

Sales Unit #
Doc. 706

PREPARED BY & RETURN TO:

Name: MELODIE B. TESSIER
Address: 902 NE DUVALL STREET, LIVE OAK,
FLORIDA 32064

Parcel No.: 00336-014

Inst: 201812003339 Date: 02/19/2018 Time: 9:13AM
Page 1 of 1 B: 1353 P: 2332, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy ClerkDoc Stamp Deed: 0.70

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This **QUITCLAIM DEED**, made the 14 day of February, 2018, by **LYNDA R. CAULEY and TERESA**

P. BRANNON, CONVEYING NON-HOMESTEAD PROPERTY hereinafter called the Grantors, to **MELODIE B. TESSIER**, whose post office address is **902 NE DUVALL STREET, LIVE OAK, FLORIDA 32064**, hereinafter called the Grantee:

WITNESSETH: That the Grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby remise, release, convey and quitclaim unto the Grantee all the right, title, interest, claim and demand which the Grantors have in and to that certain land situate in County of Columbia, State of Florida, viz:

PARCEL 3:

A PART OF THE NE ¼ OF THE NE ¼ OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 11 AND RUN THENCE S 00°41'00" E, ALONG THE EAST LINE OF SAID SECTION 11, 58.11 FEET TO THE SOUTH RIGHT OF WAY OF COUNTY ROAD 252; THENCE S 88°47'19" W, ALONG SAID SOUTH RIGHT OF WAY LINE, 649.85 FEET; THENCE S 00°38'31" E, 337.57 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 00°38'31" E, 272.75 FEET; THENCE S 88°47'19" W, 670.48 FEET TO THE EAST MAINTAINED RIGHT OF WAY LINE OF SW GODBOLD AVENUE; THENCE N 00°23'48" W, ALONG SAID EAST RIGHT OF WAY LINE, 272.77 FEET; THENCE N 88°47'19" E, 669.32 FEET TO THE POINT OF BEGINNING. CONTAINING 4.185 ACRES, MORE OR LESS.

PARCEL 4:

A PART OF THE NE ¼ OF THE NE ¼ OF SECTION 11, TOWNSHIP 4 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA. BEING MORE PARTICULARLY DESCRIBED AS:

COMMENCE AT THE NORTHEAST CORNER OF SAID SECTION 11 AND RUN THENCE S 00°41'00" E, ALONG THE EAST LINE OF SAID SECTION 11, 58.11 FEET TO THE SOUTH RIGHT OF WAY LINE OF COUNTY ROAD 252; THENCE S 88°47'19" W, ALONG SAID SOUTH RIGHT OF WAY LINE, 649.85 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 88°47'19" W, STILL ALONG SAID SOUTH RIGHT OF WAY LINE, 667.86 FEET TO THE EAST MAINTAINED RIGHT OF WAY LINE OF SW GODBOLD AVENUE; THENCE S 00°23'48" E, ALONG SAID EAST RIGHT OF WAY LINE, 337.58 FEET; THENCE N 88°47'19" E, 669.32 FEET; THENCE N 00°38'31" W, 337.57 FEET TO THE POINT OF BEGINNING. CONTAINING 5.185 ACRES, MORE OR LESS.

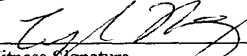
THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAKES NO WARRANTIES AGAINST SAME.

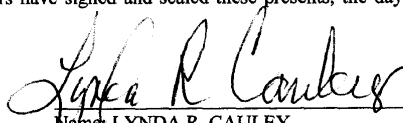
TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


SUBJECT TO TAXES FOR THE YEAR 2018 AND SUBSEQUENT YEARS, RESTRICTIONS, RESERVATIONS, COVENANTS AND EASEMENTS OF RECORD, IF ANY.

IN WITNESS WHEREOF, the said Grantors have signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:


Witness Signature
Printed Name: Tyler Rogers

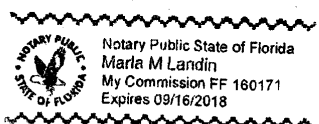

Name: LYNDA R. CAULEY
Address: 5011 SW PINEMOUNT HWY, LAKE CITY, FL 32024



Witness Signature
Printed Name: Marla M. Landin


Name: TERESA P. BRANNON
Address: 5045 SW PINEMOUNT HWY, LAKE CITY, FL 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 14 day of February, 2018, by **LYNDA R. CAULEY and TERESA P. BRANNON**, who are personally known to me or who have produced Driver's License as identification.




Signature of Notary
Printed Name: Marla M. Landin
My commission expires: 9/16/18