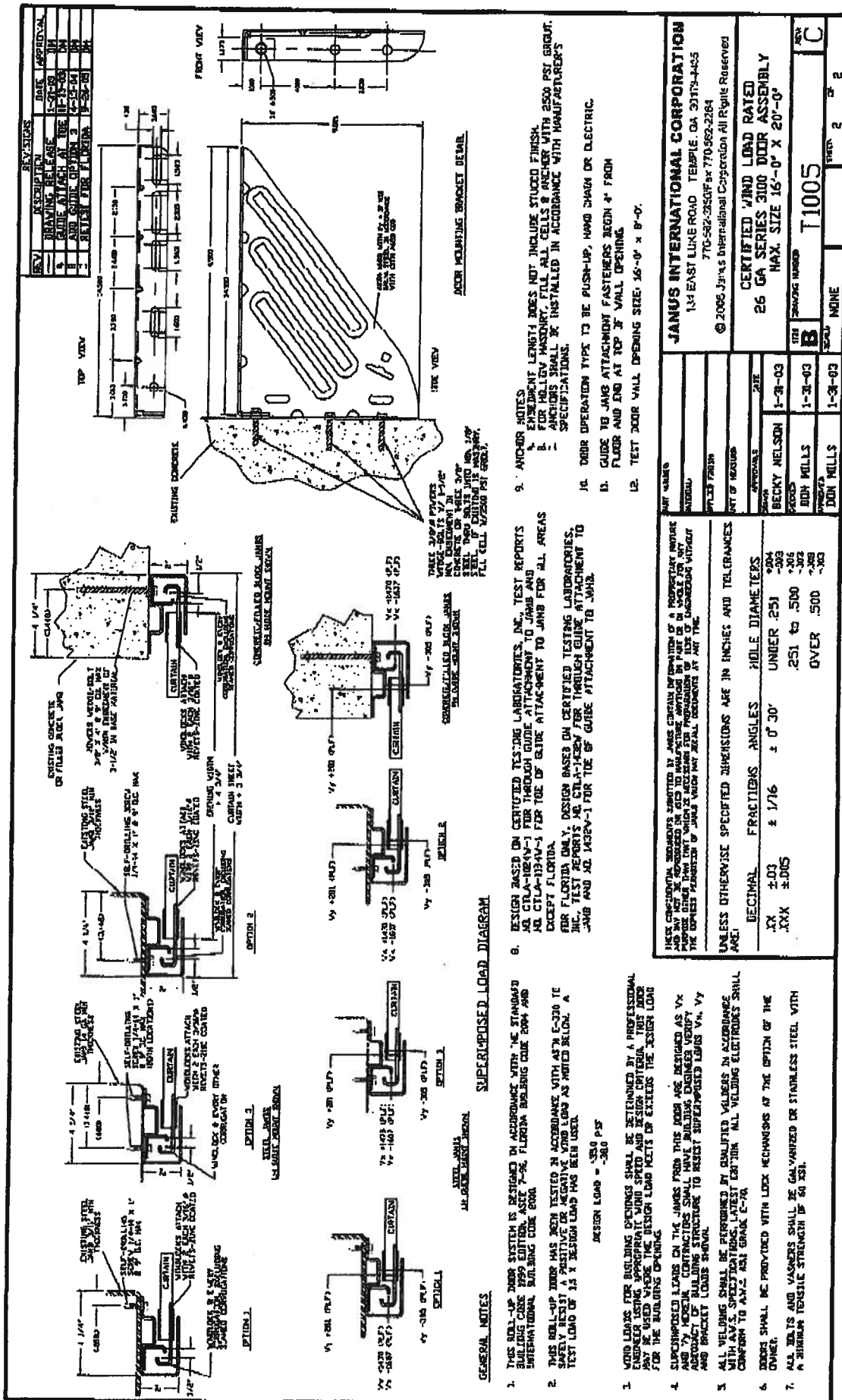
Sections from the Code	1609, 1620
	1625
	1626.2
	1714.5.3

Product Approval Method                      Method 2 Option B

Date Submitted	11/15/2005
Date Validated	11/16/2005
Date Pending FBC Approval	11/23/2005
Date Approved	12/07/2005

Summary of Products		
FL #	Model, Number or Name	Description
2274.1	Series 3100 Commercial	Dwg T1004
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b> <b>Design Pressure: +/-</b> <b>Other:</b> Openings thru 12'-0" x 20'-0", +36.0/-41.0 psf design load rated. Not to be used in HVHZ.		<b>Installation Instructions</b> Verified By: <b>Evaluation Reports</b> PTID 2274 R2 T Dwg T1000-A 750 3.pdf PTID 2274 R2 T Dwg T1001-A 750 6.pdf PTID 2274 R2 T Dwg T1002-A 750 8-8.pdf PTID 2274 R2 T Dwg T1003-A 750 10.pdf PTID 2274 R2 T Dwg T1004-B 3100 12.pdf PTID 2274 R2 T Dwg T1005-C 3100 16.pdf PTID 2274 R2 T Dwg T1006-S-A 850-S 8-8.pdf PTID 2274 R2 T Evaluation Report 2004 Rev 11- 11-05.pdf PTID 2274 R2 T Series 3100 Calculations.pdf PTID 2274 R2 T Series 3100 Installation.pdf PTID 2274 R2 T Series 750 Calculations.pdf PTID 2274 R2 T Series 750 Installation.pdf PTID 2274 R2 T Series 850 Installation.pdf PTID 2274 R2 T Test CTLA-1024W 3100 12.pdf PTID 2274 R2 T Test CTLA-1115W 850 8-8.pdf PTID 2274 R2 T Test CTLA-1194W 3100 12.pdf PTID 2274 R2 T Test CTLA-1432W 3100 16.pdf PTID 2274 R2 T Test CTLA-1432W- 1 3100 16.pdf PTID 2274 R2 T Test CTLA-983W 750 3.pdf PTID 2274 R2 T Test CTLA-983W-1 750 6.pdf PTID 2274 R2 T Test CTLA-983W-2 750 8-8.pdf PTID 2274 R2 T Test CTLA-983W-3 750 10.pdf
2274.2	Series 3100 Commercial	Dwg T1005
<b>Limits of Use (See Other)</b> <b>Approved for use in HVHZ:</b> <b>Approved for use outside HVHZ:</b> <b>Impact Resistant:</b>		<b>Installation Instructions</b> Verified By: <b>Evaluation Reports</b>





[illegible]

## Notice of Treatment

**Applicator:** Florida Pest Control & Chemical Co. (www.flapest.com)

**Address:** 536 SE Baya DR

**City:** Lake City **Phone:** 752-1703

**Site Location:** Subdivision \_\_\_\_\_

**Lot #** \_\_\_\_\_ **Block#** \_\_\_\_\_ **Permit #** 25099

**Address** 228 NW Wilks Ave Lake City

**Product used**

**Active Ingredient**

**% Concentration**

- |   |                                  |       |
|---|----------------------------------|-------|
| <input checked="" type="checkbox"/> Premise | Imidacloprid                     | 0.1%  |
| <input type="checkbox"/> Termidor           | Fipronil                         | 0.12% |
| <input type="checkbox"/> Bora-Care          | Disodium Octaborate Tetrahydrate | 23.0% |

**Type treatment:**

☒ Soil

☐ Wood

N/A

**Area Treated**

**Square feet**

**Linear feet**

**Gallons Applied**

Application 4400 276 275

\_\_\_\_\_

\_\_\_\_\_ 10 \_\_\_\_\_

\_\_\_\_\_

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line \_\_\_\_\_.

11/10/06  
Date

1:04  
Time

Nail  
Print Technician's Name

Remarks: \_\_\_\_\_

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05





**COLUMBIA COUNTY**  
**OFFICIAL**  
**SEAL**

# OCCUPANCY

**COLUMBIA COUNTY, FLORIDA**

## Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 27-3S-16-02327-003

Building permit No. 000025099

Use Classification PRE-ENG. MET. BLDG

Fire: 0.00

Permit Holder RACINE CONSTRUCTION

Waste:           

Owner of Building MJE INVESTMENT PROPERTIES, LLC

Total: 0.00

Location: 228 NW WILKS LN, BLDG 7, LAKE CITY, FL 32055

Date: 12/21/2007

*Wayne D. Lee*  
Building Inspector



**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*

**COLUMBIA COUNTY  
FLORIDA**

# OCCUPANCY

**COLUMBIA COUNTY, FLORIDA**

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Total: 0.00

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Date: 12/21/2007

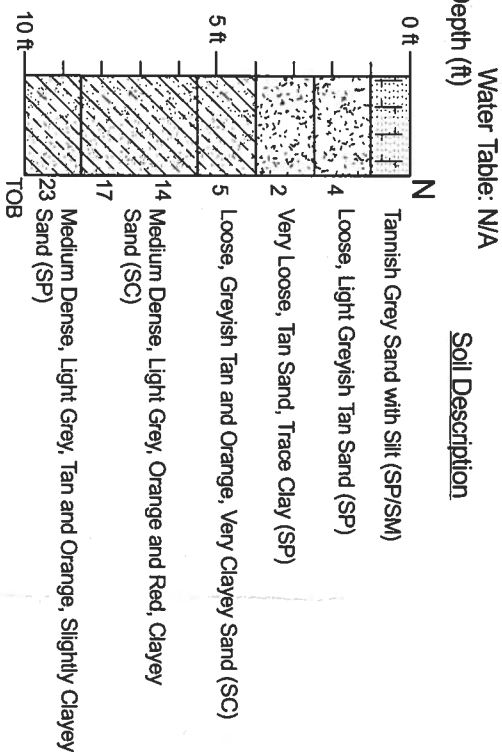
*Wayne A. Kue*

Building Inspector

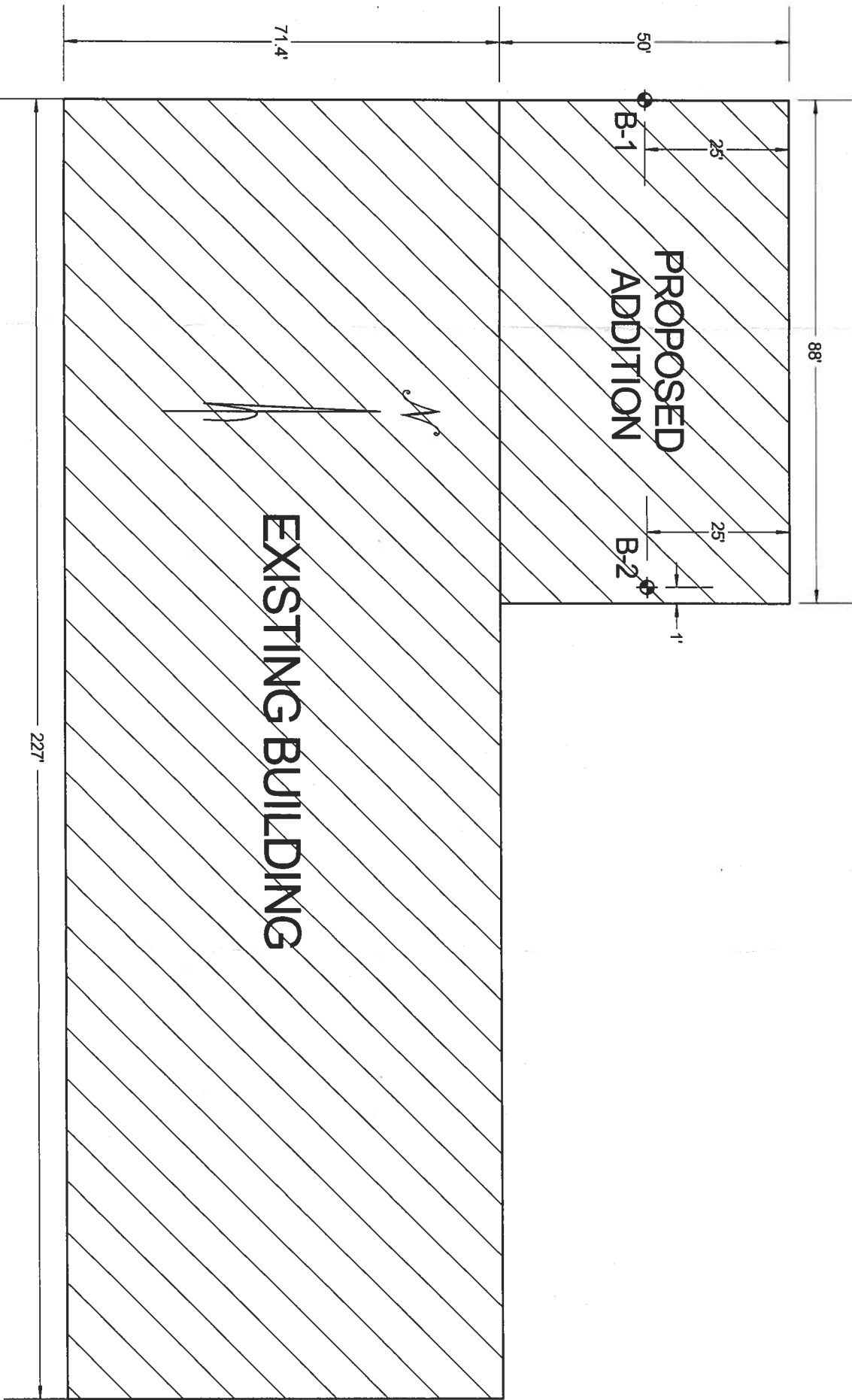
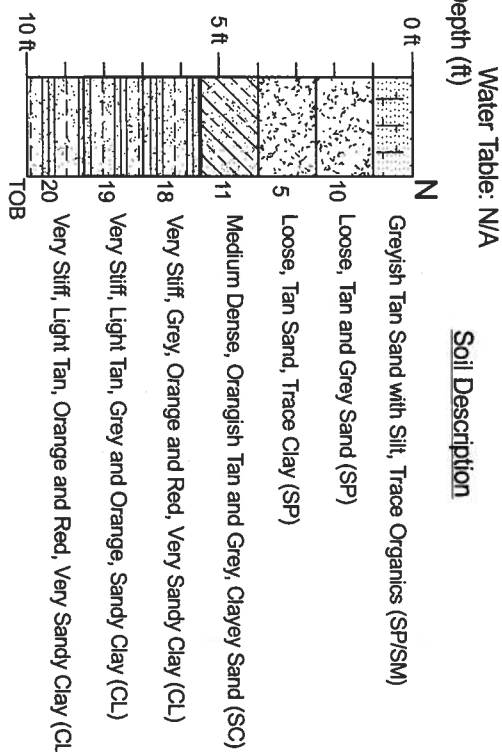
**POST IN A CONSPICUOUS PLACE**  
*(Business Places Only)*



B-1



B-2



ENGINEERING CLASSIFICATION

GRANULAR MATERIALS-	SPT
Relative Density	(Blows/12 inches)
Very Loose	Less than 4
Loose	4-10
Medium Dense	11-30
Dense	31-50
Very Dense	Greater than 50

SILTS AND CLAYS-

Consistency	SPT
(Blows/12 inches)	
Very Soft	Less than 2
Soft	2-4
Medium Stiff	5-8
Stiff	9-15
Very Stiff	16-30
Hard	Greater than 30

LEGEND:

TOB	Termination of Boring
GSE	Ground Surface Elevation
∇	Ground Water at Time of Drilling
∇	Wet Season Water Table
N	Standard Penetration Resistance in Blows Per 12 inches (18-inch Spoon, ASTM D-1586)
WOR	Weight of Rod
WOH	Weight of Hammer
MC	Moisture Content (%)
OC	Organic Content (%)
-200	Percent Passing No. 200 U.S. Standard Sieve
LL	Liquid Limit
PI	Plasticity Index
(SP)	Unified Soil Classification Based on Visual Observation and Laboratory Tests

	SAND		SILTY SAND
	SAND with SILT		CLAYEY SAND
	SAND with CLAY		SANDY CLAY
	CLAY		LIMESTONE
	MARL		ORGANICS

REVISIONS							ENGINEER OF RECORD		SEAL		PROPOSED ADDITION		REPORT OF SOIL BORINGS		SHEET NO.		
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	NAMES	DATE	CAL- TECH TESTING, INC.				MILLER BEARING		1 of 1		1 of 1	
						DRAWN BY	S.C. Young	P.O. BOX 1625									
						CHECKED BY	J.C. Dorman	LAKE CITY, FL. 32066									
						CHECKED BY		PHONE NO. (386) 755-3633									
						APPROVED BY	J.C. Dorman	FAX NO. (386) 752-5456									
						CAL. TECH JOB NO.	06-525	JOHN C. DORMAN, JR.									
								P.E. 52612									



ENGINEERING DESIGN CRITERIA

DIGGA STEEL BUILDINGS

Job Number: 16287

End User: MILLER

Job Location: GREEN COVE SPRINGS, FL

DATE: 8/26/06

DESIGNED BY:

DETAILED BY: GS

CHECKED BY:

SPECIAL NOTE:

BUILDING IS NOT STRUCTURALLY SOUND UNTIL ALL WALL COVERING, ROOF SHEETS, AND PERMANENT BRACING IS INSTALLED. BUILDER / CONTRACTOR IS RESPONSIBLE FOR SUPPORTS OR TEMPORARY BRACING DURING ERECTION, HE SHALL FURNISH, AND INSTALL THESE TEMPORARY SUPPORTS WHERE NECESSARY. TEMPORARY SUPPORTS ARE NOT PROVIDED BY THE METAL BUILDING MANUFACTURER.

GENERAL NOTES

1. MATERIALS

STRUCTURAL STEEL PLATE  
ASTM DESIGNATION  
A529 OR A572 OR A570 OR A607  
GRADE 50  
A570 OR A607  
GRADE 55  
A572  
GRADE 65, UNLESS NOTED  
FY= 36 KSI OR GRADE 50  
A307, A325, AND A490  
GRADE 50  
A307, A325, AND A490  
GRADE 50 OR 55

2. STRUCTURAL PRIMER

SHOP PRIMER PAINT IS A RUST INHIBITIVE PRIMER AND IT'S COLOR IS RED OXIDE.  
THIS PAINT IS NOT INTENDED FOR LONG TERM EXPOSURE TO THE ELEMENTS.

3. A325 BOLT TIGHTENING REQUIREMENTS

ALL HIGH STRENGTH BOLTS ARE A325-N UNLESS SPECIFICALLY NOTED OTHERWISE.

STRUCTURAL BOLTS SHALL BE TIGHTENED BY THE TURN-OF-THE-NUT METHOD IN ACCORDANCE WITH THE NINTH EDITION ASC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS". PER SECTION BD.1, A325 BOLTS MAY BE INSTALLED WITHOUT WASHERS WHEN TIGHTENED BY THE TURN-OF-THE NUT METHOD.

ALL HIGH STRENGTH BOLTS, EXCEPT AS NOTED OTHERWISE, ARE SUBJECT TO DIRECT TENSION AND MAY REQUIRE INSPECTION AS DEFINED BY THE APPLICABLE BUILDING CODE OR STANDARD. IT IS THE RESPONSIBILITY OF THE ERECTOR TO ASSURE PROPER TIGHTNESS.

4. BUILDER/CONTRACTOR RESPONSIBILITIES

THE METAL BUILDING MANUF.'S STANDARD PRODUCT SPECIFICATIONS APPLY AND UNLESS STIPULATED OTHERWISE IN THE CONTRACT DOCUMENTS, THE METAL BUILDING MANUF.'S DESIGN, FABRICATION, QUALITY CRITERIA STANDARDS AND TOLERANCES WILL GOVERN THE WORK.

IN CASE OF DISCREPANCIES BETWEEN METAL BUILDINGS MANUF. STRUCTURAL PLANS AND PLANS FOR OTHER TRADES, THE METAL BUILDING MANUF.'S PLANS SHALL GOVERN.

IT IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO OBTAIN APPROPRIATE APPROVALS AND NECESSARY PERMITS FROM CITY, COUNTY, STATE, OR FEDERAL AGENCIES, AS REQUIRED.

APPROVAL OF METAL BUILDING MANUF.'S DRAWINGS CONSTITUTES THE BUILDER / CONTRACTOR'S ACCEPTANCE OF THE METAL BUILDING MANUF.'S INTERPRETATION OF THE CONTRACT PURCHASE ORDER.

ONCE THE BUILDER / CONTRACTOR OR A/E FIRM HAS SIGNED MANUF.'S APPROVAL PACKAGE, CHANGES FROM THE PURCHASE ORDER BY THE BUILDER WILL BE BILLED TO THE BUILDER / CONTRACTOR FOR MATERIAL, ENGINEERING AND HANDLING FEES. SUCH CHANGES MAY CAUSE THE PROJECT TO BE MOVED FROM THE FABRICATION AND / OR SHIPPING SCHEDULE. A PENALTY FEE MAY BE CHARGED IF THE PROJECT MUST BE MOVED FROM THE FABRICATION AND / OR SHIPPING SCHEDULE. AS LONG AS THE MANUF.'S DESIGN AND DETAILING APPROACH COMPLIES WITH THE PURCHASE ORDER.

THE BUILDER / CONTRACTOR OR A/E FIRM ARE RESPONSIBLE FOR THE OVERALL PROJECT CONDITION, ALL INTERFACE AND COMPATIBILITY CONCERNING ANY MATERIALS NOT FURNISHED BY THE MANUF. ARE TO BE CONSIDERED AND COORDINATED BY THE BUILDER / CONTRACTOR OR A/E FIRM, UNLESS SPECIFIC DESIGN CRITERIA CONCERNING THIS INTERFACE BETWEEN MATERIALS IS FURNISHED AS PART OF THE PURCHASE ORDER. THE METAL BUILDING MANUF.'S ASSUMPTIONS WILL GOVERN.

THE BUILDER / CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL OTHER PROJECT PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE REQUIREMENTS OF ANY GOVERNING BUILDING AUTHORITY. SUPPLYING SEALED ENGINEERING DESIGN DATA AND DRAWINGS BY THE BUILDING MANUF. DOES NOT IMPLY OR CONSTITUTE AN AGREEMENT THAT THE BUILDING MANUF. OR ITS DESIGN ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR THE CONSTRUCTION PROJECT. THESE DRAWINGS AND DESIGN DATA ARE SEALED AS TO THE STRUCTURAL SYSTEM FURNISHED BY THE METAL BUILDING MANUF. IN COMPLIANCE WITH ALL REQUIREMENTS OF THE PURCHASE ORDER.

THE BUILDER / CONTRACTOR IS RESPONSIBLE FOR SETTING OF ANCHOR BOLTS AND ERECTION OF STEEL BUILDING COMPONENTS IN ACCORDANCE WITH THE METAL BUILDING MANUF.'S "FOR CONSTRUCTION" DRAWINGS, TEMPORARY SUPPORTS OR BRACING REQUIRED FOR THE BUILDING ERECTION WILL BE THE RESPONSIBILITY OF THE ERECTOR TO DETERMINE, FURNISH, AND INSTALL.

THE METAL BUILDING MANUF. DOES NOT WARRANT STRUCTURAL INTEGRITY OF ANY COMPONENTS FIELD MODIFIED OR DESIGNED AND FABRICATED BY OTHERS. NEITHER DO WE ACCEPT DESIGN RESPONSIBILITY FOR THE EFFECTS NON STANDARD COMPONENTS DESIGNED BY OTHERS MAY HAVE ON THE SYSTEM IN GENERAL.

DESIGN PARAMETERS

NOMINAL WIDTH:	50	feet	FLAT ROOF SNOW LOAD	Pf :	0	psf
NOMINAL LENGTH:	88	feet	GROUND SNOW LOAD	Pg :	0	psf
EAVE HEIGHT, BACK S.W.:	13.75	feet	SNOW LOAD IMP. FACTOR		N/A	
EAVE HEIGHT, FRONT S.W.:	15.833	feet	THERMAL FACTOR	Ct :	N/A	
ROOF SLOPE, LEFT:	0.5:12		SNOW EXP. FACTOR	Ce :	N/A	
ROOF SLOPE, RIGHT:						

DESIGN LOADS

ENGINEER'S STAMP

BUILDING CODE:	FBC 04
FRAME SELF WEIGHT:	INCLUDED
ROOF DEAD LOAD:	2 psf
COLLATERAL LOAD:	0 psf
LIVE LOAD:	20 psf
SNOW LOAD, ROOF:	0 psf
WIND SPEED:	120 mph 3 sec gust
WIND EXPOSURE:	B
CLOSURE "C, O, P" :	Closed
IMP. FACTOR, WIND :	1.00
BUILDING CATEGORY :	II
SEISMIC PARAMETERS:	
SEISMIC USE GROUP:	I
SEISMIC DESIGN CATEGORY:	A
SPECTRUAL RESPONSE COEF. "SDS" :	0.140 ( 2 SEC PERIOD )
SPECTRUAL RESPONSE COEF. "SD1" :	0.10 ( 1 SEC PERIOD )
SITE CLASS ( ASSUMED ) :	D

BASIC SEISMIC--FORCE RESISTING SYSTEM MOMENT RESISTING FRAME  
DESIGN BASE SHEAR :  
ANALYSIS PROCEDURE :  
EQUIVALENT LATERAL FORCE PROCEDURE

FLORIDA PRODUCT APPROVAL INFORMATION

APPROVAL #

26 GA. PBR PANEL ~ Galvalume	FL 5334b
26 GA. R PANEL ~ Ash Gray	FL 5335

SHEETING

SKYLIGHTS

FRAMED OPENINGS

VENTILATORS

LINER PANELS

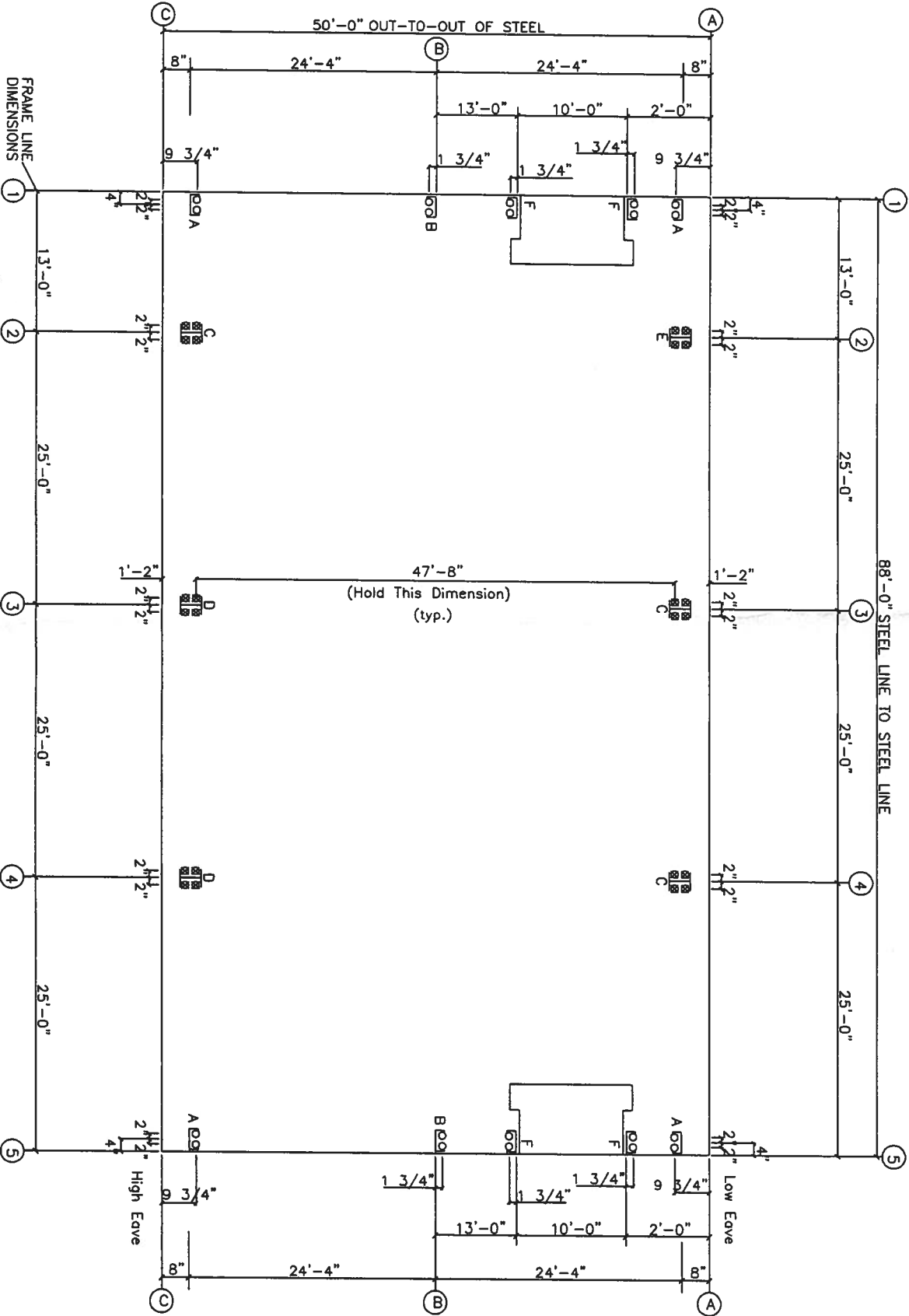
DRAWING RELEASE HISTORY

DRAWING REVISIONS

3 GA. PBR PANEL ~ Galvalume	ROOF	NO.	DESCRIPTION	COLOR	NO.	SIZE	DESCRIPTION	NO.	DESCRIPTION	WALL	THICK	TYPE	LIN FT.	HT.	COLOR	DATE SENT	REASON FOR RELEASE	REVISION	DATE	BY	DESCRIPTION
3 GA. R PANEL ~ Ash Gray	WALL	08	3' X 10'-8 W/TRIM	WHITE	N/A	3' X 7'	FO.	N/A	9" X 10' VENTS W/BS & DMP.	L.E.W.	26 GA.	"R"	0'	0'	PW	A					
TRIM					02	10' X 10'	FO.			F.S.W.	26 GA.	"R"	0'	0'	PW	B					
					02	4' X 4'	FO.			R.E.W.	26 GA.	"R"	0'	0'	PW	C					
6 GA. N/A	GUTTER		WALL-LIGHTS							B.S.W.	26 GA.	"R"	0'	0'	PW	D					
6 GA. N/A	DOVNS	NO.	DESCRIPTION	COLOR												E					
6 GA. Colony Green	RAKE	N/A	N/A	WHITE												F					
6 GA. Colony Green	EAVE															G					
6 GA. Colony Green	CORNER															H					
6 GA. Colony Green	ACCESS.		BASE CONDITION													I					
																J					
																K					
																L					
																M					

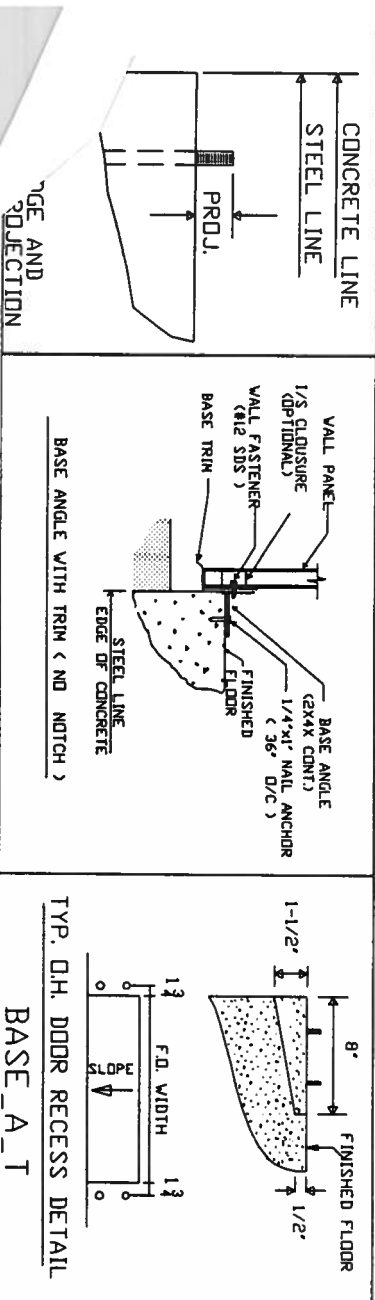
ANCHOR BOLT NOTES:  
VALUES GIVEN FOR BENDS AND ANCHOR BOLT TOTAL LENGTHS ARE SUGGESTED LENGTHS ONLY. IT IS THE RESPONSIBILITY OF THE FOUNDATION ENGINEER TO DETERMINE THESE VALUES SINCE THEY ARE A FUNCTION OF CONCRETE STRENGTH AND OTHER FACTORS.

ANCHOR BOLT SUMMARY						
Qty	Loc	Dia (in)	Total Len (in)	Bend Len (in)	Proj (in)	
8	DJ	5/8"	9.00	3.00	3.00	
12	EW	5/8"	12.00	3.00	3.00	
24	RF	3/4"	18.00	3.00	3.00	



ANCHOR BOLT PLAN

NOTE: All Base Plates @ 100'-0" (U.N.)



REVISIONS				DRAWING STATUS				DIGGA STEEL BUILDINGS				ANCHOR BOLT PLAN			
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD		PROJECT	500 x 880 x 137 x 158	DESIGN	DRAFT	GS	CHECK	DATE	SHEET
								16287						8/26/06	1 OF 12

MILLER  
8/26/06

SEAL

FIELD LOCATED  
(01) 3070 WALK DOOR  
(02) 4' X 4' FO.



NOTES FOR REACTIONS

Building reactions are based on the following building data:

Width (ft) = 50.0  
Length (ft) = 88.0  
Eave Height (ft) = 13.8/15.8  
Roof Slope (rise/run) = 0.5  
Dead Load (psf) = 2.0  
Collateral Load (psf) = 20.0  
Roof Live Load (psf) = 20.0  
Frame Live Load (psf) = 12.0  
Wind Speed (mph) = 120.0  
Wind Code (3 sec gust) = FBC 04  
Exposure = B  
Closed/Open = Closed  
Importance - Wind = 1.00  
Importance - Seismic = 1.00  
Seismic Coeff (F<sub>o</sub>S<sub>s</sub>) = 0.14

Id	Description
1	DL+CL+LL
2	0.80DL+WL1
3	0.80DL+WL1
4	0.80DL+LW+WL1
5	0.80DL+LW+WL1
6	0.80DL+WL1
7	0.80DL+WL1+WS

GENERAL NOTES

- (1) APPLICATION OF ENGINEERS SEAL IS FOR METAL BUILDING ONLY AND DOES NOT REPRESENT THE PROFESSIONAL OF RECORD.
- (2) FOUNDATION DESIGN AND CONSTRUCTION ARE NOT THE RESPONSIBILITY OF THE METAL BUILDING MANUFACTURER.
- (3) ANCHOR BOLTS SHALL BE ACCURATELY SET TO A TOLERANCE OF +/- 1/8" IN BOTH ELEVATION AND LOCATION.
- (4) THE BUILDING REACTION DATA REPORTS THE LOADS WHICH THIS BUILDING PLACES ON THE FOUNDATION. THE FOUNDATION IS TO BE DESIGNED BY A QUALIFIED ENGINEER TO SUPPORT THE BUILDING REACTIONS IN ADDITION TO OTHER LOADS IMPOSED BY THE BUILDING USE OR OCCUPANCY WITH RESPECT TO JOB SITE CONDITIONS.
- (5) ALL ANCHOR BOLTS TO BE ASTM SPECIFICATION A307 UNLESS OTHERWISE NOTED.
- (6) VALUES GIVEN FOR BEAMS AND ANCHOR BOLT TOTAL LENGTHS ARE SUGGESTED LENGTHS ONLY. IT IS THE RESPONSIBILITY OF THE FOUNDATION ENGINEER TO DETERMINE THESE VALUES SINCE THEY ARE A FUNCTION OF CONCRETE STRENGTH AS WELL AS OTHER FACTORS.

BRACING REACTIONS, PANEL SHEAR

Reactions (k)				Panel Shear (lb/ft)	
Well		Wind		Seismic	
Loc	Line	Horz	Vert	Horz	Vert
L.E.W	1	0.7	0.4	0.1	0.0
	2	1.2	0.8	0.1	0.2
R.E.W	3	1.2	0.8	0.1	0.2
	4	1.7	0.9	0.1	0.1
B.S.W	5	1.3	0.7	0.1	0.1
	6	1.3	0.7	0.1	0.1
B.S.W	7	1.3	0.7	0.1	0.2

Protection of Opening

This building is located in a wind-borne debris region. Exterior glazing is assumed to be impact resistant and meet the provisions of the missile test, or they should be protected by impact resistant covering meeting the requirements of SS1D 12, ASTM E 1886 and ASTM E 1966 or Miami-Dade PA 201, 202, & 203.

Openings may also be protected by structural wood panels having a min. thickness of 7/16" and maximum panel span of 8 feet. Attachment hardware and fastening schedule shall be in accordance with the following table.

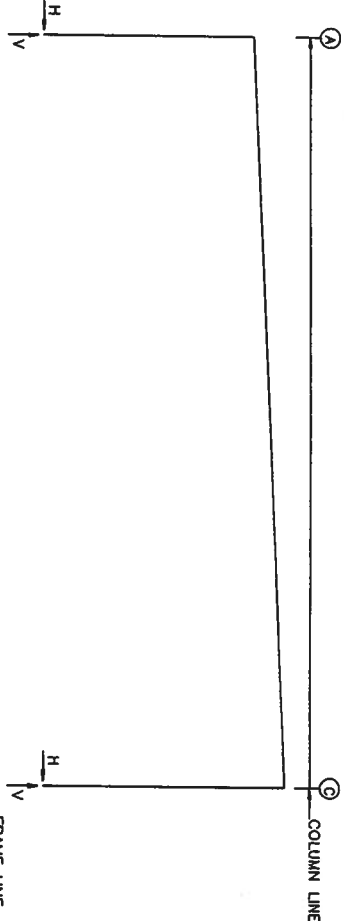
WIND-BORNE DEBRIS PROTECTION FASTENING SCHEDULE FOR WOOD STRUCTURAL PANELS (PLYWOOD)

FASTERENER TYPE	FASTERENER SPACING (in) <sup>1,2</sup>			
	PANEL SPAN < 2ft	2ft< PANEL SPAN < 4 ft.	4ft< PANEL SPAN < 6 ft.	6ft< PANEL SPAN < 8 ft.
2 1/2 #6 Wood Screw <sup>3,5</sup>	16	16	12	9
2 1/2 #8 Wood Screw <sup>3</sup>	16	16	16	12
Double-Headed nails <sup>4</sup>	12	6	4	3

S<sub>1</sub>: 1 inch=25.4 mm 1 foot=305 mm

Notes:

- 1.) This table is based on a maximum wind speed of 130 m.p.h. (58 m/s) and mean roof height of 33 feet (10 m) or less.
- 2.) Fasteners shall be installed at opposing ends of the wood structural panel.
- 3.) Where screws are attached to masonry or masonry/stucco, they shall be attached using vibration-resistant anchors having a minimum withdrawal capacity of 400 lb. (2180 kN).
- Nails shall be 10d common or 12d box double-headed nails.
- Where screws are attached to pre-engineered metal building components, i.e. purlins, framed openings, etc., they shall be #12 self drilling screws secured with a minimum 16 ga. material. Screws should have a min. withdrawal strength of 500 lbs.



RIGID FRAME: ANCHOR BOLTS & BASE PLATES

From Col Line	Anchor Bolt Nod(in)	Base Plate Wd	Base Plate Len	Thk	Grout (in)
2 A	4	0.750	8.000	10.50	0.500
2 C	4	0.750	8.000	10.50	0.500

RIGID FRAME: ANCHOR BOLTS & BASE PLATES

From Col Line	Anchor Bolt Nod(in)	Base Plate Wd	Base Plate Len	Thk	Grout (in)
3 A	4	0.750	8.000	10.50	0.500
3 C	4	0.750	8.000	10.50	0.500

3 \* Frame lines: 3 4

RIGID FRAME:

BASIC COLUMN REACTIONS (k)											
Frame Column			Dead			Collateral			Live		
Line	Col	Line	Horz	Vert	Horz	Horz	Vert	Horz	Horz	Vert	Horz
1	A	1	0.64	1.42	0.00	0.00	0.00	2.87	5.69	-5.99	-8.52
2	C	2	-0.64	1.51	0.00	0.00	0.00	-2.87	-5.71	-2.38	-8.20
3	A	3	0.81	1.79	0.00	0.00	0.00	3.78	7.49	-7.90	-12.54
3	C	3	-0.81	1.88	0.00	0.00	0.00	-3.78	-7.51	3.16	-11.31
Frame Column			Wind R2			Seismic L			Seismic R		
Line	Col	Line	Horz	Vert	Horz	Horz	Vert	Horz	Horz	Vert	Horz
1	A	1	-0.91	-4.45	-0.04	0.02	0.04	0.02	-2.81	-9.00	-2.81
2	C	2	0.91	-4.45	-0.04	0.02	0.04	0.02	2.81	-9.00	2.81
3	A	3	3.81	-5.86	-0.05	0.03	0.05	0.03	-3.82	-13.13	-3.82
3	C	3	-3.81	-5.86	-0.05	0.03	0.05	0.03	3.82	-13.13	3.82
3 * Frame lines:			7.58			-8.12			-0.05		
3 * Frame lines:			3			4			3.96		

ENDWALL COLUMN: REACTIONS, ANCHOR BOLTS, & BASE PLATES

Column Reactions (k)											
From Col Line			Dead			Live			Wind-Left		
Line	Col	Line	Horz	Vert	Horz	Horz	Vert	Horz	Horz	Vert	Horz
1	C	1	0.3	0.0	1.7	0.0	-2.0	1.3	-2.8	0.0	0.0
1	B	1	0.3	0.0	1.7	0.0	-2.0	1.3	-2.8	0.0	0.0
1	A	1	0.3	0.0	1.7	0.0	-2.0	1.3	-2.8	0.0	0.0
5	C	5	0.3	0.0	1.7	0.0	-2.0	1.3	-2.8	0.0	0.0
5	B	5	0.3	0.0	1.7	0.0	-2.0	1.3	-2.8	0.0	0.0
5	A	5	0.3	0.0	1.7	0.0	-2.0	1.3	-2.8	0.0	0.0

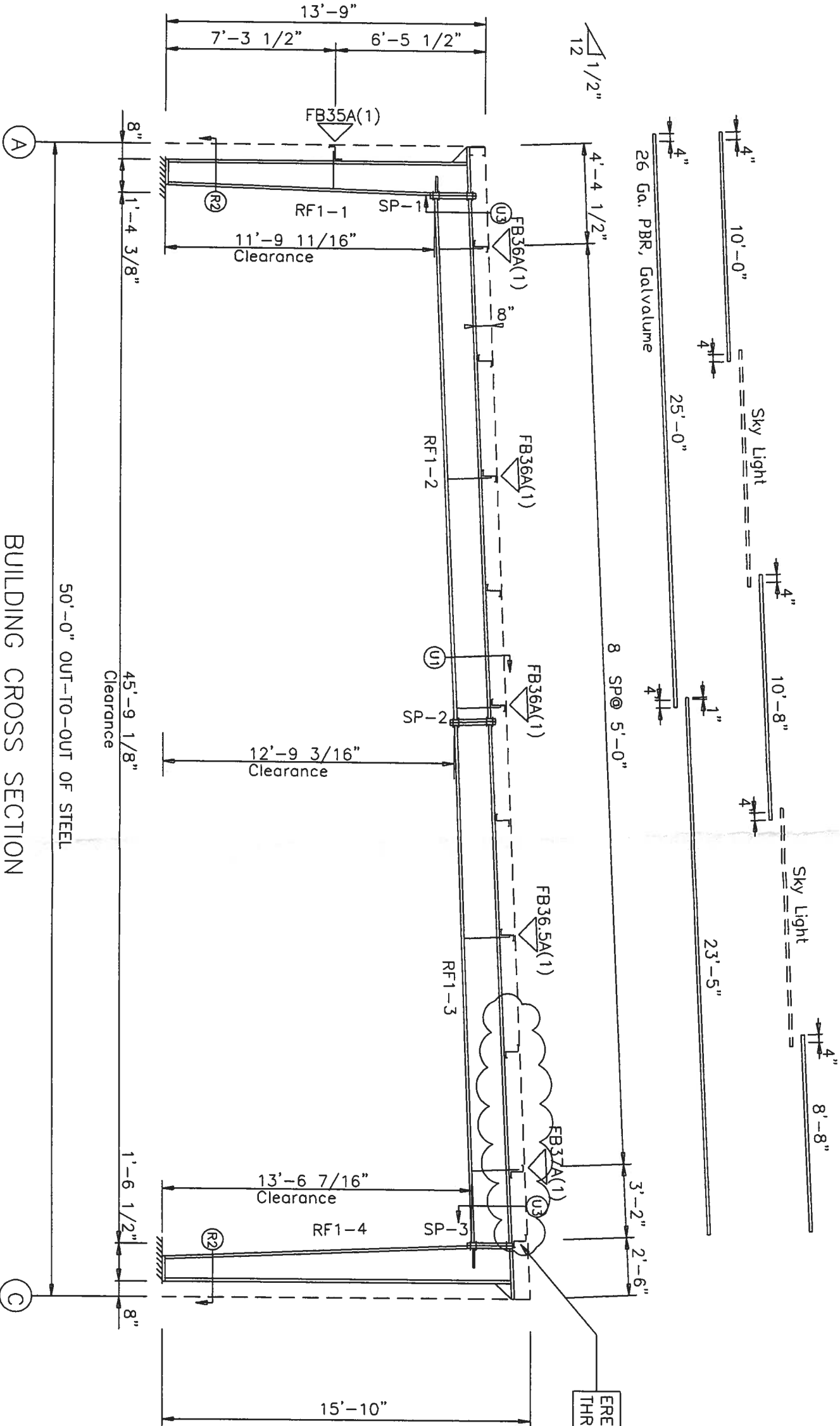
SEAL

REVISIONS						DRAWING STATUS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD	[X] FOR CONSTRUCTION				
							[ ] FOR PERMIT ONLY				
							[ ] OTHER, EXPLAIN				
							DIGA STEEL BUILDINGS				
							PROJECT 500 x 880 x 137 x 158				
							ID 16287				
							PROJECT GREEN COVE SPRINGS, FL				
							ADDRESS				
							ANCHOR BOLT REACTIONS				
							DESIGN: DRAFT: GS CHECK:				
							DATE: 8/26/06 SHEET 2				

SPLICE BOLTS			
Splice Mark	Quan	-----Bolt-----	
	Top/Bot/Int	Type	Dia Len
SP- 1	4	4	0 A325 0.625 2.25
SP- 2	4	4	0 A325 0.625 2.00
SP- 3	2	4	0 A325 0.750 2.50

▽FLANGE BRACES:  
FBxxA(1): xx=inches, (1)=one side only  
A - L2X2X14G

MEMBER SIZE TABLE (in)				
PIECE	WEB DEPTH		WEB PLATE	
	START	END	THICK	LENGTH
RF1-1	10.0	16.0	0.120	157.3
RF1-2	16.0	16.0	0.120	240.0
RF1-3	16.0	17.8	0.120	35.6
RF1-4	17.8	18.0	0.120	31.4
	18.0	10.0	0.120	181.0
			OUTSIDE FLANGE	
			W x T x LEN	INSIDE FLANGE
			5x3/16"x156.6	5x3/16"x137.3
			5x3/16"x24.2	5x3/16"x240.0
			5x3/16"x240.0	5x3/16"x35.6
			5x1/4"x34.9	5x1/4"x240.0
			5x1/4"x31.4	5x3/16"x30.6
			6x1/4"x26.3	6x1/4"x158.3
			6x1/4"x181.0	



BUILDING CROSS SECTION

FOR FRAME LINE 2

GENERAL NOTES:

\* NOTICE TO ERECTOR \*

(A)it is IMPORTANT that for members exceeding 30 ft. in length that a spreader bar be used when lifting.

(B)ALL flange braces and wind bracing must be installed prior to exterior finishes being applied.

REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR
DRAWING STATUS					
[ ] FOR CONSTRUCTION					
[X] FOR PERMIT ONLY					
[ ] FOR APPROVAL					
[ ] OTHER, EXPLAIN					
DIGGA STEEL BUILDINGS					
PROJECT		300 x 88.0 x 13.7 x 15.8		BUILDING CROSS SECTION	
ID		16287		DESIGN	
PROJECT		GREEN COVE SPRINGS, FL		DATE: 8/26/06	
ADDRESS				SHEET	
				CHECK	
				3	

ERECTOR NOTE: TURN THESE THREE PURLINS DOWNHILL

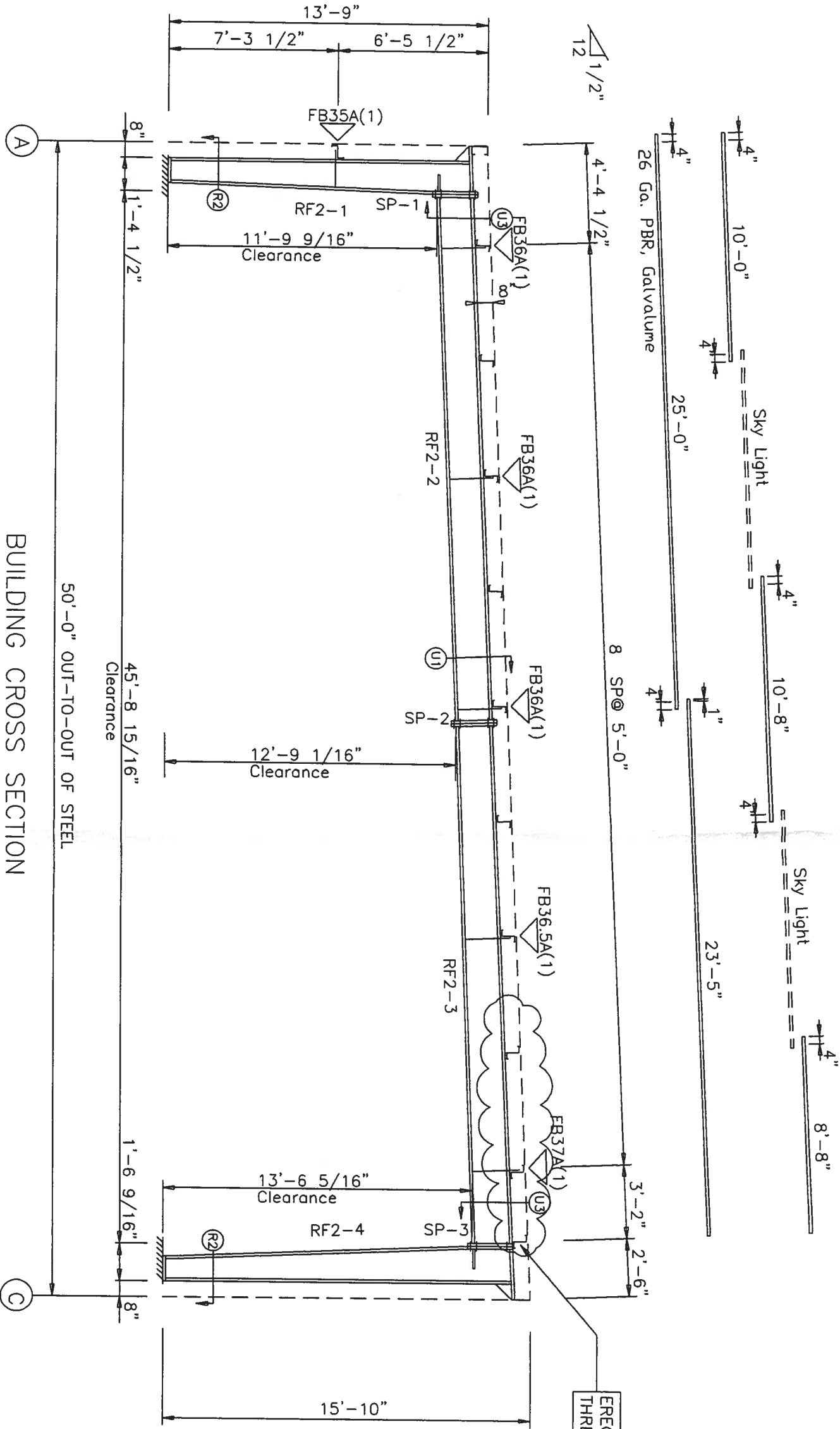
SEAL

8/28/06

SPLICE BOLTS				-----Bolt-----			
Splice Mark	Quan Top/Bot	Int Type	Dia	Len			
SP-1	4	4	0	A325	0.750	2.50	
SP-2	4	4	0	A325	0.625	2.25	
SP-3	2	4	0	A325	0.750	2.50	

FLANGE BRACES:  
FBxxA(1): xx=inches, (1)=one side only  
A - L2X2X14G

MEMBER SIZE TABLE (in)								
PIECE	WEB DEPTH		WEB PLATE THICK	LENGTH	OUTSIDE FLANGE		INSIDE FLANGE	
	START	END			W x T x LEN	W x T x LEN		
RF2-1	10.0	16.0	0.120	137.2	5x1/4" x156.6	5x1/4" x137.3		
RF2-2	16.0	16.0	0.134	20.1	5x1/4" x 24.3			
	16.0	16.0	0.120	240.0	5x1/4" x240.0	5x1/4" x240.0		
RF2-3	16.0	16.0	0.120	35.1	5x1/4" x 34.5	5x1/4" x 35.1		
	16.0	17.8	0.134	240.0	5x1/4" x240.0	5x1/4" x240.0		
RF2-4	17.8	18.0	0.134	31.2	5x1/4" x 31.2	5x1/4" x 30.4		
	18.0	18.0	0.134	22.9	6x1/4" x 26.3			
	18.0	10.0	0.120	158.0	6x5/16"x180.9	6x1/4" x158.2		



ERECTOR NOTE: TURN THESE THREE PURLINS DOWNHILL

BUILDING CROSS SECTION

FOR FRAME LINE 3 4

GENERAL NOTES:

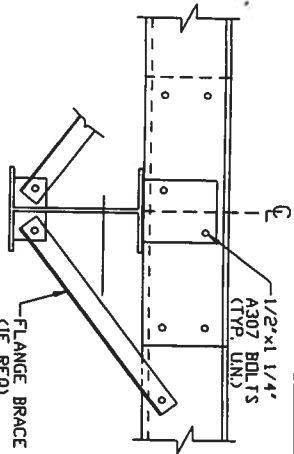
\* NOTICE TO ERECTOR \*

(A)It is IMPORTANT that for members exceeding 30 ft. in length that a spreader bar be used when lifting.

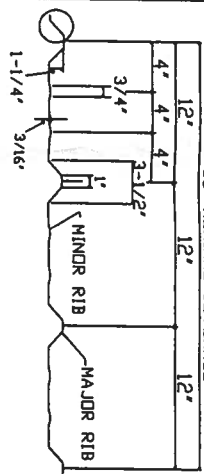
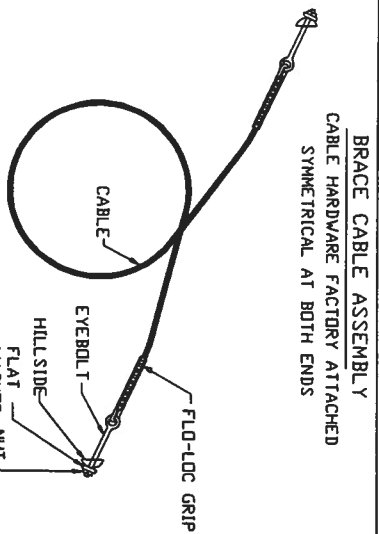
(B) All flange braces and wind bracing must be installed prior to exterior shees being applied.

REVISIONS						DRAWING STATUS				BIGGA STEEL BUILDINGS				MILLER			
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD	[ ] FOR CONSTRUCTION	[X] FOR PERMIT ONLY	[ ] FOR APPROVAL	[ ] OTHER, EXPLAIN	PROJECT	500 x 880 x 137 x 158	16287	DESIGN	DRAFT	GS	CHECK
														8/26/06			4

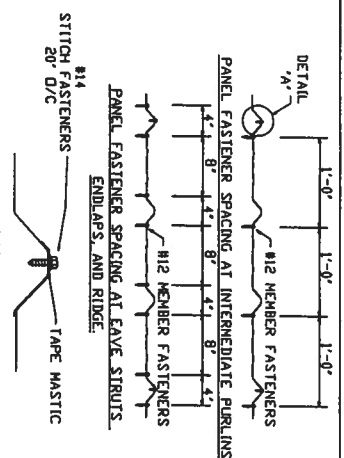
8/28/06



ADDITIONAL HOLES ARE PRESENT FOR ALIGNMENT PURPOSES ONLY

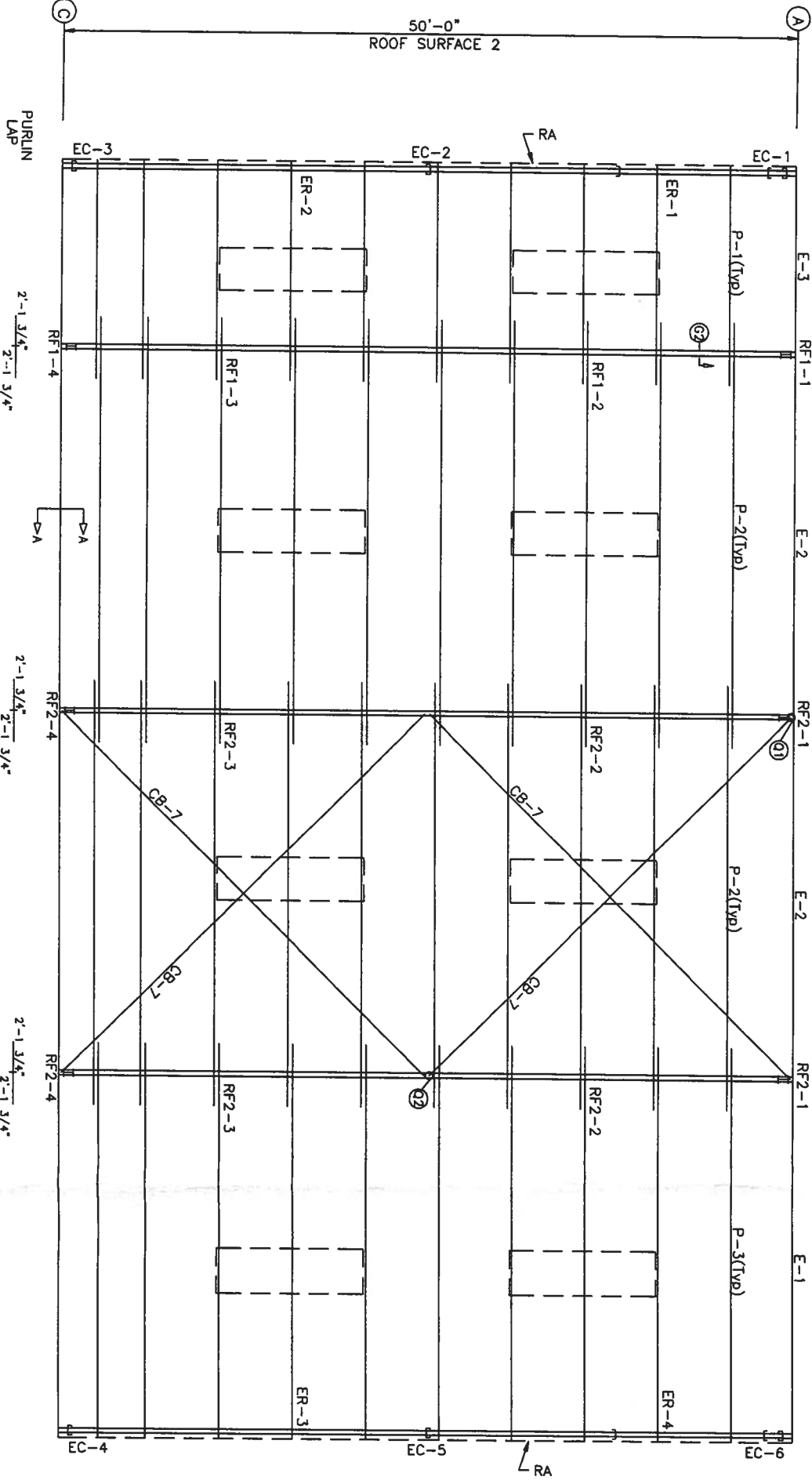
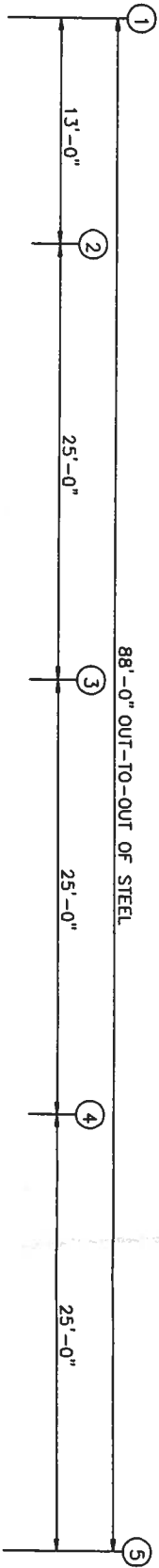


PBR ROOF PANEL PROFILE

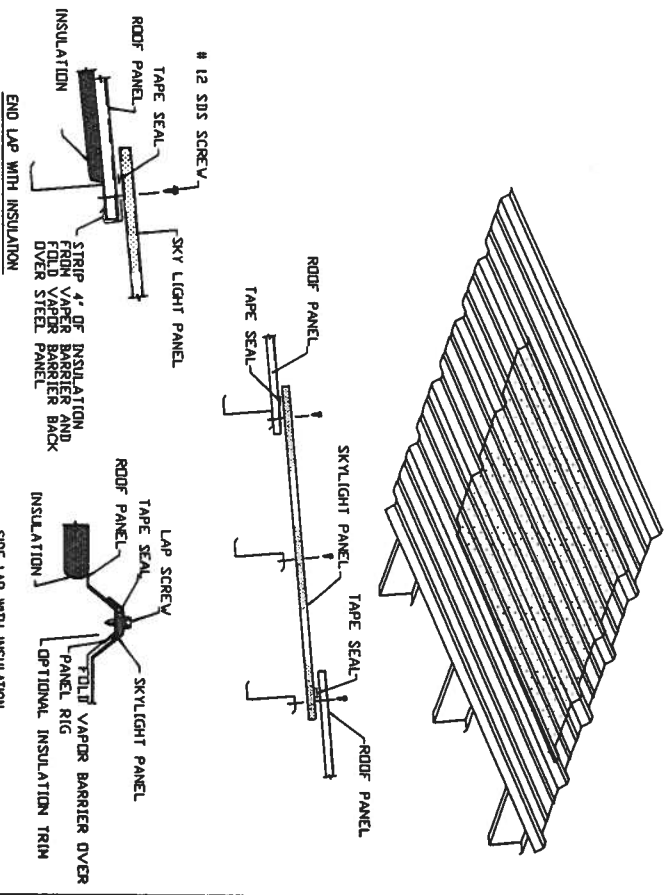


PBR ROOF PANEL ATTACHMENT DETAIL

MEMBER TABLE		
MARK	PART	LENGTH
P-1	8X25Z16	15'-1 1/2"
P-2	8X25Z16	29'-3 1/2"
P-3	8X25Z14	27'-1 1/2"
E-1	8E16	24'-11 1/2"
E-2	8E16	24'-11 1/2"
E-3	8E16	12'-11 1/2"
CB-7	0.250CBL	34'-11"



23'-5" (26)	25'-0" (26)	10'-8" (4)	10'-8" (4)	10'-0" (4)
LIGHT PANEL 10'-8" (4)	LIGHT PANEL 10'-8" (4)	LIGHT PANEL 10'-8" (4)	LIGHT PANEL 10'-8" (4)	LIGHT PANEL 10'-0" (4)



SKYLIGHT INSTALLATION DETAILS

ROOF FRAMING PLAN

ROOF SHEETING

PANELS: 26 Ga. PBR Galvalume

NOTE : REFER SECTION 'A-A' ON PAGE - 12

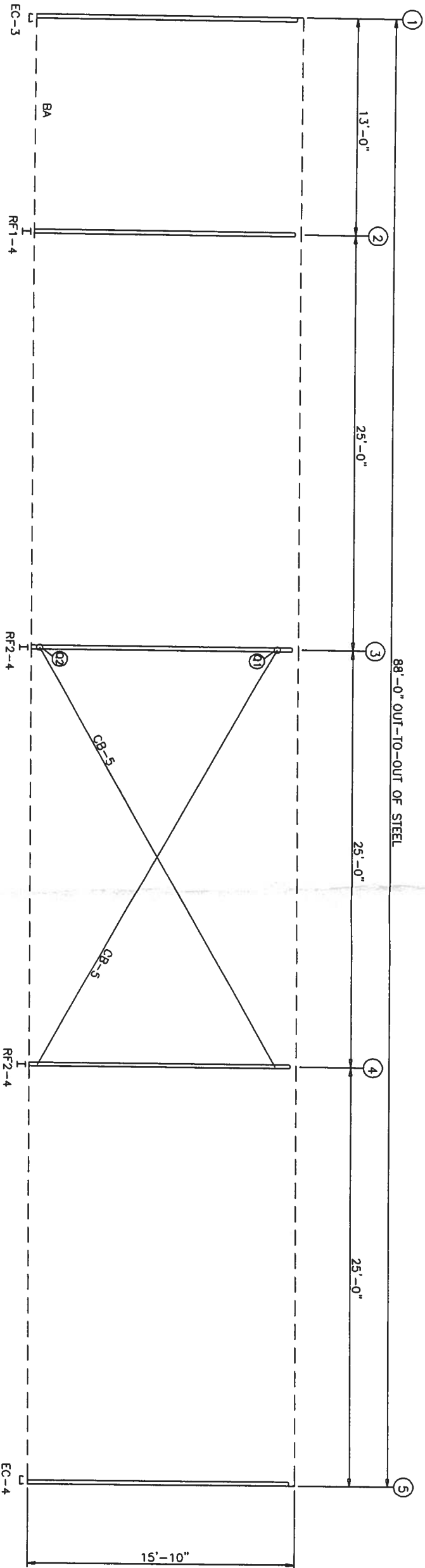
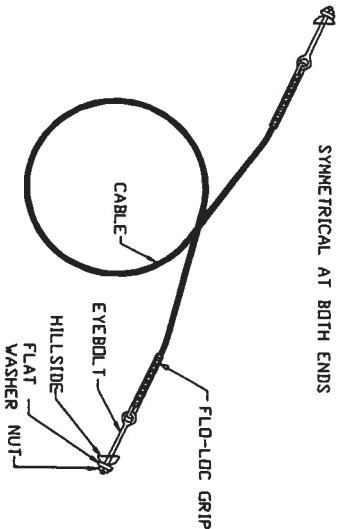
REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR

DRAWING STATUS					

DIGGA STEEL BUILDINGS				MILLER			
PROJECT	500 x 86.0 x 13.7 x 15.8	ROOF FRAMING	DESIGN	PROJECT	16287	DRAFT	GS
PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06	PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06
PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06	PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06
PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06	PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06
PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06	PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06

8/28/06

BRACE CABLE ASSEMBLY  
CABLE HARDWARE FACTORY ATTACHED  
SYMMETRICAL AT BOTH ENDS



SIDEWALL FRAMING: FRAME LINE C

OPEN TO REMAIN OPEN

SIDEWALL TRIM: FRAME LINE C

TRIM TABLE			
FRAME LINE C		DETAIL	
QID	MARK	LENGTH	TM30
1	JTR	16'-0"	

MEMBER TABLE			
FRAME LINE C		LENGTH	
MARK	PART	LENGTH	
CB-5	0.312CBL	28'-11"	

GENERAL NOTES:  
1.) IF CABLE BRACING, WIND BENTS, WIND COLUMNS, OR WEAK AXIS DESIGN OF  
IN ALL COLUMNS WERE NOT PROVIDED IT HAS BEEN DETERMINED THAT DIAPHRAGM  
CTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING  
BE PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR

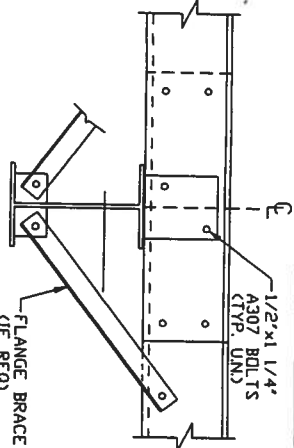
DRAWING STATUS  
( ) FOR CONSTRUCTION  
(X) FOR PERMIT ONLY  
( ) FOR APPROVAL  
( ) OTHER, EXPLAIN

DIGGA STEEL BUILDINGS	
PROJECT	500 x 880 x 137 x 158
ID	16287
PROJECT ADDRESS	GREEN COVE SPRINGS, FL

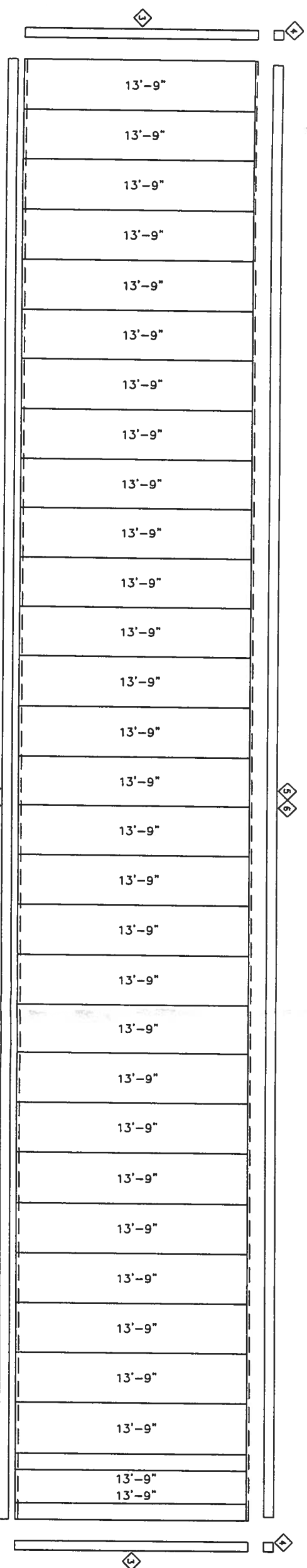
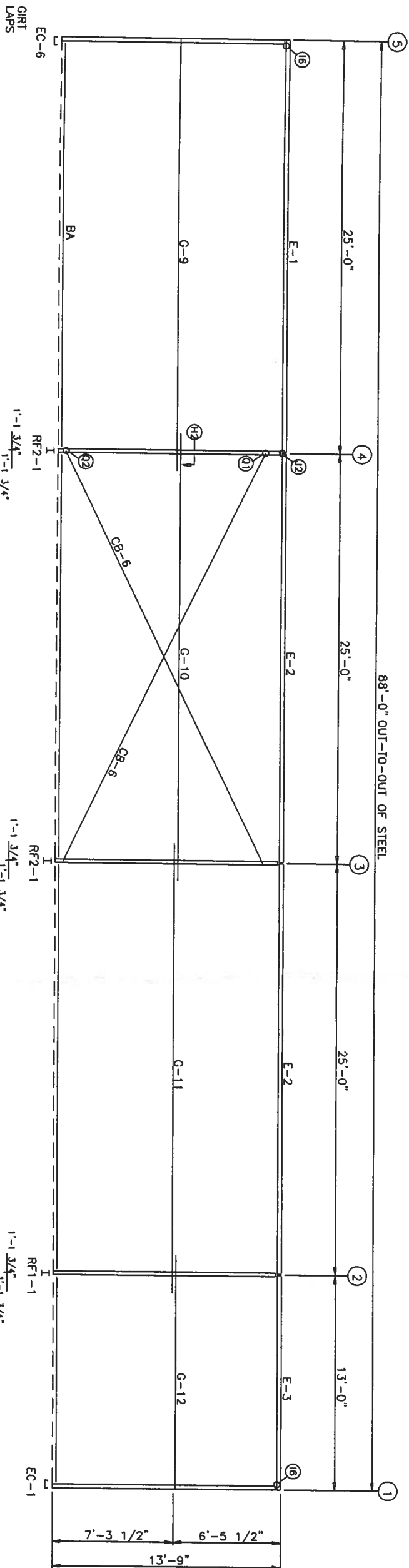
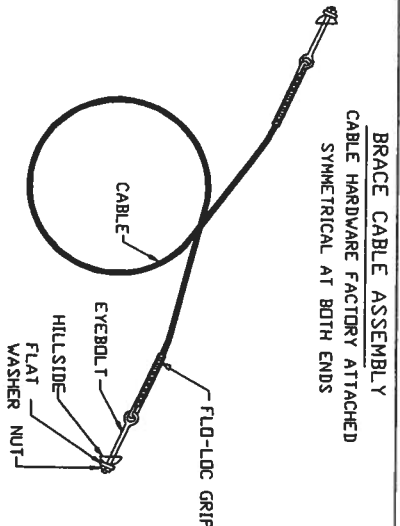
MILLER			
SIDEWALL FRAMING		CHECK	
DESIGN	DRAFT	GS	CHECK
DATE	8/26/06	SHEET	6

SEAL

8/28/06



6 BOLTS TOTAL  
ADDITIONAL HOLES ARE PRESENT FOR  
ALIGNMENT PURPOSES ONLY



SIDEWALL SHEETING & TRIM: FRAME LINE A

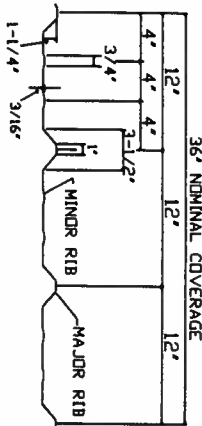
PANELS: 26 Ga. R - Ash Gray

GENERAL NOTES:  
1) 1/2" CABLE BRACING, WIND BENTS, WIND COLUMNS, OR WEAK AXIS DESIGN OF ALL COLUMNS WERE NOT PROVIDED IT HAS BEEN DETERMINED THAT DIAPHRAGM ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING IS PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

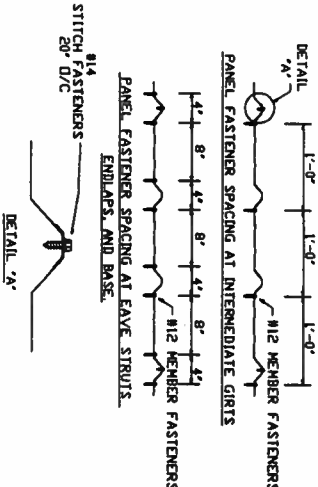
REVISIONS						DRAWING STATUS				DIGGA STEEL BUILDINGS				MILLER			
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD	<input type="checkbox"/> FOR CONSTRUCTION	<input checked="" type="checkbox"/> FOR PERMIT ONLY	<input type="checkbox"/> FOR APPROVAL	<input type="checkbox"/> OTHER, EXPLAIN	PROJECT	ADDRESS	DESIGN	DRAWING	GS	CHECK	
											16287	GREEN COVE SPRINGS, FL	DATE: 8/26/06			7	

TRIM TABLE			
QID	MARK	LENGTH	DETAIL
1	DTR	20'-3"	TM21
2	DTR	8'-3"	TM21
3	CTR	13'-11"	TM29
4	VRE	6'	TM40
5	SET	20'-3"	TM12
6	SET	8'-3"	TM12

MEMBER TABLE			
FRAME LINE A	PART	LENGTH	
E-1	BE16	24'-11"	1/2"
E-2	BE16	24'-11"	1/2"
E-3	BE16	12'-11"	1/2"
G-9	8X25Z13	26'-1"	1/2"
G-10	8X25Z15	27'-3"	1/2"
G-11	8X25Z16	27'-3"	1/2"
G-12	8X25Z16	14'-1"	1/2"
CB-6	0.250CBL	28'-0"	



R' WALL PANEL PROFILE



R' WALL PANEL FASTENER LAYOUT

R' WALL

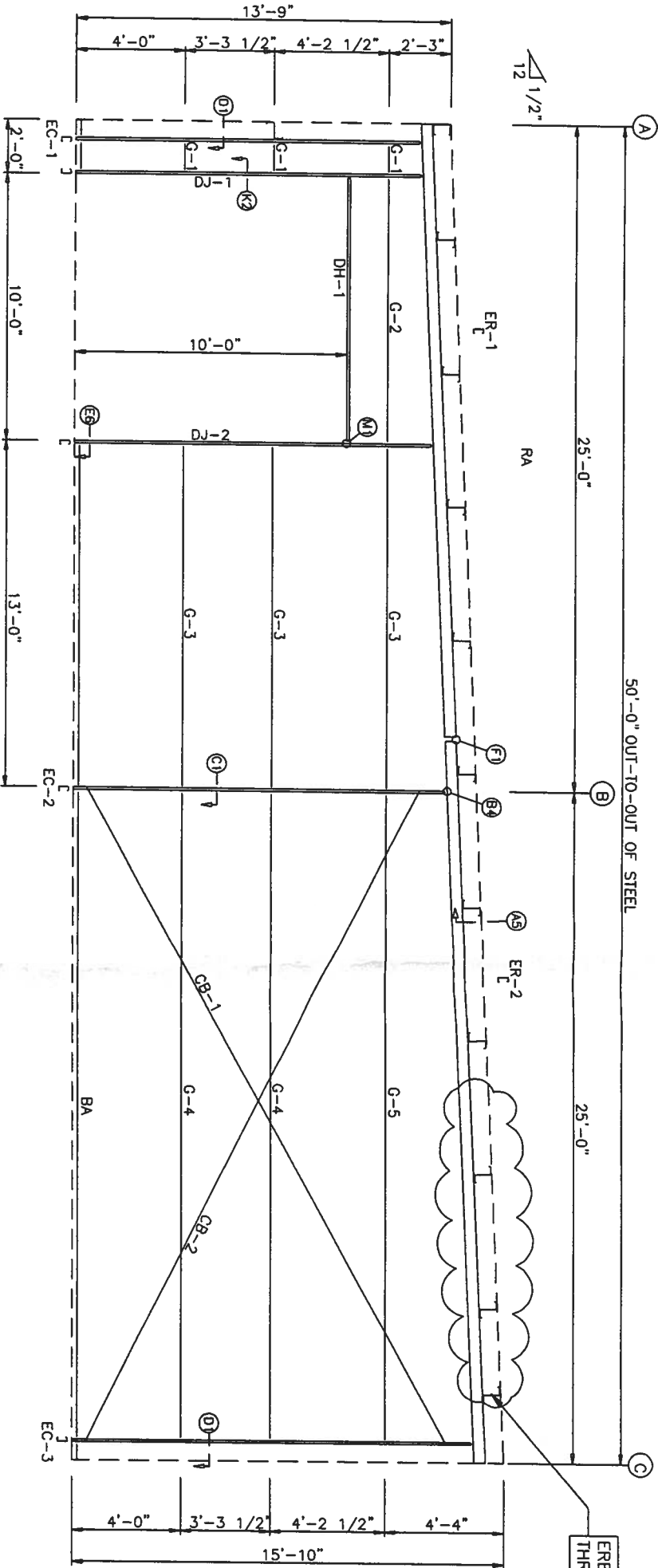
SEAL

Miller  
8/28/06

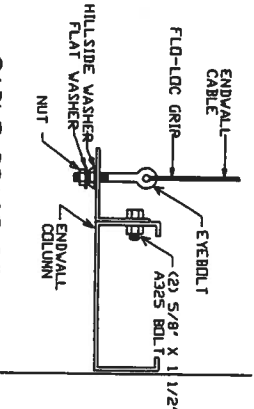
BOLT TABLE			
FRAME LINE 1		QUAN	TYPE DIA LENGTH
LOCATION			
ER-1/ER-2	4	A325	1/2" 1 1/4"
Columns	4	A325	1/2" 1 1/4"
Jamb	2	A325	1/2" 1 1/4"

TRIM TABLE			
FRAME LINE 1		LENGTH	DETAIL
QID	MARK		
1	DJR	2'-3"	TM21
2	DIR	20'-3"	TM21
3	DIR	18'-3"	TM21
4	VRT	20'-3"	TM11
5	VRT	10'-4"	TM11
6	JTR	10'-2"	TM31
7	HT	10'-3"	TM33

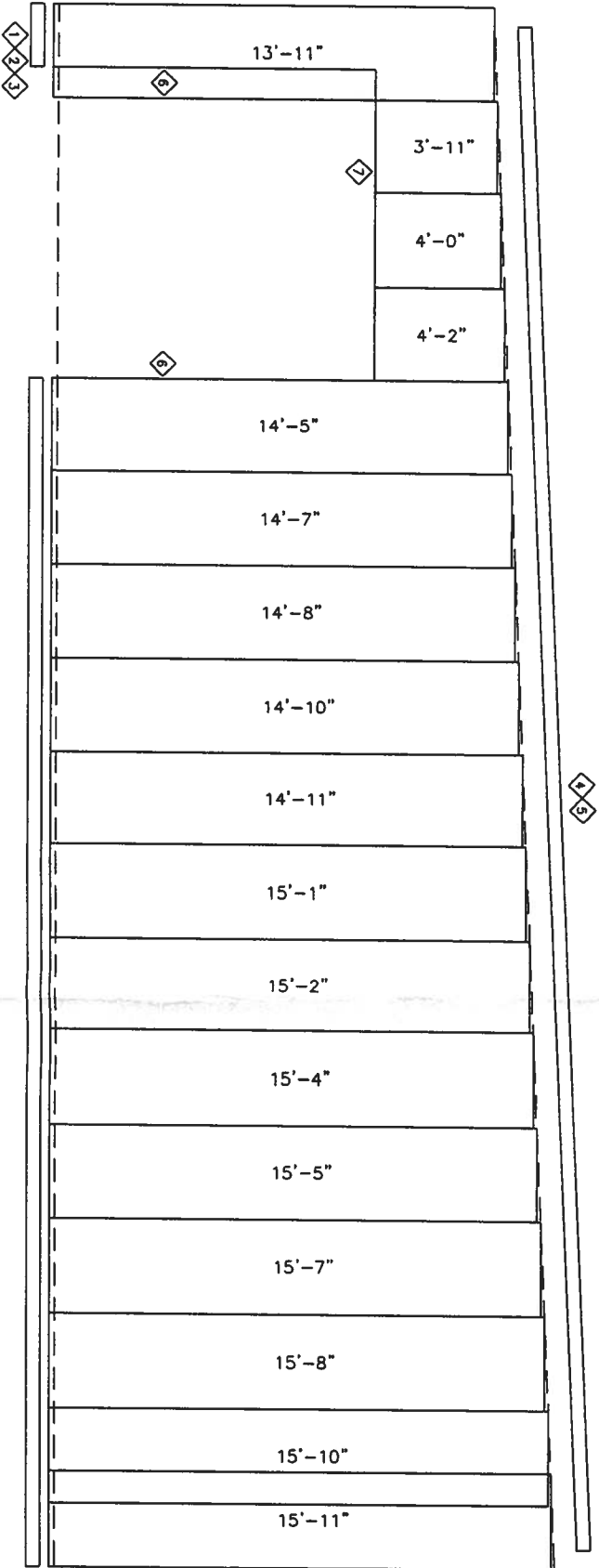
MEMBER TABLE		
FRAME LINE 1		LENGTH
MARK	PART	
EC-1	8x35C16	12'-2 5/16"
EC-2	8x35C13	13'-2 1/2"
EC-3	8x35C16	14'-2 5/8"
ER-1	10x25c13	23'-0 5/8"
ER-2	10x25c13	26'-11 15/16"
DJ-1	8x35C16	12'-3"
DJ-2	8x35C16	12'-8"
DH-1	8x35C16	10'-0"
G-1	8x25Z16	9'-11 1/2"
G-2	8x25Z16	12'-8"
G-3	8x25Z16	23'-8 1/2"
G-4	8x35Z13	23'-8 1/2"
G-5	0.250CBL	28'-7"
CB-1	0.250CBL	28'-1"
CB-2	0.250CBL	28'-1"



ENDWALL FRAMING: FRAME LINE 1



CABLE BRACE DETAIL  
NOTE: HILLSIDE WASHER, EYEBOLT, FLD-LDC, FLAT WASHER, & NUT ATTACHED TO CABLE BY FACTORY.



ENDWALL SHEETING & TRIM: FRAME LINE 1

PANELS: 26 Co. R - Ash Gray

SEAL

GENERAL NOTES:

1.) IF CABLE BRACING FOR END WALL IS NOT SHOWN ON ERECTION DRAWINGS IT HAS BEEN DETERMINED THAT DIAPHRAGM PANEL ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING SHOULD BE PROVIDED BY ERECTOR UNTIL LT WALL AND ROOF PANELS ARE INSTALLED.

REVISIONS						
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD

DRAWING STATUS	
<input type="checkbox"/>	FOR CONSTRUCTION
<input type="checkbox"/>	FOR PERMIT ONLY
<input type="checkbox"/>	FOR APPROVAL
<input type="checkbox"/>	OTHER, EXPLAIN

DIGGA STEEL BUILDINGS	
PROJECT	500 x 880 x 137 x 158
ID	16287
PROJECT	GREEN COVE SPRINGS, FL
ADDRESS	

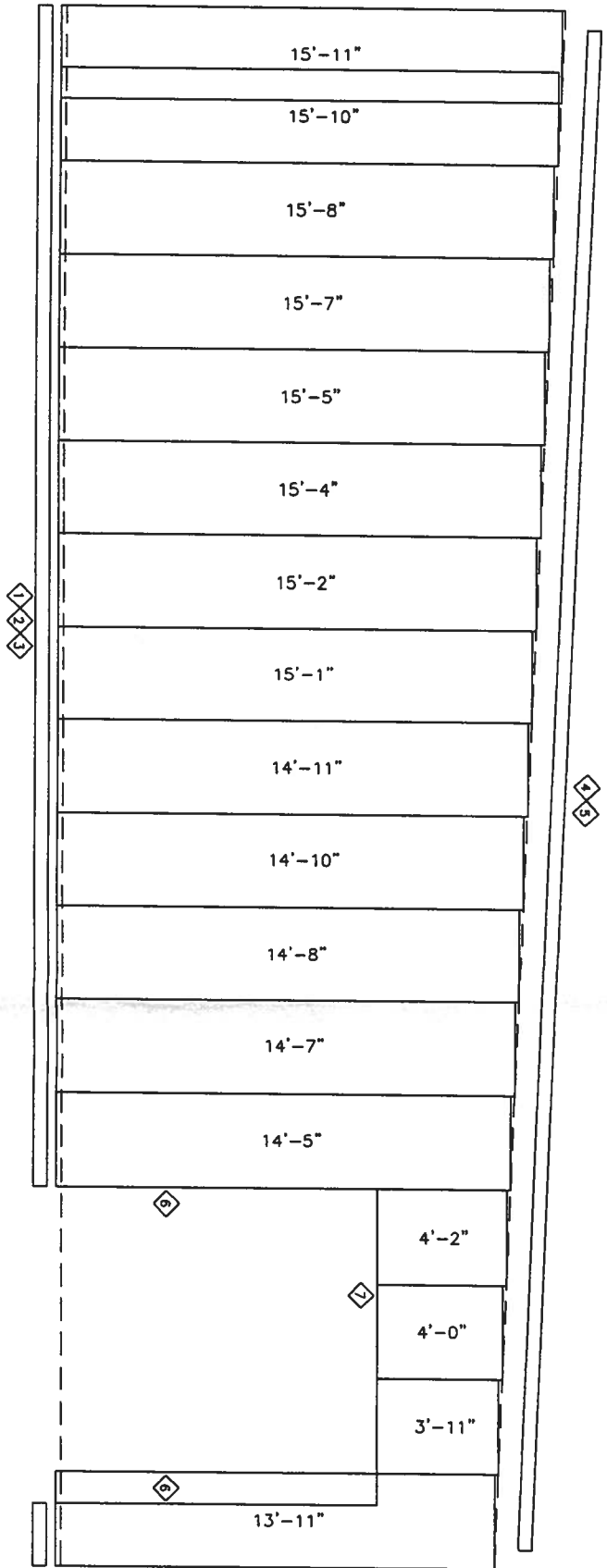
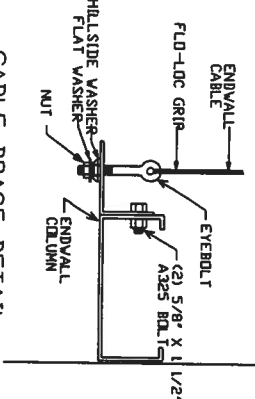
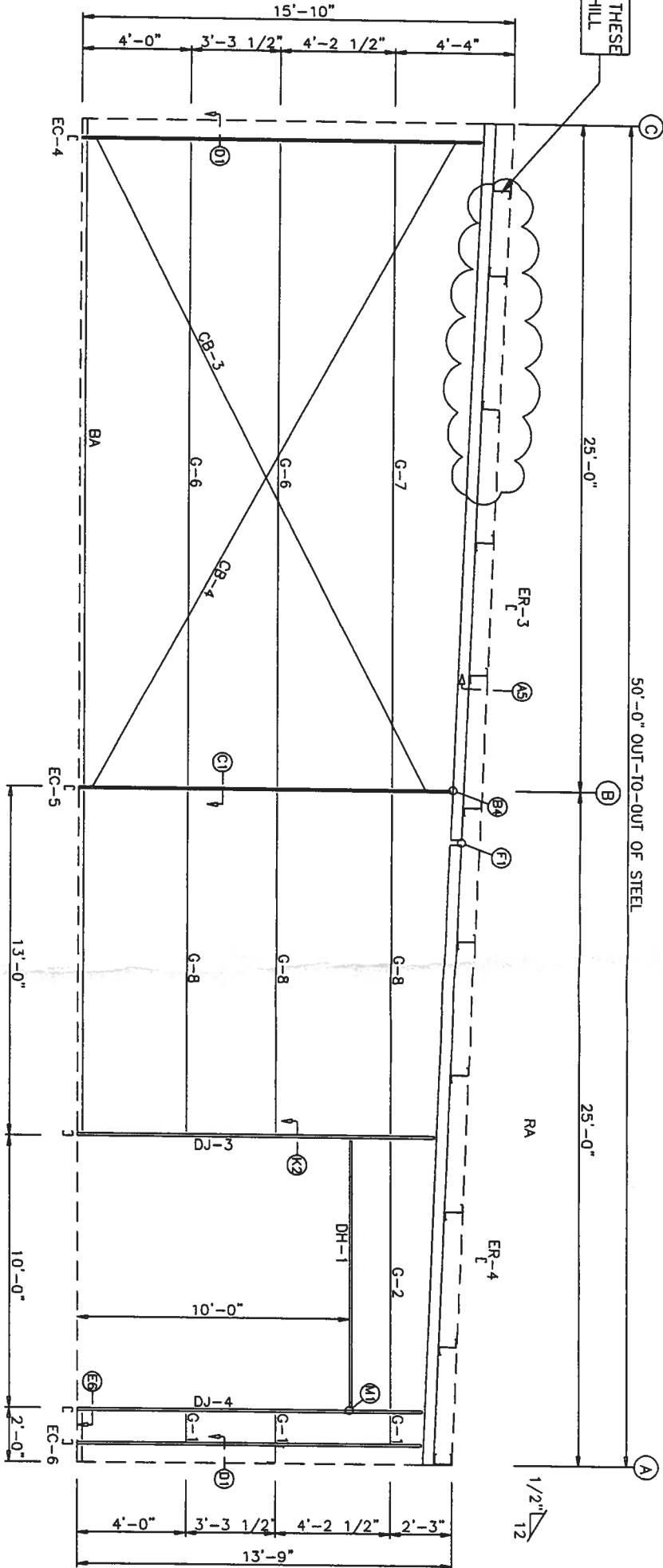
MILLER	
DESIGN	DRAFT
DATE: 8/26/06	CHECK: 8

*Calvin Miller*  
8/28/06

BOLT TABLE			
FRAME LINE 5		QUAN	TYPE DIA LENGTH
LOCATION			
ER-3/ER-4	4	A325	1/2" 1 1/4"
Columns	4	A325	1/2" 1 1/4"
Jamb	2	A325	1/2" 1 1/4"

TRIM TABLE			
FRAME LINE 5		LENGTH	DETAIL
OID MARK			
1 DTR	20'-3"		TM21
2 DTR	18'-3"		TM21
3 DTR	2'-3"		TM21
4 VRT	20'-3"		TM11
5 VRT	10'-4"		TM11
6 JTR	10'-2"		TM31
7 HT	10'-3"		TM33

MEMBER TABLE			
FRAME LINE 5		PART	LENGTH
MARK			
EC-4	8x35C16	14'-0	5/8"
EC-5	8x35C13	13'-0	1/2"
EC-6	8x35C16	12'-0	5/16"
ER-3	12x35c12	26'-11	15/16"
ER-4	12x35c12	23'-0	5/8"
DJ-3	8x35C16	12'-6"	
DJ-4	8x35C16	12'-1"	
DH-1	8x35C16	10'-0"	
G-1	8x25Z16	9'-11	1/2"
G-2	8x25Z16	24'-0"	
G-6	8x25Z13	24'-0"	
G-7	8x35Z13	12'-4	1/2"
G-8	8x25Z16	28'-0"	
CB-3	0.250CBL	28'-0"	
CB-4	0.250CBL	28'-6"	



GENERAL NOTES:

1) IF CABLE BRACING FOR END WALL IS NOT SHOWN ON ERECTION DRAWINGS IT HAS BEEN DETERMINED THAT DIAPHRAGM PANEL ACTION IS SUFFICIENT TO RESIST LONGITUDINAL FORCES. TEMPORARY BRACING SHOULD BE PROVIDED BY ERECTOR UNTIL ALL WALL AND ROOF PANELS ARE INSTALLED.

ENDWALL SHEETING & TRIM: FRAME LINE 5

PANELS: 26 Co. R - Ash Gray

REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR

DRAWING STATUS					

DIGGA STEEL BUILDINGS			
PROJECT	500 x 880 x 137 x 158	DESIGN	ENDWALL FRAMING
ID	16287	DRAFT	GS
PROJECT	GREEN COVE SPRINGS, FL	CHECK	CHECK
ADDRESS		SHEET	9

SEAL

MILLER

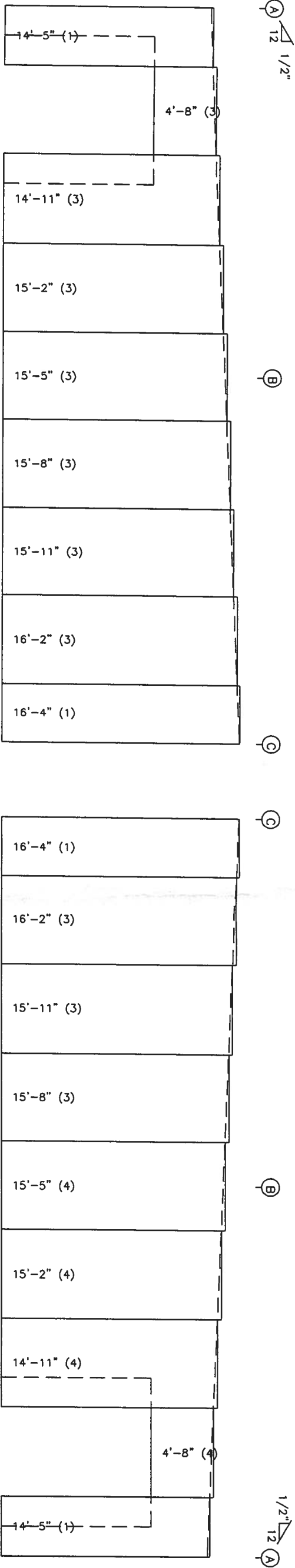
8/28/06



WALL INSULATION TABLE			
FRAME LINE 1 & 5 & A			
ROLL	MARK	WIDTH	LENGTH
1	WI-1	4'-0"	76'-0"
2	WI-2	6'-0"	100'-0"
3	WI-3	6'-0"	146'-0"
4	WI-4	6'-0"	150'-0"

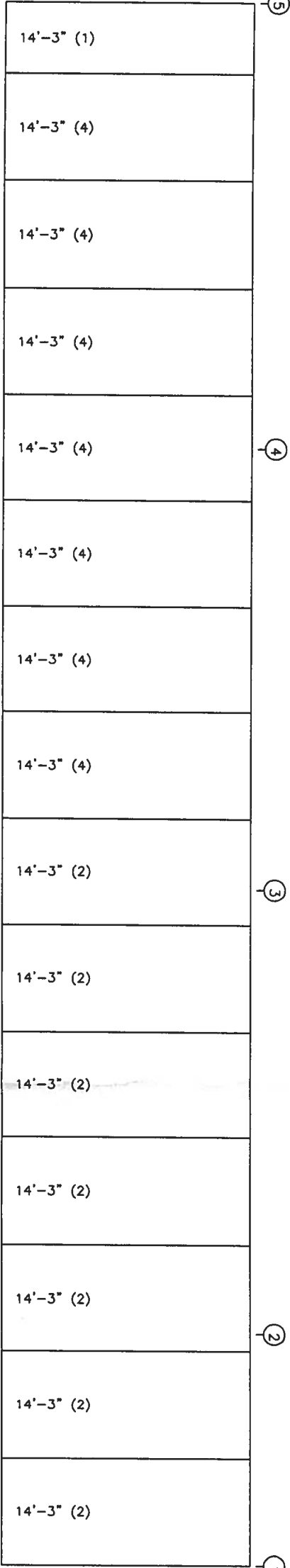
ROOF INSULATION TABLE			
FRAME LINE 1 & 5 & A			
QUAN	MARK	WIDTH	LENGTH
1	RI-1	4'-0"	52'-6"
14	RI-2	6'-0"	52'-6"

LEGEND:  
76'-0" (1)  
Length (Roll #)



ENDWALL INSULATION: FRAME LINE 1

ENDWALL INSULATION: FRAME LINE 5



SIDEWALL INSULATION: FRAME LINE A

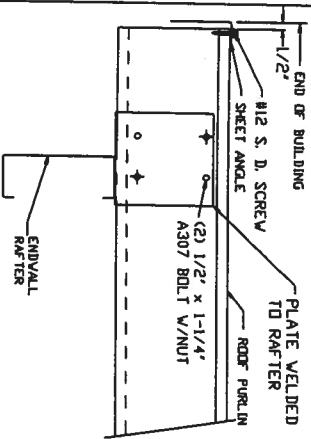
REVISIONS					
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR

DRAWING STATUS					
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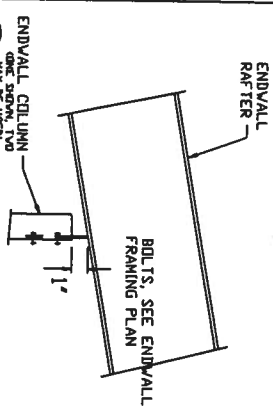
DIGGA STEEL BUILDINGS			MILLER		
PROJECT	500 x 86.0 x 13.7 x 15.8	DESIGN	WALL INSULATION	DATE	CHECK
ID	16687	DRAFT	GS	DATE	CHECK
PROJECT	GREEN COVE SPRINGS, FL	DATE	8/26/06	SHEET	10
ADDRESS					

*Atkins*  
8/28/06

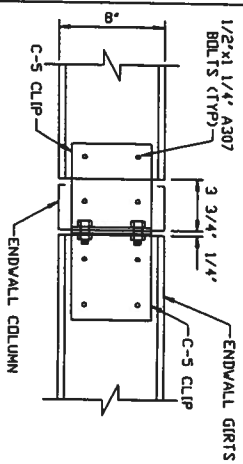
SEAL



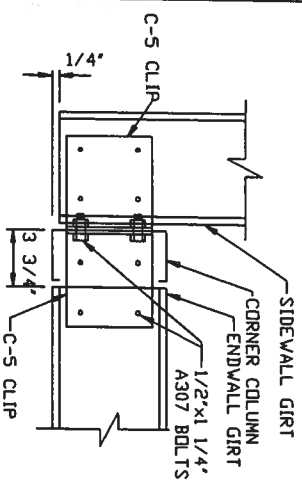
(A5) SECTION THRU ENDWALL RAFTER



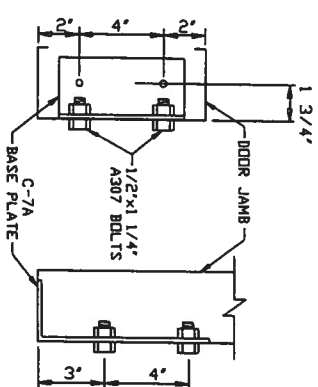
(B4) ENDWALL RAFTER TO COLUMN



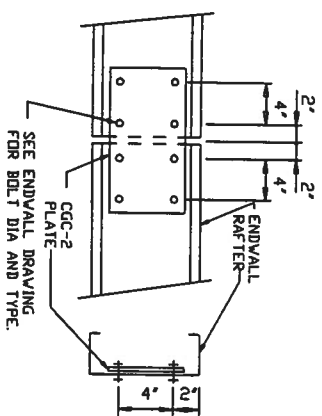
ENDWALL GIRT TO  
C1 COLUMNS



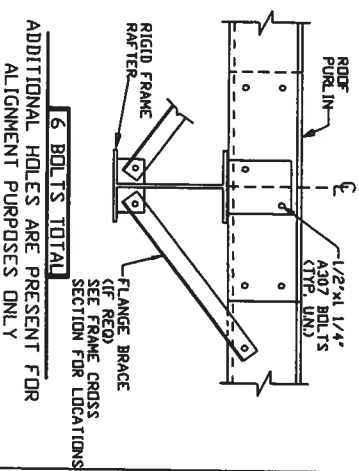
D1 GIRT TO CORNER  
COLUMN



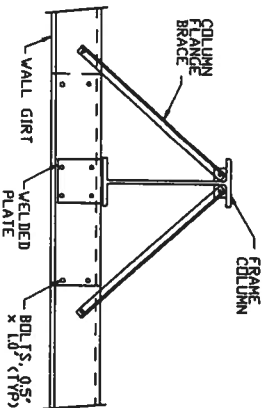
**E6** BASE PLATE FOR  
DOOR JAMB OR ENDWALL COLUMN



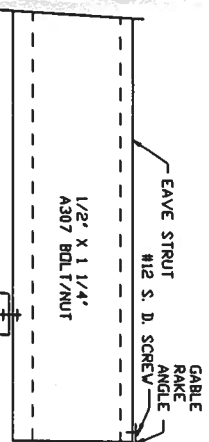
(F1) RAFTER SPLICE ALONG SURFACE



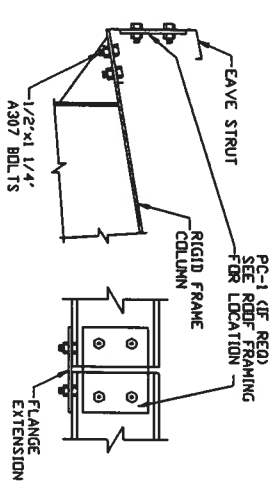
**G2** ROOF PURLIN TO  
RIGID FRAME



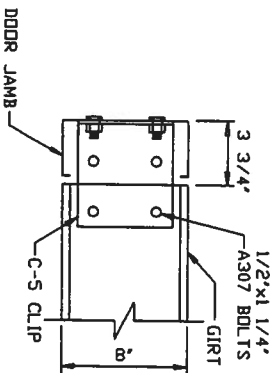
WALL GIRT TO FRAME COLUMN



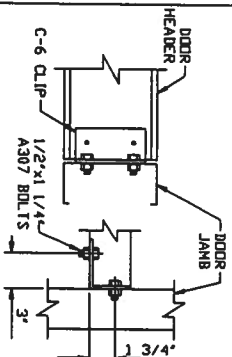
ENDWALL RAFTER —  
16 LEAVE STRUT TO ENDWALL RAFTER



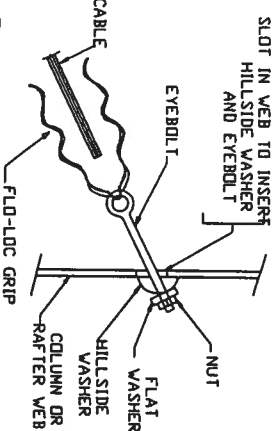
①2 EAVE STRUT TO  
RIGID FRAME



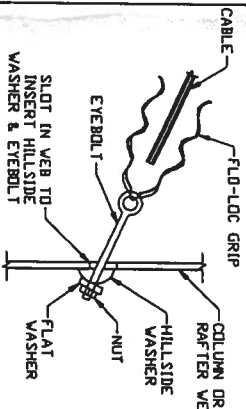
K2 GIRT TO  
DOOR JAMB



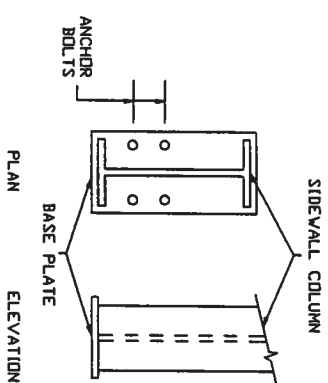
M1 DOOR HEADER TO DOOR JAMB



Q1 DIAGONAL CABLE, EYEBOLT END



Q2 DIAGONAL CABLE  
EYEBOLT END



R2 ANCHOR BOLTS AT SIDEWALL COLUMN

REVISIONS				DRAWING STATUS			
REV.	DESCRIPTION	DATE	DLR	DATE	CHKR	APPD	
							<input type="checkbox"/> FOR CONSTRUCTION
							<input checked="" type="checkbox"/> FOR PERMIT ONLY
							<input type="checkbox"/> FOR APPROVAL
							<input type="checkbox"/> OTHER, EXPLAIN
							-----

DIGGA STEEL BUILDINGS				MILLER			
PROJECT	500 x 880 x 13.7 x 158	Detail Page					
ID	16297	DESIGN		DRAFT	GS	CHECK	
PROJECT ADDRESS	GREEN COVE SPRINGS, FL	DATE	8/26/06	SHEET	11		

