

DATE 05/04/2006

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000024462

APPLICANT VICKEY VANNOY PHONE 623-9203  
ADDRESS 142 NW KELLY LANE WHITE SPRINGS FL 32096  
OWNER JAES & VICKEY VANNOY PHONE 623-9203  
ADDRESS 202 NW KELLY LANE LAKE CITY FL 32025  
CONTRACTOR DALE HOUSTON PHONE 752-7814  
LOCATION OF PROPERTY SR100, TR ON PRICE CREEK, TR ON SHARON LANE, TL ON BONNIE,  
TR ON BENNIE, TL ON CHEDDAR COURT, 3RD LOT ON RIGHT

TYPE DEVELOPMENT MH,UTILITY ESTIMATED COST OF CONSTRUCTION 0.00  
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES  
FOUNDATION WALLS ROOF PITCH FLOOR  
LAND USE & ZONING RR MAX. HEIGHT  
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00  
NO. EX.D.U. 0 FLOOD ZONE X PP DEVELOPMENT PERMIT NO.

PARCEL ID 15-4S-17-08355-402 SUBDIVISION EAGLES RIDGE  
LOT 2 BLOCK PHASE UNIT TOTAL ACRES 1.00

IH0000040  
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor  
EXISTING 06-0395-N BK JH Y  
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 1522

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power 04/03/2006 HD Foundation Monolithic  
date/app. by date/app. by date/app. by  
Under slab rough-in plumbing Slab Sheathing/Nailing  
date/app. by date/app. by date/app. by  
Framing Rough-in plumbing above slab and below wood floor  
date/app. by date/app. by  
Electrical rough-in Heat & Air Duct Peri. beam (Lintel)  
date/app. by date/app. by date/app. by  
Permanent power C.O. Final Culvert  
date/app. by date/app. by date/app. by  
M/H tie downs, blocking, electricity and plumbing Pool  
date/app. by date/app. by  
Reconnection Pump pole Utility Pole  
date/app. by date/app. by date/app. by  
M/H Pole Travel Trailer Re-roof  
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00  
MISC. FEES \$ 200.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 29.60 WASTE FEE \$ 61.25  
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 365.85

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

**For Office Use Only** (Revised 6-23-05) Zoning Official BLK0305-06 Building Official OK 5-1-06  
 AP# 0604-57 Date Received 4/20/06 By G Permit # 24462  
 Flood Zone X Development Permit N/A Zoning RR Land Use Plan Map Category RES. U.L. Dev.  
 Comments Need FACTORY SETUP

FEMA Map# \_\_\_\_\_ Elevation \_\_\_\_\_ Finished Floor \_\_\_\_\_ River \_\_\_\_\_ In Floodway \_\_\_\_\_  
☒ Site Plan with Setbacks Shown ☒ EH Signed Site Plan ☐ EH Release ☐ Well letter ☒ Existing well  
☒ Copy of Recorded Deed or Affidavit from land owner ☒ Letter of Authorization from Installer

- Property ID # 15-48-17-08355-402 Eagles Ridge, Lot 2 Must have a copy of the property deed
- New Mobile Home ☒ Used Mobile Home \_\_\_\_\_ Year \_\_\_\_\_
- Applicant James + Vickie Hannon Phone # 623-9203
- Address 142 NW Kelly Lane, RR White Springs, 32096
- Name of Property Owner Same Phone# \_\_\_\_\_
- 911 Address 202 SE Cheddar Ct. L.C. 32025
- Circle the correct power company - FL Power & Light - Clay Electric  
 (Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Same Phone # \_\_\_\_\_  
 Address \_\_\_\_\_
- Relationship to Property Owner N/A
- Current Number of Dwellings on Property 0
- Lot Size \_\_\_\_\_ Total Acreage 1
- Do you : Have an Existing Drive or need a Culvert Permit or a Culvert Waiver (Circle one)
- Is this Mobile Home Replacing an Existing Mobile Home NO
- Driving Directions to the Property SR100, TR on Price Creek, TR on Sharon Lane, TL on Bonnie, TR Bennie, TL on Cheddar Court, 3rd lot on right
- Name of Licensed Dealer/Installer Dale Houston Phone # 752-7814
- Installers Address 136 SW Batis Glen Lake City, FL 32024
- License Number TH 0000040 Installation Decal # 269198

This Instrument Prepared by & return to:  
Name: **Brenda Styons, an employee of  
TITLE OFFICES, LLC**  
Address: **1089 SW MAIN BLVD.  
LAKE CITY, FLORIDA 32025  
File No. 06Y-03108BS**

Parcel I.D. #: 08355-402

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**THIS WARRANTY DEED** Made the 5th day of April, A.D. 2006, by

**PATRICIA ANN DICKS and HARRY G. DICKS, her husband,, hereinafter called the grantors, to**

**JAMES M. VANNOY and VICKEY VANNOY, his wife, whose post office address is**

**142 NW KELLY LANE, WHITE SPRINGS, FLORIDA 32096**

**hereinafter called the grantees:**

*(Wherever used herein the terms "grantors" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)*

**Witnesseth: That the grantors, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, do hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of Florida, viz:**

**Lot 2, EAGLES RIDGE, Phase 1, according to the map or plat thereof as recorded in Plat Book 7, Page 170-171, of the Public Records of Columbia County, Florida.**

**Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.**

**To Have and to Hold the same in fee simple forever.**

**And the grantors hereby covenant with said grantees that they are lawfully seized of said land in fee simple; that they have good right and lawful authority to sell and convey said land, and hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2006.**

**In Witness Whereof, the said grantors have signed and sealed these presents, the day and year first above written.**

Signed, sealed and delivered in the presence of:



Witness Signature



Printed Name



Witness Signature

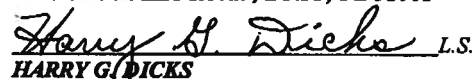
**Brenda Styons**

Printed Name

 L.S.  
**PATRICIA ANN DICKS**

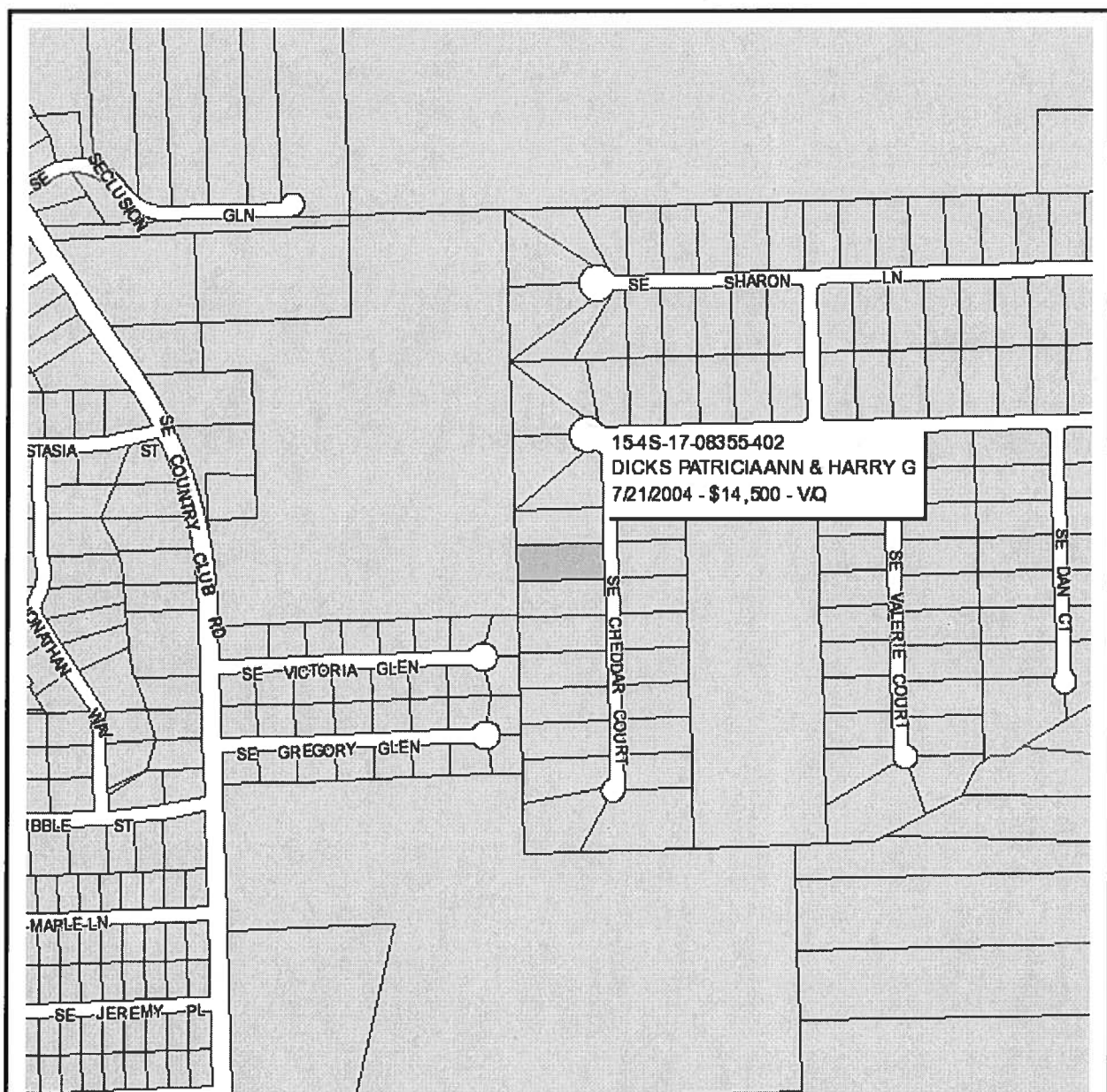
Address:

**1676 SE FAMILY ROAD, LULU, FL 32061**

 L.S.  
**HARRY G. DICKS**

Address:

**1676 SE FAMILY ROAD, LULU, FL 32061**



### Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

**PARCEL: 15-4S-17-08355-402 - VACANT (000000)**

LOT 2 EAGLES RIDGE S/D PHASE 1. WD 1035-1206.

|       |                              |         |             |
|-------|------------------------------|---------|-------------|
| Name: | DICKS PATRICIA ANN & HARRY G | LandVal | \$16,500.00 |
| Site: |                              | BldgVal | \$0.00      |
| Mail: | 1676 SE FAMILY RD            | ApprVal | \$16,500.00 |
|       | LULU, FL 32061               | JustVal | \$16,500.00 |
| Sales | 7/21/2004 \$14,500.00 V / Q  | Assd    | \$16,500.00 |
| Info  |                              | Exmpt   | \$0.00      |
|       |                              | Taxable | \$16,500.00 |

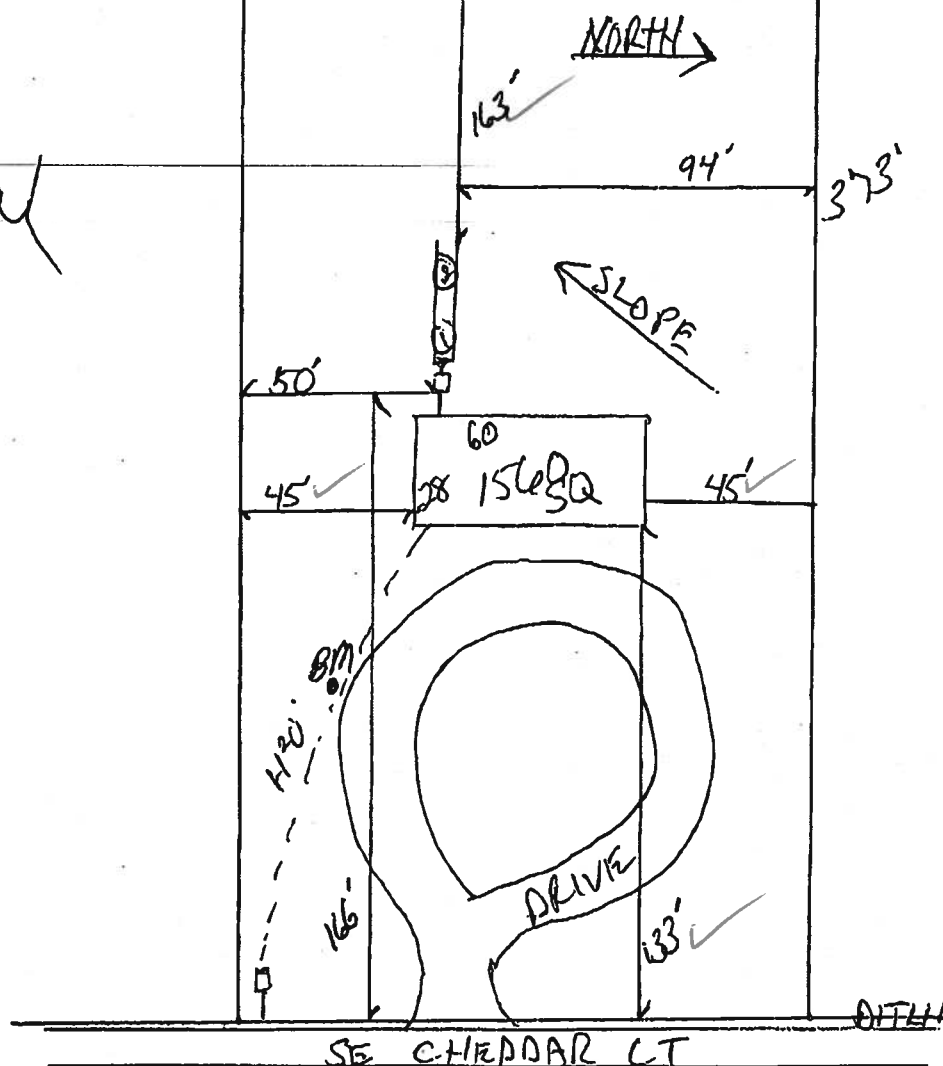
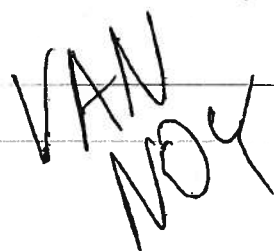
0 0.05 0.1 0.15 mi



This information, GIS Map Updated: 4/6/2006, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

## Permit Application Number \_\_\_\_\_

**Scale: 1 inch = 50 feet.**



**Notes:**

Site Plan submitted by: Rocky D /

**MASTER CONTRACTOR**

Plan Approved \_\_\_\_\_ Not Approved \_\_\_\_\_

Date \_\_\_\_\_

By \_\_\_\_\_ County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

SYSADM.RPT

0

| PARCEL_I  | ADDRESS           | NEWCITY   | NE NEWZI |
|-----------|-------------------|-----------|----------|
| 08355-402 | 202 SE CHEDDAR CT | LAKE CITY | FL 32025 |

1 records selected.

  
COLUMBIA COUNTY  
9-1-1 ADDRESSING  
APPROVED



# PERMIT WORKSHEET

page 1 of 2

## PERMIT NUMBER

Installer

License #

Date 5/28/24 TH0000000

Address of home being installed

Manufacturer

Seet Blt

Length x width

6'6" x 28'

### NOTE:

If home is a single wide fill out one half of the blocking plan. If home is a triple or quad wide sketch in remainder of home.

I understand Lateral Arm Systems cannot be used on any home (new or used) where the sidewall ties exceed 5 ft 4 in.

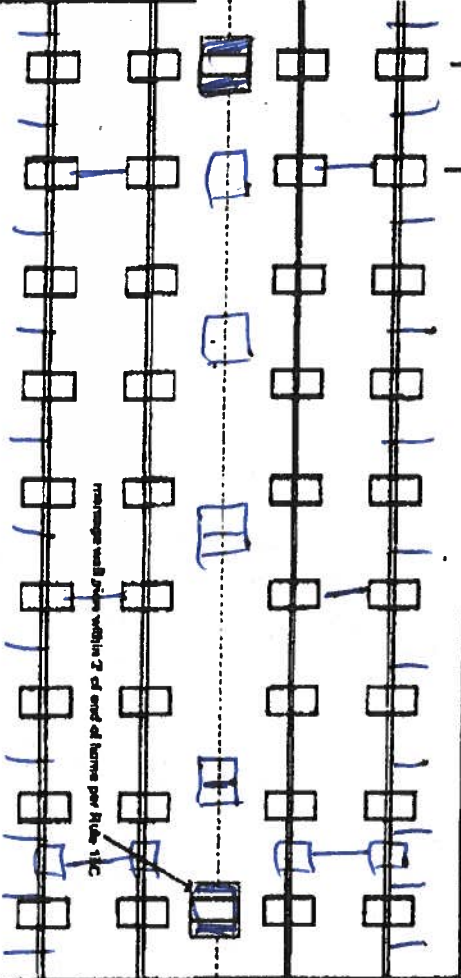
Installer's initials

TH

Typical pier spacing



Show locations of Longitudinal and Lateral Systems (use dark lines to show these locations)



28' x 28' - 100' x 28' 2' x 3' x 3'  
Dier 110' x 28' - 6' x 6' x 6'  
Anderson 110' x 28' - 5' x 6' x 6'  
6' Longitudinal System

New Home



Used Home



Home installed to the Manufacturer's Installation Manual



Home is installed in accordance with Rule 15-C



Single wide



Wind Zone II



Wind Zone III



Double wide



Installation Decal #

269198

Triple/Quad



Serial #

## PIER SPACING TABLE FOR USED HOMES

| Load bearing capacity (sq ft) | Factor (255) | 16' x 16' (342) | 18' x 16' (400) | 20' x 20' (484) | 22' x 22' (576) | 24' x 24' (676) |
|-------------------------------|--------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| 1000 psf                      | 3'           | 4'              | 5'              | 6'              | 7'              | 8'              |
| 1500 psf                      | 4'           | 5'              | 6'              | 7'              | 8'              | 9'              |
| 2000 psf                      | 5'           | 6'              | 7'              | 8'              | 9'              | 10'             |
| 2500 psf                      | 6'           | 7'              | 8'              | 9'              | 10'             | 11'             |
| 3000 psf                      | 7'           | 8'              | 9'              | 10'             | 11'             | 12'             |
| 3500 psf                      | 8'           | 9'              | 10'             | 11'             | 12'             | 13'             |

Interpolated from Rule 15-C.1 pier spacing table.

### PIER PAD SIZES

I-beam pier pad size

2' x 3' x 3'

Perimeter pier pad size

1'6" x 1'6"

Other pier pad sizes (required by the mfg.)

Draw the approximate locations of marriage wall openings 4 foot or greater. Use the symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening

Pier pad size

See Diagram

### THE DOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)  
Manufacturer  
Longitudinal Stabilizing Device w/ Lateral Arms  
Manufacturer

### OTHER TIES

Sidewall  
Longitudinal  
Marriage wall  
Shearwall

Olive Feedings & Co

PERMIT NUMBER

PERMIT WORKSHEET

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psi or check here to declare 1000 lb. soil \_\_\_\_\_ without testing.

X \_\_\_\_\_ X \_\_\_\_\_

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 8 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb increments, take the lowest reading and round down to that increment.

X \_\_\_\_\_ X \_\_\_\_\_ X \_\_\_\_\_

TORQUE PROBE TEST

The results of the torque probe test is \_\_\_\_\_ inch pounds or check here if you are declaring 5' anchors without testing \_\_\_\_\_ A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all cantilever the points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Joe Housh

Date Tested

4/15/01

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

Plumbing

Connect all sewer drains to an existing sewer lap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water lap, or other independent water supply systems. Pg. \_\_\_\_\_

Site Preparation

Debris and organic material removed ☒ Swales ☐ Pad ☐ Other ☐

Water drainage: Natural ☐

Fastening multi-wide units

Floor: Type Fastener: AS Length: \_\_\_\_\_ Spacing: Max 24"  
Walls: Type Fastener: AS Length: \_\_\_\_\_ Spacing: 12"  
Roof: Type Fastener: AS Length: \_\_\_\_\_ Spacing: Max 24"

For used homes a min. 30 gauge, 6" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the cantilever.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

JDH

Type gasket foam

Installed:

Between Floors Yes ☒  
Between Walls Yes ☒  
Bottom of ridgebeam Yes ☒

Weatherproofing

The boilerboard will be repaired and/or lapped. Yes ☒ Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes ☒  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

Miscellaneous

Skirting to be installed. Yes ☒ No ☐  
Dryer vent installed outside of skirting. Yes ☒ N/A  
Range downflow vent installed outside of skirting. Yes ☒ N/A  
Drain lines supported at 4 foot intervals. Yes ☒  
Electrical crossovers protected. Yes ☒  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the

manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature Joe Housh

Date 4/15/01



Assignment of Authority

I, Dale Houston, A licensed installer, Installer # IH0000040, authorize customer James or Nicky Vannoy to be my representative, and to act on my behalf in all aspects of applying for permits. For Model # Scotb14 Serial#                     

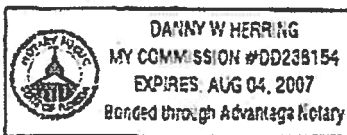
Dale Houston  
Dale Houston

4/12/06  
Date

Sworn and subscribed before me on this 12th Day of April 2006. Dale

Danny W. Herring  
Notary Public

My Commission Expires:



TOTAL P.02

# ROYALS HOME SALES, INC.

4068 WEST US HWY 90  
LAKE CITY, FL. 32055  
(386)754-6737 Fax (386)758-7764

## FAX COVER SHEET

TO: Joe

FROM: \_\_\_\_\_

DATE: 4/27/06

NUMBER OF PAGES(with cover): \_\_\_\_\_

MESSAGE: This is set up info from  
Scotbilt manual

Thanks

## Chapter 3 - Foundation

### 3a) Foreword

One of the most important parts of a Mobile Home setup is the foundation. In areas where the soil is subject to freezing and thawing, the foundation must be designed in compliance with local building rules; therefore, always check local building codes for footing depth, block sizes, etc...

Your dealer can also help in recommending the proper anchoring system to be used and also assist you in obtaining qualified personnel to install your anchoring system in a professional method.

### 3b) Footings

If your local building official has no requirement for footing thickness in your area, then a minimum thickness of 4" should be used. The footing should extend below the "frost line" in climates where soil is subject to freezing and thawing movements. (See figure 3.1)

Provided in this manual are tables to aid in footer size and pier specifications. (Table 3.2, 3.3, & 3.4).

### 3c) Pier Blocking

Pier blocking is required at each end of all exterior doors. (See Figure 3.5 for typical pier blocking system.) See drawings at the end of this chapter for pier blocking specifications on anything other than standard construction (examples: angle bay window, cottage box bay, etc...).

### 3d) Blocking of Shearwall and Marriage Wall Tiedowns

Shearwall anchors are identified at sidewall locations with orange or green paint. Pier

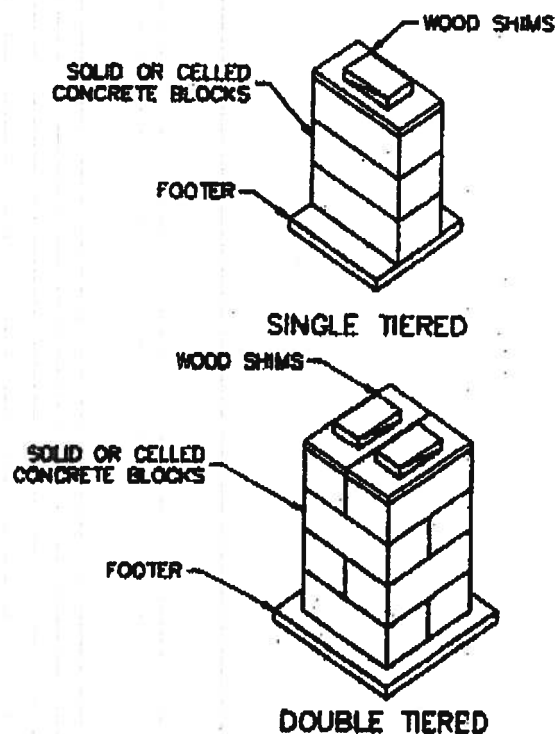
blocking is required within 24" of all shearwall tiedown straps.

In some instances, there are also shearwall tiedown anchors located at various spans along the marriage line of the home.

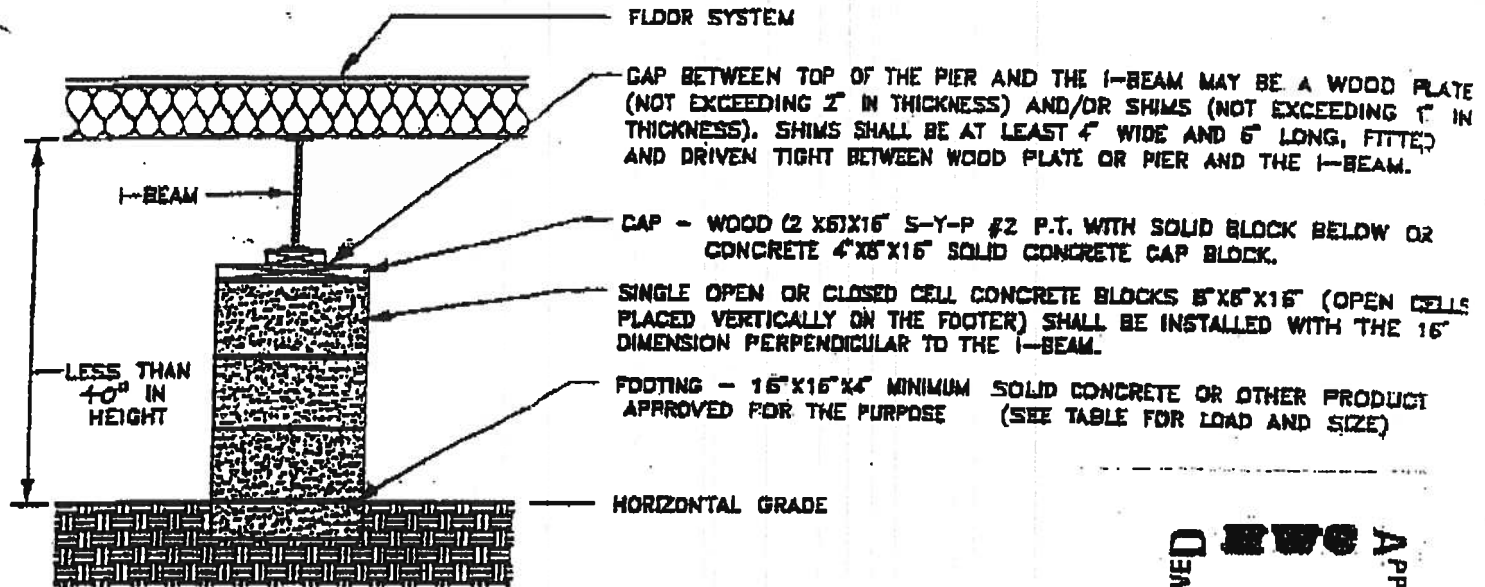
### 3e) Removal of organic material

Remove all decayable material such as grass, roots, and wood scraps from beneath the home, especially in areas where footings are to be placed, to minimize settling of footings and insect damage. Remove shrubs and overhanging branches from the immediate vicinity of the homesite to prevent windstorm damage.

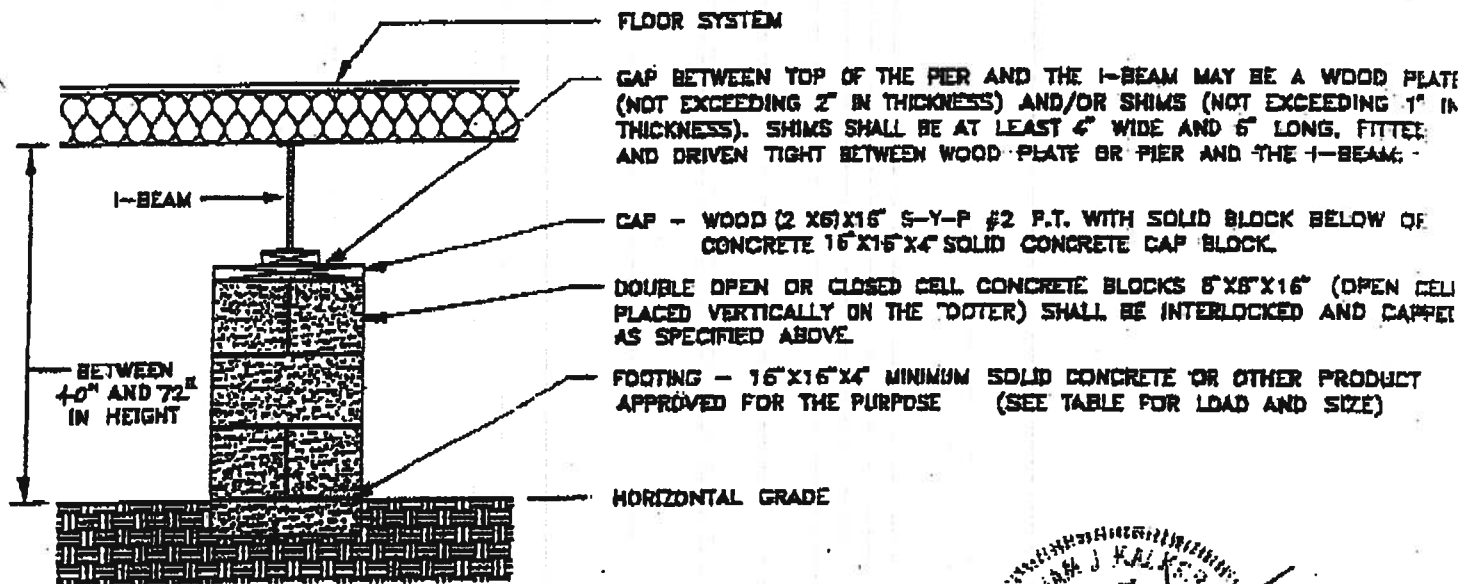
Figure 3.1 –  
Typical Footing



SLU-8

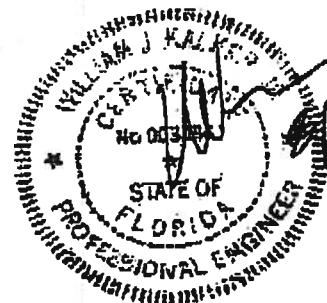


APPROVED **WWE** APPROVED  
 AUG 11 2004  
 Federal Manufacture  
 Home Commission  
 And Safety Council

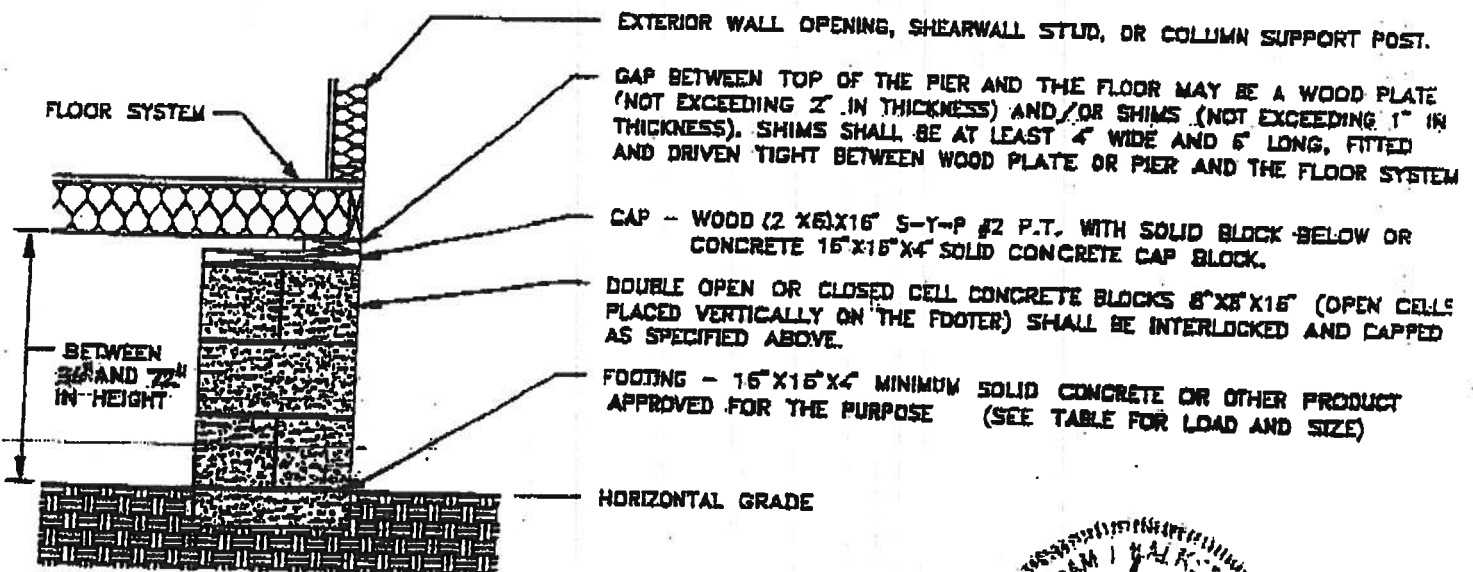
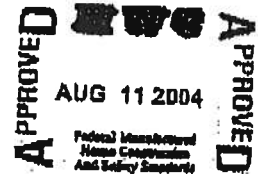
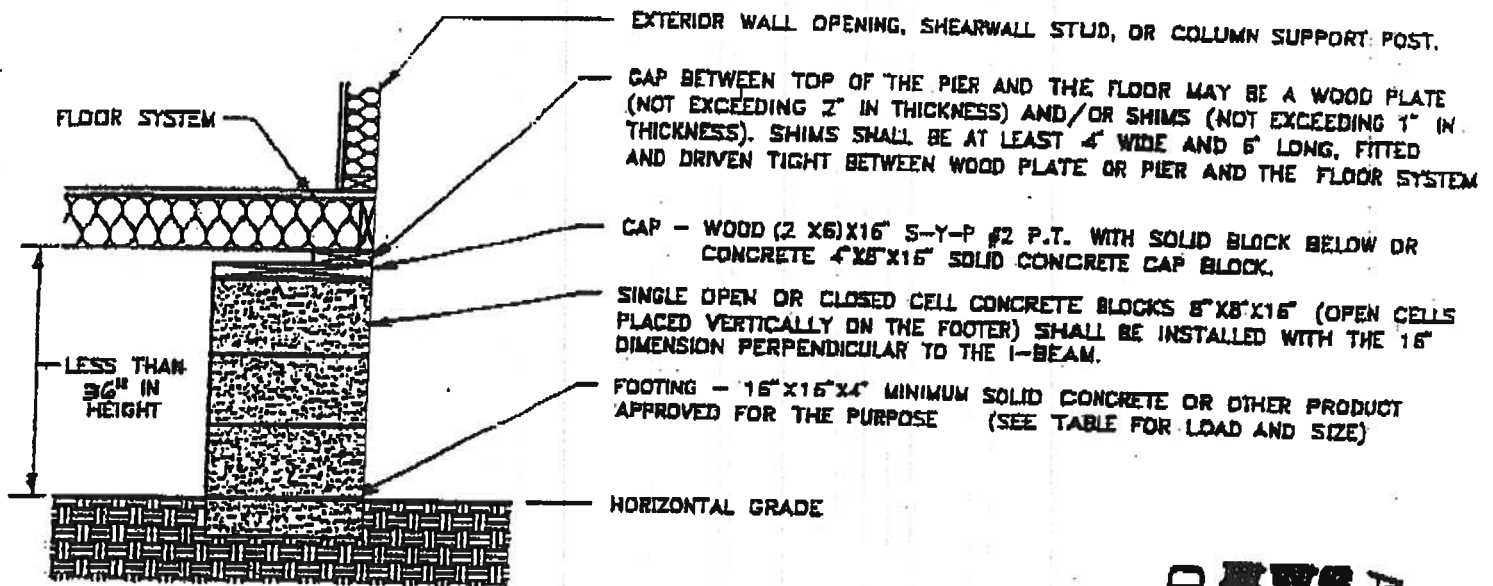


NOTE: FOOTINGS TO BE PLACED ON FIRM UNDISTURBED STABLE SOIL WITH ALL ORGANIC MATERIAL REMOVED, WITH THE BOTTOM OF THE FOOTING LOCATED BOTH A MINIMUM OF 12 INCHES BELOW GRADE AND BELOW THE FROST DEPTH IN THE AREA THE BUILDING IS LOCATED.

NOTE: PIERS SPECIFIED ABOVE ARE TO BE DRY STACKED EXCEPT WHEN THE PIER HEIGHT ABOVE THE FOOTING EXCEEDS 48" THE BLOCKS MUST BE PLACED IN TYPE 5 MORTAR. ALL CONCRETE BLOCKS MUST COMPLY WITH ASTM C-90 OR C-145.

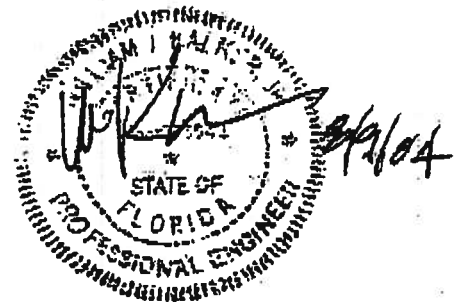


SLOTBLT  
 SU-8A



NOTE: FOOTINGS TO BE PLACED ON FIRM UNDISTURBED STABLE SOIL WITH ALL ORGANIC MATERIAL REMOVED, WITH THE BOTTOM OF THE FOOTING LOCATED BOTH A MINIMUM OF 12 INCHES BELOW GRADE AND BELOW THE FROST DEPTH IN THE AREA THE BUILDING IS LOCATED.

NOTE: PIERS SPECIFIED ABOVE ARE TO BE DRY STACKED EXCEPT WHEN THE PIER HEIGHT ABOVE THE FOOTING EXCEEDS 48" THE BLOCKS MUST BE PLACED IN TYPE S MORTAR. ALL CONCRETE BLOCKS MUST COMPLY WITH ASTM C-90 OR C-245.



SLATED  
SU-83



## Chapter 3 - Foundation

**Table 3.2 –**  
Steel Beam Pier Loads and Footing Areas  
Required.

**156" floor width (28' wide) w/ 10" max. overhang**  
**South Zone (20 psf LL, 10 psf DL)**

| PIER<br>SPACING<br>(FT) | PIER<br>LOAD<br>(LBS) | MINIMUM FOOTING AREA (SQ. IN.) FOR SOIL PRESSURE<br>SPECIFIED |          |          |          |          |
|-------------------------|-----------------------|---|----------|----------|----------|----------|
|                         |                       | 1000 PSF  | 1500 PSF | 2000 PSF | 2500 PSF | 3000 PSF |
| 4                       | 2428                  | 437   | 281      | 207      | 164      | 136      |
| 5                       | 3035                  | 534   | 343      | 253      | 201      | 166      |
| 6                       | 3642                  | 632   | 406      | 299      | 237      | 196      |
| 7                       | 4249                  | 728   | 469      | 346      | 273      | 226      |
| 8                       | 4856                  | 825   | 531      | 391      | 310      | 256      |

**178" floor width (32' wide) w/ 10" max. overhang**  
**South Zone (20 psf LL, 10 psf DL)**

| PIER<br>SPACING<br>(FT) | PIER<br>LOAD<br>(LBS) | MINIMUM FOOTING AREA (SQ. IN.) FOR SOIL PRESSURE<br>SPECIFIED |          |          |          |          |
|-------------------------|-----------------------|---|----------|----------|----------|----------|
|                         |                       | 1000 PSF  | 1500 PSF | 2000 PSF | 2500 PSF | 3000 PSF |
| 4                       | 2722                  | 484   | 311      | 230      | 182      | 151      |
| 5                       | 3403                  | 593   | 381      | 282      | 222      | 185      |
| 6                       | 4084                  | 702   | 452      | 333      | 263      | 218      |
| 7                       | 4764                  | 811   | 521      | 385      | 305      | 252      |
| 8                       | 5445                  | 919   | 592      | 436      | 345      | 286      |

SU-9

## Chapter 3 - Foundation

**Table 3.3 -**

**Sidewall Pier Loads & Footing Areas  
(Opening Studs)**

**156" floor width (28' wide) w/ 10" max. overhang (Sidewall Pier Loads)**

**South Zone (20 psf LL, 10 psf DL)**

| OPENING WIDTH<br>(CLEAR SPAN) | PIER<br>LOADS<br>(LBS) | MINIMUM FOOTING AREA (SQ. IN.) PER SOIL PRESSURE SPECIFIED |          |          |          |          |
|-------------------------------|------------------------|--|----------|----------|----------|----------|
|                               |                        | 1000 psf   | 1500 psf | 2000 psf | 2500 psf | 3000 psf |
| 4'                            | 450                    | 120  | 78       | 57       | 45       | 38       |
| 6'                            | 675                    | 156  | 101      | 74       | 59       | 49       |
| 8'                            | 900                    | 193  | 124      | 91       | 72       | 60       |
| 10'                           | 1125                   | 228  | 147      | 109      | 86       | 71       |
| 12'                           | 1350                   | 265  | 170      | 126      | 99       | 82       |
| 14'                           | 1575                   | 300  | 193      | 143      | 113      | 94       |
| 16'                           | 1800                   | 336  | 217      | 159      | 127      | 105      |
| 18'                           | 2025                   | 373  | 239      | 176      | 140      | 116      |
| 20'                           | 2250                   | 408  | 263      | 194      | 154      | 127      |
| 22'                           | 2475                   | 445  | 286      | 211      | 167      | 138      |
| 24'                           | 2700                   | 480  | 309      | 228      | 181      | 149      |
| 26'                           | 2925                   | 516  | 333      | 245      | 194      | 161      |
| 28'                           | 3150                   | 553  | 355      | 262      | 208      | 172      |
| 30'                           | 3375                   | 588  | 379      | 279      | 221      | 183      |
| 32'                           | 3600                   | 625  | 401      | 296      | 235      | 194      |
| 34'                           | 3825                   | 660  | 425      | 313      | 248      | 205      |
| 36'                           | 4050                   | 696  | 448      | 330      | 262      | 217      |
| 38'                           | 4275                   | 733  | 471      | 347      | 275      | 228      |
| 40'                           | 4500                   | 768  | 494      | 365      | 288      | 238      |

TABLE INDICATES THE FOOTING LOAD FOR COLUMN WITH CLEAR SPAN ON ONE SIDE ONLY. WHEN CLEAR SPAN EXISTS BOTH SIDES OF COLUMN, ADD BOTH SPANS TOGETHER BEFORE REFERRING TO TABLE.

NOTE: CHECK LOCAL BUILDING OFFICIAL FOR FOOTING THICKNESS IN YOUR AREA.

**178" floor width (32' wide) w/ 10" max. overhang (Sidewall Pier Loads)**

**South Zone (20 psf LL, 10 psf DL)**

| OPENING WIDTH<br>(CLEAR SPAN) | PIER<br>LOADS<br>(LBS) | MINIMUM FOOTING AREA (SQ. IN.) PER SOIL PRESSURE SPECIFIED |          |          |          |          |
|-------------------------------|------------------------|--|----------|----------|----------|----------|
|                               |                        | 1000 psf   | 1500 psf | 2000 psf | 2500 psf | 3000 psf |
| 4'                            | 505                    | 129  | 83       | 62       | 48       | 41       |
| 6'                            | 758                    | 169  | 110      | 81       | 64       | 53       |
| 8'                            | 1010                   | 210  | 135      | 99       | 79       | 66       |
| 10'                           | 1263                   | 251  | 161      | 119      | 94       | 78       |
| 12'                           | 1516                   | 291  | 187      | 139      | 110      | 91       |
| 14'                           | 1768                   | 332  | 214      | 157      | 124      | 103      |
| 16'                           | 2021                   | 372  | 239      | 176      | 140      | 115      |
| 18'                           | 2273                   | 413  | 265      | 195      | 155      | 129      |
| 20'                           | 2526                   | 453  | 291      | 214      | 170      | 141      |
| 22'                           | 2779                   | 493  | 318      | 234      | 185      | 154      |
| 24'                           | 3031                   | 534  | 343      | 253      | 200      | 166      |
| 26'                           | 3284                   | 574  | 369      | 272      | 215      | 178      |
| 28'                           | 3536                   | 614  | 395      | 291      | 231      | 191      |
| 30'                           | 3789                   | 655  | 422      | 310      | 246      | 203      |
| 32'                           | 4042                   | 695  | 447      | 330      | 261      | 216      |
| 34'                           | 4294                   | 735  | 473      | 349      | 277      | 229      |
| 36'                           | 4547                   | 776  | 499      | 368      | 291      | 242      |
| 38'                           | 4799                   | 816  | 525      | 387      | 307      | 254      |
| 40'                           | 5052                   | 857  | 551      | 406      | 321      | 268      |

TABLE INDICATES THE FOOTING LOAD FOR COLUMN WITH CLEAR SPAN ON ONE SIDE ONLY. WHEN CLEAR SPAN EXISTS BOTH SIDES OF COLUMN, ADD BOTH SPANS TOGETHER BEFORE REFERRING TO TABLE.

NOTE: CHECK LOCAL BUILDING OFFICIAL FOR FOOTING THICKNESS IN YOUR AREA.

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### Table 3.4 - Marriage Wall Pier Loads & Footing Areas (Opening Studs)

156" floor width (28' wide) w/ 10" max. overhang (Marriage Wall Pier Loads)  
South Zone (20 psf LL, 10 psf DL)

| OPENING WIDTH<br>(CLEAR SPAN) | PIER<br>LOADS<br>(LBS) | MINIMUM FOOTING AREA (SQ. IN.) PER SOIL PRESSURE SPECIFIED |          |          |          |          |
|-------------------------------|------------------------|--|----------|----------|----------|----------|
|                               |                        | 1000 psf   | 1500 psf | 2000 psf | 2500 psf | 3000 psf |
| 4'                            | 390                    | 111  | 71       | 53       | 42       | 38       |
| 6'                            | 585                    | 142  | 92       | 68       | 54       | 44       |
| 8'                            | 780                    | 174  | 112      | 83       | 65       | 54       |
| 10'                           | 975                    | 205  | 131      | 97       | 77       | 64       |
| 12'                           | 1170                   | 236  | 152      | 112      | 88       | 74       |
| 14'                           | 1365                   | 267  | 172      | 127      | 100      | 83       |
| 16'                           | 1560                   | 298  | 192      | 142      | 112      | 93       |
| 18'                           | 1755                   | 329  | 212      | 158      | 123      | 103      |
| 20'                           | 1950                   | 360  | 232      | 171      | 135      | 112      |
| 22'                           | 2145                   | 392  | 252      | 186      | 147      | 122      |
| 24'                           | 2340                   | 423  | 272      | 201      | 159      | 132      |
| 26'                           | 2535                   | 454  | 292      | 215      | 170      | 141      |
| 28'                           | 2730                   | 485  | 312      | 230      | 183      | 151      |
| 30'                           | 2925                   | 516  | 333      | 245      | 194      | 161      |
| 32'                           | 3120                   | 547  | 352      | 259      | 206      | 170      |
| 34'                           | 3315                   | 579  | 372      | 274      | 217      | 180      |
| 36'                           | 3510                   | 610  | 393      | 289      | 229      | 190      |
| 38'                           | 3705                   | 642  | 412      | 304      | 241      | 199      |
| 40'                           | 3900                   | 673  | 432      | 318      | 253      | 209      |
| 42'                           | 4095                   | 704  | 453      | 333      | 264      | 218      |
| 44'                           | 4290                   | 735  | 473      | 348      | 276      | 228      |

TABLE INDICATES THE FOOTING LOAD FOR COLUMN WITH CLEAR SPAN ON ONE SIDE ONLY, WHEN CLEAR SPAN EXISTS BOTH SIDES OF COLUMN, ADD BOTH SPANS TOGETHER BEFORE REFERRING TO TABLE.

TABLE ASSUMES MARRIAGE WALL CONSTRUCTION IN ONLY ONE HALF OF THE DOUBLEWIDE HOME (ONLY); IF SUPPORT COLUMNS OCCUR IN BOTH HALVES AT THE SAME LOCATION (I.E., WILL BE SUPPORTED BY THE SAME PIER) ADD THE LOADS FROM EACH HALF TOGETHER (USE THE METHOD DESCRIBED ABOVE FOR EACH HALF) TO DETERMINE THE TOTAL LOAD SUPPORTED BY THE PIER.

NOTE: CHECK LOCAL BUILDING OFFICIAL FOR FOOTING THICKNESS IN YOUR AREA.

178" floor width (32' wide) w/ 10" max. overhang (Marriage Wall Pier Loads)  
South Zone (20 psf LL, 10 psf DL)

| OPENING WIDTH<br>(CLEAR SPAN) | PIER<br>LOADS<br>(LBS) | MINIMUM FOOTING AREA (SQ. IN.) PER SOIL PRESSURE SPECIFIED |          |          |          |          |
|-------------------------------|------------------------|--|----------|----------|----------|----------|
|                               |                        | 1000 psf   | 1500 psf | 2000 psf | 2500 psf | 3000 psf |
| 4'                            | 445                    | 118  | 78       | 57       | 46       | 38       |
| 6'                            | 668                    | 155  | 100      | 74       | 59       | 48       |
| 8'                            | 890                    | 191  | 123      | 91       | 72       | 59       |
| 10'                           | 1113                   | 226  | 146      | 108      | 85       | 71       |
| 12'                           | 1336                   | 263  | 169      | 125      | 98       | 82       |
| 14'                           | 1559                   | 298  | 191      | 142      | 112      | 93       |
| 16'                           | 1781                   | 334  | 215      | 158      | 126      | 104      |
| 18'                           | 2003                   | 369  | 237      | 175      | 139      | 115      |
| 20'                           | 2226                   | 405  | 260      | 192      | 152      | 126      |
| 22'                           | 2449                   | 440  | 283      | 209      | 165      | 137      |
| 24'                           | 2671                   | 476  | 306      | 226      | 179      | 148      |
| 26'                           | 2894                   | 512  | 329      | 243      | 192      | 159      |
| 28'                           | 3116                   | 547  | 352      | 259      | 206      | 170      |
| 30'                           | 3339                   | 583  | 374      | 276      | 219      | 182      |
| 32'                           | 3562                   | 618  | 398      | 293      | 232      | 192      |
| 34'                           | 3784                   | 654  | 421      | 310      | 245      | 203      |
| 36'                           | 4007                   | 689  | 443      | 327      | 259      | 215      |
| 38'                           | 4229                   | 725  | 467      | 344      | 272      | 226      |
| 40'                           | 4452                   | 761  | 489      | 361      | 286      | 238      |
| 42'                           | 4675                   | 796  | 513      | 377      | 299      | 248      |
| 44'                           | 4897                   | 832  | 535      | 394      | 312      | 258      |

TABLE INDICATES THE FOOTING LOAD FOR COLUMN WITH CLEAR SPAN ON ONE SIDE ONLY, WHEN CLEAR SPAN EXISTS BOTH SIDES OF COLUMN, ADD BOTH SPANS TOGETHER BEFORE REFERRING TO TABLE.

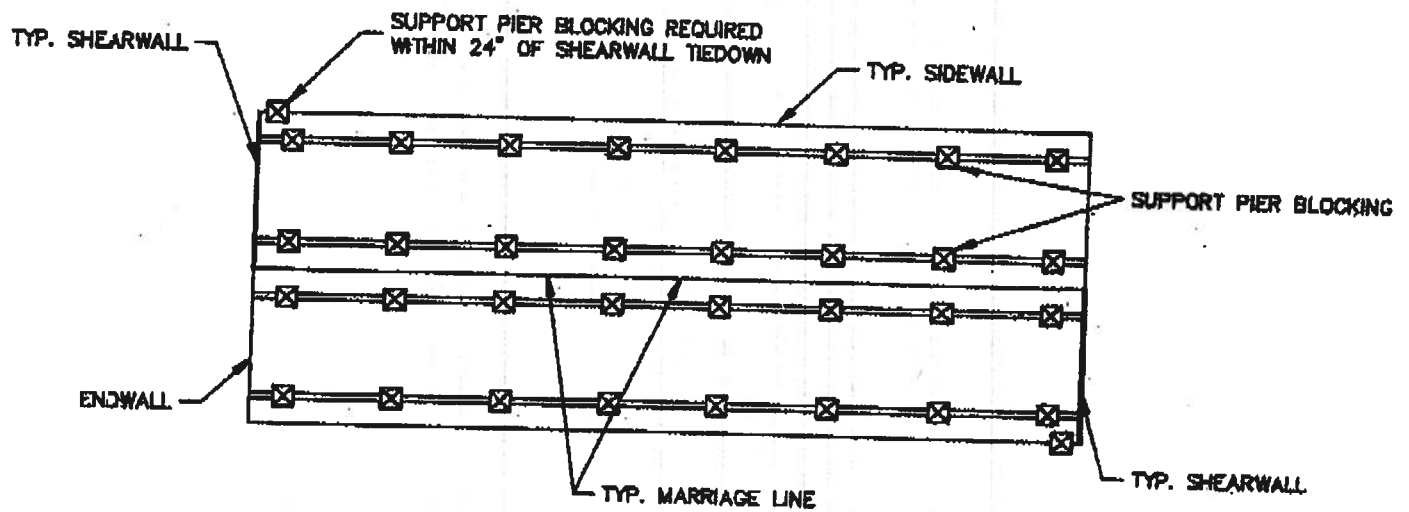
TABLE ASSUMES MARRIAGE WALL CONSTRUCTION IN ONLY ONE HALF OF THE DOUBLEWIDE HOME (ONLY); IF SUPPORT COLUMNS OCCUR IN BOTH HALVES AT THE SAME LOCATION (I.E., WILL BE SUPPORTED BY THE SAME PIER) ADD THE LOADS FROM EACH HALF TOGETHER (USE THE METHOD DESCRIBED ABOVE FOR EACH HALF) TO DETERMINE THE TOTAL LOAD SUPPORTED BY THE PIER.

NOTE: CHECK LOCAL BUILDING OFFICIAL FOR FOOTING THICKNESS IN YOUR AREA.

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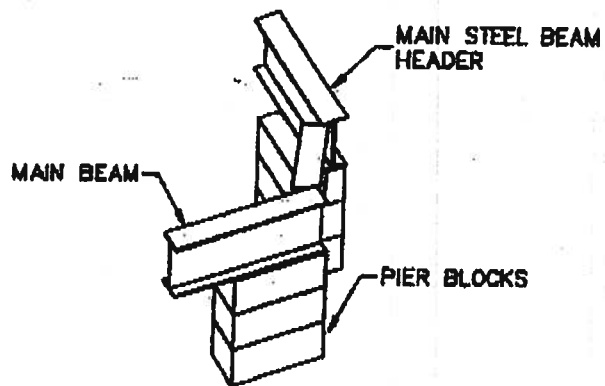
Figure 3.5 –  
Typical Pier Blocking Diagram



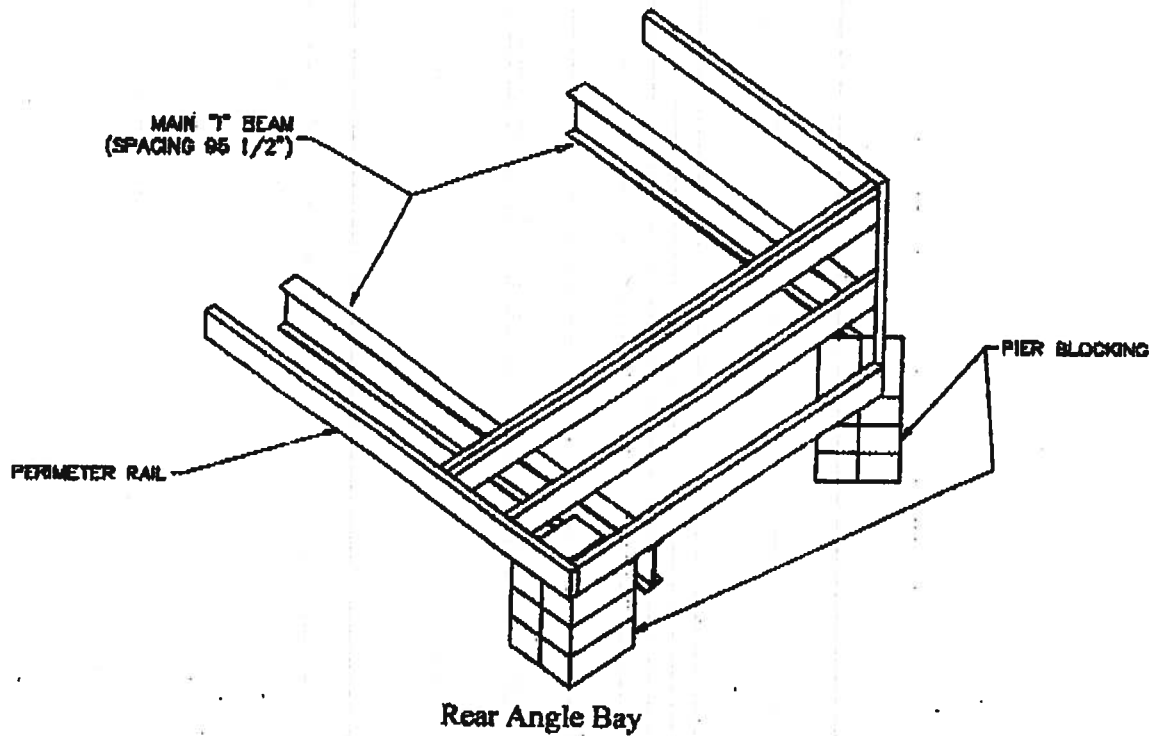
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**Figure 3.6 -  
Angle Bay Blocking Requirements**



**Front Angle Bay  
(At Header)**



**Rear Angle Bay**

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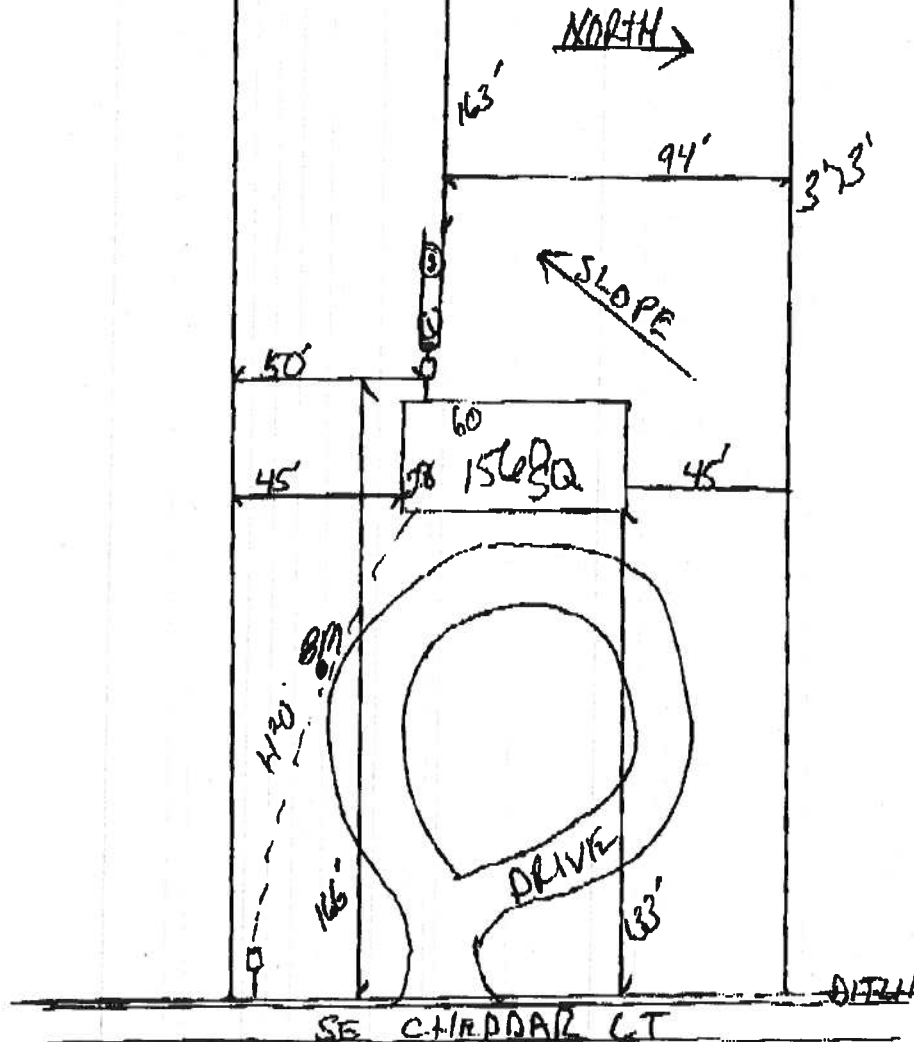
**STATE OF FLORIDA  
DEPARTMENT OF HEALTH**

**APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT**

Permit Application Number 06-0395N

Vannoy ..... **PART II - SITEPLAN** .....

Scale: 1 inch = 50 feet.



Notes: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Site Plan submitted by: Rock 77

**MASTER CONTRACTOR**

Plan Approved \_\_\_\_\_

Not Approved \_\_\_\_\_

Date 4/21/06

By Mr. S. M.

Columbia

County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**

**CERTIFICATE OF  
M/H OCCUPANCY**

**COLUMBIA COUNTY, FLORIDA**

**Department of Building and Zoning Inspection**

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 15-4S-17-08355-402

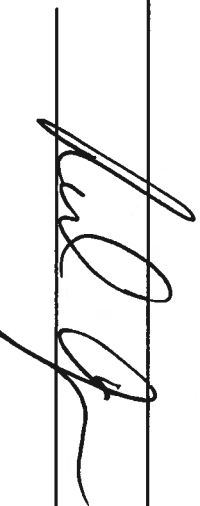
Building permit No. 000024462

Permit Holder DALE HOUSTON

Owner of Building JAMES & VICKEY VANNON

Location: 202 NW KELLY LANE, LAKE CITY, FL

Date: 06/07/2006



Building Inspector



**POST IN A CONSPICUOUS PLACE  
(Business Places Only)**

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