

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only (Revised 7-1-15) Zoning Official LDV Building Official WJD

AP# 1808-32 Date Received 8/10 By LDV Permit # 37197

Flood Zone X Development Permit _____ Zoning A3 Land Use Plan Map Category A

Comments replacing existing mobile home

FEMA Map# _____ Elevation _____ Finished Floor 1' above road River _____ In Floodway _____

☐ Recorded Deed or ☐ Property Appraiser PO ☒ Site Plan ☒ EH # 18-0704 ☐ Well letter OR

☒ Existing well ☐ Land Owner Affidavit ☒ Installer Authorization ☐ FW Comp. letter ☒ App Fee Paid

☐ DOT Approval ☐ Parent Parcel # _____ ☐ STUP-MH _____ ☒ 911 App

☐ Ellisville Water Sys ☒ Assessment pd ☒ Out County ☒ In County ☒ Sub VF Form

Property ID # 15-75-17-09986-011 Subdivision Happy Valley Lot# 11

▪ New Mobile Home _____ Used Mobile Home ☒ MH Size 14x56 Year 2015

▪ Applicant Javier Hernandez Phone # 352-231-9049

▪ Address 449 SE HAPPY VALLEY GLN HIGHSPRINGS FL 32643

▪ Name of Property Owner JAVIER HERNANDEZ Phone# 352. 231.9049

▪ 911 Address 449 SE HAPPY VALLEY GLN HIGH SPRINGS FL 32643

▪ Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Duke Energy

▪ Name of Owner of Mobile Home JAVIER HERNANDEZ Phone # 352. 231.9049

Address 449 SE Happy Valley Gln. High Springs, FL 32643

▪ Relationship to Property Owner SF / owner

▪ Current Number of Dwellings on Property 0

▪ Lot Size _____ Total Acreage .61

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home YES

▪ Driving Directions to the Property 41441-S to Happy Valley Gln, FL
AND it's the 10th PLACE ON L. @ 449.

▪ Name of Licensed Dealer/Installer THOMAS BUTLER Phone # 352. 262.6373

▪ Installers Address 9709 SE 70th AVE, TRENTON, FL

▪ License Number TH1026502 Installation Decal # 49920

To space w/ JAVIER
8.16.18
8.29.18

\$325.00

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

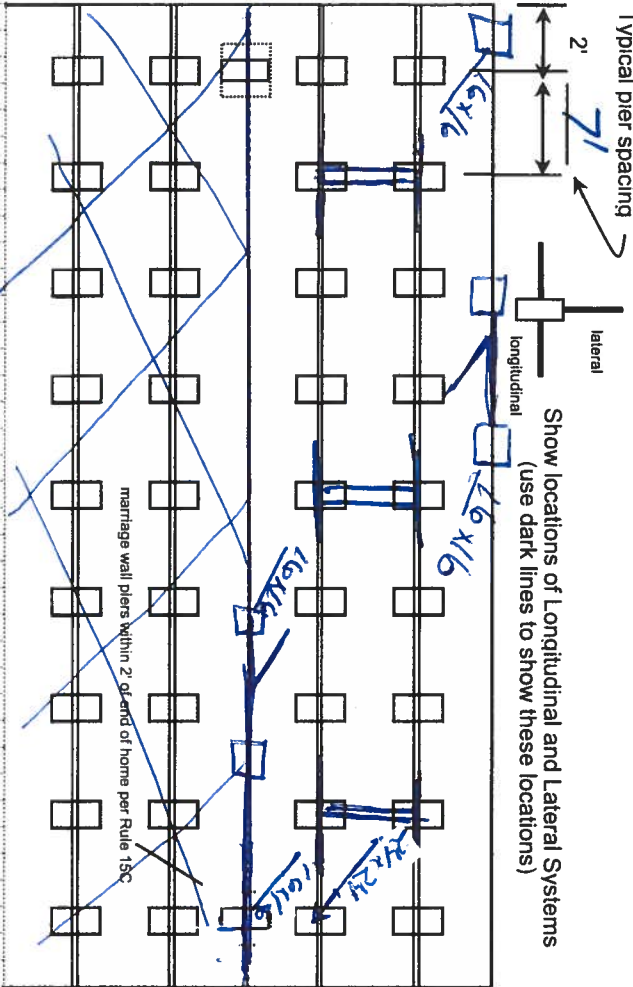
Installer: Thomas Butler License # TH10210502

Address of home being installed: 449 SE Happy Valley ALN
High Springs, FL 321043

Manufacturer: LIVE Oak Homes Length x width: 14 x 56

NOTE: If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home. I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

Installer's Initials: _____



84x24 10C

New Home ☐ Used Home ☒

Home installed to the Manufacturer's Installation Manual Home is installed in accordance with Rule 15-C

Single wide ☒ Wind Zone II ☐ Wind Zone III ☐

Double wide ☐ Installation Decal # 4992D

Triple/Quad ☐ Serial # LBH9811510387

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	16' x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf	3'	4'	5'	6'	7'	8'
1500 psf	4'6"	6'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'
2500 psf	7'6"	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size: 84x24
Perimeter pier pad size: 14x14
Other pier pad sizes (required by the mfg.): 16x16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening: _____ Pier pad size: _____

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD) Manufacturer _____
Longitudinal Stabilizing Device w/ Lateral Arms Manufacturer _____

OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall Number 108
28

Mobile Home Permit Worksheet

Application Number: _____

Date: _____

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil _____ without testing.

X1500 X1500 X1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X1500 X500 X500

TORQUE PROBE TEST

The results of the torque probe test is _____ inch pounds or check here if you are declaring 5" anchors without testing _____ . A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb. holding capacity.

2885 Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. _____

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. _____

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. _____

Site Preparation

Debris and organic material removed Yes
Water drainage: Natural _____ Swale _____ Pad X Other _____

Fastening multi wide units

Floor: Type Fastener: N/A Length: _____ Spacing: _____
Walls: Type Fastener: 1" Length: X Spacing: X
Roof: Type Fastener: 1" Length: _____ Spacing: _____
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket X Installed: Between Floors Yes _____ Between Walls Yes _____ Bottom of ridgebeam Yes _____

Weatherproofing

The bottomboard will be repaired and/or taped. Yes X No _____
Siding on units is installed to manufacturer's specifications. Yes _____
Fireplace chimney installed so as not to allow intrusion of rain water. Yes X No _____

Miscellaneous

Skirting to be installed. Yes No _____
Dryer vent installed outside of skirting. Yes _____ N/A X
Range downflow vent installed outside of skirting. Yes _____ N/A X
Drain lines supported at 4 foot intervals. Yes X _____
Electrical crossovers protected. Yes _____
Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

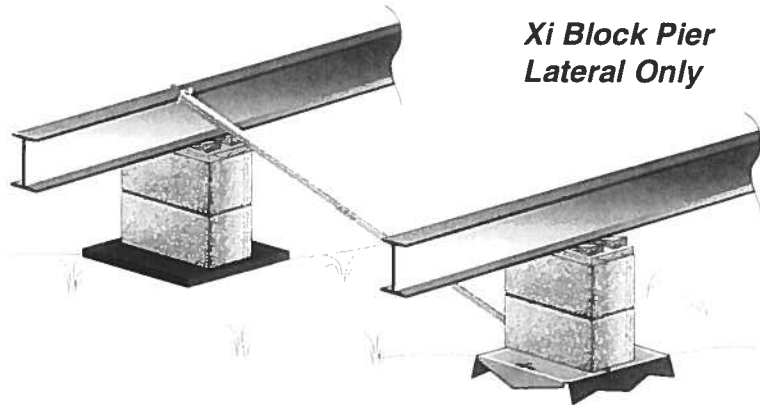
Installer Signature Thomas E. Brown Date 8-8-2019

Xi-Lateral Block Pier System Installation Instructions By Tie Down Engineering

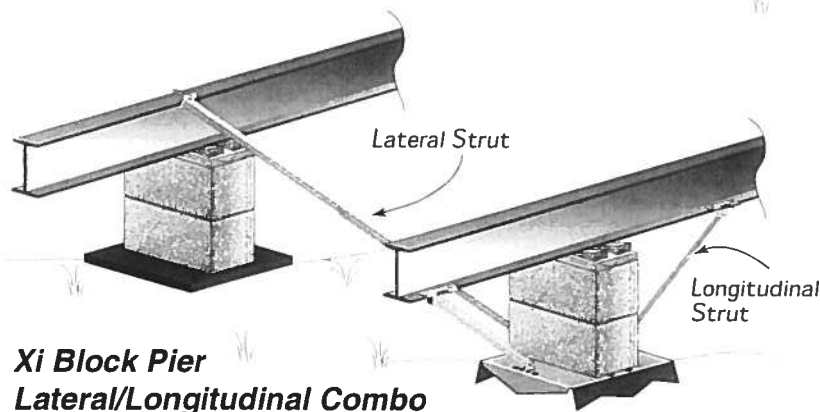
*Effective: November 12, 2002
Wind Zone II*

- Easy installation
- Approved for poured concrete or ground set-ups
- LSD struts easily added for longitudinal protection

*Block Pier Systems P/N's
#59319 Xi, Lateral w/5' Strut
#59320 Xi, Lateral w/6' Strut*



***Xi Block Pier
Lateral Only***



***Xi Block Pier
Lateral/Longitudinal Combo***

*Longitudinal P/N's
#59026 - LSD Hardware Kit
#59016 - 30" Strut
#59012 - 39" Strut
#59013 - 44" Strut
#59014 - 53" Strut
#59015 - 65" Strut*

REQUIREMENTS

- Installation can be made in any type of soil, 4B or better
- Center line or shear wall anchors, that may be required by specific manufacturers, are to be sized according to soil torque conditions. Follow all manufacturers instructions for anchor type and placement.
- Maximum height is a 96" projection. Higher walls may be used, when the design loads are adjusted accordingly.
- Maximum roof eave is 16"
- Main rail spacing must be 99.5" or less
- Maximum pier height of the Xi-system is 48"
- Instructions are not for use on "Exposure D" homes within 1500 feet of the coastline
- Installation instructions are based on 4200# per pad longitudinal load and 6000# per pad lateral load with one diagonal tie/stabilizer. A vertical and diagonal tie must be located within 2' of each end.
- Additional vertical anchor ties that are unique to a home's design may be required by the home manufacturer. These locations include shear walls, marriage line ridge beam support posts, and rim plates.

**TIE DOWN ENGINEERING • 5901 Wheaton Drive • Atlanta GA, 30336
www.tiedown.com • (404) 344-0000 • FAX (404) 349-0401**

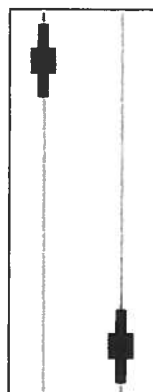


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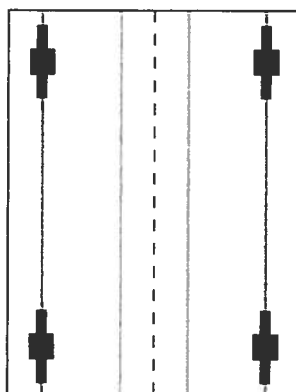
Longitudinal Stabilization

When using longitudinal stabilization only, sidewall perimeter anchors with diagonal ties and stabilizer plates per manufacturers set up manual must be used on the home. Vertical ties are also required on homes supplied with vertical tie connection points.

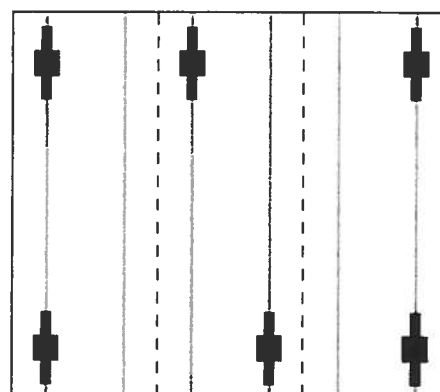
Typical Placement



Single Section
Up to 16' Nominal



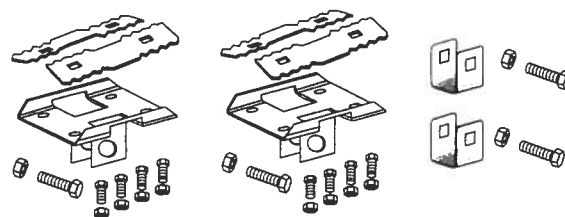
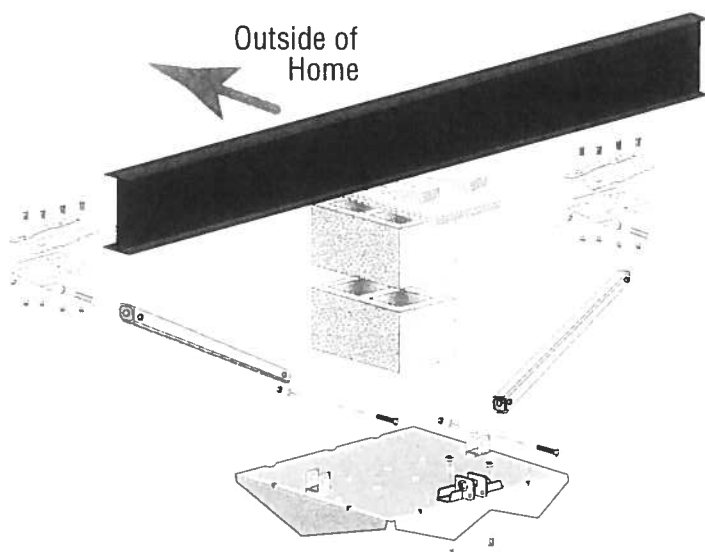
Double Section
Up to 32' Nominal



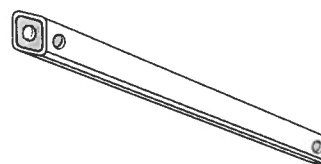
Triple Section
or Double w/tag up to 48' Nominal

When the Xi/LSD-System is used only as longitudinal stabilization, systems must be as evenly spaced as possible, no more than 16' from the end of the home. Maximum roof slope for single units & double/triple sections is 5/12, for the above number of systems.

Longitudinal LSD Installation to Xi Pad

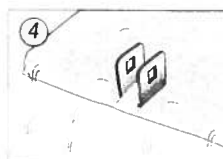
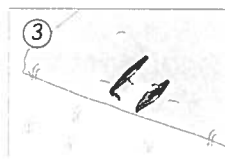
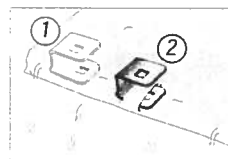


LSD Hardware Kit
P/N 59026



Struts for Longitudinal Systems

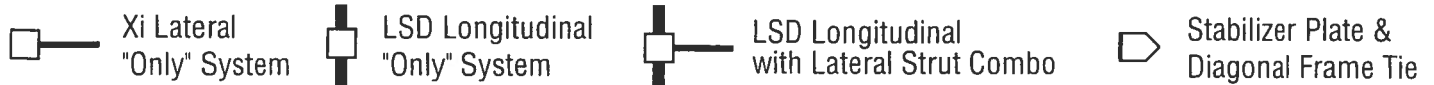
Part No.	Strut Length	Pier Height
59016	30"	up to 2 Blocks or 18"
59012	39"	up to 3 Blocks or 24"
59013	44"	up to 4 Blocks or 32"
59014	53"	up to 5 Blocks or 40"
59015	65"	up to 6 Blocks or 48"



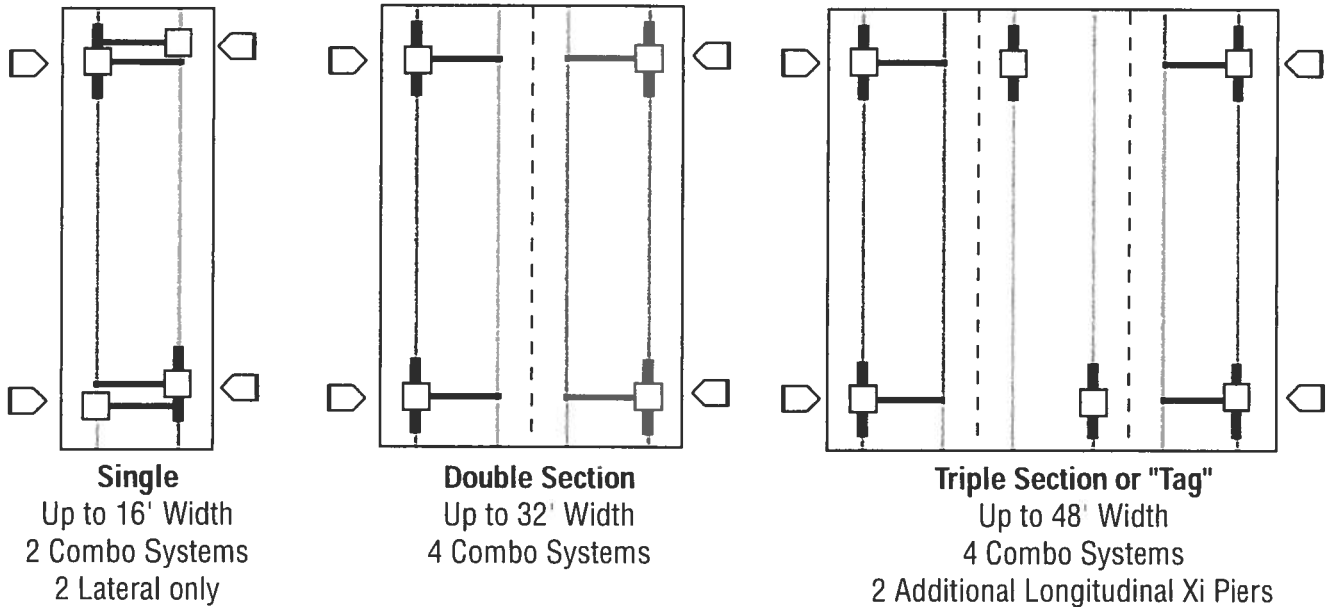
Call Mobile Home Parts Pro for product information at 844-647-8673



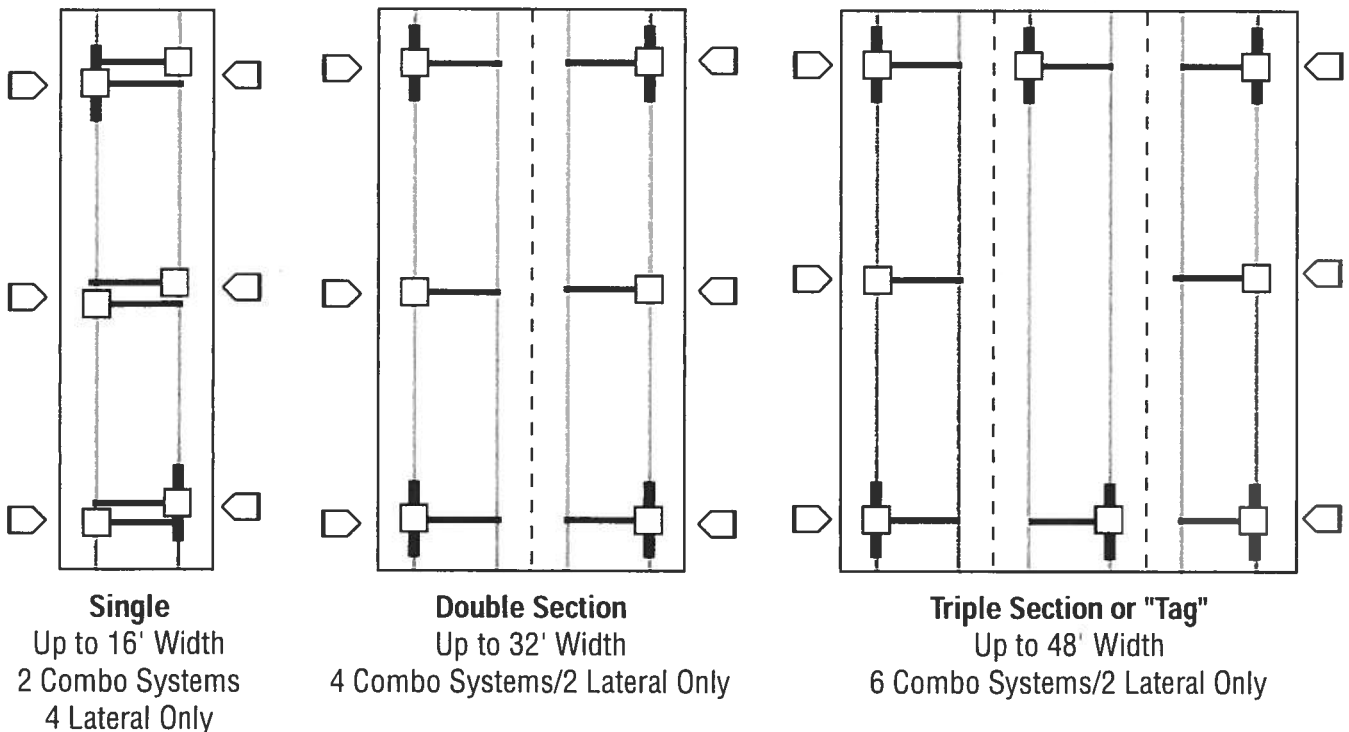
Longitudinal and Lateral Stabilization



Homes Up To 70' with 20° max roof pitch / Up To 40' with max 5/12 roof pitch



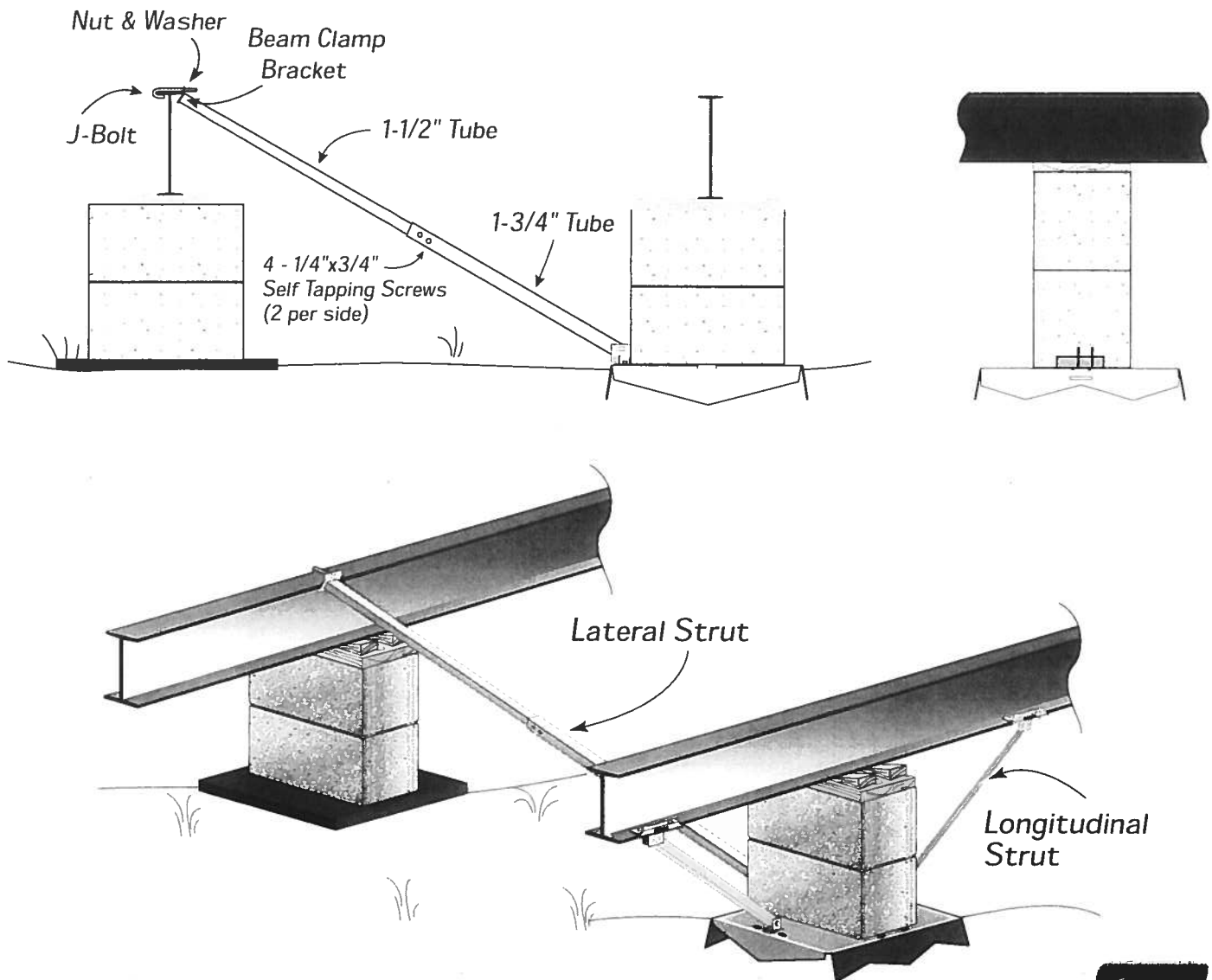
Homes Over 71', up to 80' with 20° max roof pitch / 41' up to 60' with max 5/12 roof pitch



Note: Homes over 60' long (box) with 5/12 roof pitch home require two additional lateral systems.

Installation of Lateral System on Ground

1. Identify the number of systems to be used on the home using the chart provided.
2. Identify the location where the lateral systems will be installed.
3. Clear all organic matter and debris from the pad site.
4. Place pad centered under beam with the lateral strut bracket towards the inside of the home.
5. Press or drive pan into ground until level and flush with prepared surface.
6. Build pier with concrete blocks according to State, Local or Home Manufacturers guidelines.
7. Assemble lateral strut by sliding smaller (1-1/2") tube into the larger (1-3/4") tube. Holes should be on the sides of the larger tube and the "flag" up on the smaller tube.
8. Attach the end of the larger tube to the bracket mounted on the inside of the pad, using the grade 5, 1/2" x 2-1/2" bolt/nut provided.
9. Attach the flag end of the smaller tube to the opposite I-beam using the "J" bolt over the top of the I-beam with the nut & washer provided. (*bleow*)
10. Install a minimum of four (1/4"x3/4") self-tapping screws into the holes provided in the lateral strut so that the two tubes are connected together. (See below)



Call Mobile Home Parts Pro for product information at 844-647-8673

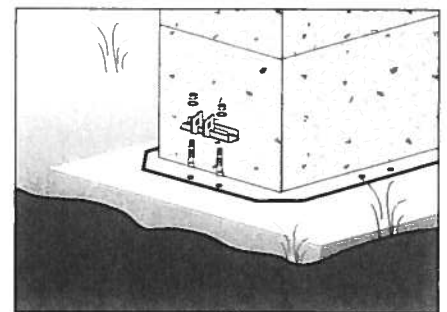
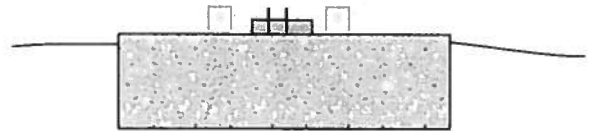


Installation on Concrete Pads, Runners or Slabs

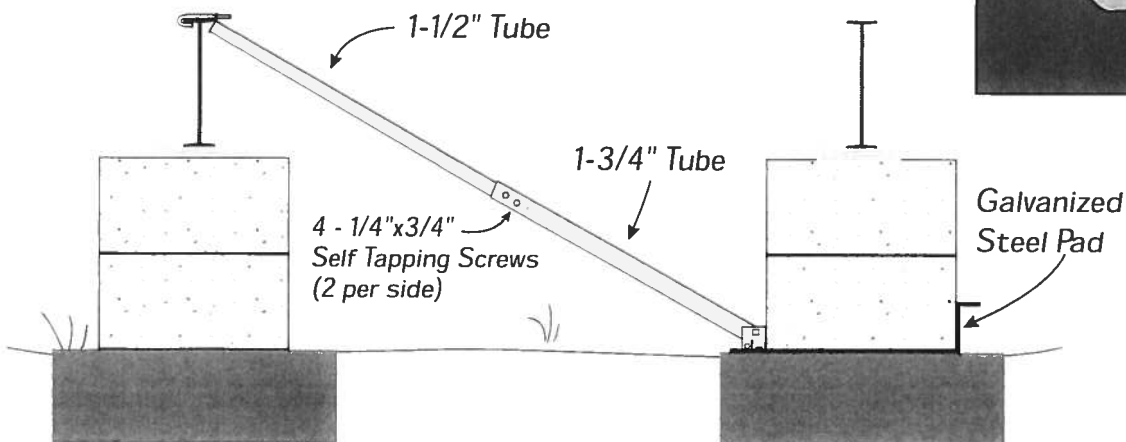
The Xi system for poured concrete applies to concrete footers, runners, ribbons, and slabs. Minimum size of concrete per Xi pier in Florida is 18"x18"x8" or 20" diameter x 8" deep or a slab 3-1/2" deep. Concrete must be sufficiently cured and set to accommodate an anchor bolt to its full load resistance.

1. Determine location of pier sets where the Xi systems will be located.
2. Place Xi/Vector concrete pan where pier will be located. Turned up edge will face to the outside of the home.
3. Build pier with concrete blocks centered on top of the pad according to state, local or manufacturers guide lines.
4. Drill two 3/8" x 3" deep holes in concrete using holes in galvanized pan as a guide.
5. Place tie bracket on inside of pier, facing toward the opposite beam, with the "flush" side of the tie bracket towards the block pier.
6. Put a washer and nut on each of the 3/8" x 3-1/2" wedge anchors. The nut should be screwed on enough to have one or two threads showing on the top of the bolt.
7. Line up the hole in the inside tie bracket with the drilled holes in the pad & concrete and insert the wedge anchors. Using a hammer, tap the wedge bolts into the holes, through the bracket & pad, leaving the washer/nut flush with the bottom of the bracket. Using a 9/16" socket wrench, tighten the wedge/anchor bolt, securing the tie bracket to the concrete.
8. Follow steps 7 - 10 in ground instructions

Concrete LSD



Block Pier Concrete Systems P/N's
 #59046 Xi, Concrete Single Block
 #59047 Xi, Concrete Double Block
 #59315 Lateral 5' Strut w/hardware
 #59318 Lateral 6' Strut w/hardware



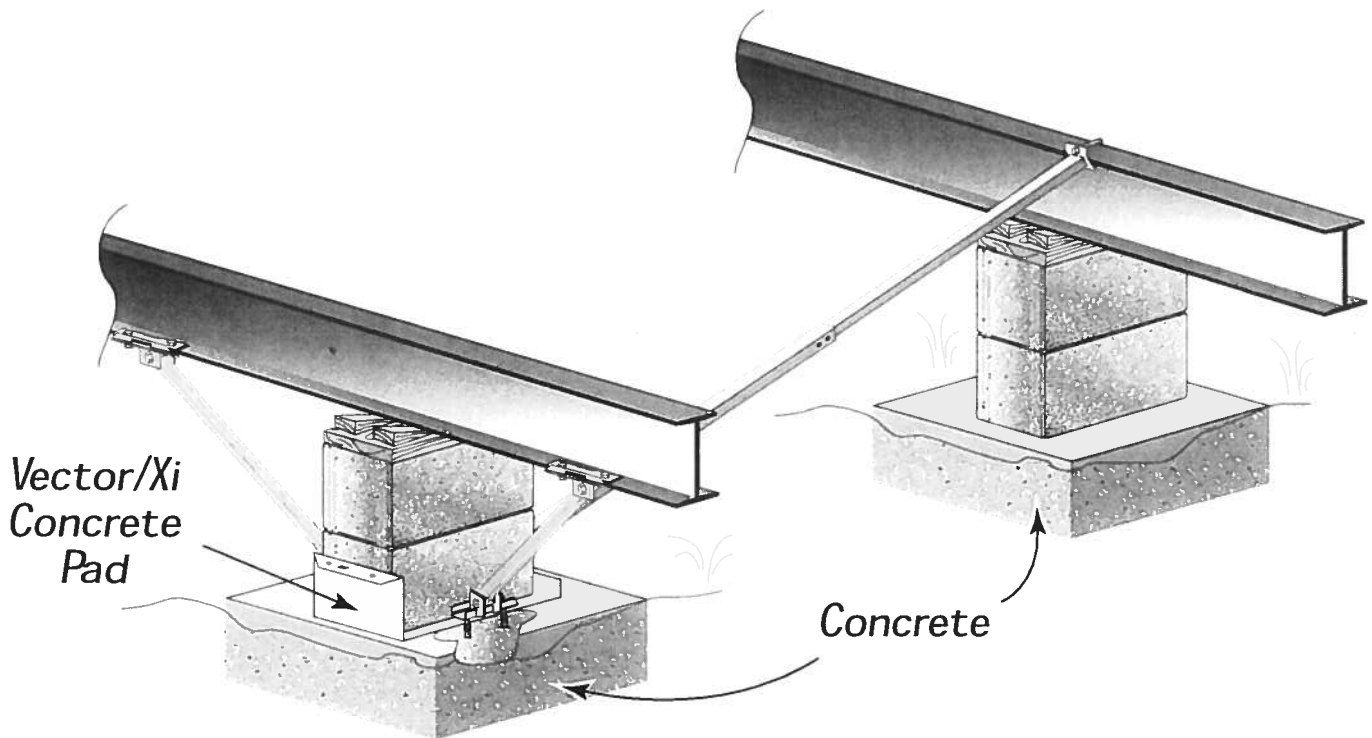
Call Mobile Home Parts Pro for product information at 844-647-8673



LSD/Longitudinal Installation

1. Place and build pier as above
2. Use LSD hardware kit #59023
3. Drill $\frac{3}{8}$ " x 3" Hole into concrete through holes in pan on each longitudinal side of block pier
4. Place tie brackets on each side of pier, with the "flush" side of the tie bracket towards the block pier.
5. Put a washer and nut on each of the $\frac{3}{8}$ " x $3\frac{1}{2}$ " wedge anchors. The nut should be screwed on enough to have one or two threads showing on the top of the bolt.
6. Line up the hole in the inside tie bracket with the drilled holes in the pad & concrete and insert the wedge anchors. Using a hammer, tap the wedge bolts into the holes, through the bracket & pad, leaving the washer/nut flush with the bottom of the bracket. Using a $\frac{9}{16}$ " socket wrench, tighten the wedge/anchor bolt, securing the tie bracket to the concrete.
7. Attach frame brackets to I-beam on each side of pier.
8. Attach strut to the tie bracket at base and I-beam brackets with bolts provided. Struts must be at 45° or less, tighten all bolts/nuts.

LSD/Longitudinal Lateral Strut Combo



Call Mobile Home Parts Pro for product information at 844-647-8673



112702.442

CODE ENFORCEMENT DEPARTMENT
COLUMBIA COUNTY, FLORIDA
OUT OF COUNTY MOBILE HOME INSPECTION REPORT

COUNTY THE MOBILE HOME IS BEING MOVED FROM Alachua County
OWNERS NAME Javier Hernandez PHONE 352-231-9049 CELL 231-9049
INSTALLER Thomas E. Butler PHONE 352-262-6373 CELL 11
INSTALLERS ADDRESS 9709 SE 70th Ave. Trenton 12

MOBILE HOME INFORMATION

MAKE Live Oak Homes YEAR 2015 SIZE 14 X 56
COLOR Beige SERIAL No. L0hA11516387
WIND ZONE 2 good SMOKE DETECTOR good

INTERIOR:

FLOORS good
DOORS 11
WALLS 11
CABINETS 11
ELECTRICAL (FIXTURES/OUTLETS) 11

EXTERIOR:

WALLS / SIDING good
WINDOWS 11
DOORS 11

INSTALLER: APPROVED Thomas Butler NOT APPROVED _____

INSTALLER OR INSPECTORS PRINTED NAME Thomas Butler

Installer/Inspector Signature Thomas E. Butler License No. TH1026502 Date 8-8-18

NOTES: _____

ONLY THE ACTUAL LICENSE HOLDER OR A BUILDING INSPECTOR CAN SIGN THIS FORM.

NO WIND ZONE ONE MOBILE HOMES WILL BE PERMITTED. MOBILE HOMES PRIOR TO 1977 ARE PRE-HUD AND THE WIND ZONE MUST BE PROVEN TO BE PERMITTED.

BEFORE THE MOBILE HOME CAN BE MOVED INTO COLUMBIA COUNTY THIS FORM MUST BE COMPLETED AND RETURNED TO THE COLUMBIA COUNTY BUILDING DEPARTMENT.

ONCE MOVED INTO COLUMBIA COUNTY AN INSPECTOR MUST COMPLETE A PRELIMINARY INSPECTION ON THE MOBILE HOME. CALL 386-758-1008 TO SET UP THIS INSPECTION. NO PERMIT WILL BE ISSUED BEFORE THIS IS DONE.

Code Enforcement Approval Signature [Signature] Date 8-16-18

Spoke to Thomas Butler - NOT Here yet.



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Thomas E. Butler, give this authority for the job address show below
Installer License Holder Name

only, 449 SE HAPPY VALLEY GLN High Springs, and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Javier Hernandez	Javier Hernandez	☐ Agent ☐ Officer ☒ Property Owner
		☐ Agent ☐ Officer ☐ Property Owner
		☐ Agent ☐ Officer ☐ Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license holder for violations committed by him/her or by his/her authorized person(s) through this document and that I have full responsibility for compliance granted by issuance of such permits.

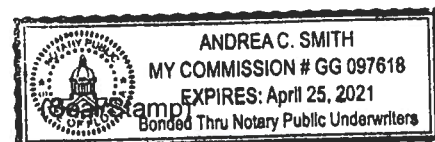
Thomas E. Butler License Holders Signature (Notarized) IH1026502 License Number 8-8-18 Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Alachua

The above license holder, whose name is Thomas Butler & Javier Hernandez personally appeared before me and is known by me or has produced identification (type of I.D.) Drivers License on this 8 day of August, 2018.

NOTARY'S SIGNATURE



MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1808-32 CONTRACTOR Thomas Butler PHONE 352-262-6373

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name <u>JAVIER HERNANDEZ</u> License #: <u>OKINER</u> Qualifier Form Attached ☐	Signature <u>Javier Hernandez</u> Phone #: <u>352. 231. 9049</u>
MECHANICAL/ A/C	Print Name <u>JAVIER HERNANDEZ</u> License #: <u>OKINER</u> Qualifier Form Attached ☐	Signature <u>Javier Hernandez</u> Phone #: <u>352. 231. 9049</u>

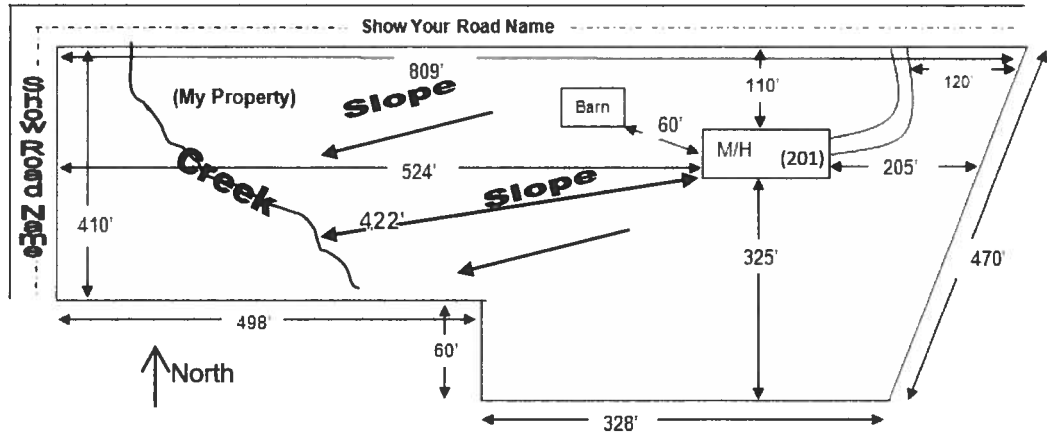
F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SITE PLAN CHECKLIST

- ___ 1) Property Dimensions
- ___ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ___ 3) Distance from structures to all property lines
- ___ 4) Location and size of easements
- ___ 5) Driveway path and distance at the entrance to the nearest property line
- ___ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ___ 7) Show slopes and or drainage paths
- ___ 8) Arrow showing North direction

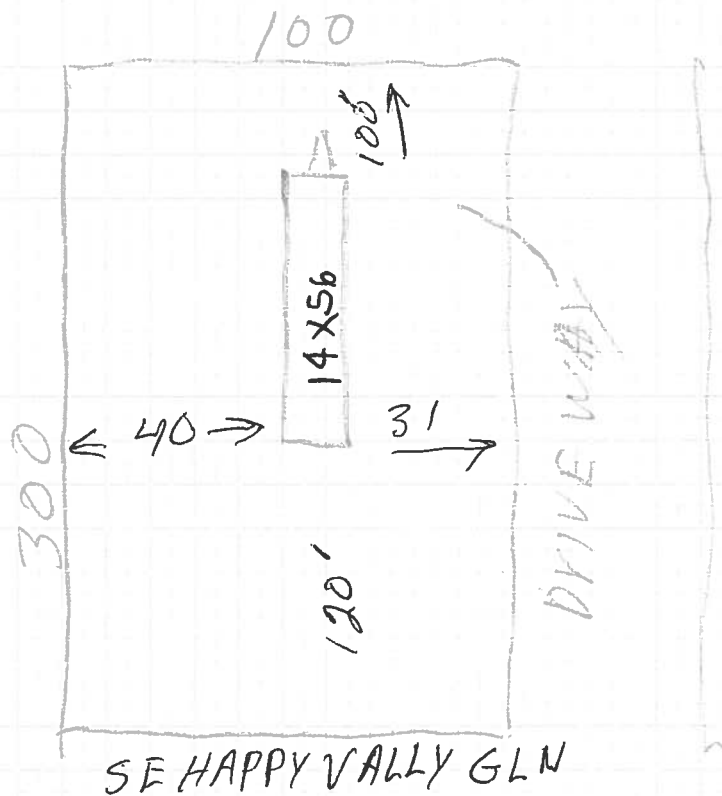
SITE PLAN EXAMPLE

Revised 7/1/15



NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.



Columbia County Property Appraiser

updated: 8/1/2018

2017 Tax Roll Year

Parcel: 15-7S-17-09986-011

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

2017 TRIM (pdf)

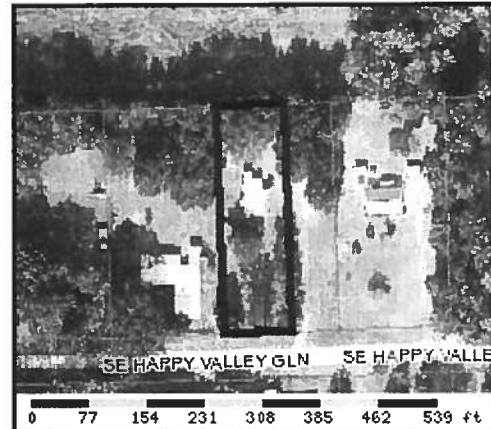
Interactive GIS Map

Print

Search Result: 1 of 1

Owner & Property Info

Owner's Name	RODRIGUEZ JAVIER HERNANDEZ		
Mailing Address	449 SE HAPPY VALLEY GLN HIGH SPRINGS, FL 32643		
Site Address	449 SE HAPPY VALLEY GLN		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	Neighborhood	15717
Land Area	0.610 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOT 11 HAPPY VALLEY S/D EX THE E 60 FT OF LOT 11. ORB 780-1545,793-1471,899-195, WD 1109-1709, WD 1232-644, QCD 1240-2479.			



Property & Assessment Values

2017 Certified Values		
Mkt Land Value	cnt: (0)	\$6,750.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$10,298.00
XFOB Value	cnt: (1)	\$400.00
Total Appraised Value		\$17,448.00
Just Value		\$17,448.00
Class Value		\$0.00
Assessed Value		\$17,448.00
Exempt Value	(code: HX H3)	\$17,448.00
Total Taxable Value	Cnty: \$0 Other: \$0 Schl: \$0	

2018 Working Values		
Mkt Land Value	cnt: (0)	\$7,350.00
Ag Land Value	cnt: (2)	\$0.00
Building Value	cnt: (1)	\$10,552.00
XFOB Value	cnt: (2)	\$700.00
Total Appraised Value		\$18,602.00
Just Value		\$18,602.00
Class Value		\$0.00
Assessed Value		\$18,114.00
Exempt Value	(code: HX H3)	\$18,114.00
Total Taxable Value	Cnty: \$0 Other: \$0 Schl: \$0	

NOTE: 2018 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/4/2012	1240/2479	QC	I	U	11	\$5,000.00
3/27/2012	1232/644	WD	I	U	11	\$100.00
1/30/2007	1109/1709	WD	I	Q		\$32,600.00
3/10/2000	899/198	WD	I	Q		\$45,000.00
7/26/1999	899/195	QC	I	U	01	\$100.00
7/1/1994	793/1471	CD	I	U	13	\$22,500.00
9/30/1993	780/1545	WD	I	Q		\$20,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
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3	MOBILE HME (000800)	1974	AL SIDING (26)	1056	1304	\$10,552.00
Note: All S.F. calculations are based on <u>exterior</u> building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0294	SHED WOOD/	1995	\$400.00	0000001.000	0 x 0 x 0	(000.00)
0169	FENCE/WOOD	2017	\$300.00	0000001.000	0 x 0 x 0	(000.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	0.6 LT - (0000000.610AC)	1.00/1.00/1.00/1.00	\$11,000.00	\$6,600.00
009947	SEPTIC (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	\$750.00	\$750.00

Columbia County Property Appraiser

updated: 8/1/2018

1 of 1

DISCLAIMER

This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Columbia County Tax Collector

generated on 8/10/2018 8:48:16 AM EDT

Tax Record

Last Update: 8/10/2018 8:48:16 AM EDT

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such

Account Number	Tax Type	Tax Year
R09986-011	REAL ESTATE	2017
Mailing Address RODRIGUEZ JAVIER HERNANDEZ 449 SE HAPPY VALLEY GLN HIGH SPRINGS FL 32643		
Property Address 449 HAPPY VALLEY SE HIGH SPRINGS		
GEO Number 157S17-09986-011		
Exempt Amount	Taxable Value	
See Below	See Below	
Exemption Detail HX 17448		
Millage Code 003		
Escrow Code		
Legal Description (click for full description) 15-7S-17 0200/0200 .61 Acres LOT 11 HAPPY VALLEY S/D EX THE E 60 FT OF LOT 11. ORB 780-1545,793-1471,899-195, WD 1109-1709, WD 1232-644, QCD 1240-2479,		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Value
BOARD OF COUNTY COMMISSIONERS	8.0150	17,448
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	17,448
LOCAL	4.3200	17,448
CAPITAL OUTLAY	1.5000	17,448
SUWANNEE RIVER WATER MGT DIST	0.4027	17,448
LAKE SHORE HOSPITAL AUTHORITY	0.9620	17,448
Exemption Amount 17,448		
Taxable Value \$0.00		
Taxes Levied \$0.00		
Total Millage 15.9477		
Total Taxes \$0.00		
Non-Ad Valorem Assessments		
Code	Levyng Authority	Amount
FFIR	FIRE ASSESSMENTS	\$219.98
GGAR	SOLID WASTE - ANNUAL	\$193.00
Total Assessments		\$412.98
Taxes & Assessments		\$412.98
If Paid By		Amount Due \$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
2/21/2018	PAYMENT	1201622.0001	2017	\$408.85

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

District No. 1 - Ronald Williams
District No. 2 - Rusty DePratter
District No. 3 - Bucky Nash
District No. 4 - Everett Phillips
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued:	8/15/2018 9:26:09 AM
Address:	449 SE HAPPY VALLEY Gln
City:	HIGH SPRINGS
State:	FL
Zip Code	32643
Parcel ID	09986-011

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

Permit Application Number.

18-0784

A hand-drawn site map on a grid background. The map is oriented with North at the top. A vertical line on the left is labeled 'HAPPY VALLEY GLEN'. A diagonal line at the bottom left is labeled 'driveway'. A circle labeled 'well' is located in the lower-left quadrant. A rectangular area labeled 'SUMMER' (representing a house) is in the center. To its right is a rectangular area labeled 'septic.'. A line with an arrow points from the well towards the house, labeled 'SOUTH 120°' and '300''. A horizontal line with an arrow pointing right is labeled '100'' and 'NORT'. A vertical line with an arrow pointing up is labeled '100'' and 'NORT'. A small '15'' dimension is noted near the septic tank. A '300'' dimension is also noted near the driveway.

Notes: Well to sephz = 85'

Site Plan submitted by: Javier Gonzalez
Plan Approved - REVIEWED - Not Approved - - -

10-8-2018

Date_____

By Jillie Ford County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-0784
DATE PAID: 8/13/18
FEE PAID: 600.00
RECEIPT #: 1359569

APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Javier Hernandez

AGENT: _____

TELEPHONE: 352-221-981MAILING ADDRESS: 449 SE Happy Valley GLN Highsprings FL 32643

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: ✓ BLOCK: _____ SUBDIVISION: _____ PLATTED: _____

PROPERTY ID #: 15-75-17-09986-011 ZONING: _____ I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: 6.10 ACRES WATER SUPPLY: ☐ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y / N] DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 449 SE Happy Valley GLN Highsprings FL 32643DIRECTIONS TO PROPERTY: 441 South Columbia County

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>SWMH</u>	<u>2</u>	<u>784</u>	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: Javier HernandezDATE: 10-8-2018

DH 4015, 08/09 (Obsoletes previous editions which may not be used)
Incorporated 64E-6.001, FAC

Mobile Home

Applicant: JAVIER HERNANDEZ (352.231.9049) Application Date: 8/29/2018

Action ▾

1. JOB LOCATION

Completed Inspections

Add Inspection

Release Power

2. CONTRACTOR

Schedule Inspection (ScheduleInspection.aspx?id=39424)

3. MOBILE HOME
DETAILS

4. APPLICANT

5. REVIEW

6. FEES/PAYMENT

7.
DOCUMENTS/REPORTS
(1)

8.
NOTES/DIRECTIONS

9. INSPECTIONS (2)

Inspection	Date	By	Notes
Rescheduled 8/31/2018:Mobile Home - In County Pre- Mobile Home before set-up	8/30/2018	LAURIE HODSON	2   
Passed: Mobile Home - In County Pre-Mobile Home before set-up	8/31/2018	TROY CREWS	

The completion date must be set To release Certifications to the public.

Permit Completion Date
(Releases Occupancy and Completion Forms)

Incomplete Requested Inspections

Inspection	Date	By	Notes
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