

CAROL CHADWICK, P.E.

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October 20, 2022

Mike Hartzog

352.215.5666

hartzogmike@yahoo.com

re: ELEVATION LETTER – 310 SW DEER RUN DRIVE, FORT WHITE, FL

As requested, I inspected the building site for the proposed construction at the above referenced site. The home location had been staked at the time of the inspection. The photo shows the building site looking southeast from SW Deer Run Drive.



The site drains to the south. Per the attached SRWMD Flood Report, a wetland is present on the south end of the property. A portion of the south end of the site is in flood zone AE with a BFE of 40.4 feet. As shown on the attached site plan by others, the home will be placed in the location marked 2 which is clearly outside the wetland.


The approximate ground elevation of building site is 48.5' +/- . The elevation of the street centerline varies from 54.8' +/- to 54.4' +/- . The minimum finished floor elevation for both the residential structure and the pool house shall be **48.50'**. The finished floor elevation is sufficient to protect the structure against water damage from a base flood event. The site will be graded to channel direct precipitation runoff away from the home.

Per the attached elevation certification by Britt Surveying & Mapping dated October 18, 2022, the surveyed finished floor is 48.54'.

I certify that the minimum finished floor elevation listed above will protect the structure against water damage from a base flood event, as defined in Article 8 of the Land Development Regulations.

Should you have any questions, please don't hesitate to contact me.

Respectfully,



Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A014  
10D0000017EB6D  
924CE0005954C,  
cn=Carol  
Chadwick  
Date: 2022.10.20  
14:16:18 -04'00'

Carol Chadwick, P.E.

attachments: Aerial Photo, SRWMD Flood Report & Site Plan by others, Elevation Certification by Britt Surveying & Mapping





**Britt Surveying and Mapping, LLC**  
1438 SW Main Blvd • Lake City, FL 32025  
386-752-7163 P • 386-752-5573 F • [www.brittsurvey.com](http://www.brittsurvey.com)

10/18/2022

Permit # 000045324 & 000045325

L-29016

Re: Lot 36 Bluebird Reserve

Mike Hartzog

To Whom It May Concern:

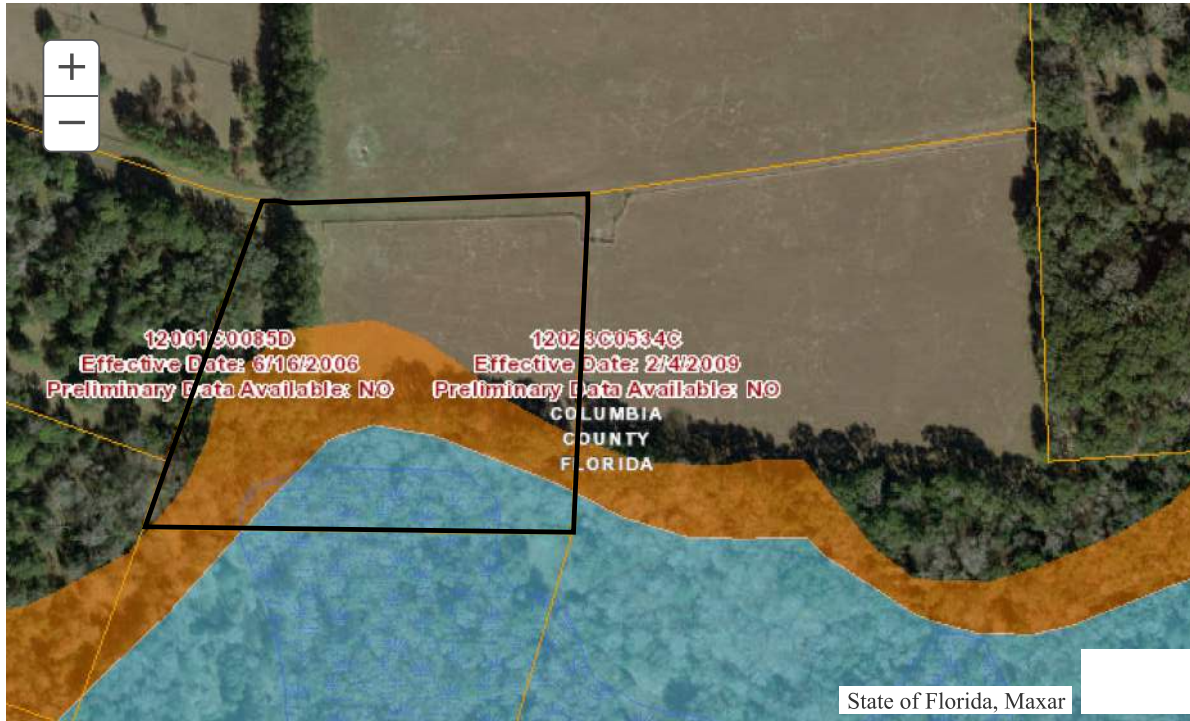
The finished floor elevation on Lot 36 is found to be 48.54 feet. The minimum floor elevation is determined to be 49.5 feet per the building permit. All elevations are shown are based on NAVD 88 datum.

Sincerely,

L. Scott Britt  
LS 5757



# EFFECTIVE FLOOD INFORMATION REPORT



## Location Information

County: **COLUMBIA**  
 Parcel: **31-7S-17-10070-136**  
 Flood Zone: **X-SHADED, AE**  
 Flood Risk: **HIGH**

1% Annual Chance Base Flood Elev\* **40.4 (feet)**  
 10% Annual Chance Flood Elev\* **35.2 (feet)**  
 50% Annual Chance Flood Elev\* **30.4 (feet)**

\* Flood Elevations shown on this report are in NAVD 88 and are derived from FEMA flood mapping products, rounded to the nearest tenth of a foot. For more information, please see the note below

## Legend with Flood Zone Designations

	1% Flood -Floodway (High Risk)		Area Not Included		CrossSections		Wetlands
	1% Flood - Zone AE (High Risk)		SFHA Decrease		County Boundaries		
	1% Flood - Zone A (HighRisk)		SFHA Increase		FIRM Panel Index		
	1% Flood - Zone VE (HighRisk)		Depressions		Parcels		
	0.2% Flood-Shaded Zone X (Moderate Risk)		BaseFlood Elevations (BFE)		River Marks		

## Supplemental Information

Watershed	Santa Fe	Map Effective Date	2/4/2009	Special Flood Hazard Area	Yes
FIRM Panel(s)	12023C0534C				

Anywhere it can rain, it can flood  
 Know your risk.



[www.srwmfloodreport.com](http://www.srwmfloodreport.com)

The information herein represents the best available data as of the effective map date shown. The Federal Emergency Management Agency (FEMA) Flood Map Service Center ( <https://msc.fema.gov> ) maintains the database of Flood Insurance Studies and Digital Flood Insurance Rate Maps, as well as additional information such as how the Base Flood Elevations (BFEs) and/or floodways have been determined and previously issued Letters of Map Change. Requests to revise flood information may be provided to the District during the community review period on preliminary maps, or through the appropriate process with FEMA [Change Your Flood Zone Designation | FEMA.gov](https://www.floodsmart.com). Information about flood insurance may be obtained at (<https://www.floodsmart.com>)

## Base Flood Elevation (BFE)

The elevation shown on the Flood Insurance Rate Map for Zones AE, AH, A1-A30, AR, AO, V1-V30, and VE that indicates the water surface elevation resulting from a flood that has a one percent chance of equaling or exceeding that level in any given year.

### A

Areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. Because detailed analyses are not performed for such areas; no depths or base flood elevations are shown within these zones.

### AE, A1-A30

Areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. In most instances, base flood elevations derived from detailed analyses are shown at selected intervals within these zones.

### AH

Areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. Usually areas of ponding with flood depths of 1 to 3 feet. Base Flood Elevations are determined.

### AO

Areas with a 1% annual chance of flooding and a 26% chance of flooding over the life of a 30-year mortgage. Usually areas of sheet flow on sloping terrain with flood depths of 1 to 3 feet. Base Flood Elevations are determined.

### Supplemental Information:

10%-chance flood elevations (10-year flood-risk elevations) and 50%-chance flood elevations (2-year flood-risk elevations), are calculated during detailed flooding studies but are not shown on FEMA Digital Flood Insurance Rate Maps (FIRMs). They have been provided as supplemental information in

## AE FW (FLOODWAYS)

The channel of a river or other watercourse and the adjacent land areas that must be reserved in order to discharge the base flood (1% annual chance flood event). The floodway must be kept open so that flood water can proceed downstream and not be obstructed or diverted onto other properties.

Please note, if you develop within the regulatory floodway, you will need to contact your Local Government and the Suwannee River Water Management District prior to commencing with the activity. Please contact the District at 800.226.1066.

### VE

Areas with a 1% annual chance of flooding over the life of a 30-year mortgage with additional hazards due to storm-induced velocity wave action. Base Flood Elevations (BFEs) derived from detailed analyses.

## X 0.2 PCT (X Shaded, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD)

Same as Zone X; however, detailed studies have been performed, and the area has been determined to be within the 0.2 percent annual chance floodplain (also known as the 500-year flood zone). Insurance purchase is not required in this zone but is available at a reduced rate and is recommended.

### X

All areas outside the 1-percent annual chance floodplain are Zone X. This includes areas of 1% annual chance sheet flow flooding where average depths are less than 1 foot, areas of 1% annual chance stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 1% annual chance flood by levees. No Base Flood Elevations or depths are shown within this zone. Insurance purchase is not required in these zones.

## LINKS

### FEMA:

<http://www.fema.gov>

### SRWMD:

<http://www.srwmd.state.fl.us>

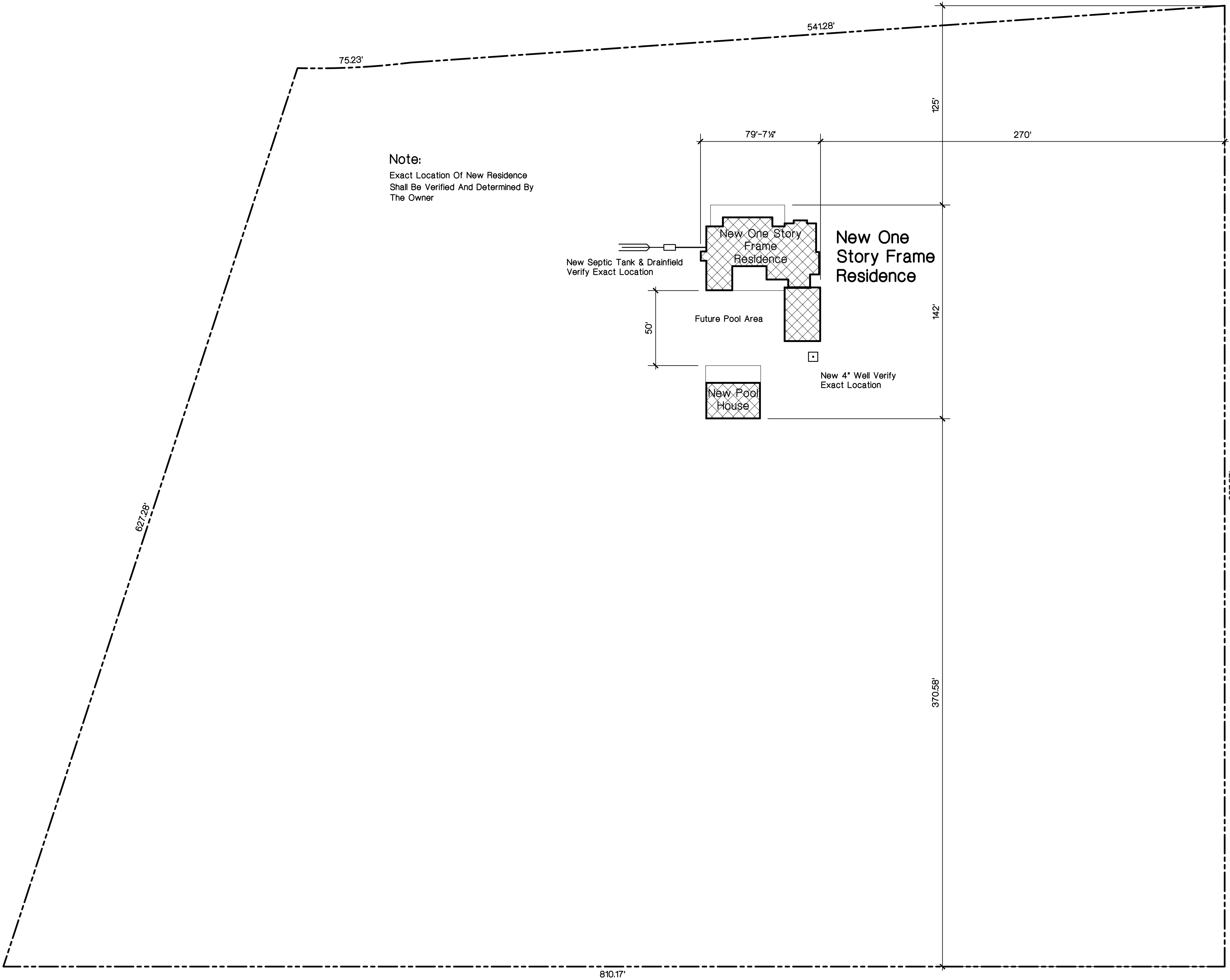
## CONTACT

SRWMD  
9225 County Road 49  
Live Oak, FL 32060

(386) 362-1001

Toll Free:  
(800) 226-1066

A New Residence For  
Mike & Brenda Hartzog  
310 Southwest Deer Run Drive - Ft. White, Florida



Site Plan  
1" = 40'-0"

Code Design Compliance, Residential

- 2020 Florida Building Code 7th Edition, Residential
- 2020 Florida Building Code 7th Edition, Plumbing
- 2020 Florida Building Code 7th Edition, Mechanical
- 2020 Florida Building Code 7th Edition, Energy Conservation
- National Electrical Code, 2017 Edition

Code Design Criteria

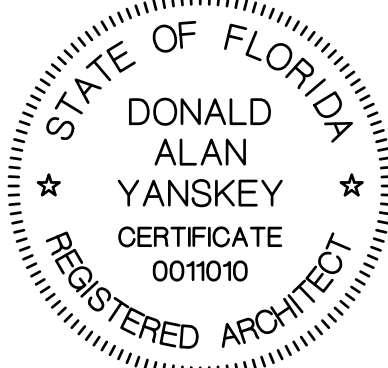
Roof Live Load	=	20 PSF
Floor Live Load	=	40 PSF
Occupancy Classification:	Single Family Residential	

130 MPH - ULTIMATE - RISK CAT. II  
WINDLOAD CALCULATION SUMMARY

DESIGN CRITERIA DATA:	
CODE REFERENCE:	2020 FLORIDA BUILDING CODE 7th Edition, RES.
LOCATION:	FORT WHITE, FLORIDA
BASIC WIND SPEED:	130 MPH - ULTIMATE DESIGN WIND SPEED
MEAN ROOF HEIGHT:	LESS THAN 30'-0"
BUILDING RISK CATEGORY:	II
BUILDING EXPOSURE FACTOR:	EXPOSURE B
BUILDING ENCLOSURE:	BUILDING IS ENCLOSED
INTERNAL PRESSURE COEFFICIENT:	0.18
ROOF COMPONENT AND CLADDING WIND PRESSURE:	(1) +10.0 PSF, -15.0 PSF
As Per 2020 Florida Building Code 7th Edition, Residential, Table R3012 (2)	(2) +10.0 PSF, -21.0 PSF
	(3) +10.0 PSF, -33.0 PSF
WALL COMPONENT AND CLADDING WIND PRESSURE:	(4) +15.5 PSF, -17.0 PSF
As Per 2020 Florida Building Code 7th Edition, Residential, Table R3012 (2)	(5) +15.5 PSF, -19.0 PSF
BUILDING DATA:	
EXTERIOR FRAME WALLS	RECTANGULAR SHAPED
GABLE ENDED ROOF - RESIDENCE	7 / 12 (30.256°)
ROOF OVERHANG	1'-6"

General Notes

- All Work Shall Be In Strict Accordance With The Latest Revisions To The 2020 Florida Building Code 7th Edition, Residential And All Applicable Codes, Ordinances And Regulations Of Local Governing Authorities.
- Any Discrepancies Between Referenced Standards And The Drawings Shall Be Brought To The Attention Of The Architect In Writing Prior To Commencing The Work. Commencement Of The Work Without Notifying The Architect In Writing Implies The Contractor Takes The Responsibility With All Applicable Codes, Ordinances And Standards.
- All Sub-Grade Under Buildings Shall Be Well Compacted To Achieve A Minimum Bearing Capacity Of 2500 PSF.
- All Concrete Work For Use In Footings Shall Be A Minimum Of 3000 PSI. All Other Locations Shall Have Concrete With A Minimum Strength Of 3000 PSI. All Reinforcing Steel Shall Be Grade 60. All Concrete And Steel Reinforcing Work Shall Be Done In Strict Accordance With A.C.I. - 318 And Its Latest Revisions.
- All Anchor Bolts Shall Conform To ASTM A-307. All Framing Anchors Shall Be Galvanized, Type And Size As Required For Each Specific Load And Installation Application. Provide A 2" Round Or Square Plate Washer At Anchor Bolts For Use To Anchor Wall Bottom Plates To The Concrete Slab.
- Structural Framing Lumber Shall Be Number 2 Southern Yellow Pine, F = 1500 PSI Bending, Or Equal. Wall Framing Lumber Shall Be Number 2 Spruce-Pine-Fir Or Cedar. All Wood Sheathing For Roof & Walls Shall Be As Indicated On Sections And Details And Other Locations On The Drawings. At Roof, Provide "H" Clips Between Trusses. All Finish Wood And Trim Shall Be Selected By The Owner.
- Pre-fabricated Trusses Shall Be Engineered For Live Loads As Required By The 2020 Florida Building Code 7th Edition, Residential And Actual Computed Dead Loads, And Shall Be So Certified By An Engineer Registered In The State Of Florida.
- Roofing Shall Be As Noted On The Drawings And Selected By The Owner And Installed Over Synthetic Underlayment System. Flashing Shall Be Minimum 26 Gauge Galvanized Metal Or Aluminum.
- All Doors And Windows And Their Finishes And Hardware Shall Be Selected By The Owner And Shall Comply With The 2020 Florida Building Code 7th Edition, Residential. All Windows At Sleeping Rooms Shall Comply With The Emergency Egress Code. All Windows Shall Have Insulated Glazings.
- All Finish Materials, Color Schemes And Textures Shall Be Selected By The Owner.
- All Electrical Work Shall Conform To The National Electrical Code, 2017. All Electrical Outlets Shall Be Installed With Tamper Proof Receptacles. Provide For Arc Fault Circuit Interrupter Protection.
- All Telephone Outlet Locations Shall Be Determined By The Owner.
- The Contractor Shall Verify All Dimensions Indicated Herein And Shall Notify The Architect Of Any And All Discrepancies Promptly. Any Discrepancies Not Brought To The Attention Of The Architect, Shall Be The Responsibility Of The Contractor.



DONALD ALAN YANSKEY, ARCHITECT  
FLORIDA REGISTRATATION NO. AR0011010  
DATE: JUNE 18, 2022

Donald Alan Yanskey  
ARCHITECT  
2421 Northwest 48th Avenue • Gainesville, Florida 32605  
Cell (352) 278-7872 • Email: gayans56@gmail.com

DATE June 18, 2022	DRAWN BY D. A. Y.	CHECKED D. A. Y.	REVISED
JOB NAME Hartzog			

A New Residence For  
Mike & Brenda Hartzog  
310 Southwest Deer Run Drive - Ft. White, Florida