

DATE 04/27/2011

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029353

APPLICANT ALVIN HITSON PHONE 386.758.7981
ADDRESS 178 SW CREEKSIDE LN LAKE CITY FL 32025
OWNER ALVIN HITSON PHONE 386.758.7981
ADDRESS 178 SW CREEKSIDE LANE LAKE CITY FL 32024
CONTRACTOR ALVIN HITSON PHONE 386.758.7981
LOCATION OF PROPERTY 90W, TL ON SISTERS WELCOME ROAD, TR ON CREEKSIDE LANE, 3RD
LOT ON L.
TYPE DEVELOPMENT PRE-FAB GARAGE ESTIMATED COST OF CONSTRUCTION 5440.00
HEATED FLOOR AREA TOTAL AREA HEIGHT 12.00 STORIES 1
FOUNDATION CONC WALLS METAL ROOF PITCH FLOOR CONC
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE XPP DEVELOPMENT PERMIT NO.

PARCEL ID 12-4S-16-02939-103 SUBDIVISION CREEKSIDE
LOT 3 BLOCK PHASE UNIT TOTAL ACRES 0.77

OWNER
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X-11-031 BLK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ACCESSORY USE....TO EXISTING SFD. NOC ON FILE.

Check # or Cash CASH REC'D.

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 30.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 30.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only		Application # <u>1104-60</u>	Date Received <u>4/27</u>	By <u>JA</u>	Permit # <u>29353</u>
Zoning Official <u>B2K</u>	Date <u>27.04.11</u>	Flood Zone <u>XPP</u>	Land Use <u>RES. L-DRY</u>	Zoning <u>RSF-2</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>Z.C.</u>	Date <u>4-27-11</u>
Comments <u>Accession use to assist 'CFS' -</u>					
☒ NOC ☒ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel # _____ ☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F-W Comp. letter _____ IMPACT FEES: EMS _____ Fire _____ Corr _____ ☒ Sub VF Form _____ Road/Code _____ School _____ = TOTAL (Suspended) ☒ App Fee Paid					

Septic Permit No. _____ Fax _____

Name Authorized Person Signing Permit ALVIN MITSON Phone 386 758.7981

Address 178 SW CREEKSIDE LN, L.C. FL 32024

Owners Name Same as above Phone _____

911 Address 178 SW CREEKSIDE LN, L.C. FL 32024

Contractors Name OWNER BUILDER Phone _____

Address _____

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address OMAR A. YASEN, P.E. - T-N-T METAL BLDGS, INC

Mortgage Lenders Name & Address CASH

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 12-45-16-02939-103 Estimated Cost of Construction 5440.00

Subdivision Name CREEKSIDE Lot 3 Block _____ Unit _____ Phase _____

Driving Directions 90W TO C-341-IL TO CREEKSIDE J.L. TL TO CREEKSIDE LN, 3rd. lot on L.

Number of Existing Dwellings on Property 1

Construction of METAL PRE-FAB VEHIC-GARAGE Total Acreage .77 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 12'

Actual Distance of Structure from Property Lines - Front 60' Side 40' Side 21' Rear 62'

Number of Stories 1 Heated Floor Area _____ Total Floor Area 629 Roof Pitch 3/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code. Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

24800
JP

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)



Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature (Permitee)

Contractor's License Number _____
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.
Personally known _____ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)



COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.

I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.

I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed and bonded in Florida and to list his or her license numbers on permits and contracts.

I understand that I may build or improve a one-family or two-family residence or farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.

I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.

I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

I understand that it is frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at 850-487-1395 or Internet website address <http://www.myflorida.com/dbpr/pro/cilb/index.html> for more information about licensed contractors.

I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

I understand that if I hire subcontractors they must be licensed for that type of work in Columbia County, ex: framing, stucco, masonry, and state registered builders. Registered Contractors must have a minimum of \$300,000.00 in General Liability insurance coverage and the proper workers' compensation. Specialty Contractors must have a minimum of \$100,000.00 in General Liability insurance coverage and the proper workers' compensation coverage.

Before a building permit can be issued, this disclosure statement must be completed and signed by the property owner and returned to Columbia County Building Department.

TYPE OF CONSTRUCTION

- () Single Family Dwelling () Two-Family Residence () Farm Outbuilding
() Addition, Alteration, Modification or other Improvement
() Commercial, Cost of Construction _____ Construction of _____
(X) Other GARAGE: 1 PR. LAB.

I ALVIN HODSON, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Alvin Hodson _____ Date 4/27/11
Owner Builder Signature

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification _____

Notary Signature Laurie Hodson Date 4.27.11



FOR BUILDING DEPARTMENT USE ONLY

I hereby certify that the above listed owner builder has been given notice of the restriction stated above.

Building Official/Representative David L. Davis

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

12. 45.16 02939.103

Clerk's Office Stamp

Inst 201112006410 Date: 4/27/2011 Time: 3:50 PM
DC, P DeWitt Cason, Columbia County Page 1 of 1 B: 1213 P: 2221

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): LOT 3 Creekside S.D.
a) Street (job) Address: 178 SW CREEKSIDE LN, L.C. FL 32029
2. General description of improvements: FRE. 7x9 METAL GARAGE
3. Owner Information
a) Name and address: DIRIN HITSON
b) Name and address of fee simple titleholder (if other than owner) NA
c) Interest in property 100%
4. Contractor Information
a) Name and address: Dirin Hitson, OWNER Builder
b) Telephone No.: 386-762-1981 Fax No. (Opt.) _____
5. Surety Information
a) Name and address: _____
b) Amount of Bond: _____ Fax No. (Opt.) _____
c) Telephone No.: _____
6. Lender
a) Name and address: NA
b) Phone No.: _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Owner's Notice as provided in Section 713.13(l)(b), Florida Statutes:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Dirin Hitson
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager
Dirin Hitson
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 27th day of April, 2011, by:

Dirin Hitson as PROPERTY OWNER (type of authority, e.g. officer, trustee, attorney
fact) for Dirin Hitson (name of party on

Personally Known ☒ OR Produced Identification _____ Type _____

Notary Signature Laurie Hodson Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Dirin Hitson
Signature of Natural Person Signing (in line #10 above.)

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1104-60 CONTRACTOR ALVIN HITSON PHONE 386 758 798

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

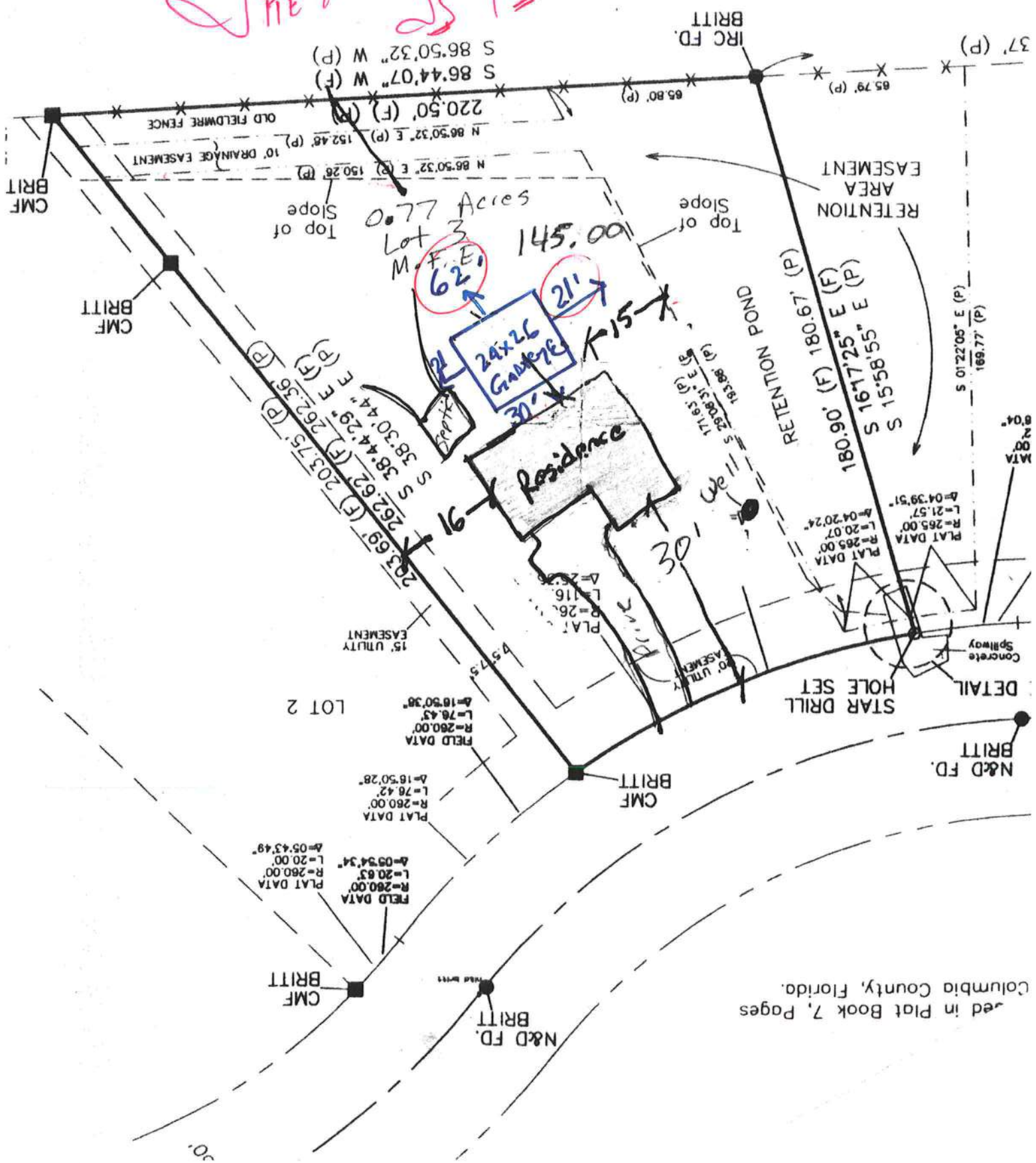
ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS	Print Name _____ License #: _____	Signature _____ Phone #: _____
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER		Alvin Hitson	Alvin Hitson
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

CERTIFIED TO: Darrell Allen
Suntrust M
Abstract &
Chicago Tit

Handwritten notes in red ink:
"Site Plan" and "25 Acres" with arrows pointing to the property boundaries.



used in Plat Book 7, Pages
Columbia County, Florida.

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000024800

APPLICANT	BRIAN CRAWFORD			PHONE	755-8887					
ADDRESS	2109	US HIGHWAY 90W		LAKE CITY	FL	32055				
OWNER	DARRYL ALLEN			PHONE	954 868-1031					
ADDRESS	178	SW CREEKSID LANE		LAKE CITY	FL	32024				
CONTRACTOR	BRIAN CRAWFORD			PHONE	755-8887					
LOCATION OF PROPERTY	90W, TL ON SISTERS WELCOME ROAD, TR ON CREEKSID LANE, 3RD L ON LEFT									
TYPE DEVELOPMENT	SFD,UTILITY			ESTIMATED COST OF CONSTRUCTION		118850.00				
HEATED FLOOR AREA	2377.00		TOTAL AREA	3547.00		HEIGHT	0.00	STORIES	1	
FOUNDATION	CONC		WALLS	FRAMED		ROOF PITCH	6/12		FLOOR	SLAB
LAND USE & ZONING	RSF-2					MAX. HEIGHT	18			
Minimum Set Back Requirments:	STREET-FRONT		25.00		REAR	15.00		SIDE	10.00	
NO. EX.D.U.	0		FLOOD ZONE	X PP		DEVELOPMENT PERMIT NO.				

PARCEL ID	12-4S-16-02939-103	SUBDIVISION	CREEKSIDE
LOT 3	BLOCK	PHASE	UNIT 0
			TOTAL ACRES 0.77

000001163		CBC1251118		
Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor	
CULVERT	06-0653-N	BK	JH	
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: PER PLAT FINISHED FLOOR MUST BE 145',ELEVATION LETTER RECEIVED

COMPACTION TEST RECEIVED, NOC ON FILE

Check # or Cash 704

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power	<u>08/08/2006</u>	<u>RJ</u>	Foundation	<u>07/31/2006</u>	<u>RJ</u>	Monolithic	<u> </u>
	<u>date/app. by</u>			<u>date/app. by</u>			<u>date/app. by</u>
Under slab rough-in plumbing	<u>08/08/2006</u>	<u>RJ</u>	Slab	<u>08/09/2006</u>	<u>RJ</u>	Sheathing/Nailing	<u>09/22/2006</u> <u>HD</u>
	<u>date/app. by</u>			<u>date/app. by</u>			<u>date/app. by</u>
Framing	<u>11/07/2006</u>	<u>JK</u>	Insulation	<u> </u>			
	<u>date/app. by</u>			<u>date/app. by</u>			
Rough-in plumbing above slab and below wood floor			<u>11/07/2006</u>	<u>JK</u>	Electrical rough-in	<u>11/07/2006</u>	<u>JK</u>
				<u>date/app. by</u>			<u>date/app. by</u>
Heat & Air Duct	<u>11/07/2006</u>	<u>JK</u>	Peri. beam (Lintel)	<u> </u>	Pool	<u> </u>	
	<u>date/app. by</u>			<u>date/app. by</u>			<u>date/app. by</u>
Permanent power	<u>03/15/2007</u>	<u>JK</u>	C.O. Final	<u>05/02/2007</u>	<u>JK</u>	Culvert	<u> </u>
	<u>date/app. by</u>			<u>date/app. by</u>			<u>date/app. by</u>
Pump pole	<u> </u>	Utility Pole	<u> </u>	M/H tie downs, blocking, electricity and plumbing			<u> </u>
	<u>date/app. by</u>		<u>date/app. by</u>				<u>date/app. by</u>
Reconnection	<u> </u>		RV	<u> </u>	Re-roof	<u> </u>	
	<u>date/app. by</u>			<u>date/app. by</u>			<u>date/app. by</u>

BUILDING PERMIT FEE \$	595.00	CERTIFICATION FEE \$	17.73	SURCHARGE FEE \$	17.73
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2344 Turkey Fork Road, Mount Airy, NC 27030
Remit to: P. O. Box 351, White Plains, NC 27031
Business 336-789-3818 Toll 800-597-3597
Fax 336-374-2949 Fax 336-789-4122

Order # 30477

Dealer Prohibit County _____ Phone 754/818 Date: 4-27-11
Buyer Name(s): Alvin Hitson
Buyer Address: 178 SW Creekside Ln City: Liberal State: FL Zip: 32025
Phone (Day) _____ (Evening) _____ (Cell): 754-7941
Site (Unit Location if different from above): _____

Description	Width	Roof Length	Frame Length	Leg Height	Gauge	Price
<u>CARAGE</u>	<u>24</u>	<u>26</u>	<u>25</u>	<u>9</u>	<u>14</u>	<u>1645</u>
Options:						<u>150</u>
☒ A-Frame						
☐ Vertical Roof						
☐ Additional Leg Height	<u>9</u>					<u>180</u>
☒ Close Sides						<u>550</u>
<u>2</u> ☒ Close Ends						<u>1850</u>
☐ Gable Ends						
<u>2</u> ☒ Window	30 X 30 Standard					<u>300</u>
<u>1</u> ☐ Walk-In Door	34 X 72 Standard					<u>175</u>
<u>2</u> ☐ Roll-Up Door	Size: <u>10 X 8</u>					<u>800</u>
☐ Mobile Home Anchors						
☐ Other (Specify)						<u>5650</u>
☐ Other (Specify)						
☐ Other (Specify)						

Total Sale: \$ 5085
Tax \$ 355.10
Process Fee: \$ 5.00
Total \$ 5440.10
Deposit \$ 762.71
Balance Due \$ 4677.39

Color:	Roof <u>Black</u>	Sides <u>Burgundy</u>
	Ends <u>Burgundy</u>	Trim <u>White</u>
Permits:	☐ Yes Required	☒ Not Required

Installation:	☐ Ground	☒ Cement	☐ Other
Land Level	☒ Yes	☐ No	If no, buyer's materials to level must be on site
Electricity:	☒ Yes	☐ No	

BUYER MUST INITIAL WARRANTY SELECTION

See Limited Warranty Explanations on Reverse Side

☒ 14 Gauge - Workmanship Only
☐ 14 Gauge-Certified (Site of installation must be level)
☐ 12 Gauge - Workmanship & Rust-Through
☐ 12 Gauge-Certified (Site of installation must be level)

If accepted below by T-N-T Metal Buildings, Inc. (Seller) at its office in Mount Airy, NC, this order becomes a contract between Seller and the Buyer named above as follows: subject to the terms above and

SUBJECT TO THE TERMS AND CONDITIONS ON THE REVERSE SIDE,

Seller and Buyer agree that the Seller will sell to Buyer the metal building (Unit) described above and install it at the address stated above and that Buyer will obtain all required permits, prepare the site for installation, purchase the Unit and pay the Price as stated above.

BUYER(S): Alvin Hitson

Dealer/Witness: Carly

ACCEPTED: T-N-T METAL BUILDINGS, INC.

Date: _____

A & A ENGINEERING
CIVIL & STRUCTURAL
SINCE 1980



5911 Remembrance Pl., Suite B
Tolado, Ohio 43023
Tel: (419) 232-1193
Fax: (419) 232-0955

TNT

Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Alty, NC 27030

1-800-597-3597
MAINT - 1-336-785-3818
SALES - 1-336-785-4123

OWNER:

TNT METAL BUILDING, INC.

LOCATION:

FLORIDA

DRAWING NO.:

TNT-FL

DATE:

6/25/2010

PROJECT NUMBER:

039-10-0513

DRAWN BY:

JMS

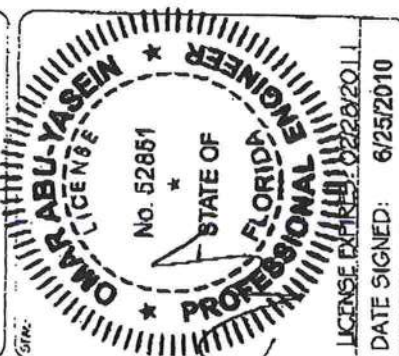
CHECKED BY:

OA

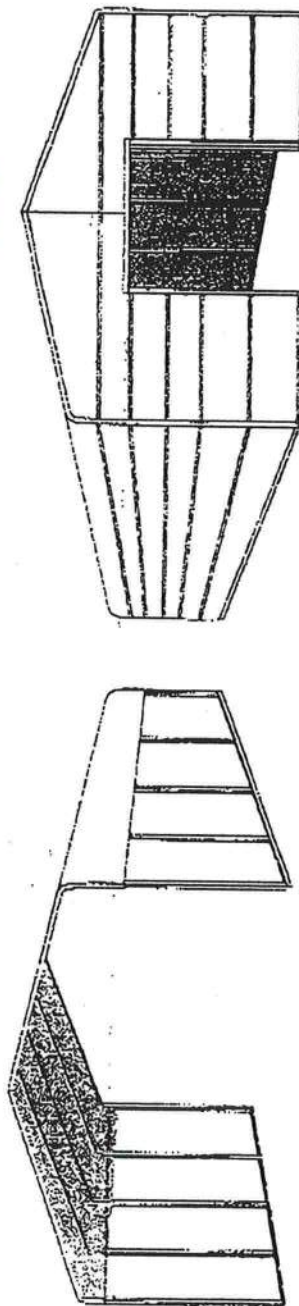
DRAWING TITLE:

COVER

SHEET NO.: 1 OF 9



REGULAR / A-FRAME - VERTICAL / HORIZ.
12' THRU 30' CARPORTS
(STATE OF FLORIDA)
AS PER DESIGN CRITERIA



DESIGN NOTES

- ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2006, OSHA, AISI, ASCE7-05, AWS D 1.1 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
- SHELTER BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON SHEET 9
- ALL MATERIALS IDENTIFIED BY MANUFACTURER OR EXCEEDING ORIGINAL
- ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
- ALL FIELD CONNECTIONS SHALL BE TEES A3 (1/4"x1").
- STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (7'-6058) OR 10.
- ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
- STRUCTURAL TUBE T52 1/2"x2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"x2 1/4" - 12GA.
- STRUCTURAL TUBE T52 1/4"x2 1/4" - 12GA. SHOULD BE ACCEPTED IN LIEU OF T52 1/4"x2 1/4" - 14GA. FOR IT IS A BETTER STRUCTURAL TUBING.

DESIGN CRITERIA

PREVAILING CODE: FBC 2007 / 2009 AMENDMENTS
USE GROUP: U (CARPORTS, BARNES)
BASIC WIND VELOCITY: 90 TO 150 MPH (SEE SCHEDULE)
ROOF DEAD LOAD: 2.0 PSF
ROOF LIVE LOAD: A5 PER GROUND SNOW MIN. 20 PSF
GROUND SNOW LOAD: 0 TO 30 PSF (SEE SCHEDULE)
IMPORTANCE FACTOR = SNOW 0.0 WIND 0.87 SEISMIC 1.0
SEISMIC DESIGN CATEGORY: A
LOAD COMBINATIONS:
DL + LL, 0.6DL + WL
DL + 0.75LL + 0.75WL

DRAWING INDEX

- COVER SHEET
- FLOOR PLAN
- REGULAR / A-FRAME & DG. SECTIONS
- SIDE ELEVATIONS
- SECTION DETAILS
- END WALL DETAILS
- OPENING DETAILS
- LEAN-TO OPTION
- ANCHORAGE

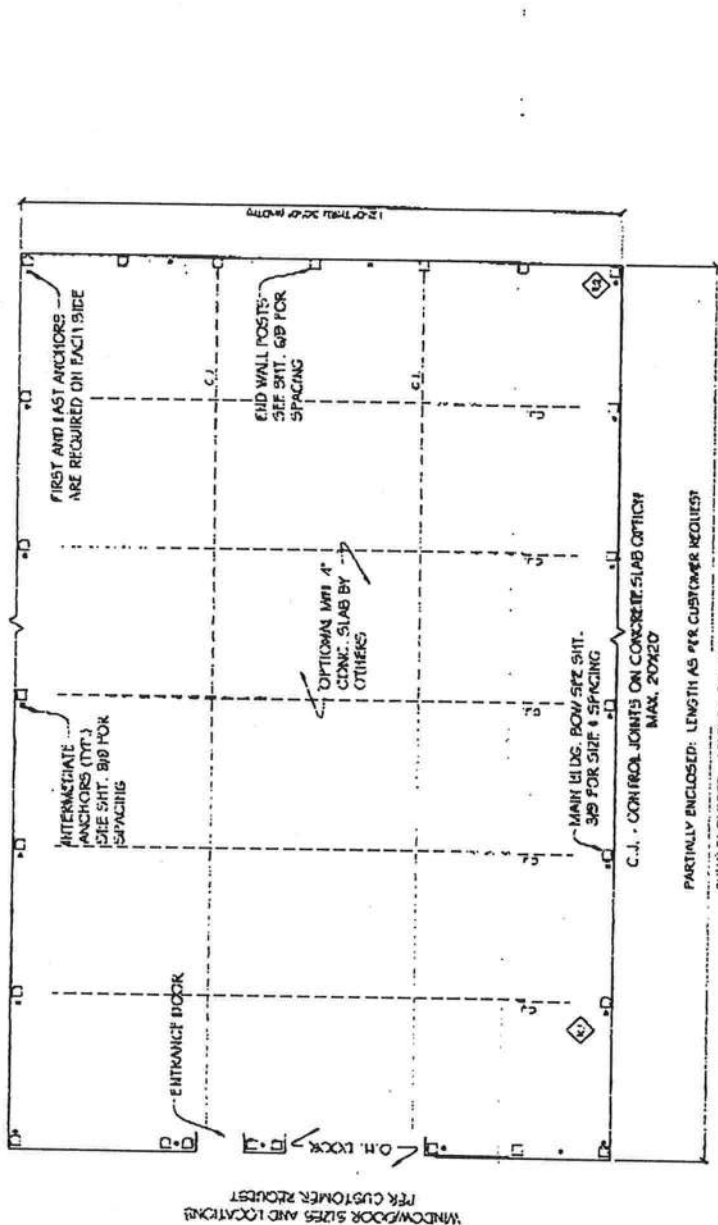
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A & A ENGINEERING
 CIVIL - STRUCTURAL
 5911 Reschance Pl., Suite B
 Toledo, Ohio 43623
 Tel: (419) 292-1583
 Fax: (419) 292-0555

TNT
Metal Buildings Inc.
 170 Holly Springs Rd.
 Mr. Alry, NC 27030
 1-800-397-3397
 MAINT - 1-336-784-1616
 FAX - 1-336-389-4123

OWNER: **TNT METAL BUILDING, INC.**
 LOCATION: **FLORIDA**
 DRAWING NO.: **TNT-FL**
 DATE: **6/25/2010**
 PROJECT NUMBER: **039-10-0513**
 DRAWN BY: **JMS**
 CHECKED BY: **QA**
 DRAWING TITLE: **FLOOR PLAN**
 SHEET NO.: **2 OF 9**

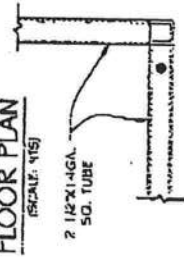
OMAR ABU-YASEIN
 LICENSE
 No 52851
 STATE OF
 FLORIDA
 PROFESSIONAL ENGINEER
 DATE SIGNED: **6/25/2010**



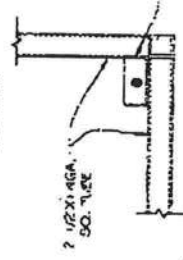
FLOOR PLAN
 (SCALE: 1/8\"/>

ANCHOR SPACING

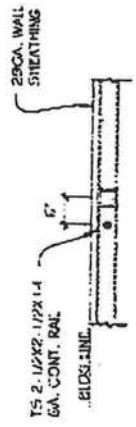
MINIMUM SPACING	CARPENTRY WIDTH
2" - 100	2" TILL 20' ALSO NEXT TO EVERY ON THE ROW - MIN. 4'
10' - 150	NEXT TO EVERY ROW



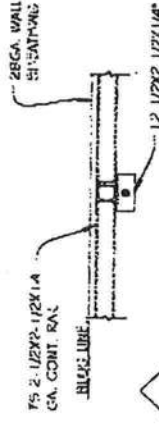
BASE CORNER ANCHOR
 (SCALE: 1/8\"/>



ALTERNATE CORNER ANCHOR
 (SCALE: 1/8\"/>



BASE ANCHOR
 (SCALE: 1/8\"/>



ALTERNATE ANCHOR
 (SCALE: 1/8\"/>

* FIRST AND LAST ANCHORS ARE RETAINED AT EACH SIDE

* ANCHOR, SEE OPTIONS AND SPACING SHEET 013

A & A ENGINEERING
CIVIL & STRUCTURAL
INCORPORATED

5911 Roadside Dr., Suite B
Tulledo, Ohio 43083

Tel: (419) 292-1983
Fax: (419) 292-0955

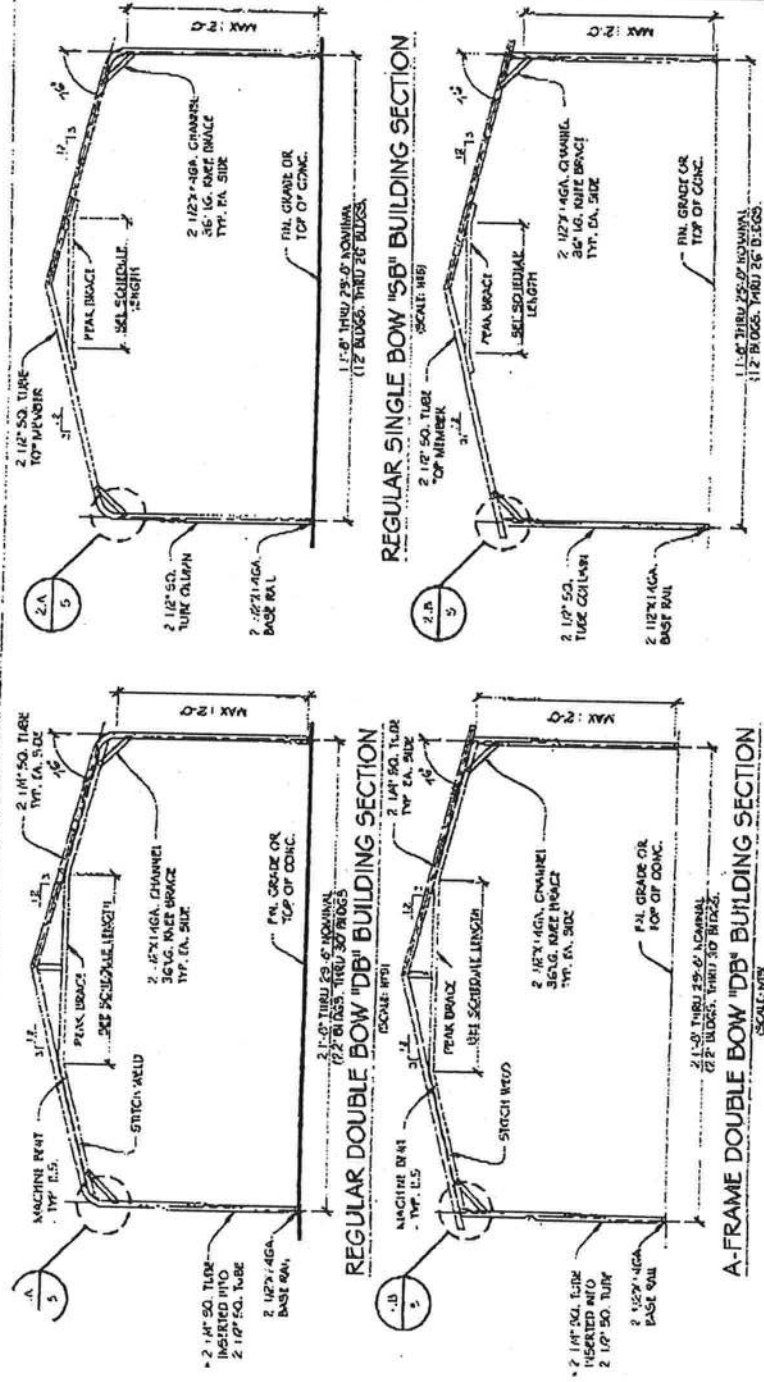
Metal Buildings Inc.
170 Holly Springs Rd.
Mt. Airy, NC 27030

1-800-397-3397
MADE IN USA 784-3818
FAX - 1-336-784-4122

OWNER: **TNT METAL BUILDING, INC.**
LOCATION: **FLORIDA**
DRAWING NO.: **TNT-FL**
DATE: **8/26/2010**
PROJECT NUMBER: **039-10-0513**
DRAWN BY: **JMS**
CHECKED BY: **OA**
DRAWING TITLE: **TYP BLDG. SECTION**
SHEET NO.: **3 OF 9**

OMAR ABU-YASEIN
LICENSE
STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 32851

DATE SIGNED: **8/26/2010**



A-FRAME SINGLE BOW "SB" BUILDING SECTION

* NEXT TO BE PAUL HEIGHT, FIELD ROOF WIDTHS
* 1/2" X 1" @ 12" OC - STAYS OR OPPOSITE FACE

S.B. = SINGLE BOW
D.B. = DOUBLE BOW
P = FULLY ENCLOSED (CLOSED)
G.S. = GROUND SNOW
L.L. = LIVE LOAD

PEAK BRACE SCHEDULE

WIDTH	SIZE	LENGTH
12	2 1/2" X 1/4" GA. CHANNEL	2'-0"
14	2 1/2" X 1/4" GA. CHANNEL	4'-0"
16	2 1/2" X 1/4" GA. CHANNEL	6'-0"
18	2 1/2" X 1/4" GA. CHANNEL	8'-0"
20-22	2" X 1/4" GA. 50. TUBE	10'-0"
22-26	2" X 1/4" GA. 50. TUBE	14'-0"
26-30	2" X 1/4" GA. 50. TUBE	16'-0"

BOW SCHEDULE (TOP & COLUMN MEMBERS GAUGE AND SPACING)																		
WIND (MPH)	90 - 100						110 - 120						130 - 150					
	BLDG. & WIDTH						BLDG. & WIDTH						BLDG. & WIDTH					
	12-20	22-26	28-30	12-20	22-26	28-30	12-20	22-26	28-30	12-20	22-26	28-30						
G5 / 11	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	14GA. S.B. @ 60"	14GA. S.B. @ 34"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	14GA. S.B. @ 60"	28-30						
	P	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	14GA. S.B. @ 60"	14GA. S.B. @ 34"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	14GA. S.B. @ 60"	28-30						
30 / 20	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	12GA. S.B. @ 34"	14GA. S.B. @ 34"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	14GA. S.B. @ 60"	28-30						
	P	14GA. S.B. @ 34"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	F	14GA. S.B. @ 60"	12GA. S.B. @ 60"	14GA. S.B. @ 34"	14GA. S.B. @ 60"	28-30						

A & A ENGINEERING
CIVIL & STRUCTURAL
SPRING, TX

5911 Renaissance Pl., Suite 18
Tulsa, Oklahoma 74116
Tel: (417) 222-1983
Fax: (417) 222-1985

TNT

Metal Buildings Inc.
170 Holly Springs Rd.
Mt. Airy, NC 27030

1-800-597-3897
MAIN - 1-336-789-5812
FAX - 1-336-789-4122

OWNER: **TNT METAL BUILDING, INC.**

LOCATION: **FLORIDA**

DRAWING NO.: **TNT-FL**

DATE: **6/25/2010**

PROJECT NUMBER: **039-10-0513**

DRAWN BY: **JMS**

CHECKED BY: **OA**

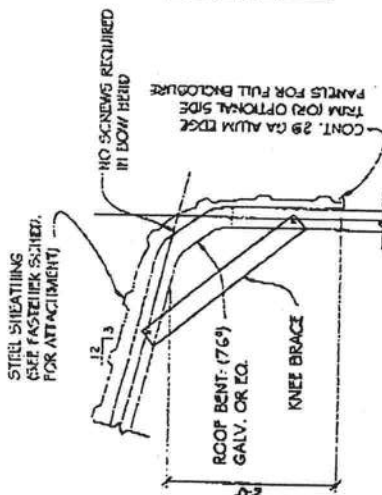
DRAWING TITLE: **SECTION DETAILS**

SHEET NO.: **8 OF 9**

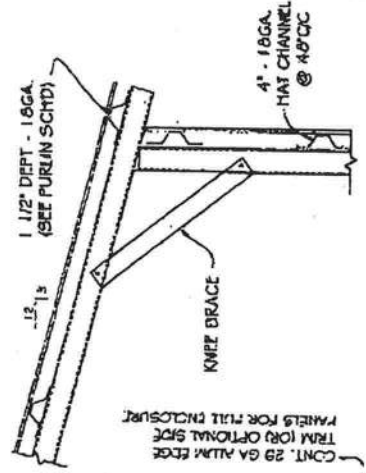
OMAR ABU-YASEIN
LICENSED PROFESSIONAL ENGINEER
STATE OF FLORIDA
No 52851

DATE SIGNED: **6/25/2010**

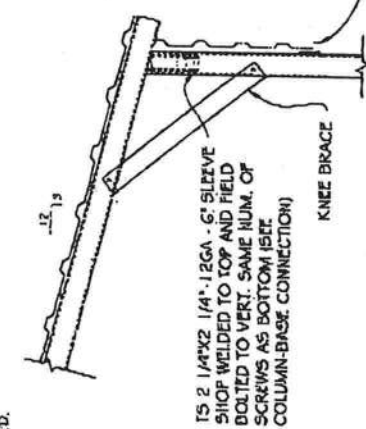
PURLIN SCHD.	
SNOW LOAD	HAT CHANNEL SPACING
20	48" CC



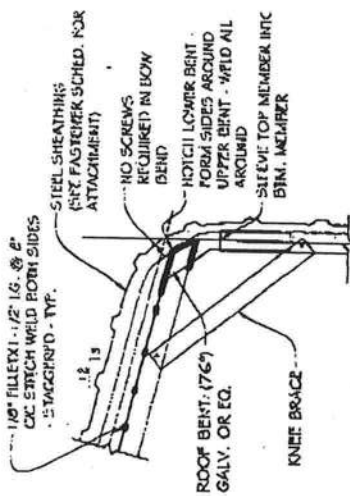
REGULAR SINGLE BOW
SECTION DETAIL
(SCALE: NTS)



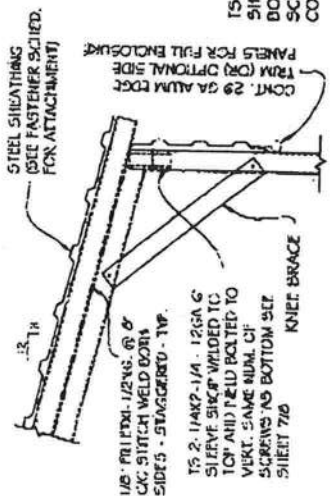
TYPICAL A-FRAME VERTICAL
SECTION DETAIL
(SCALE: NTS)



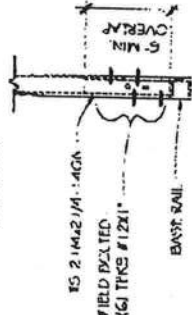
A-FRAME SINGLE BOW
SECTION DETAIL
(SCALE: NTS)



REGULAR DOUBLE BOW
SECTION DETAIL
(SCALE: NTS)



A-FRAME DOUBLE BOW
SECTION DETAIL
(SCALE: NTS)



COLUMN BASE RAIL DETAIL
(SCALE: NTS)

FASTENER SCHED.:
TYPE: TKS #12x1 1/2" SCREWS W/ NEOPRENE/STEEL WASHER @ 6" CC OF CORNER PANEL AND 8" CC ELSEWHERE. MIN. ONE FAST. PER SPAN AT SIDE LAP PANELS MIN. 4" CC AT EDGE LAP PANELS W/ SILICON CAULK IN BETWEEN PANELS.

CONT. EDGE TRIM 2 1/2"x2 1/2" - 29GA ALUM ANGLE ATTACH W/ TKS SCREW W/ NEOPRENE/STEEL WASHER EVERY 2 RIBS AS NEEDED PER SHEET MFR.'S RECOMMENDATION

ROOF PANELS

ROOF BENT (SEE SCHED. FOR TUBE SIZES)

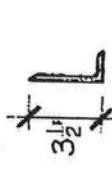
EDGE DETAIL
(SCALE: NTS)

CONT. EDGE TRIM 2 1/2"x2 1/2" - 29GA ALUM ANGLE ATTACH W/ TKS SCREW W/ NEOPRENE/STEEL WASHER EVERY 2 RIBS AS NEEDED PER SHEET MFR.'S RECOMMENDATION

ROOF PANELS

ROOF BENT (SEE SCHED. FOR TUBE SIZES)

EDGE DETAIL
(SCALE: NTS)



TRIM DETAIL
(SCALE: NTS)


$$\sqrt{\frac{1}{2}}$$

Metal Buildings Inc.

70 Holly Springs Rd.
Mr. Airy, NC 27030

1-800-197-1597
 FAX: 1-336-789-1818
 FAX: 1-336-789-4122

OWNER:

TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 6/25/2010

PROJECT NUMBER:

DRAWN BY: IMS

CHECKED BY:

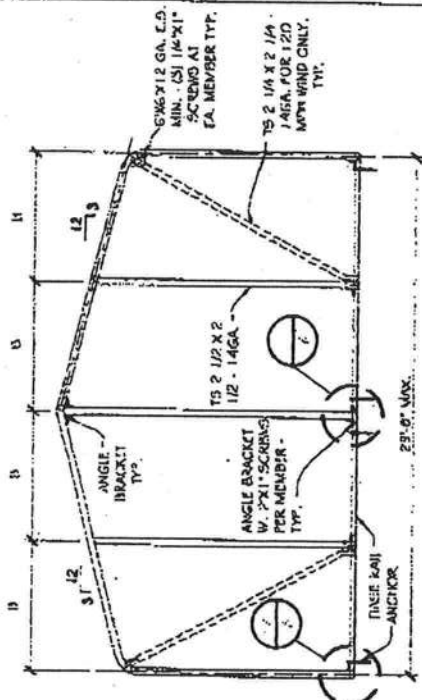
DRAWING TITLE:

END WALL DETAILS

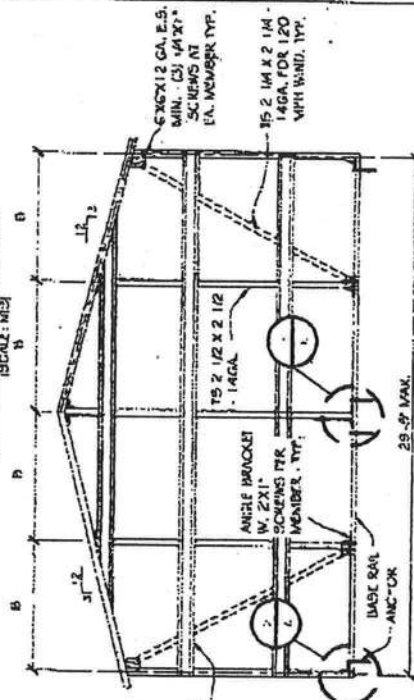
SHEET NO.:



DATE SIGNED: 6/25/2010



REGULAR END WALL



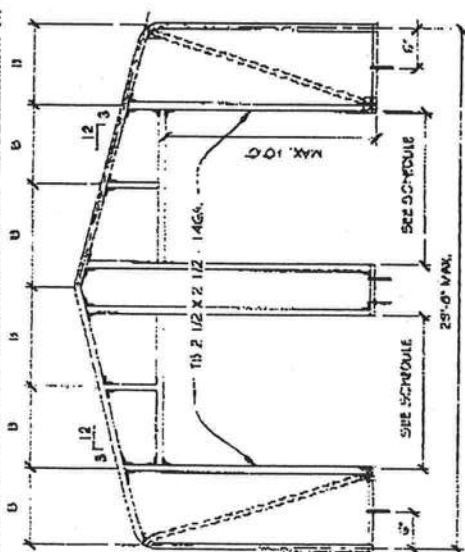
A-FRAME END WALL

MAX. END WALL OPENING

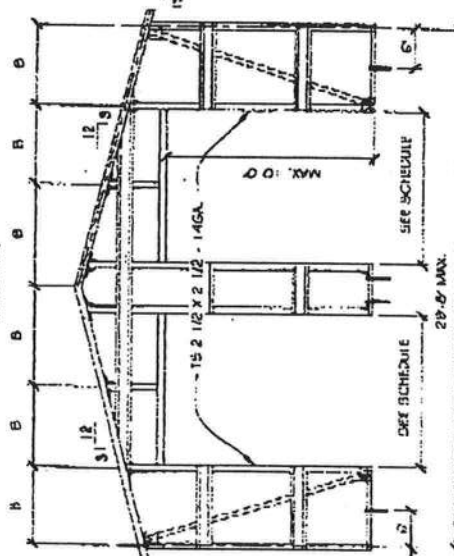
CARPET WIDTH	MAX. DOOR WIDTH	HEADER SIZE
12'-6"	8'	TB 2 1/4 X 2 1/4 - 12GA.
18'	10'	TB 2 1/4 X 2 1/4 - 12GA.
20'-2 1/2"	12'	TB 2 1/4 X 2 1/4 - 12GA.
24'-30"	14'	DBL TB 2 1/4 X 2 1/4 - 12GA.

MAX. POST SPACING "B"

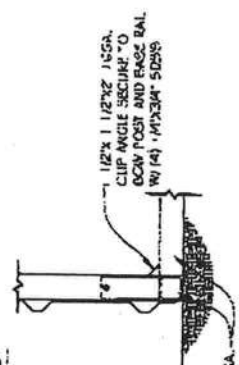
FIND WALL SCHEDULE			ANCHORS	
WIND	POST SPACING "S"		5'-0" OC	EVERY OTHER 4" BY 4" EVERY 4' BY 4"
90 . 20				
30 . 30				



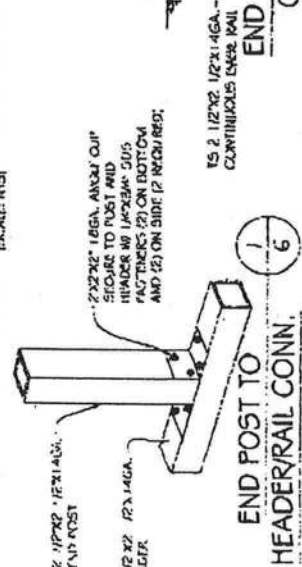
REGULAR END WALL W/ OPENING



A-FRAMEEND WALL W/ OPENING



END BOW/BASE RAIL CONNECTION



END POST TO
HEADER/RAIL CONN.

A & A ENGINEERING
CIVIL & STRUCTURAL
SINCE 1984

5911 Renaissance Pl., Suite B Tel: (419) 292-1983
Toledo, Ohio 43623 Fax: (419) 292-0866

Metal Buildings Inc.
170 Holly Springs Rd.
Mt. Airy, NC 27030

1-800-397-3197
MA301 - 1-336-783-1818
PAX - 1-336-783-4122

OWNER:
TNT METAL BUILDING, INC.

LOCATION: FLORIDA

DRAWING NO.: TNT-FL

DATE: 8/25/2010

PROJECT NUMBER: 039-10-0513

DRAWN BY: JMS

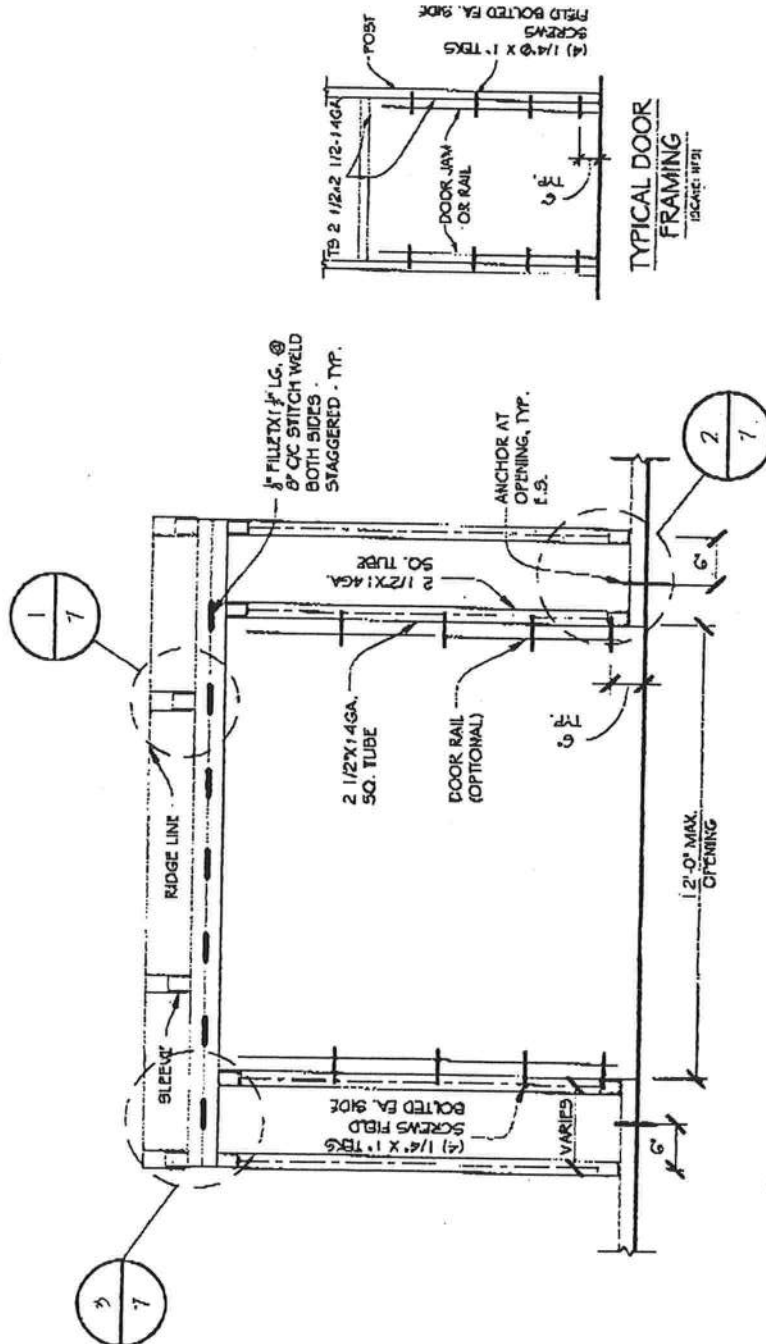
CHECKED BY: OA

DRAWING TITLE: SIDE WALL
OPENNING DETAILS

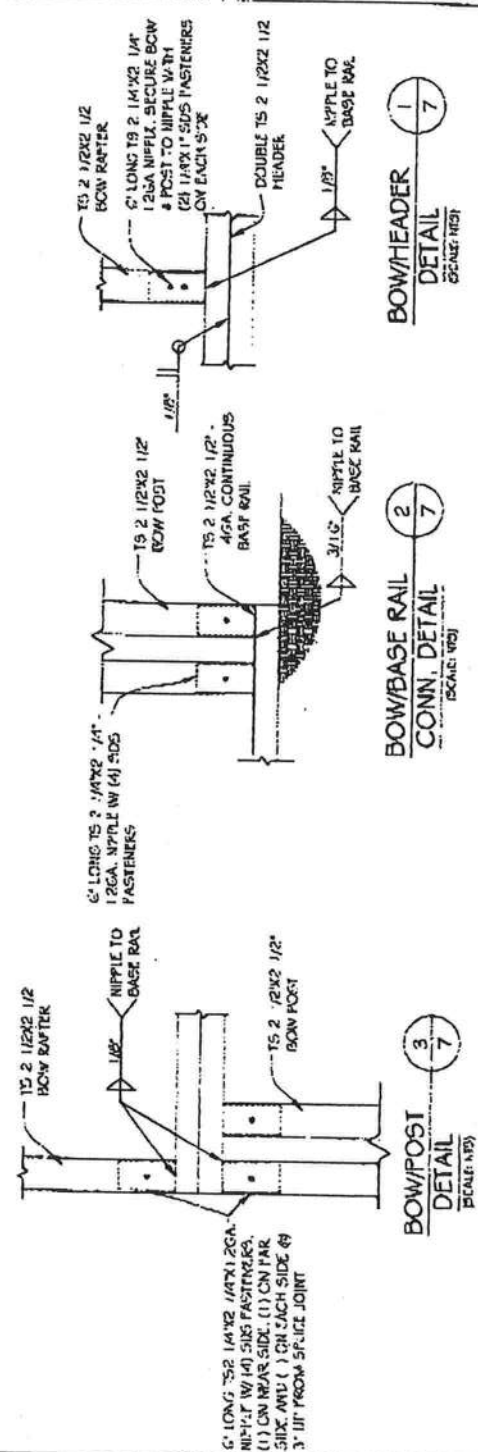
SHEET NO.: 7 OF 8

OMAS ABU-YASEIN
LICENSED ENGINEER
No. 52851
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE SIGNED: 8/25/2010



TYPICAL FRAMING AT SIDE OPENINGS
SCALE: 1/8\"/>



BOW/HEADER
DETAIL
SCALE: 1/8\"/>

BOW/BASE RAIL
CONN. DETAIL
SCALE: 1/8\"/>

BOW/POST
DETAIL
SCALE: 1/8\"/>



A & A ENGINEERING
CIVIL • STRUCTURAL
SINCE 1986

5911 Resurgence Pl., Suite B
Tolledo, Ohio 43623
Tel: (419) 292-1983
Fax: (419) 292-0935



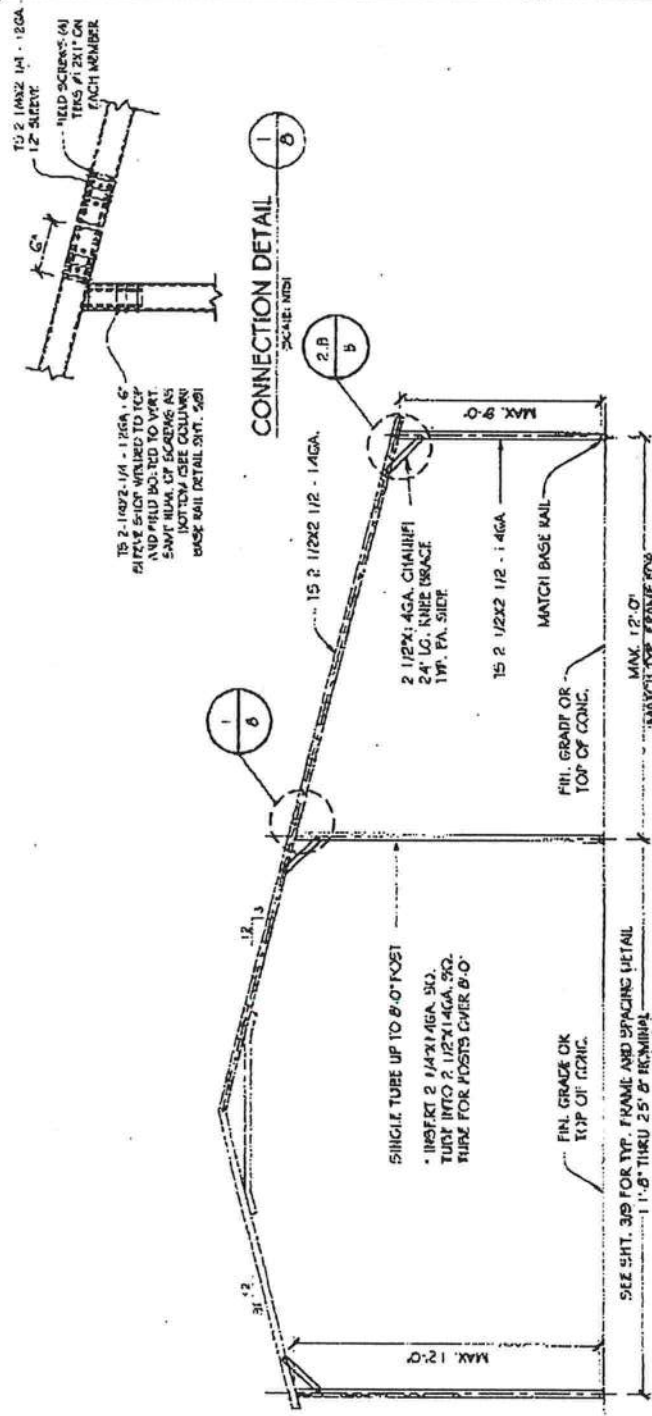
Metal Buildings Inc.
170 Holly Springs Rd.
Mt. Airy, NC 27030

1-800-597-1397
MAIN - 1-336-786-3018
FAX - 1-336-789-0122

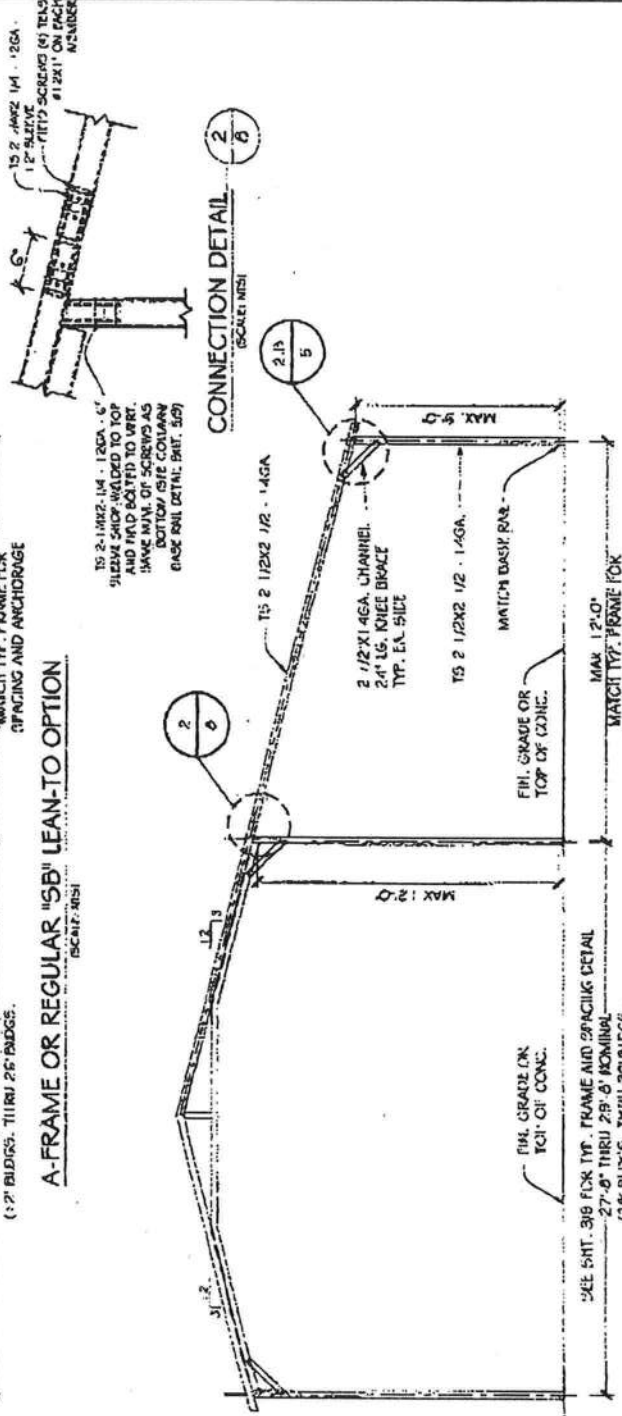
OWNER:	TNT METAL BUILDING, INC.
LOCATION:	FLORIDA
DRAWING NO.:	TNT-FL
DATE:	6/25/2010
PROJECT NUMBER:	039-10-0513
DRAWN BY:	JMS
CHECKED BY:	OA
DRAWING TITLE:	LEAN-TO OPTION
SHEET NO.:	8 OF 9



DATE SIGNED: 6/25/2010



A-FRAME OR REGULAR "SB" LEAN-TO OPTION



A-FRAME OR REGULAR "DB" LEAN-TO OPTION



A & A ENGINEERING
CIVIL - STRUCTURAL
SOLUTIONS

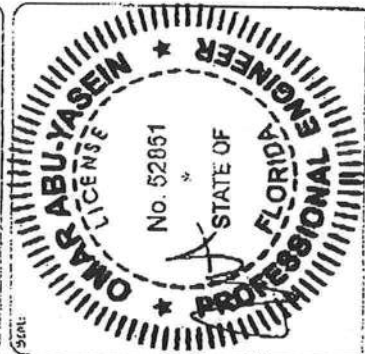
5911 Mendocino Pl., Suite H
Tulsa, Okla 74123
Tel: (419) 292-1983
Fax: (419) 292-1925



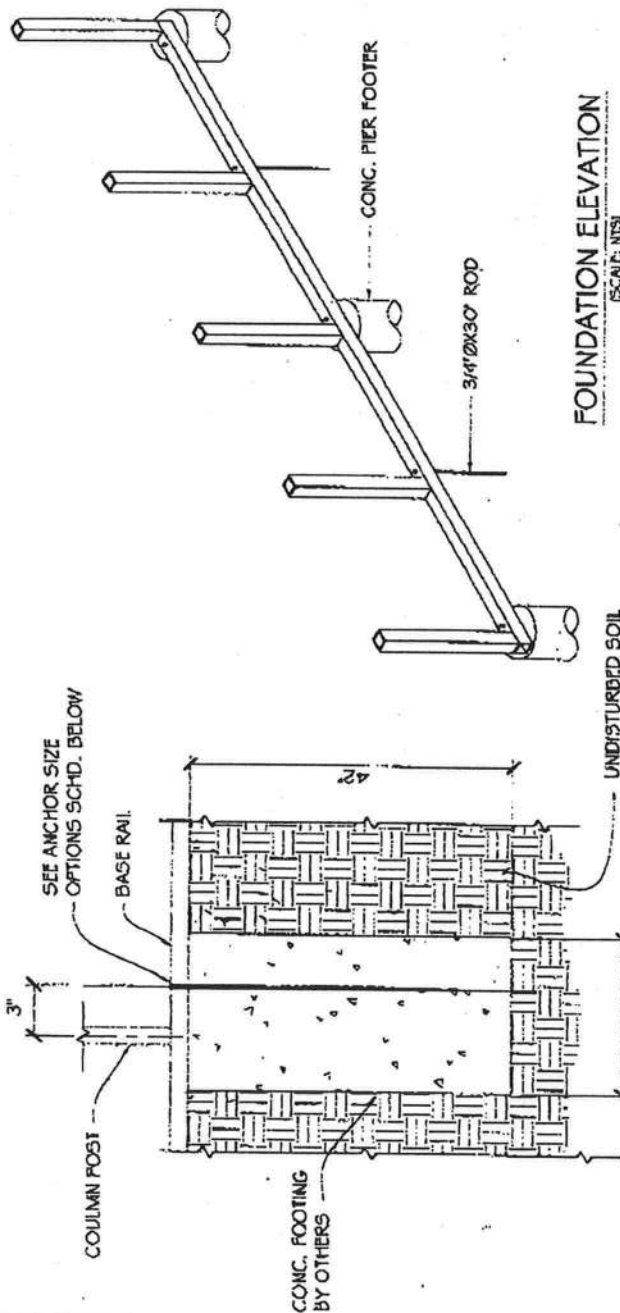
Metal Buildings Inc.
170 Holly Springs Rd.
Mt. Airy, NC 27030

1-800-977-3397
MAIN - 1-336-785-3118
FAX - 1-336-785-4122

OWNER: TNT METAL BUILDING, INC.
LOCATION: FLORIDA
DRAWING NO.: TNT-FL
DATE: 8/25/2010
PROJECT NUMBER: 039-10-0513
DRAWN BY: JMS
CHECKED BY: OA
DRAWING TITLE: ANCHOR OPTION
PIER FOOTER
SHEET NO.: 9 OF 9



DATE SIGNED: 8/25/2010



FOUNDATION ELEVATION
(SCALE: NTS)

- NOTES:
1. CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10-0\"/>

PIN ANCHOR DETAIL ON
CONCRETE PIER FOOTING
(SCALE: 1/8\"/>

NOTE:
ON LEVEL GRADE DIG A 18\"/>

ANCHOR SIZE OPTIONS SCHEDULE

	WIND SPEED (MPH)		REMARKS	CARPORT WIDTH
	90 - 120	130 - 150		
1	5/8"x20"	3/4"x20"	THRD. ROD EMBED IN CONC.	ALL SIZES
2	5/8"x27"	3/4"x20"	INSERT W/ EPOXY IN CONC.	ALL SIZES
3	5/8"x27"	3/4"x20"	EXPANSION BOLTS	ALL SIZES
4	5/8"x27"	3/4"x20"	WEDGE ANCHORS IN CONC.	ALL SIZES

A & A ENGINEERING
CIVIL • STRUCTURAL
JANUARY 1984

5911 Renaissance Pl., Suite B
Tallahassee, Florida 32310

Tel: (904) 222-1900
Fax: (904) 222-1955

TNT
Metal Buildings Inc.
170 Holly Springs Rd.
Mr. Aley, NC 27030

1-800-971-1977
MAIL - 1-336-789-5818
FAX - 1-336-789-4122

OWNER:
TNT METAL BUILDING, INC.

LOCATION:
FLORIDA

DRAWING NO.:
TNT-FL

DATE:
8/25/2010

PROJECT NUMBER:
039-10-0513

DRAWN BY:
JMS

CHECKED BY:
OA

DRAWING TITLE:
ANCHOR OPTIONS

SHEET NO.:
8 OF 9

SCALE:
1" = 1'-0"

DATE SIGNED:
8/25/2010

PROFESSIONAL ENGINEER
FLORIDA
No. 52851
STATE OF FLORIDA
OMAR ABU-YASEIN

DRILL 5/8" HOLE THROUGH THE BASE RAIL AND SECURE TO ANCHOR EYE WITH 1/2" DIAMETER THROUGH BOLT.

2 WASHERS

TOP OF SOIL OR CONCRETE SLAB

TIE DOWN ENGINEERING 45' LONG WITH 3/4" ECD AND 4" HELIX EYE ANCHOR.

3/4" Ø

12' 4" Ø

13 2 1/2" X 2 1/2" X 20A CONT. BASE RAIL

5/8" Ø

OPTIONAL MOBILE HOME ANCHOR FOR SAND/CLAY
(SCALE: 1/16")

BRACKET 2 1/2" X 3 1/8"

TS 2 1/2" X 2 1/2" X 1/4" AGA CONT. BASE RAIL

EXISTING ASPHALT OR GRADE

UNDISTURBED SOIL

HP9-A (3/4" X 23 1/2" BAR) ASPHALT ANCHOR HP9 (3/4" X 23 1/2" BAR) ROCK ANCHOR

(4) 3/4" WIDE X 1/8" THICK TABS

MIN. 4" CONC. SLAB BY OTHERS

MIN. 4" CONC. SLAB BY OTHERS

2 1/2" MIN. OR AS PER LOCAL CODE

BASE RAIL

CONC. FOOTING BY OTHERS

1 1/2" MIN. OR AS PER LOCAL CODE

SEE ANCHOR SIZE OPTIONS SCHD. BELOW

BASE RAIL

3'

1 1/2" Ø FOR 12" THRU 20' BLDG. 24" Ø FOR 22" THRU 30' BLDG.

UNDISTURBED SOIL

CONCRETE PIER FOOTING
(SCALE: 1/16")

NOTE:
ON LEVEL GRADE DIG A 12" X 24" HOLE 42" DEEP AT EACH ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

SOIL CLASSIFICATIONS:

1. VERY DENSE & / OR CEMENTED SANDS, COURSE GRAVEL AND COBBLES, COLICHE, PRELOADED SILT AND CLAYS

2. MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS

3. LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS

4. ALLUVIAL FILL AND VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS, ALLUVIAL FILL

HEILICAL ANCHOR SHALL BE APPROVED FOR USE IN SOIL CLASSIFICATIONS 2, 3, AND 4.

***TAKEN FROM HUD "STANDARD FOR INSTALLATION OF MOBILE HOMES"**

OPTIONAL ASPHALT/ ROCK ANCHOR DETAIL
(SCALE: 1/16")

NOTE:
1: SEE SHIT. 2 AND 6 FOR ANCHOR REQUIREMENTS
2: ASSUMED SOIL BEARING CAPACITY IS 1500 PSF
3: CONCRETE STRENGTH TO BE 2500 PSI AT 28 DAYS

SECTION A-A
(SCALE: 1/16")

CONC. SLAB OR FOOTER W/ MIN. 12" WIDE X DEPTH AS PER LOCAL CODE (12" DEEP MIN.) RAIL WALL ALL AROUND (BY OTHERS)

SEE ANCHOR SCHD. FLAT WASHERS

9/16" Ø POST

1 1/2" SLEEVE

SEE SHIT. 7

ANCHOR SIZE OPTIONS SCHEDULE

WIND SPEED (MPH)	REMARKS	CARPENT WIDHTH
50 - 120	130 - 150	
1	5/8" X 20"	THRD. ROD EMBED IN CONC.
2	5/8" X 20"	INSERT W/ EPOXY IN CONC.
3	5/8" X 20"	EXPANSION BOLTS
4	5/8" X 20"	WEDGE ANCHORS IN CONC.

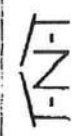


A & A ENGINEERING

CIVIL • STRUCTURAL

SINCE 1966

5911 Renaissance Pl., Suite B
Tallahassee, FL 32310
Tel: (904) 292-1983
Fax: (904) 292-1955



Metal Buildings Inc.

170 Holly Springs Rd.
Mr. Atry, NC 27030

1-800-997-3397
MAIN - 1-336-789-3818
FAX - 1-336-789-4122

OWNER:
TNT METAL BUILDING, INC.

LOCATION:
FLORIDA

DRAWING NO.:
TNT-FL

DATE:
6/25/2010

PROJECT NUMBER:
039-10-0613

DRAWN BY:
JMS

CHECKED BY:
OA

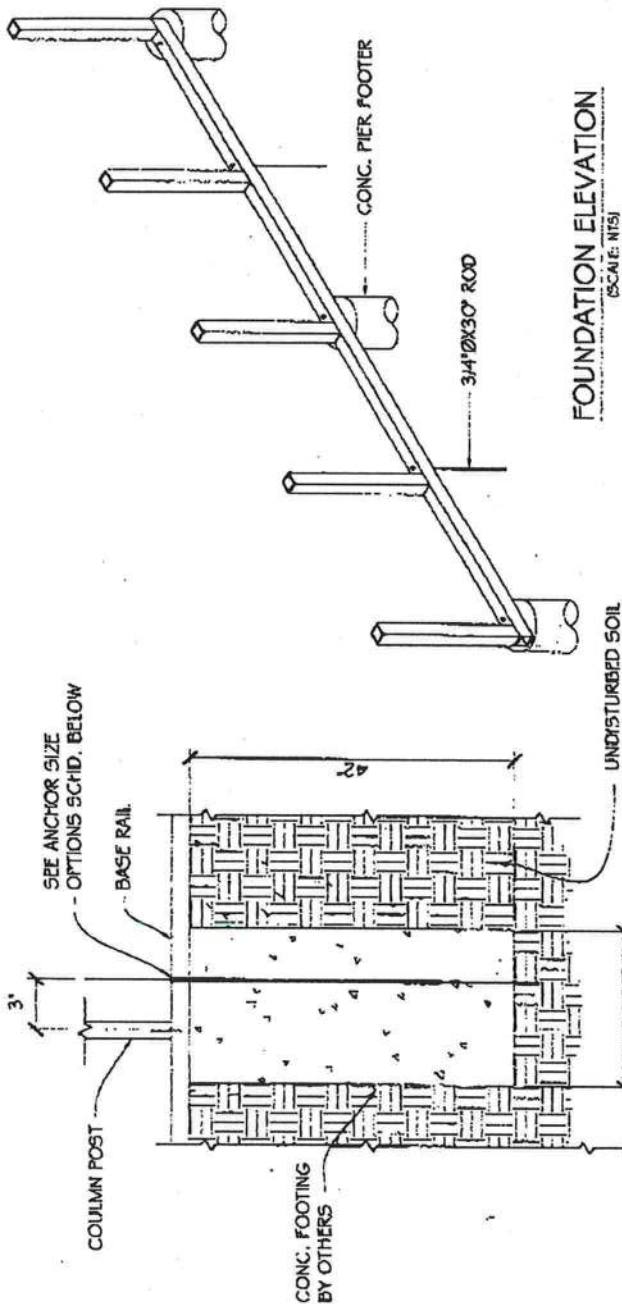
DRAWING TITLE:
ANCHOR OPTION
PIER FOOTER

SHEET NO.:
9 OF 9



OMAR ABU-YASEIN
LICENSE
No. 52851
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

DATE SIGNED: 6/25/2010



- NOTES:
- CONCRETE PIERS SHALL BE REQUIRED AT ALL CORNER POSTS AND AT EVERY OTHER POST BUT SHALL NOT EXCEED 10'-0" ON CENTER SPACING IN ANY DIRECTION
 - ALL OTHER POSTS WITH NO CONCRETE PIER ANCHOR SHALL BE ANCHORED TO THE GROUND WITH 3/4"x30" ROD. RODS SHALL HAVE A WELDED NUT AT TOP AND ONE COAT OF RUST PROOF PRIMER PAINT.
 - ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. 1500 PSF
 - CONCRETE STRENGTH TO BE A MIN. OF 2500 PSI AT 28 DAYS

NOTE:
ON LEVEL GRADE DIG A 1.8"x2.4" HOLE 42" DEEP AT EACH ANCHOR POINT. REPOSITION BASE RAILS OVER HOLES AND DROP A GROUND ANCHOR THROUGH EACH HOLE IN BASE RAILS. FILL EACH HOLE WITH 2500 PSI CONCRETE

PIN ANCHOR DETAIL ON
CONCRETE PIER FOOTING
SCALE: NTS

ANCHOR SIZE OPTIONS SCHEDULE

	WIND SPEED (MPH)		REMARKS	CARPORT WIDTH
	90 - 120	130 - 150		
1	5/8"x20"	3/4"x20"	THRD. ROD EMBED IN CONC.	ALL SIZES
2	5/8"x20"	3/4"x20"	INSERT W/ EPOXY IN CONC.	ALL SIZES
3	5/8"x20"	3/4"x20"	EXPANSION BOLTS	ALL SIZES
4	5/8"x20"	3/4"x20"	WEDGE ANCHORS IN CONC.	ALL SIZES

1:29:18 PM 4/27/2011

Licensee Details**Licensee Information**

Name: **ABU-YASEIN, OMAR A (Primary Name)**
(DBA Name)
Main Address: **5911 RENAISSANCE PLACE, STE B**
TOLEDO Ohio 43623
County: **OUT OF STATE**
License Mailing:
LicenseLocation:

License Information

License Type: **Professional Engineer**
Rank: **Prof Engineer**
License Number: **52851**
Status: **Current,Active**
Licensure Date: **04/27/1998**
Expires: **02/28/2013**

Special Qualifications **Qualification Effective**
Building Code Core
Course Credit

[View Related License Information](#)**[View License Complaint](#)**

Contact Us :: **1940 North Monroe Street, Tallahassee FL 32399** :: **Call.Center@dbpr.state.fl.us** :: Customer Contact Center:
850.487.1395

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