

DATE 03/11/2005

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000022903

APPLICANT WENDY GRENNELL PHONE 688-2739  
ADDRESS 12788 US HIGHWAY 90W LIVE OAK FL 688-2739  
OWNER JOSEPH MAUPIN PHONE 454-2621  
ADDRESS 335 SE HOPPERGRASS GLEN HIGH SPRINGS FL  
CONTRACTOR JACKIE GIBBS PHONE 755-2349  
LOCATION OF PROPERTY 441S, TL ON HOPPERGRASS GLEN, 3/10 MILE ON LEFT

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION .00  
HEATED FLOOR AREA TOTAL AREA HEIGHT .00 STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING A-3 MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-7S-17-09979-001 SUBDIVISION  
LOT BLOCK PHASE UNIT TOTAL ACRES 1.00

IH0000214  
Culvert Permit No. Culvert Waiver Contractor's License Number X Wendy Grennell Applicant/Owner/Contractor  
EXISTING 05-0181-E BK HD N  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 3436

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by  
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by  
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by  
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by  
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by  
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by  
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by  
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ .00 CERTIFICATION FEE \$ .00 SURCHARGE FEE \$ .00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ WASTE FEE \$  
FLOOD ZONE DEVELOPMENT FEE \$ CULVERT FEE \$ TOTAL FEE 250.00

INSPECTORS OFFICE Marked CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



5436

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

|                                                                                                 |                                                                           |                                                         |                                       |
|-------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|---------------------------------------------------------|---------------------------------------|
| <b>For Office Use Only</b>                                                                      |                                                                           | Zoning Official <u>BLK 08.03.05</u>                     | Building Official <u>HD 3-10-05</u>   |
| AP# <u>0502-70</u>                                                                              | Date Received <u>7/25/05</u>                                              | By <u>JW</u>                                            | Permit # <u>22903</u>                 |
| Flood Zone <u>X</u>                                                                             | Development Permit <u>N/A</u>                                             | Zoning <u>A-3</u>                                       | Land Use Plan Map Category <u>A-3</u> |
| Comments <u><del>Revised</del></u> <u>What wind zone is m/a?</u><br><u>What is Pier Spacing</u> |                                                                           |                                                         |                                       |
| FEMA Map # _____                                                                                | Elevation _____                                                           | Finished Floor _____                                    | River _____ In Floodway _____         |
| <input checked="" type="checkbox"/> Site Plan with Setbacks shown                               | <input checked="" type="checkbox"/> Environmental Health Signed Site Plan | <input checked="" type="checkbox"/> Env. Health Release |                                       |
| <input checked="" type="checkbox"/> Well letter provided                                        | <input type="checkbox"/> Existing Well                                    | Revised 9-23-04                                         |                                       |

- Property ID 10-75-17-09979-001 Must have a copy of the property deed
- New Mobile Home \_\_\_\_\_ Used Mobile Home ☒ Year 1973
- Subdivision Information \_\_\_\_\_
- Applicant Wendy Grennell Phone # 386-688-2739
- Address 12788 US Hwy 90 West Pine Oak FL, 32060
- Name of Property Owner Joseph + Beatrice Maupin Phone # 454-2621
- 911 Address 335 SE Hoppergrass Glen High Springs,
- Circle the correct power company - FL Power & Light - Clay Electric  
(Circle One) - Suwannee Valley Electric - Progressive Energy
- Name of Owner of Mobile Home Joseph Maupin Phone # 454-2621
- Address 21705 S US Hwy 441 High Springs, 32643
- Relationship to Property Owner Same
- Current Number of Dwellings on Property 1
- Lot Size 9 acres Total Acreage \_\_\_\_\_
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver Permit
- Driving Directions 441 South 3 miles past Oleno to  
Hoppergrass Glen turn left, drive 3/10 of mile  
on left
- Is this Mobile Home Replacing an Existing Mobile Home YES (Assessments pd)
- Name of Licensed Dealer/Installer Jackie Gibbs Phone # 386-785-2349
- Installers Address 1664 SW Sebastian Cir Lake City FL
- License Number IH0000214 Installation Decal # 229496



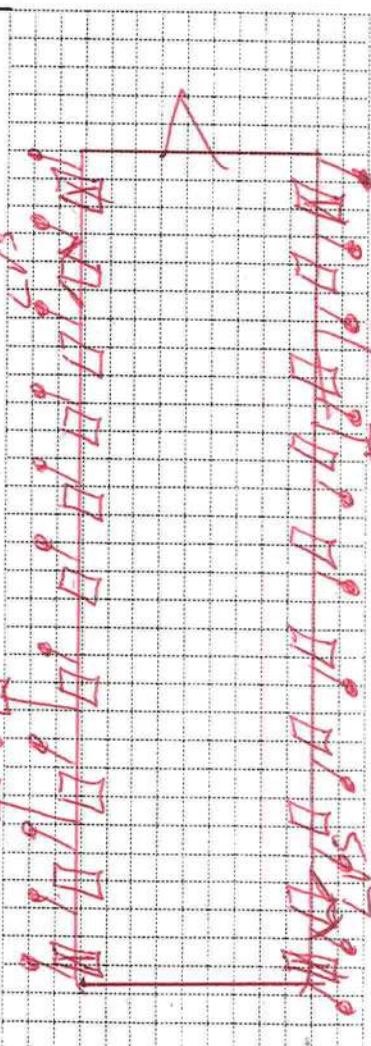
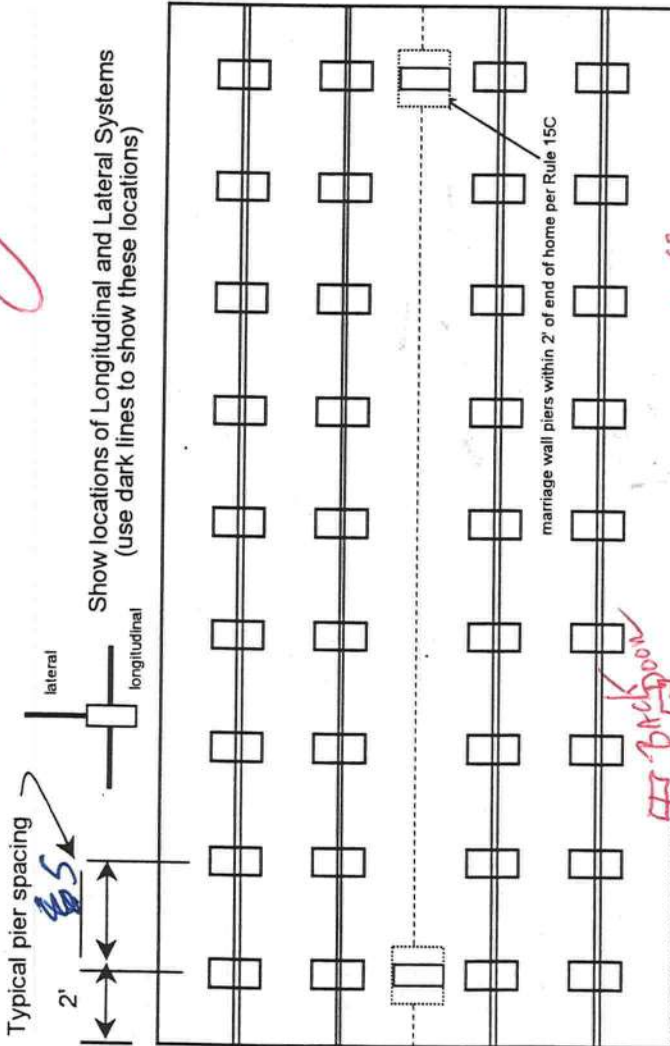
PERMIT NUMBER

Installer Jackie Gibbs License # TH000214  
Address of home being installed 335 SE Hoppergrass Glen  
High Spring FL  
Manufacturer Sheridan Length x width 14x36

NOTE: if home is a single wide fill out one half of the blocking plan  
if home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.

Installer's initials JLG



New Home ☐ Used Home ☒  
Home installed to the Manufacturer's Installation Manual ☐  
Home is installed in accordance with Rule 15-C ☒  
Single wide ☒ Wind Zone II ☒ Wind Zone III ☐  
Double wide ☐ Installation Decal # 229496  
Triple/Quad ☐ Serial # 8764

PIER SPACING TABLE FOR USED HOMES

| Load bearing capacity | Footer size (sq in) | 16" x 16" (256) | 18 1/2" x 18 1/2" (342) | 20" x 20" (400) | 22" x 22" (484)* | 24" X 24" (576)* | 26" x 26" (676) |
|-----------------------|---------------------|-----------------|-------------------------|-----------------|------------------|------------------|-----------------|
| 1000 psf              | 3'                  | 3'              | 4'                      | 5'              | 6'               | 7'               | 8'              |
| 1500 psf              | 4'6"                | 4'6"            | 6'                      | 7'              | 8'               | 8'               | 8'              |
| 2000 psf              | 6'                  | 6'              | 8'                      | 8'              | 8'               | 8'               | 8'              |
| 2500 psf              | 7'6"                | 7'6"            | 8'                      | 8'              | 8'               | 8'               | 8'              |
| 3000 psf              | 8'                  | 8'              | 8'                      | 8'              | 8'               | 8'               | 8'              |
| 3500 psf              | 8'                  | 8'              | 8'                      | 8'              | 8'               | 8'               | 8'              |

\* Interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x22  
Perimeter pier pad size 16x16  
Other pier pad sizes (required by the mfg.) \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

4 ft 5 ft

FRAME TIES

within 2' of end of home spaced at 5' 4" oc 12 per side

TIEDOWN COMPONENTS

OTHER TIES

Number 3 per side  
Sidewall  
Longitudinal  
Marriage wall  
Shearwall

Longitudinal Stabilizing Device (LSD)  
Manufacturer Officer Tech  
Longitudinal Stabilizing Device w/ Lateral Arms  
Manufacturer \_\_\_\_\_

POPULAR PAD SIZES

| Pad Size          | Sq In |
|-------------------|-------|
| 16 x 16           | 256   |
| 16 x 18           | 288   |
| 18.5 x 18.5       | 342   |
| 16 x 22.5         | 360   |
| 17 x 22           | 374   |
| 13 1/4 x 26 1/4   | 348   |
| 20 x 20           | 400   |
| 17 3/16 x 25 3/16 | 441   |
| 17 1/2 x 25 1/2   | 446   |
| 24 x 24           | 576   |
| 26 x 26           | 676   |

ANCHORS



POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 psf or check here to declare 1000 lb. soil without testing.

X 1500 X 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1500 X 1500

TORQUE PROBE TEST

The results of the torque probe test is 280 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

**Note:** A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Date Tested

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

Site Preparation

Debris and organic material removed ☒  
Water drainage: Natural ☒ Swale ☐ Pad ☐ Other ☐

Fastening multi wide units

Floor: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
Walls: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
Roof: Type Fastener: \_\_\_\_\_ Length: \_\_\_\_\_ Spacing: \_\_\_\_\_  
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials JVA.

Type gasket Pg. \_\_\_\_\_  
Installed: Between Floors Yes \_\_\_\_\_  
Between Walls Yes \_\_\_\_\_  
Bottom of ridgebeam Yes \_\_\_\_\_

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes ☒ Pg. \_\_\_\_\_  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes \_\_\_\_\_ No \_\_\_\_\_  
Dryer vent installed outside of skirting. Yes \_\_\_\_\_ N/A \_\_\_\_\_  
Range downflow vent installed outside of skirting. Yes \_\_\_\_\_ N/A \_\_\_\_\_  
Drain lines supported at 4 foot intervals. Yes \_\_\_\_\_  
Electrical crossovers protected. Yes \_\_\_\_\_  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Jackie Smith

Date 7/24/05

## MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License:

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150.

I, Jackie Gibbs, license number IH 0000214  
Please Print  
do hereby state that the installation of the manufactured home for Joseph +  
Beautrice Maupin at 335 SE Hoppergrass Glen  
Applicant  
911 Address  
will be done under my supervision.

Jackie Gibbs  
Signature

Sworn to and subscribed before me this 23 day of February,  
2005.

Notary Public: Sherry Jean Dykes  
Signature

My Commission Expires: \_\_\_\_\_  
Date

SHERRY JEAN DYKES  
Notary Public, State of Florida  
My comm. exp. Feb. 21, 2006  
Comm. No. DD 094417





STATE OF FLORIDA  
DEPARTMENT OF HEALTH

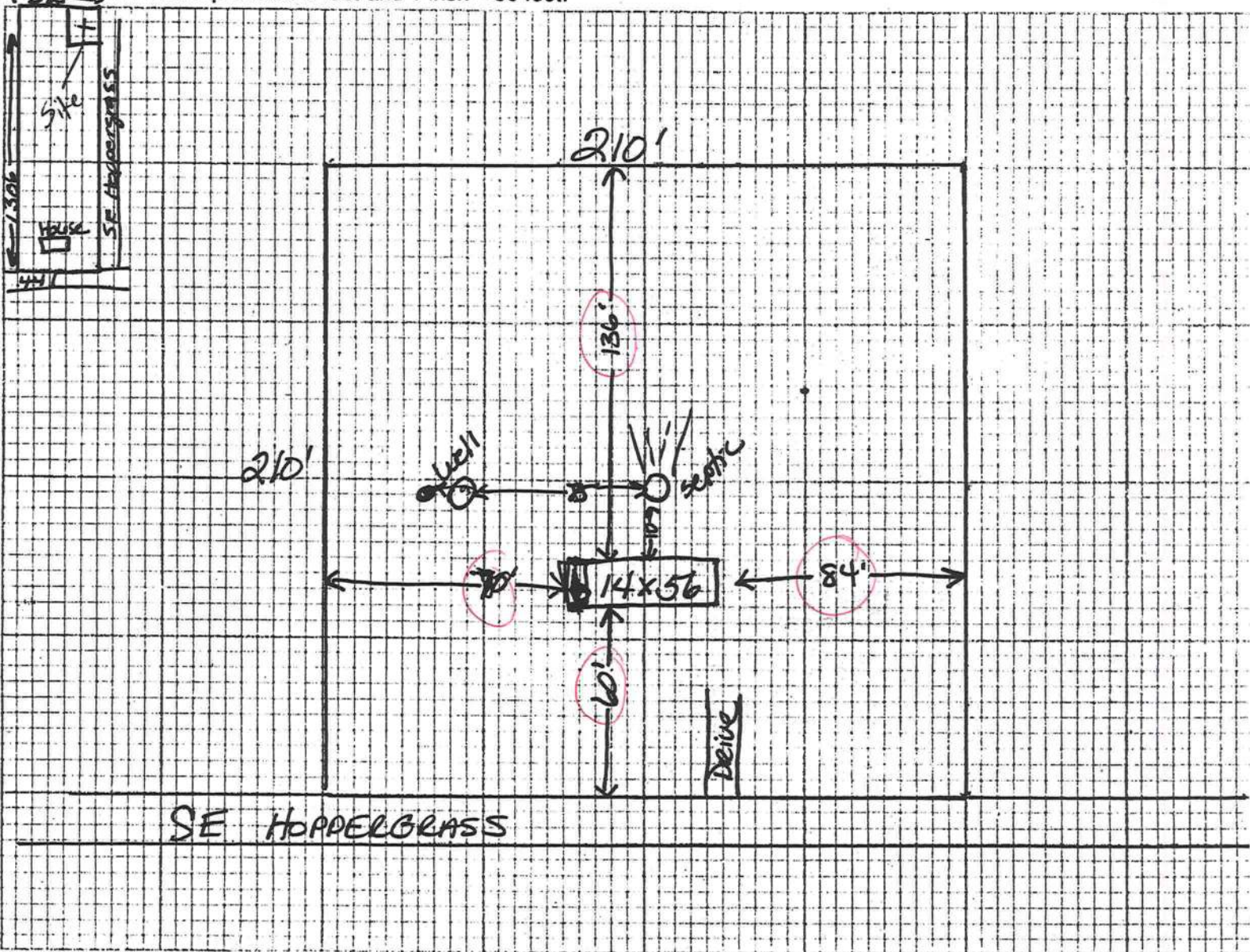
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 05-0181

*Mausin*

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: 1 acre out of 9

Site Plan submitted by: Wendy Gurnell Signature  
Plan Approved ☒ Not Approved ☐  
By M. J. M. Columbia County Health Department  
Agent Title  
Date 2-23-05

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



## Consents for Permit Application

I Joseph Maupin, authorize Wendy Grennell to act on my behalf while applying for the permits required to move a Mobile Home on the property described below. I further grant permission to Jackie Gibbs Mobile Home Installer license # TH000214 to place the described Mobile Home on the property located in Columbia County.

Property Owner Joseph & Beatrie Maupin

Sec 10 Twp. 7S Rge. 17 Tax Parcel# 09979-001

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_

Model \_\_\_\_\_ Year 73 Manufacturer Sheridan

Length 56 Width 14 SN# 8764 Model# \_\_\_\_\_

I understand that this could result in an assessment for solid waste and fire protection services levied on this property.

Dated this 24 day of February, 2008

Witness Wendy Grennell Owner Beatrie Maupin

Witness Wendy Grennell Owner Joseph e maupin

Sworn to and described before me this 24 day of February, 2008

By Beatrie & Joseph Maupin Brenda H Carroll  
Property Owner's Name Notary's name



Brenda H. Carroll  
MY COMMISSION # DD073628 EXPIRES  
November 20, 2005  
BONDED THRU TROY FAIR INSURANCE, INC.

STATE OF FLORIDA)

MORTGAGE SATISFACTION

COUNTY OF ALACHUA)

EX 0098-000524

Loan No: 8402-37349691

KNOW ALL MEN BY THESE PRESENTS, that Farm Credit of North Florida, ACA hereby acknowledges full satisfaction of the indebtedness secured by the following mortgage(s), and authorizes the Clerk(s) of the Circuit Court for the county(ies) in which the mortgage(s) is recorded to cancel said mortgage(s) of record:

From Joseph C. Maupin and his wife, Beatrice Maupin, to Farm Credit of North Florida, ACA, dated April 19, 1985 securing ---Sixty Five Thousand & 00/100--- (\$65,000.00) recorded in O.R. Book 562, P. 0006 in public records of Columbia County, Florida:

IN WITNESS WHEREOF, Farm Credit of North Florida, ACA has caused these presents to be signed and its corporate seal to be hereto affixed by its proper officers thereunto first duly authorized, this the 17 day of February, 2000.

Signed, sealed and delivered  
in the presence of:

Farm Credit of North Florida, ACA

Linda M. Bryan  
Linda M. Bryan

Cheryl A. Price  
Cheryl A. Price

BY: James W. Clouse  
James W. Clouse  
Executive Vice President

STATE OF FLORIDA  
COUNTY OF ALACHUA

THIS INSTRUMENT WAS PREPARED BY  
B. CHARLES THOMPSON, P. O. DRAWER #  
LIVE OAK, FL 32060

The foregoing instrument was acknowledged before me this 17 day of February, 2000, by James W. Clouse, the Executive Vice President of Farm Credit of North Florida, ACA, a United States Corporation, on behalf of the corporation.

Such person did not take an oath and is personally known to me.

(Notary Seal must be affixed)

Cheryl A. Price  
Signature of Notary



CHERYL A PRICE  
NOTARY PUBLIC STATE OF FLORIDA  
COMMISSION NO. CC640720  
MY COMMISSION EXP. MAY 7, 2001

Cheryl A. Price  
Name of Notary Typed, Printed or Stamped

Commission Number: CC640720

My Commission Expires: May 7, 2001

RETURN TO: Farm Credit of North Florida, ACA  
P.O. Drawer P  
Live Oak, FL 32060

L-118 (FL) (Revised 12-91)

00-03894

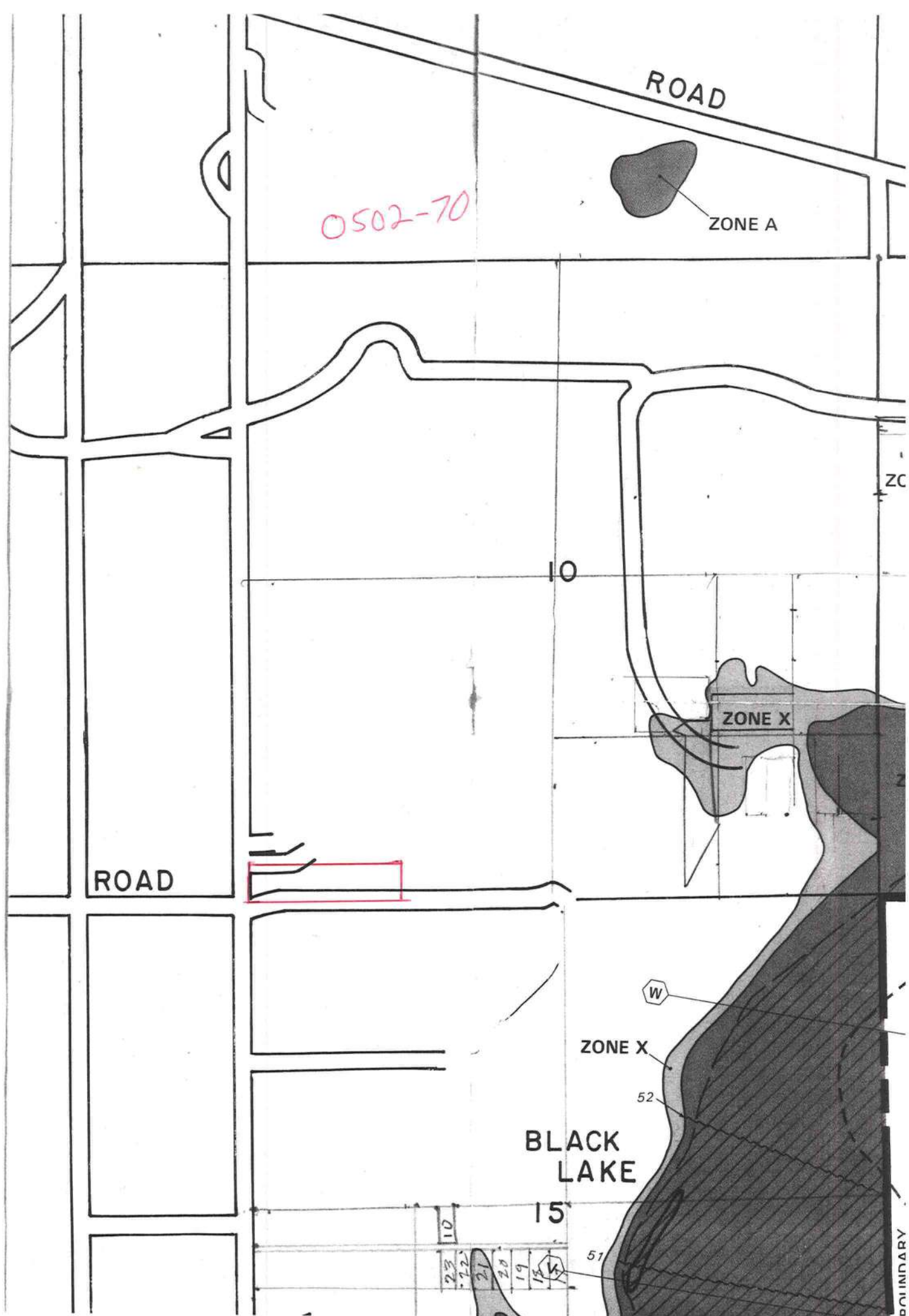
FILED AND RECORDED IN PUBLIC  
RECORDS OF COLUMBIA COUNTY, FL

00 MAR -3 PM 12:10

RECORD VERIFIED

*YMK*





DEPARTMENT OF  
**CODE ENFORCEMENT**  
COLUMBIA COUNTY, FLORIDA

**PRELIMINARY MOBILE HOME INSPECTION REPORT**

DATE RECEIVED 4/25/05 BY JW

IS THE M/H ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? YES

OWNERS NAME JOE & BEATRICE MAUGHN PHONE 454-2624 CELL \_\_\_\_\_

911 ADDRESS 33555 HOPKINSS GLEN, High Spring

MOBILE HOME PARK \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

DRIVING DIRECTIONS TO MOBILE HOME 4415 3 miles past OLEND  
to Hopkiness Glen, FL Drive 3/10 of 7 mile on L

CONTRACTOR JAEL P GIBBS PHONE 755-2349 CELL \_\_\_\_\_

**MOBILE HOME INFORMATION**

MAKE SABERIAN YEAR 1973 SIZE 14 X 56

COLOR white/light blue SERIAL No. 8764

WIND ZONE # SMOKE DETECTOR YES

INTERIOR:  
FLOORS /

DOORS /

WALLS /

CABINETS /

ELECTRICAL (FIXTURES/OUTLETS) /

EXTERIOR:  
WALLS / SIDING /

WINDOWS /

DOORS /

STATUS:  
APPROVED / WITH CONDITIONS: \_\_\_\_\_

NOT APPROVED \_\_\_\_\_ NEED REINSPECTION \_\_\_\_\_

INSPECTOR SIGNATURE Dan A NUMBER 306