

DATE 03/29/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000025676

APPLICANT DEE DEE MCINTOSH PHONE 754-8678
ADDRESS 289 NW CORINTH DR LAKE CITY FL 32055
OWNER NONIE SILCOX PHONE
ADDRESS 319 SE ANDREWS DR LAKE CITY FL 32025
CONTRACTOR MICHAEL DELAHOZ PHONE
LOCATION OF PROPERTY 90E, TR ON 100, TR ON PRICE CREEK RD, TL ON ANDREWS,
3RD HOUSE ON RIGHT

TYPE DEVELOPMENT SCREEN ENCLOSURE ESTIMATED COST OF CONSTRUCTION 8800.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 14-4S-17-08346-050 SUBDIVISION PRICE CREEK
LOT 4 BLOCK PHASE UNIT TOTAL ACRES

SCC056689
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X07-136 BK JH
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 3344

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 45.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 95.00

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK# 3344

X07-136

For Office Use Only Application # 0703-75 Date Received 3/26 By JW Permit # 25676
 Application Approved by - Zoning Official af Date 3/26/07 Plans Examiner OK JH Date 3-26-07
 Flood Zone N/A Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3
 Comments _____

☐ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permit

Fax 386-755-1751

Name Authorized Person Signing Permit Robert McIntosh Phone 386-754-8678

Address 289 NW Corinth Dr Lake City FL 32055

Owners Name Monie W. Vinson - Silcox Phone 397-6932

911 Address 319 SE Andrews Dr Lake City FL 32055

Contractors Name Michael A DelaHoz Phone 386-754-8678

Address 927 Hickory St Altamonte Springs, FL 32701

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address Do Kim Associates 3300 Henderson Blvd Suite 106 Tampa FL

Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 14-45-17-08346-050 HX Estimated Cost of Construction \$8,800²

Subdivision Name Price Creek S/D Lot 4 Block _____ Unit _____ Phase _____

Driving Directions 90E to 100 Right on Price Creek Rd, left on Andrews Dr, 3rd House on Right

Type of Construction Pool Enclosure Number of Existing Dwellings on Property 1

Total Acreage 1.09 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 160' Side 38' Side 88' Rear 145'

Total Building Height 12' Number of Stories 1 Heated Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter _____

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
this 18 day of Jan 2007.

Personally known ☒ or Produced Identification _____

Contractor Signature _____
 Contractors License Number 056689
 Competency Card Number _____

NOTARY STAMP/SEAL

 Nadean G.S. McIntosh
 Commission # DD371494
 Expires November 14, 2008
 Bordered Troy Fain - Insurance, Inc. 800-366-7019

Notary Signature _____

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 14-43-17-08346-050

1. Description of property: (legal description of the property and street address or 911 address)

COMM INTERS N R/W CR-245 + ER/W Andrews Rd, Run N 640.27 Ft,
E 384.59 Ft for POB CONT E 150 Ft, S 314.11 Ft, W 154.56 Ft, N
357.02 Ft to POB N/A Lot 4 Price Creek S/D UNREC
DRB 504-302
319 SE Andrews Dr Lake City FL 32025

2. General description of improvement: Pool Enclosure

3. Owner Name & Address Monie W Vinson-Silcox 319 SE Andrews Dr
Lake City FL 32025 Interest in Property Owner

4. Name & Address of Fee Simple Owner (if other than owner): N/A

5. Contractor Name Mike Delahoy Phone Number 386-754-8678
Address 289 NW Corinth Dr Lake City, FL 32055

6. Surety Holders Name N/A Phone Number _____

Address _____

Amount of Bond _____

Inst: 2007006893 Date: 03/26/2007 Time: 11:09

DC, P. DeWitt Cason, Columbia County B: 1114 P: 1960

7. Lender Name N/A

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name N/A

Phone Number _____

Address _____

9. In addition to himself/herself the owner designates FL Pool Enclosures of
289 NW Corinth Dr Lake City FL 32055 to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) -
(a) 7. Phone Number of the designee 386-754-8678

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording,
(Unless a different date is specified) _____

NOTICE AS PER CHAPTER 713, Florida Statutes:

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Sworn to (or affirmed) and subscribed before
day of March 19, 2007

NOTARY STAMP



Nadean G.S. McIntosh
Commission # DD371494
Expires November 14, 2008
Bonded Troy Fain - Insurance, Inc. 800-365-7019

Nadean G.S. McIntosh

Signature of Notary

Monie K. Silcox
Signature of Owner

I, Nonie K. Silcox, was married on June 19th, 1998. When I purchased the land at 319 SE Andrews Drive, in 1973, my last name was listed as being Nonie W. Vinson.

Nonie K. Silcox

Nonie K. Silcox



Carman James
MY COMMISSION # DD223375 EXPIRES
June 16, 2007
BONDED THRU TROY FAIR INSURANCE, INC.

Carman James



757 SW SR 247

SUITE 101

Florida 32025

386-758-7522 Voice

386-758-6932 Fax

sales@advantagepools.com

Columbia County Property Appraiser

DB Last Updated: 11/20/2006

2007 Proposed Values

Parcel: 14-4S-17-08346-050 HX

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Owner's Name	VINSON NONIE W		
Site Address	ANDREWS		
Mailing Address	319 SE ANDREWS DR LAKE CITY, FL 32025		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	14417.01	Tax District	3
UD Codes	MKTA02	Market Area	02
Total Land Area	1.090 ACRES		
Description	COMM INTERS N R/W CR-245 & E R/W ANDREW RD, RUN N 640.27 FT, E 384.89 FT FOR POB, CONT E 150 FT, S 314.11 FT, W 154.56 FT, N 357.02 FT TO POB. (AKA LOT 4 PRICE CREEK S/D UNREC). ORB 504-302.		

<< Prev

Search Result: 3 of 4

Next >>

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$13,080.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$72,440.00
XFOB Value	cnt: (5)	\$5,020.00
Total Appraised Value		\$90,540.00

Just Value		\$90,540.00
Class Value		\$0.00
Assessed Value		\$63,685.00
Exempt Value	(code: HX)	\$25,000.00
Total Taxable Value		\$38,685.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
NONE						

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1973	Common BRK (19)	1958	2364	\$72,440.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$300.00	1.000	0 x 0 x 0	(.00)
0180	FPLC 1STRY	0	\$2,300.00	1.000	0 x 0 x 0	(.00)
0130	CLFENCE 5	1993	\$300.00	1.000	0 x 0 x 0	(.00)
0296	SHED METAL	2005	\$800.00	1.000	0 x 0 x 0	(.00)
0070	CARPORT UF	2005	\$1,320.00	440.000	20 x 22 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000100	SFR (MKT)	1.090 AC	1.00/1.00/1.00/1.00	\$12,000.00	\$13,080.00

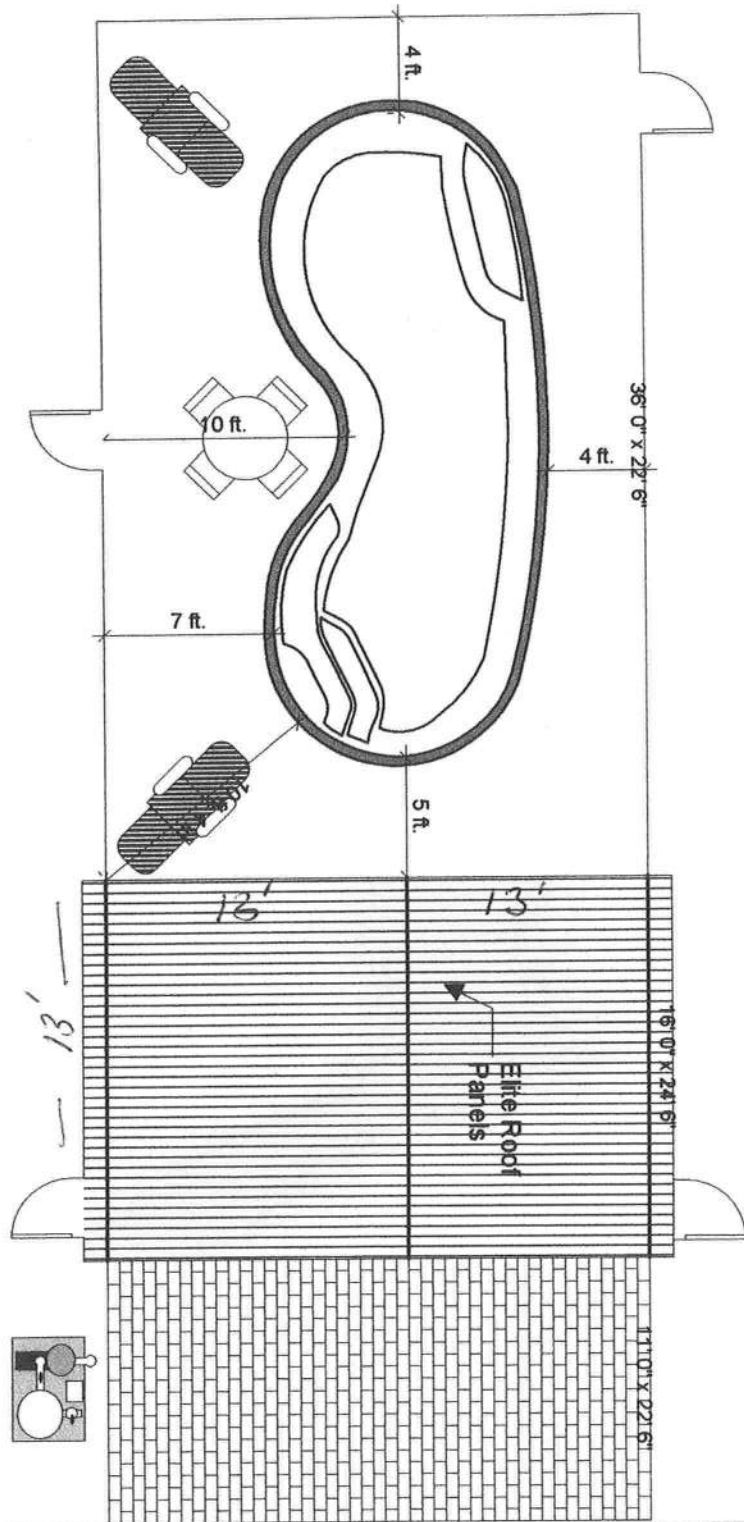
Columbia County Property Appraiser

DB Last Updated: 11/20/2006



Property line

Property line



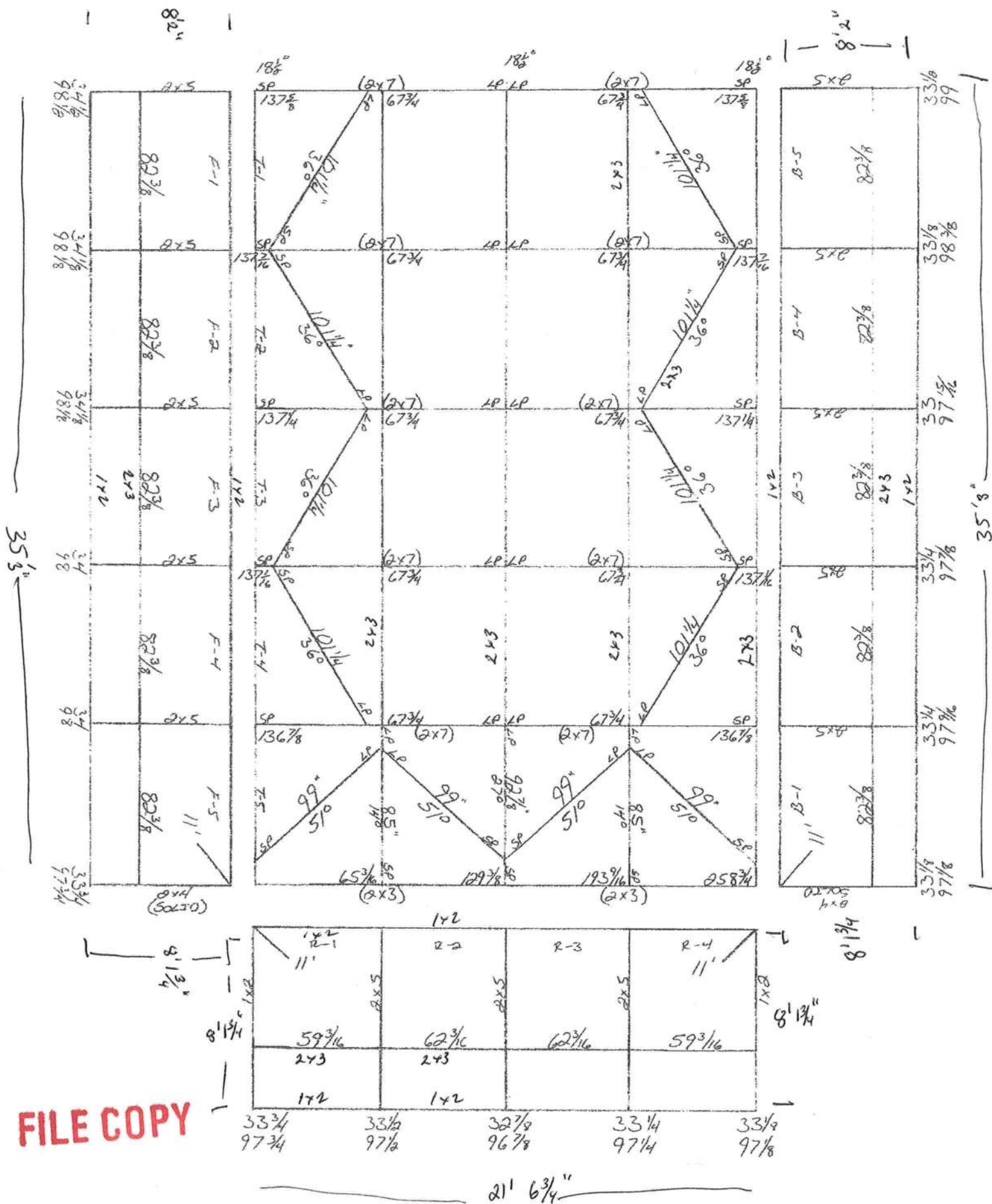
Job Specifications	
Pool Area	0
Pool Perimeter	0
Shallow Depth	0
Deep Depth	0
Spa Area	0
Spa Perimeter	0
Face Tile	0
Coping	0
Deck Area	0
Deck Perimeter	0
Patio Area	0
Patio Perimeter	0
Pool to Equip	0
Spa to Equip	0

Advantage Pools
757 SW SR 247 Suite 101
Lake City FL 32025
Phone: 386-758-7522
Fax: 386-758-6932

Designed by:
Ray Lussier

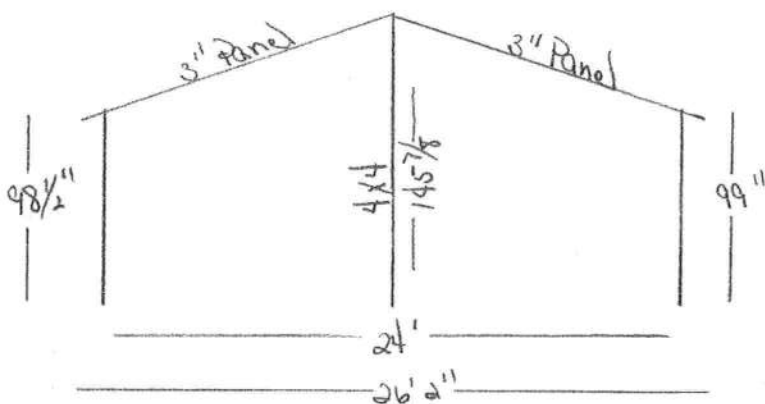
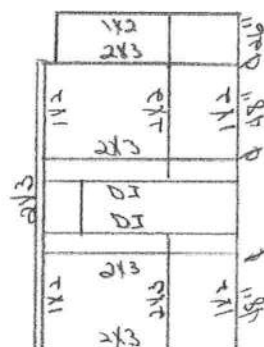
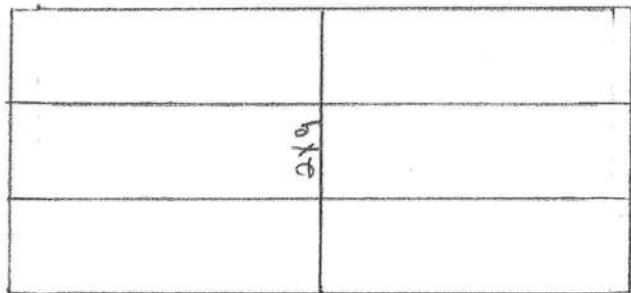
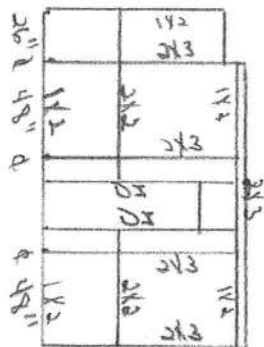
Accepted
by:

Direct
IT
15-1751
1997



Silcox

House



DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

January 30, 2007

RE: Extension Request for Master Set Screen Enclosure Plans for Florida Pool Enclosures, Inc.

Dear Building Official:

I respectfully request that you extend the Master Set Filing until July 31, 2007 or until notified otherwise with your building department.

As you are aware, the Florida Board of Professional Engineers (FBPE) is currently reviewing the practice of Master set filing of aluminum structures. Their current position is that the use of master set filing of aluminum structures is still valid. The FBPE is continuing to look into this matter and a potentially new practice rule governing the design of aluminum structures is currently undergoing rule making. Sometime in 2007, the FBPE should provide better guidelines as to the continuing use of master set filing. Therefore, I request that these plans already filed for use as a master set plan for Florida Pool Enclosures, Inc. be valid until July 31, 2007, or until otherwise notified. Thank you again for your assistance.

If you or any member of your staff has any questions, please feel free to contact me.

Sincerely,



Do Kim, P.E. (FL #49497)

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

September 27, 2006

Building Official
City of Gainesville

RE: Request to File Master Set Screen Enclosure Plans for Florida Pool Enclosures, Inc.

Dear Mr. Building Official:

I respectfully request that you accept these Master Set Plan Sheets to be filed with your building department. These signed and sealed plans are specifically and only valid for use by authorized representatives of Florida Pool Enclosures, Inc. located in Altamonte Springs, Florida.

As you are aware, the Florida Board of Professional Engineers (FBPE) is currently reviewing the practice of Master set filing of aluminum structures. Their current position is that the use of master set filing of aluminum structures is still valid. The FBPE has currently created a Task Group to meet and to take testimony to provide its recommendations to the full FBPE. I anticipate a definitive policy decision by early 2007. Therefore, I request that these plans for use as a master set plan for Florida Pool Enclosures, Inc. be valid until January 31, 2007.

If you or any member of your staff has any questions, please feel free to contact me.

Sincerely,



Do Kim, P.E. (FL #49497)

FLORIDA DEPARTMENT OF Community Affairs



- COMMUNITY PLANNING
- HOUSING & COMMUNITY DEVELOPMENT
- BUILDING CODES
- FLORIDA COMMUNITIES TRUST
- FRONT PORCH (CDRCA)
- EMERGENCY MANAGEMENT
- OFFICE OF THE SECRETARY
- NEWS
- FREQUENTLY ASKED QUESTIONS
- ABOUT OUR SECRETARY
- E-MAIL THE SECRETARY
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Product Approval
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#)

Search Criteria				Refine Search
Code Version	2004	FL#	7350	
Application Type	ALL	Product Manufacturer	ALL	
Category	ALL	Subcategory	ALL	
Application Status	ALL	Compliance Method	ALL	

Search Results - Applications

FL#	Type	Manufacturer	Validated By	Status
FL7350	New	Pool Enclosure Collective, LLC Category: Structural Components Subcategory: Products Introduced as a Result of New Technology	L.F. Schmidt, P.E. (813) 926-6537	Approved

DCA Administration

Department of Community Affairs
Florida Building Code Online
Codes and Standards

2555 Shumard Oak Boulevard
Tallahassee, Florida 32399-2100

(850) 487-1824, Suncom 277-1824, Fax (850) 414-8436

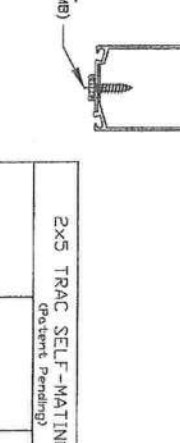
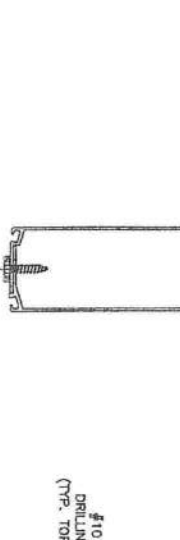
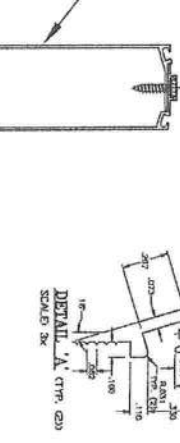
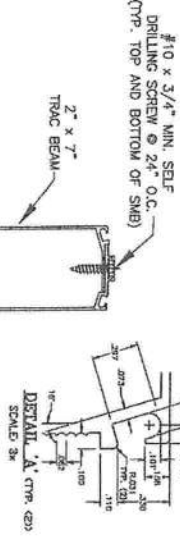
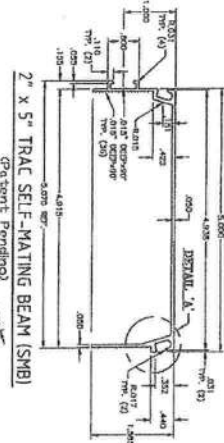
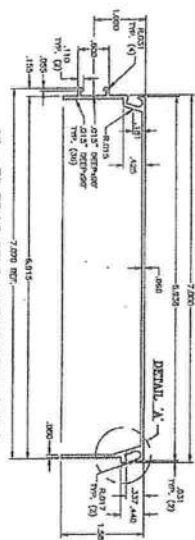
© 2000-2005 The State of Florida. All rights reserved. [Copyright and Disclaimers](#)

Product Approval Accepts:



POOL ENCLOSURE COLLECTIVE, LLC

P.O. BOX 10039, TAMPA, FL 33679
PH. (813)857-9955

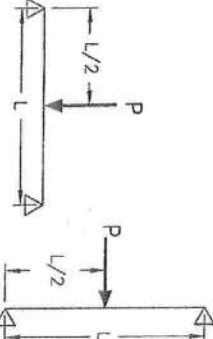


GENERAL NOTES

1. ALUMINUM ALLOY SHALL BE 6005-T5.
2. REFERENCE TEST REPORT TEL #06-0803-1.
3. ALUMINUM EXTRUSION SHALL CONFORM TO ASTM B-209.
4. SAFETY FACTORS HAVE BEEN DEVELOPED IN ACCORDANCE TO THE 2005 ALUMINUM DESIGN MANUAL-SPECIFICATIONS AND GUIDELINES FOR ALUMINUM STRUCTURES SECTION 9.3.2 AND CONFORMS TO THE 2004 FBC CHAPTER 16 AND 20.
5. TESTING HAS BEEN CONDUCTED IN ACCORDANCE WITH ASTM E529-04: STANDARD GUIDE FOR CONDUCTING FLEXURAL TESTS ON BEAMS AND GRIDDERS FOR BUILDING CONSTRUCTION. SEE REFERENCED TEST REPORT IN NOTE 2.
6. THE DESIGNER SHALL DETERMINE BY ACCEPTED ENGINEERING PRACTICE THE ALLOWABLE LOADS FOR THE SITE SPECIFIC LOAD CONDITIONS (INCLUDING LOAD COMBINATIONS) USING THE DATA FROM THE ALLOWABLE LOADS TABLE IN THIS APPROVAL.
7. DEFLECTION VALUES TABULATED IN THIS DRAWING ARE FROM LOAD-DEFLECTION DIAGRAM OF TESTED SPECIMENS.
8. THE DESIGNER SHALL CONSIDER LOAD DEFLECTION LIMITS BASED ON SITE SPECIFIC LOAD CONDITIONS.
9. THE DESIGNER SHALL CONSIDER ALL OTHER APPLICABLE STRUCTURAL ELEMENTS SUCH AS FOUNDATION, SUPPORT, FASTENER LOADS, CONNECTION STRESSES, MOMENT CAPACITY, ETC.
10. FASTENER FOR STITCHING BEAMS SHALL BE POOL ENCLOSURE COLLECTIVE, LLC'S TRAC BEAM SCREW WITH MIN. PROPERTIES EQUAL TO C-1022 LOW-CARBON STEEL WITH YIELD STRENGTH OF 58 KSI MIN. WITH ADEQUATE CORROSION PROTECTION COATING AS SPECIFIED BY THE DESIGNER.

2x5 TRAC SELF-MATING BEAM (Patent Pending)		
L-SPAN (feet)	ALLOWABLE LOAD-P (lbs)	TEST SPECIMEN DEFL. AT LOAD P (inches)
10	1037.0	0.68"
11	970.5	
12	903.9	
13	837.4	
14	792.8	1.48"
15	748.7	
16	715.6	
17	682.4	
18	649.3	
19	616.2	
20	583.0	
21	549.9	
22	516.7	
23	483.6	
24	450.4	
25	417.3	4.31"

2x7 TRAC SELF-MATING BEAM (Patent Pending)		
L-SPAN (feet)	ALLOWABLE LOAD-P (lbs)	TEST SPECIMEN DEFL. AT LOAD P (inches)
10	1390.9	0.41"
11	1332.9	
12	1274.9	
13	1216.9	
14	1158.9	
15	1100.9	
16	1042.9	
17	984.9	
18	927.0	
19	869.0	
20	811.0	
21	753.0	
22	695.0	
23	637.0	
24	579.0	
25	521.1	2.40"
26	511.6	
27	502.1	
28	492.6	
29	483.1	
30	473.6	
31	464.1	
32	454.6	
33	445.2	
34	435.7	
35	426.2	
36	416.7	
37	407.2	
38	397.7	
39	388.2	
40	378.7	6.15"



PRODUCT: 2x5 TRAC SELF-MATING BEAM 2x7 TRAC SELF-MATING BEAM		Documents Prepared By: BUILDING CONSULTANTS, INC. P.O. Box 230 Valrico FL 33595 Phone No.: 813.659.9197 Florida Board of Professional Engineers Certificate Of Authorization No. 9813 Wensell W. Henry P.E. No. 54158	
PART OR ASSEMBLY: SCREEN ENCLOSURE COMPONENT		DATE: 08-04-06 SCALE: N.T.S. DWG. BY: AEM CHK. BY: WHH DRAWING NO.: FL-1114	
REVISIONS 1 08/11/06 REVISED LOAD CHART		SHEET 1 OF 1	

[illegible]

- # LEGEND & NOTES
- DENOTES CONCRETE MONUMENT SET. R.L.S. # 2245.
 - DENOTES CONCRETE MONUMENT FOUND AND IDENTIFICATION.
 - DENOTES 3/8" REBAR W/ CAP SET. R.L.S. # 2245.
 - DENOTES REBAR / IRON PIPE FOUND.
 - X—X—X DENOTES EXISTING FENCE.
 - I—S—S—S DENOTES OFFROAD ELECTRIC
 - 1) FENCE ROAD AND OFFROAD. ELECTRIC DIMENSIONS MAY NOT BE TO SCALE
 - 2) CLOSURE EXCERPTS 1/6/2001.
 - 3) PROBABLE CRYPTED/IN S.P.E. DESCRIPTION PROVIDED BY CLIENT. NO ASSESSMENT.
 - 4) NO UNDERGROUND UTILITIES. IF ANY, LOCATED BY THIS SURVEY.
 - 5) ROAD ZONE PLAT. IN-USE ARE SOLID PINK FLOOD INSURANCE PLAT MAPS. PROVIDED BY P.E.L.
 - 6) BEARING BASED ON THE SOUTH RIGHT-OF-WAY LINE OF ABERNETHY ROAD. N. 89°41'32" E.

THIS IS HERBY CERTIFIED TO NOVIK & LEE, OLD KENT MORTGAGE COMPANY, AMERICAN PIONEER TITLE INSURANCE COMPANY AND AMERICAN NATIONAL TITLE & ESCROW OF FLORIDA, INC. THAT THE PROPERTY AS SHOWN ON THE ATTACHED MAP IS THE UNDIVIDED INTEREST OF THE MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY PLAT NO. 120070-02-0001.

THE SIGNATURE HEREIN MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH IN CHAPTER 472.01, FLORIDA ADMINISTRATIVE CODE, PERTINENT TO SECTION 472.07, FLORIDA STATUTES.

J. Sheridan Prier
J. SHERIDAN PRIER
REGISTERED LAND SURVEYOR
FLORIDA CERTIFICATE NO. 2246
DATE MARCH 4, 1994
SURVEY NOT VALID UNLESS EMBOSSED WITH SEAL

FOR
NONIE K. ETTER

SCALE: 1"=40'	DATE SURVEYED: 3/1/76	DATE DRAWN: 3/4/76
REVISED BY:	APPROVED BY:	DRAWN BY: T.J. JES
J. SHERMAN FRIER & ASSOCIATES		
LAND SURVEYORS		
150 WEST 100th AVE. STREET		
DULUTH, MINN.		
PHONE 908-66-96		
P.O. BOX 5480, LIVE OAK, FLA 32060		
PHONE 904-782-5870 FAX 904-782-5870		

DO KIM
& ASSOCIATES, LLC
CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
905 2006	ISSUED

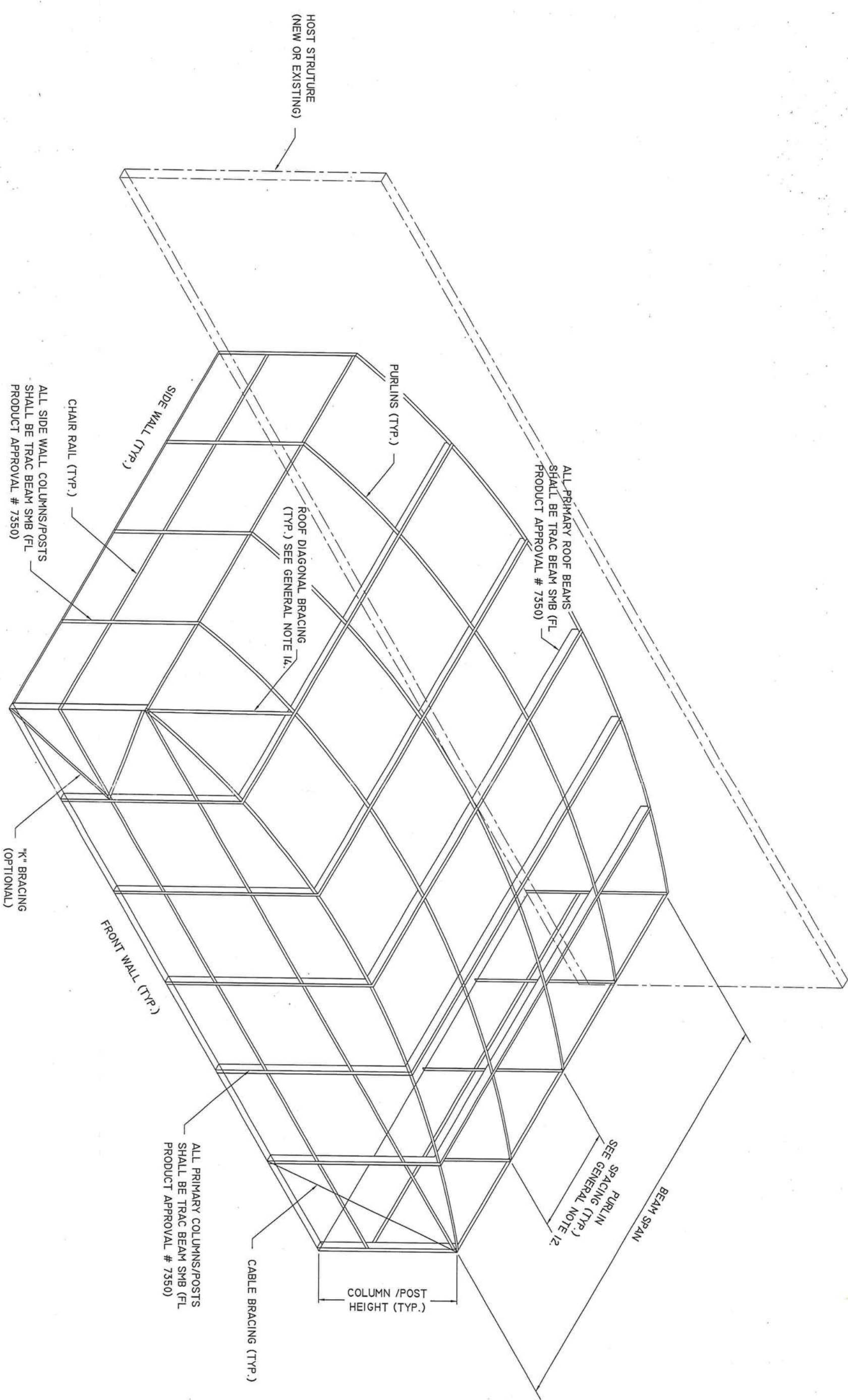
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM/LEE
REGISTERED PROFESSIONAL ENGINEER
FL NO. 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684

Drawing No. - 060905

SHEET 1 OF 7



TYPICAL DOME ROOF

NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.

FILE COPY

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Rev/Date	Description
905 2005	ISSUED
1001 2005	REVISED DETAILS AS SHOWN

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▽	
▽	

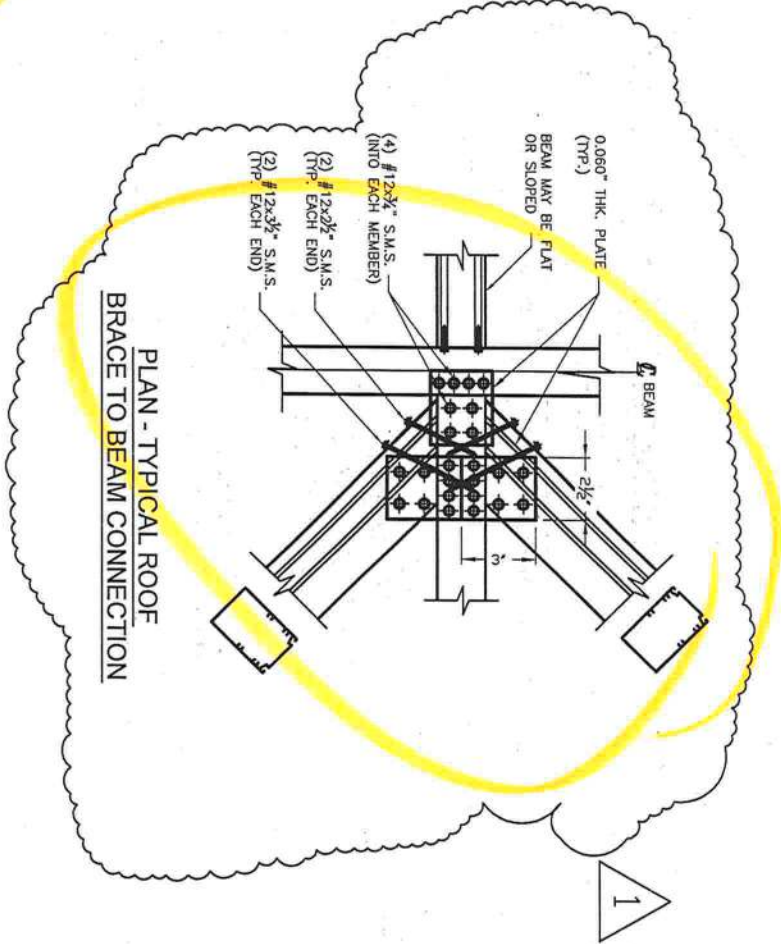
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

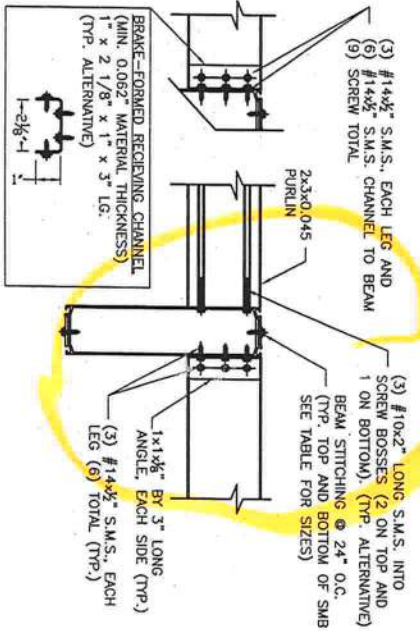
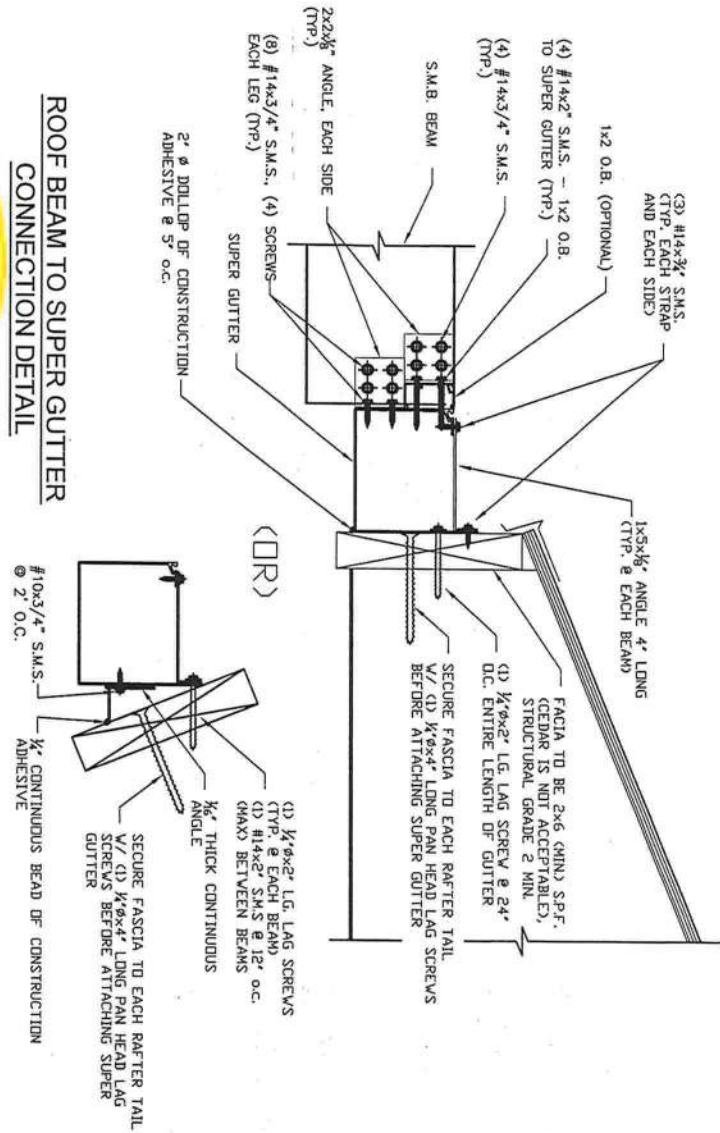
DO YOUNG KIM, P.E.
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DO KIM & ASSOCIATES, LLC
C/E# 26887
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Tampa, FL 33684

Drawing No. - 060905

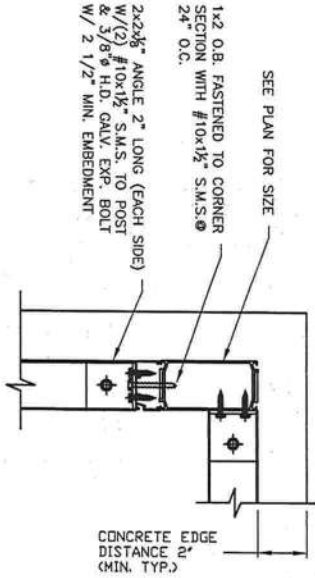
PLAN - TYPICAL ROOF
BRACE TO BEAM CONNECTION



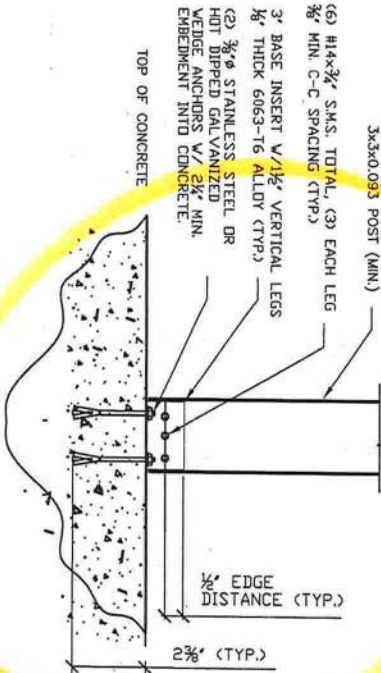
ROOF BEAM TO SUPER GUTTER
CONNECTION DETAIL



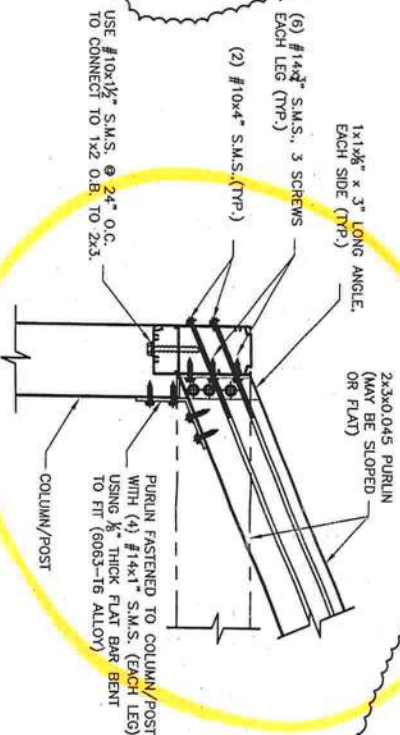
CORNER POST / COLUMN
TO FOUNDATION
CONNECTION DETAIL



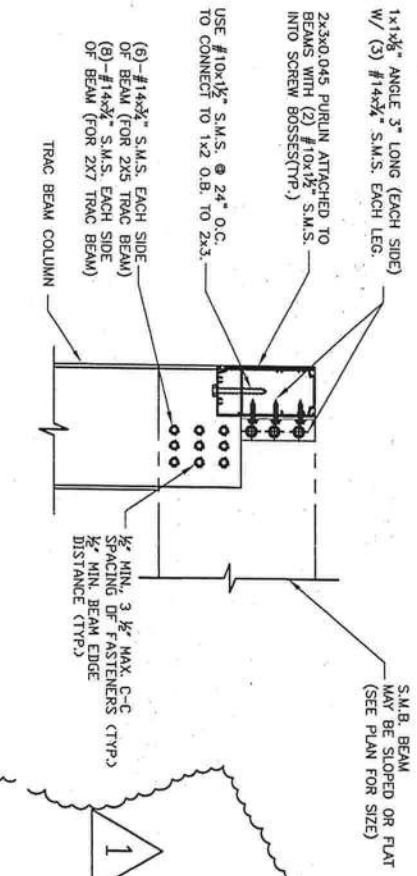
SCREEN ROOF TO PANEL/COMPOSITE
COLUMN TO FOUNDATION
CONNECTION DETAIL



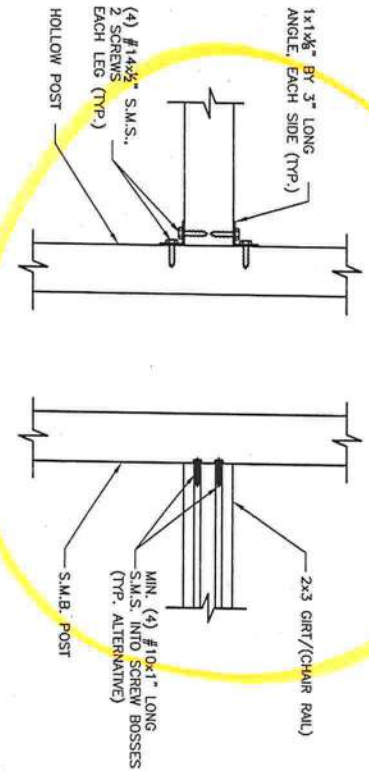
SIDEWALL POST / COLUMN TO PURLIN
CONNECTION DETAIL



MAIN POST / COLUMN TO ROOF BEAM
CONNECTION DETAIL



CHAIR RAIL / GIRT TO POST
CONNECTION DETAIL



General Notes and Specifications:

- Contractor shall field verify all dimensions before construction and shall notify engineer of discrepancies for immediate consideration.
- Concrete shall be minimum 28 day compressive strength of $f'c=2500$ psi, and be in accordance with the requirements of ACI 318. Reinforcing steel shall have a min. yield strength of 40,000 psi (grade 40) and be provided with cover in accordance with ACI 318. If existing concrete slabs/footings are deemed satisfactory, it may be incorporated into new slab/footing by observing the following procedure:
 - Clean and scabble all connecting edges.
 - Drill and epoxy embed #5 reinforcing placed @ 12" O.C. mid depth. The rebar should be embedded a min. of 7" (using Hilti HY 150 Epoxy or equal approved), leaving 24" exposed to be incorporated into new slab/footing.

3. All dimensions are provided by contractor, DO Kim & Associates, LLC have made interpretations where necessary.

4. The following structures are designed to be attached to block and wood frame structures of adequate structural capacity. The contractor shall verify that the host structure is in good condition and of sufficient strength to hold the proposed addition. If there is a question about the host structure, the owner (at his own expense) shall hire an architect or engineer to verify host structure capacity.

5. Screen density shall be a maximum of 20 x 20 mesh.

6. Connections using screw bosses shall have minimum (4)-#10x1" per connection unless shown otherwise.

7. Every panel of screen mesh shall be fastened securely in place with spline. Each panel shall be fastened at all sides, independent of surrounding panels. This requirement shall include purlins and chair/kickplate rails. Screen mesh panels are not required to be secured to rigid diagonal bracing members. Screen mesh is incidental to the structural integrity of the overall structure.

8. Unless otherwise shown, screws shall have minimum edge distance and center-to-center distances as shown in this table.

C-1022 Low Carbon Steel SMS & Self-Drilling (TEX) Screws (Industry Standard Screws)			
Screw	Nominal Screw Diameter (in)	Minimum Edge Distance	Minimum Center to Center Distance
#10	0.188	$\frac{5}{16}$ "	$\frac{1}{2}$ "
#12	0.219	$\frac{3}{8}$ "	$\frac{9}{16}$ "
#14 (1 1/4")	0.250	$\frac{1}{2}$ "	$\frac{9}{16}$ "

9. Structure has been designed to meet the 2004, FBC with 2006 supplements. Project is sited where the basic wind speed is 120 mph (3-sec gust), $I=0.77$ for screen enclosures. Exposure B. Design wind pressures are from 2004, FBC. Minimum design pressure is 10 psf. Pressures are based on wind tunnel testing with main wind force resisting system coefficient, C_{dp} of +/-0.25 for screen roof and 0.7-1.25 for walls.

10. All concrete anchors shall be Simpson Strong-Tie Wedge All Anchors or Titan Screws or approved equal.

11. Maximum spacing of Purlins shall be less than 8'-0" o.c. Maximum spacing of Chair Rails (Girts) shall be less than 9'-0" o.c.

12. Composite panel or riser panel metal shall be of aluminum alloy 3105-H15 or 3105-H25.

13. Diagonal bracing shall be installed on all roof screen panels that have at least one side adjacent to an exterior screen wall.

14. Construction adhesive shall meet ASTM C-557. MIN shear strength @ 7 days = 425 P.S.I.

15. When knee braces are utilized at uprights and beams, beam spans shown in tables are from the interior side of the knee brace supporting the beam.

16. Lateral cable bracing shall be provided at each screened wall parallel to host structure, unless it is directly attached to host structure. One set of cable braces shall be provided for each 500 sf of screened wall area that the wind load is being applied.

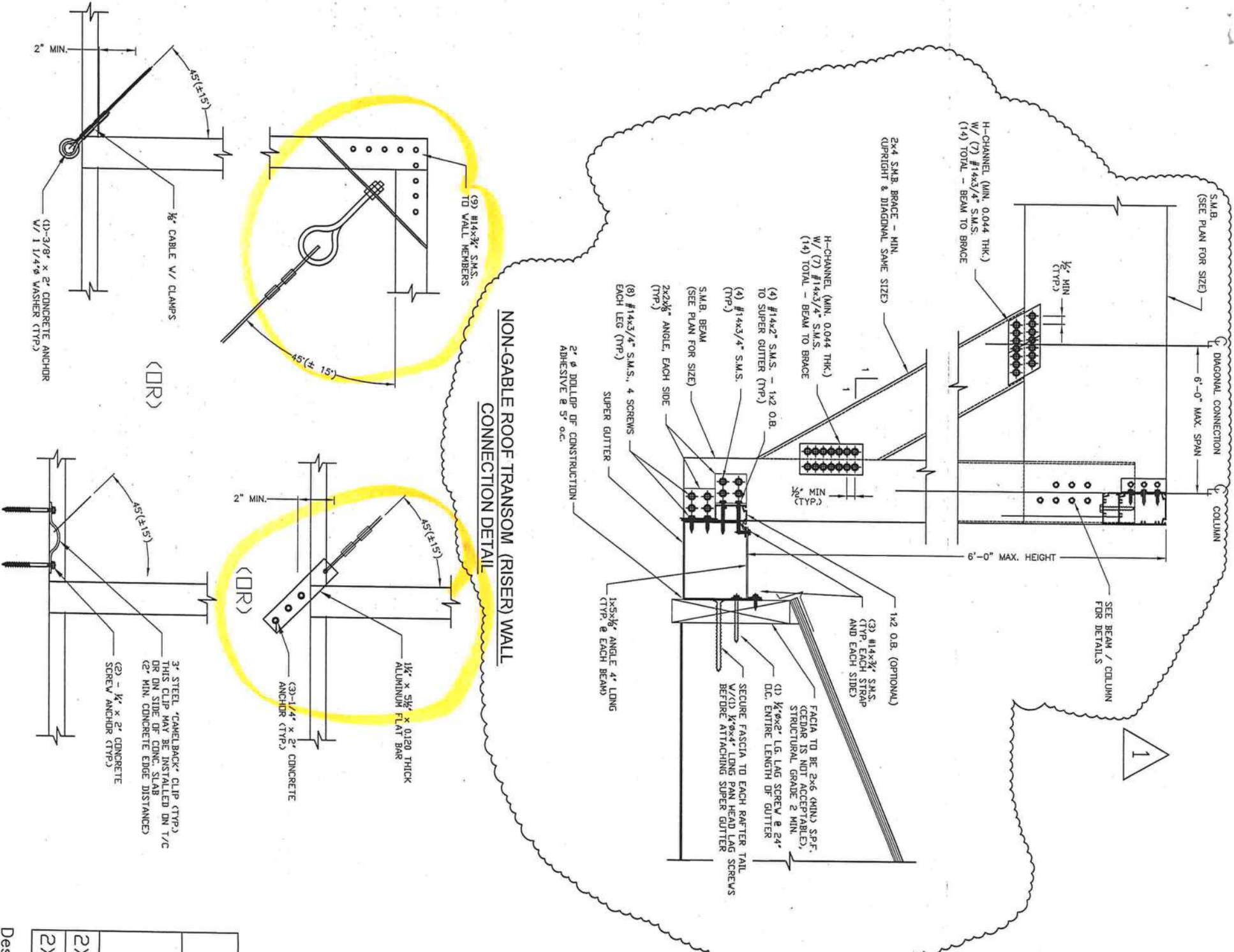
17. Structures that exceed 38 feet of beam span or heights exceeding 25 feet or are located in Exposure C shall require site specific evaluation by the engineer of record.

18. All Aluminum members shall be 6063-T6 Alloy unless otherwise noted. Trac Beams shall be 6005-T5 Alloy.

MAXIMUM SPANS FOR CARRIER BEAMS (SUPPORTING SCREEN ROOF ONLY)					
BEAM	TRIBUTARY WIDTH				
	10'	15'	20'	25'	30'
2X5 TRAC	23.5'	19.8'	17.0'	15.0'	13.5'
2X7 TRAC	25.7'	22.3'	20.1'	18.1'	16.6'

Design wind speed up to 120 mph. Exposure B.

Beam Spacing Screw for all Legacy S.M.B.'s (NOT FOR TRAC BEAMS)		
Beam Size		Beam Spacing Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x 1 1/2"	
2" x 5" x 0.050 x 0.116	#8 x 1 1/2"	
2" x 6" x 0.050 x 0.120	#10 x 1 1/2"	
2" x 7" x 0.055 x 0.120	#10 x 1 1/2"	
2" x 8" x 0.072 x 0.224	#12 x 1 3/4"	
2" x 9" x 0.072 x 0.224	#12 x 1 3/4"	
2" x 9" x 0.082 x 0.306	#14 x 1 3/4"	
2" x 10" x 0.092 x 0.389	#14 x 1 3/4"	



CABLE BRACE DETAIL

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Rev/Date	Description
005 2008	ISSUED
10031 2008	REVISED DETAILS AS SHOWN

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
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SCALE:	AS SHOWN
DATE:	9/05/06

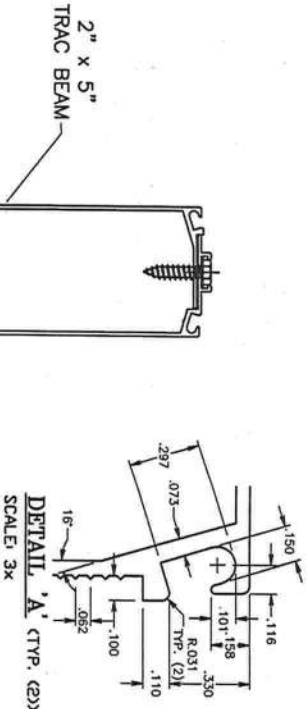
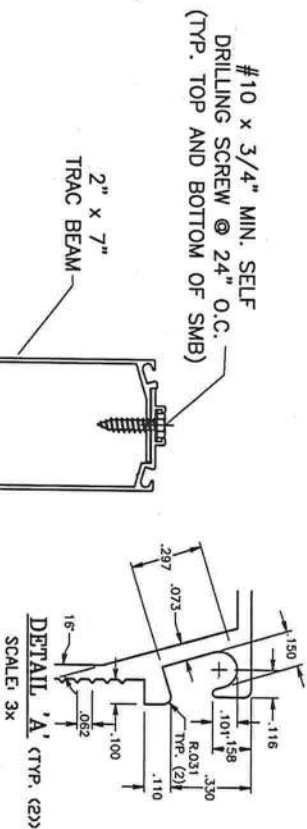
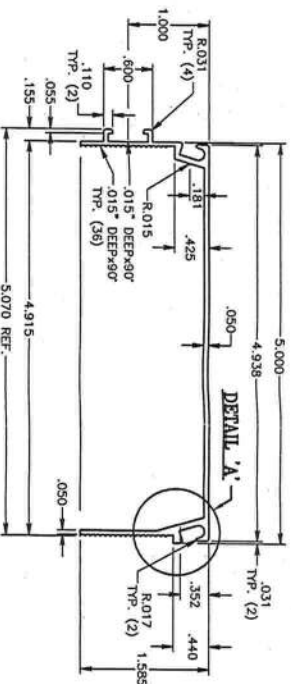
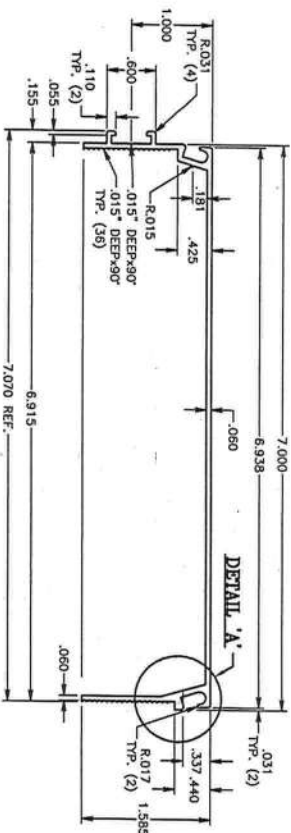
DO YOUNG, P.E.
P.A. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
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SUITE 106
Tampa, FL 33684

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

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FIA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
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Pool Enclosure Collective, LLC

Trac Beam (FL State Product Approval #7350)



2" x 7" TRAC SELF-MATING BEAM (SMB)

(patent pending)

2" x 5" TRAC SELF-MATING BEAM (SMB)

(patent pending)

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	25'	25'	25'	24.12'	23.27'
6' D.C.	25'	25'	25'	23.06'	22.12'
7' D.C.	25'	25'	23.51'	22.16'	21.33'
8' D.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' D.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' D.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' D.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' D.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' D.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' D.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' D.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' D.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' D.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' D.C.	20.55'	19.59'	18.08'	16.58'	15.08'

TRAC BEAM Notes:

1. Refer to Florida Product Approval #FL7350.
2. Drawings are illustrative purposes only.
3. Allowable spans tables are based on 2004 Florida Building Code with 2006 Updates. Wind loads are based on Chapter 20 and Table 2004.4.
6. Maximum allowable deflections limits of L/60 have been checked.
- L/80 in HVHZ have also been checked.

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Rev/Date	Description
905 2006	ISSUED

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△	
△	
△	

CLIENT: Florida Pool Enclosures, INC

DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 29497

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10/5/06

Drawing No. - 060905

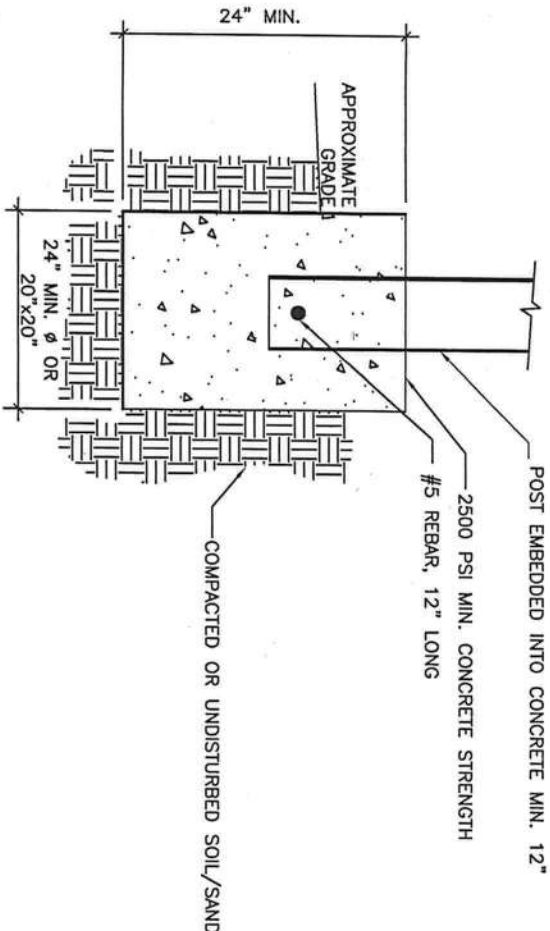
Rev./Date	Description
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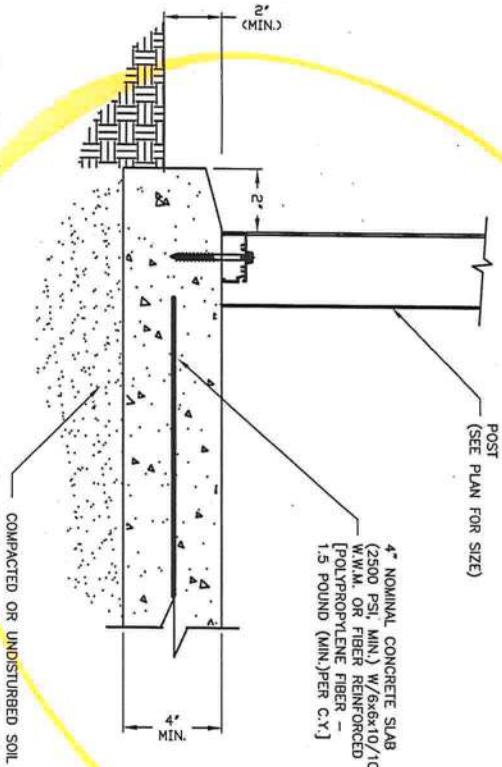
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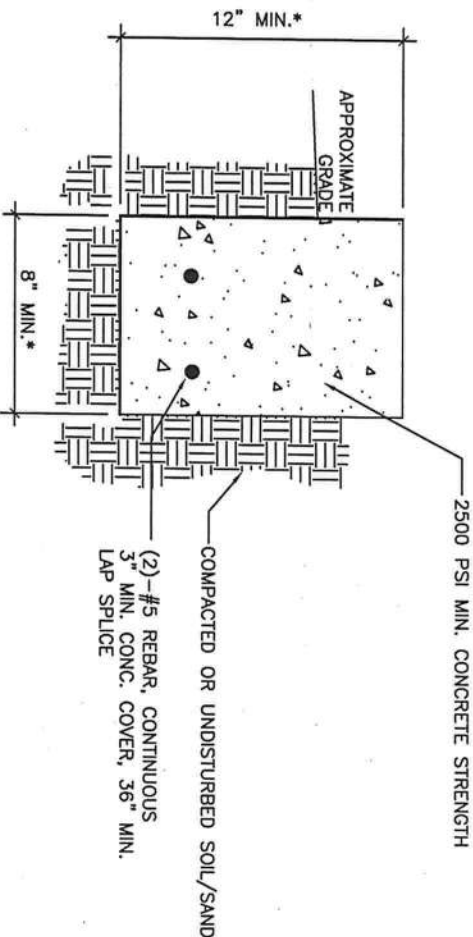
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FLA. REG. NUMBER 46497
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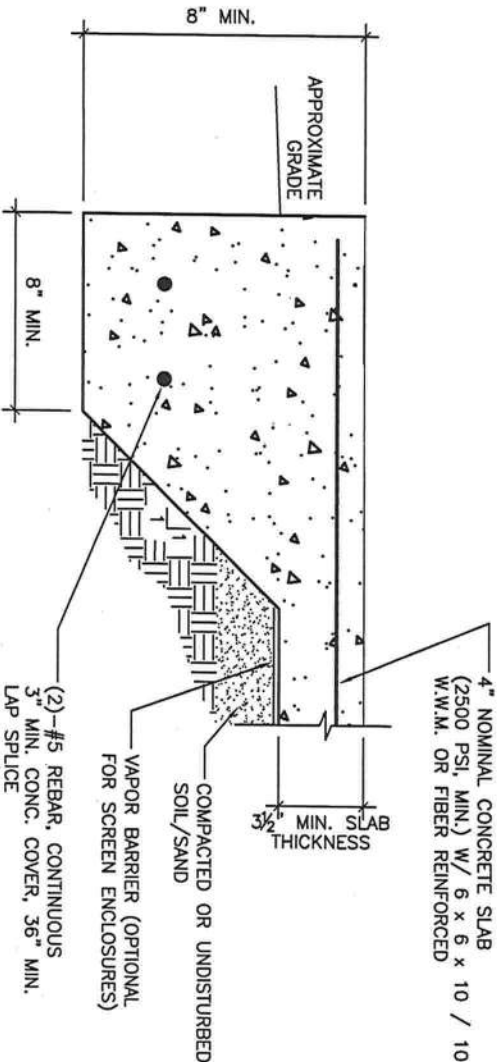
STANDARD TYP. ISOLATED FOOTER



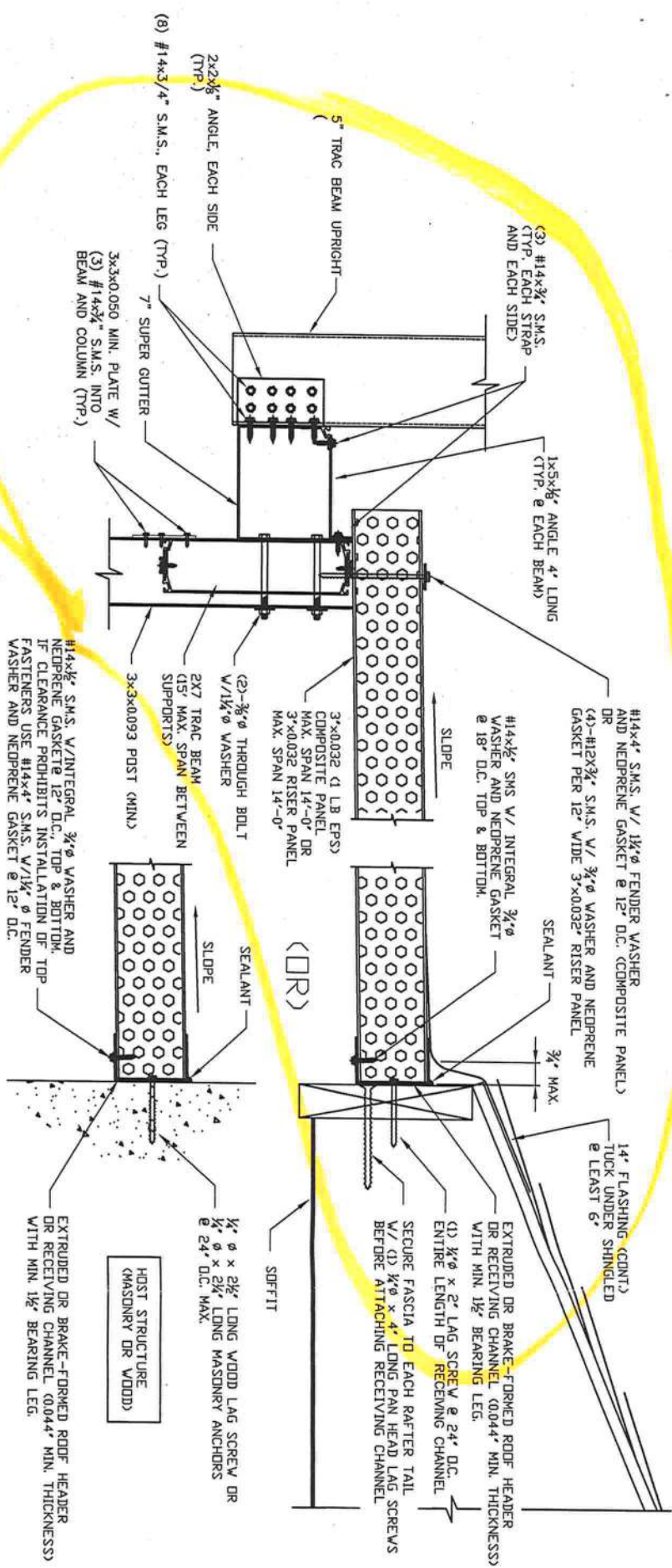
POST / CONCRETE SLAB DETAIL
(MAX. POOL ENCLOSURE ROOF SPAN OF 40')



STANDARD TYP. CONTINUOUS PERIMETER FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



STANDARD TYP. TURNDOWN SLAB FOOTING
(MAX. POOL ENCLOSURE ROOF SPAN OF 50')



SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL

DO KIM
& ASSOCIATES, LLC

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