DATE 02/14/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029181

APPLICANT KURT JOHNSON PHONE 386-454-0449

ADDRESS 2210 SW OLD BELLAMY RD FORT WHITE FL 32038

OWNER MALCOLM & EILEEN WILLIAMS PHONE 864-593-7071

ADDRESS 2345 SW OLD BELLAMY RD FORT WHITE FL 32038

CONTRACTOR KURT JOHNSON PHONE 386-454-0449

LOCATION OF PROPERTY 41 S, R CR 18, L TUSTENUGGEE RD, FORK TO RIGHT ON DIRT RD,
R OLD BELLAMY, ABOUT 1/4 MILE ON RIGHT AT GATE #2345

TYPE DEVELOPMENT ADDITION TO MH ESTIMATED COST OF CONSTRUCTION 12000.00

HEATED FLOOR AREA 240.00 TOTAL AREA 240.00 HEIGHT 126.00 STORIES 1

FOUNDATION WOOD WALLS FRAMED ROOF PITCH 1/12 FLOOR WOOD

LAND USE & ZONING AG-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 06-7S-17-09923-001 SUBDIVISION

LOT BLOCK PHASE UNIT TOTAL ACRES 5.80

		CBC056830	Kurt M Johnson	
Culvert Permit No.	Culvert Waiver	Contractor's License Number	Applicant/Owner/Contractor	
EXISTING	11-0057-E	BK	TC	N
Driveway Connection	Septic Tank Number	LU & Zoning checked by	Approved for Issuance	New Resident

COMMENTS: NOC ON FILE
ADDITION TO EXISTING DWELLING

Check # or Cash 1049

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power _____ date/app. by Foundation _____ date/app. by Monolithic _____ date/app. by

Under slab rough-in plumbing _____ date/app. by Slab _____ date/app. by Sheathing/Nailing _____ date/app. by

Framing _____ date/app. by Insulation _____ date/app. by

Rough-in plumbing above slab and below wood floor _____ date/app. by Electrical rough-in _____ date/app. by

Heat & Air Duct _____ date/app. by Peri. beam (Lintel) _____ date/app. by Pool _____ date/app. by

Permanent power _____ date/app. by C.O. Final _____ date/app. by Culvert _____ date/app. by

Pump pole _____ date/app. by Utility Pole _____ date/app. by M/H tie downs, blocking, electricity and plumbing _____ date/app. by

Reconnection _____ date/app. by RV _____ date/app. by Re-roof _____ date/app. by

BUILDING PERMIT FEE $ 60.00 CERTIFICATION FEE $ 1.20 SURCHARGE FEE $ 1.20

MISC. FEES $ 0.00 ZONING CERT. FEE $ 50.00 FIRE FEE $ 0.00 WASTE FEE $

FLOOD DEVELOPMENT FEE $ _____ FLOOD ZONE FEE $ 25.00 CULVERT FEE $ _____ **TOTAL FEE** 137.40

INSPECTORS OFFICE Laurie Hodson CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

"Troy"

Acct #: 1049

Columbia County Building Permit Application

For Office Use Only Application # 1102-14 Date Received 2/4 By JW Permit # 29181

Zoning Official BLK Date 10.02.11 Flood Zone X Land Use A-3 Zoning A-3

FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner T.C. Date 2-8-11

Comments

☑ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☒ Well letter ☑ 911 Sheet ☐ Parent Parcel #

☐ Dev Permit # ☐ In Floodway ☒ Letter of Auth. from Contractor ☐ F W Comp. letter

IMPACT FEES: EMS Fire Corr ☑ Sub VF Form

Road/Code School N/A Addition to existing dwelling = TOTAL (Suspended) ☑ App Fee Paid

Septic Permit No. 11-0057-E Fax 386-454-0595

Name Authorized Person Signing Permit Kurt Johnsen Phone 386-454-0449

Address 2210 SW Old Bellamy Rd. Fort White FL 32038

Owners Name Malcolm & Eileen Williams Phone 864-593-7071

911 Address 2345 SW Old Bellamy Rd Fort White, FL 32038

Contractors Name Kurt Johnsen Builders, Inc. Phone 386-454-0449

Address 2210 SW Old Bellamy Rd Fort White FL 32038

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address (Greg) Wayland Structural I Engineering 8200 SW 16th Place Gainesville, FL 3260

Mortgage Lenders Name & Address

Circle the correct power company – FL Power & Light – (Clay Elec.) – Suwannee Valley Elec. – Progress Energy

Property ID Number 06-7S-17-09923-001 Estimated Cost of Construction $15,000.00

Subdivision Name N/A Lot Block Unit Phase

Driving Directions 441 S. to CR 18 Turn right towards Ft. White. go 2 miles and turn left on Tustenuggee Rd. Go 1 mile and fork to right onto dirt Rd Turn right at Stop sign onto Old Bellamy. about 1/4 mile to gate on right.

Number of Existing Dwellings on Property 1

Construction of addition to mobile home Total Acreage 5.8 acres Lot Size

Do you need a - Culvert Permit or Culvert Waiver or (Have an Existing Drive) Total Building Height 12'-6"

Actual Distance of Structure from Property Lines - Front 165' Side 480' Side 405' Rear 195'

Number of Stories 1 Heated Floor Area 240 ± Total Floor Area 240 ± Roof Pitch 1/2" in 1 foot

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.

JW left a message on 2-10-11 for Kurt.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full.
This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: ***YOU ARE HEREBY NOTIFIED*** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Natasha M. Williams

Owners Signature ****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Kurtis Johnson

Contractor's Signature (Permitee)

Contractor's License Number CBC056830
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 1st **day of** February **20**11.

Personally known ✓ **or Produced Identification** _____

Lai Hodson

SEAL:

State of Florida Notary Signature (For the Contractor)

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1102-14 CONTRACTOR Kurt Johnsen Builders, Inc. PHONE 386-454-0449

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL 37	Print Name Donald S. Hollingsworth Signature [signature] License #: ER13012377 Phone #: 386.755.6570
MECHANICAL/ A/C _____	Print Name N/A Signature _____ License #: _____ Phone #: _____
PLUMBING/ GAS	Print Name N/A Signature _____ License #: _____ Phone #: _____
ROOFING 917 STRUCTURAL INSULATED PANELS (OL Roof)	Print Name Kurt Johnsen Signature Kurt M Johnsen License #: CBC056830 Phone #: 386-454-0449
SHEET METAL	Print Name N/A Signature _____ License #: _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name N/A Signature _____ License#: _____ Phone #: _____
SOLAR	Print Name N/A Signature _____ License #: _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON	N/A		
CONCRETE FINISHER	N/A		
✓ FRAMING 917	CBC056830	Kurt Johnsen	Kurt M Johnsen
✓ INSULATION 917	CBC056830	Kurt Johnsen	Kurt M Johnsen
STUCCO	N/A		
✓ DRYWALL 917	CBC056830	Kurt Johnsen	Kurt M Johnsen
PLASTER	N/A		
CABINET INSTALLER	N/A		
✓ PAINTING 917	CBC056830	Kurt Johnsen	Kurt M Johnsen
ACOUSTICAL CEILING	N/A		
GLASS	—	—	—
CERAMIC TILE	N/A		
✓ FLOOR COVERING 917	CBC056830	Kurt Johnsen	Kurt M Johnsen
✓ ALUM/VINYL SIDING 917	CBC056830	Kurt Johnsen	Kurt M Johnsen
GARAGE DOOR	N/A		
METAL BLDG ERECTOR	N/A		

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

_____

Clerk's Office Stamp

Inst:201112001799 Date:2/4/2011 Time:2:17 PM
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1209 P:972

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this **NOTICE OF COMMENCEMENT.**

1. Description of property *(legal description)*: BEG AT NW COR OF NE1/4 OF NE 1/4 RUN E 893.44FT S 237.8FT TO PI ON N'LY R/W OF OLD BELLAMY RD, THENCE ELY
   a) Street *(Job)* Address: 2345 S.W. OLD BELLAMY RD FT WHITE 32038
2. General description of improvements: 12' x 20' ADDITION TO MOBILE HOME
3. Owner Information
   a) Name and address: MALCOLM & EILEEN WILLIAMS, 2345 S.W. OLD BELLAMY RD, FT WHITE
   b) Name and address of fee simple titleholder (if other than owner) _____
   c) Interest in property 100%
4. Contractor Information
   a) Name and address: Kurt Johnsen Builders, Inc. 2210 SW old Bellamy Rd Fort White FL 32038
   b) Telephone No.: 386-454-0449 Fax No. (Opt.) _____
5. Surety Information
   a) Name and address: _____
   b) Amount of Bond: _____
   c) Telephone No.: _____ Fax No. (Opt.) _____
6. Lender
   a) Name and address: _____
   b) Phone No. _____
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
   a) Name and address: _____
   b) Telephone No.: _____ Fax No. (Opt.) _____
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(l)(b), Florida Statutes:
   a) Name and address: _____
   b) Telephone No.: _____ Fax No. (Opt.) _____
9. Expiration date of Notice of Commencement **(the expiration date is one year from the date of recording unless a different date is specified)**: _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Malcolm M. Williams
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager

MALCOLM M. WILLIAMS
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 24th day of January, 2011, by: Malcolm M. Williams as N/A (type of authority, e.g. officer, trustee, attorney fact) for N/A (name of party on behalf of whom instrument was executed).

Personally Known ____ OR Produced Identification X Type Drivers License

Notary Signature _____ Notary Stamp or Seal:

MICHAEL T. LOVEDAY
Notary Public, State of Florida
Commission# DD814442
My comm. expires Sept. 16, 2012

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

_____
Signature of Natural Person Signing (in line #10 above.)

PARCEL_N	NEWNUM	NE	NEWSTR	NEWT	NEWCITY	NE	NEWZI
06-7S-17-09923-001	2345	SW	OLD BELLAMY	RD	FORT WHITE	FL	32038

From Address Database.

NOTE: If there is a change of access or change of location of structure a Address Assignment Request From must be submitted to Addressing / GIS Dept. This is to ensure we get emergency services to the correct location. Location of structure and access is clear on image on property appraiser web site.

Ron

Ronal N. Croft
Columbia County 911 Addressing / GIS Department
P.O. Box 1787
Lake City, FL 32056-1787
Phone: 386-758-1125
Fax: 386-758-1365
E-Mail: ron_croft@columbiacountyfla.com

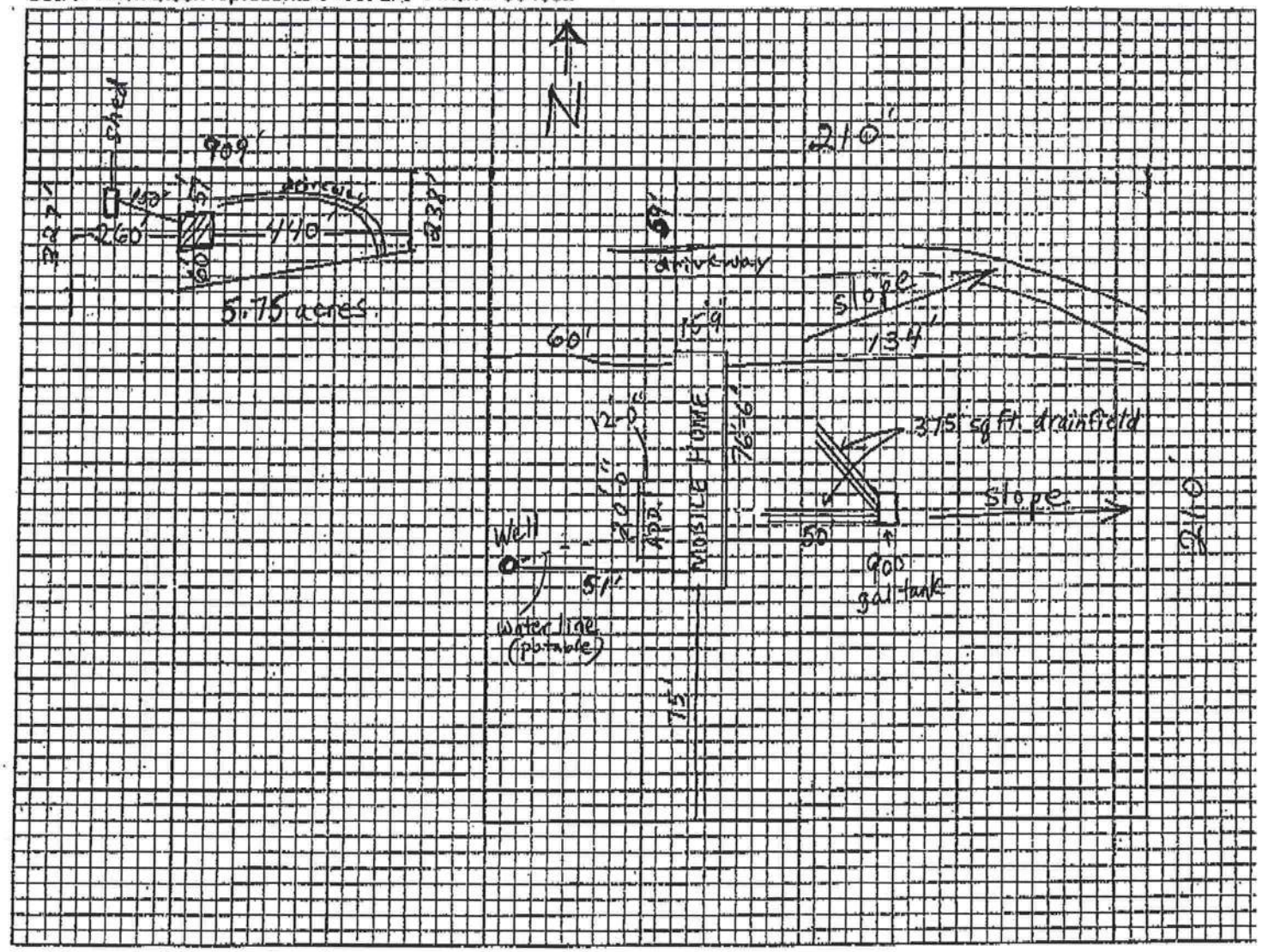
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 11-0057E

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: 1 of 5.75 acres in large box.

Site Plan submitted by: Kurt M Johnson 2/8/11
Signature

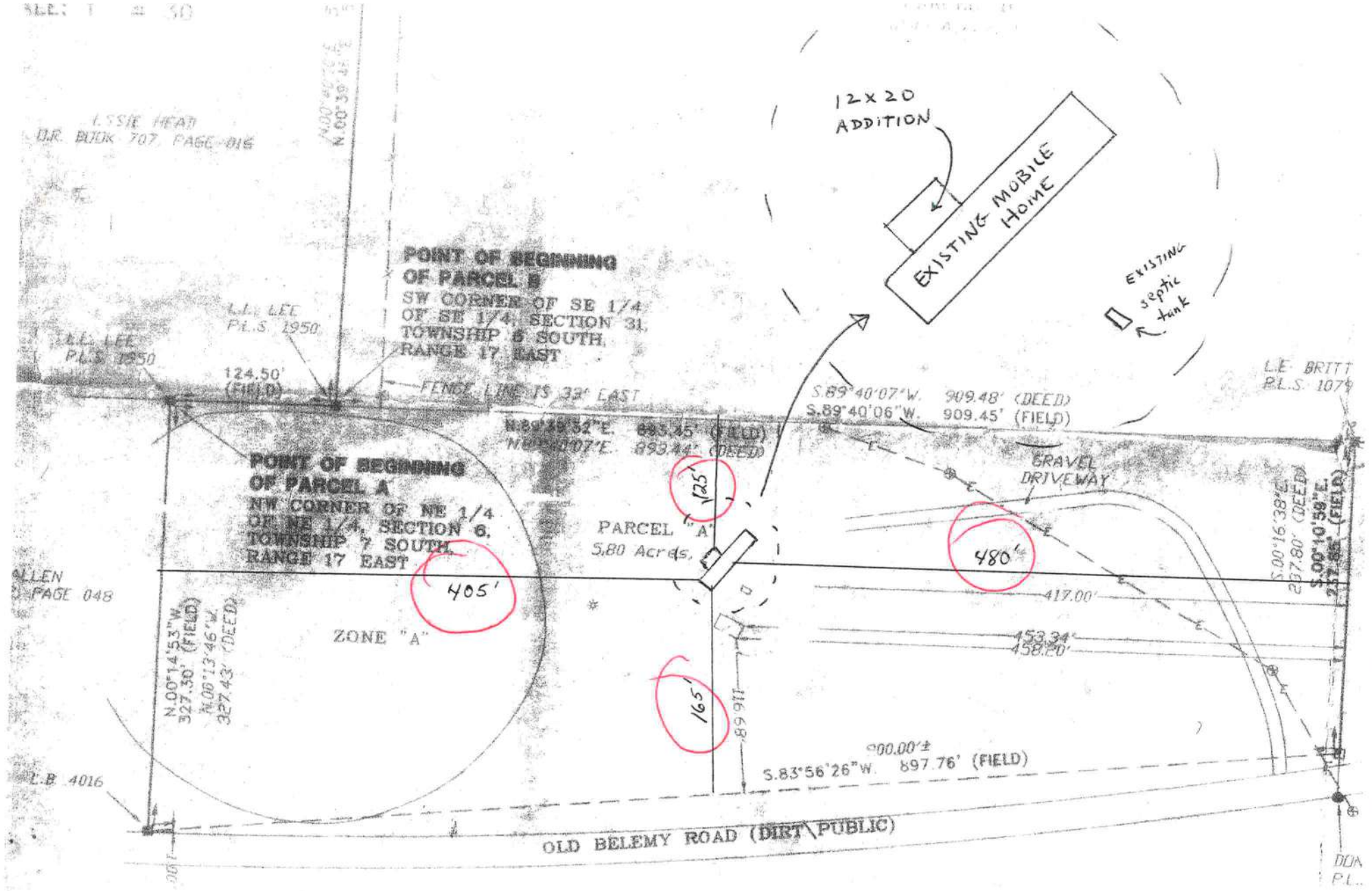
Contractor and authorized agent
Title

Plan Approved ✓ Not Approved ____

Date 2/11/11

By Sallie Ford. EH Director. Columbia
County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



KURT JOHNSEN BUILDERS, INC.
386-454-0449

SITE PLAN

WILLIAMS ADDITION
2345 OLD BELLAMY RD
FORT WHITE, FL 32038

1102-04

18.50
1120.00
160,000.

Prepared by and Return to:
Mary T. Dotson, an employee of
Alachua Title Services, LLC,
P.O. Box 2408 (32616), 16407 N.W. 174th Drive, Suite C
Alachua, Florida 32615
386-418-8183

File Number:09-012

Inst:200912003818 Date:3/10/2009 Time:4:06 PM
Doc Stamp-Deed:1120.00
DC,P DeWitt Cason,Columbia County Page 1 of 2 B:1168 P:2371

Warranty Deed

Made on March 9, 2009 A.D. by and between **Kevin Brown and Annetee Brown a/k/a Annette Brown, husband and wife,** whose address is 6202 193rd Street East, Bradenton, FL 34211, hereinafter called the "grantor", to **Malcolm M. Williams and Eileen P. Williams, husband and wife**, whose post office address is 156 Mountain View Drive, Pickens, SC 29671-8848, hereinafter called the "grantee":

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations).

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, ($10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in **Columbia** County, Florida, to-wit:

(PARCEL A)
BEGIN AT THE NORTHWEST CORNER OF THE NE 1/4 OF THE NE 1/4 OF SECTION 6, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N.89°40'07"E., ALONG THE NORTH LINE OF SAID SECTION 6 A DISTANCE OF 893.44 FEET; THENCE S.00°16'38"E., 237.80 FEET TO A POINT ON THE NORTHERLY MAINTAINED RIGHT-OF-WAY LINE OF OLD BELLAMY ROAD (A COUNTY GRADED ROAD); THENCE WESTERLY ALONG SAID NORTHERLY MAINTAINED RIGHT-OF-WAY LINE 900.00 FEET, MORE OR LESS TO A POINT ON THE WEST LINE OF SAID NE 1/4 OF THE NE 1/4; THENCE N.00°13'46"W, ALONG SAID WEST LINE, 327.43 FEET TO THE POINT OF BEGINNING.

ALSO (PARCEL B)
BEGIN AT THE SOUTHWEST CORNER OF THE SE 1/4 OF THE SE 1/4 OF SECTION 31, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA RUN N.00°40'10"E., ALONG THE WEST LINE OF SAID SE 1/4 OF SE 1/4 A DISTANCE OF 596.64 FEET; THENCE N.89°40'44"E., 909.09 FEET; THENCE S.00°38'15"W., 596.47 FEET TO A POINT ON THE SOUTH LINE OF SAID SECTION 31; THENCE S.89°40'07"W., ALONG SAID SOUTH LINE 909.42 FEET TO THE POINT OF BEGINNING.

Parcel Identification Number: R09823-000 & R09923-001

Subject to covenants, conditions, restrictions and easements of record.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Columbia County Property Appraiser

DB Last Updated: 1/6/2011

2010 Tax Year

Tax Collector | Tax Estimator | Property Card | Parcel List Generator | Interactive GIS Map | Print

Parcel: 06-7S-17-09923-001

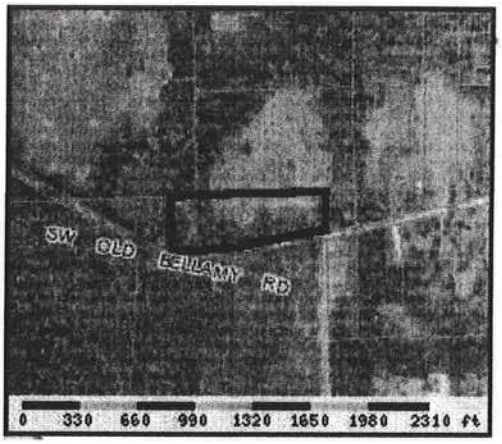
<< Next Lower Parcel | Next Higher Parcel >>

Search Result: 1 of 2 Next >>

Owner & Property Info

Owner's Name	WILLIAMS MALCOLM M & EILEEN P		
Mailing Address	156 MOUNTAIN VIEW DR PICKENS, SC 29671-8848		
Site Address	MOUNTAIN VIEW DR		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	3 (County)	**Neighborhood**	6717
Land Area	5.750 ACRES	**Market Area**	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		

BEG AT NW COR OF NE1/4 OF NE1/4, RUN E 893.44 FT, S 237.80 FT TO PT ON N'LY R/W OLD BELLAMY RD, THENCE WERLY ALONG R/W 900 FT, N 327.43 FT TO POB. ORB 587-40, 772-740, 1004-2504, WD 1168-2371



Property & Assessment Values

2010 Certified Values		
Mkt Land Value	cnt: (0)	$30,662.00
Ag Land Value	cnt: (1)	$0.00
Building Value	cnt: (0)	$0.00
XFOB Value	cnt: (0)	$0.00
Total Appraised Value		$30,662.00
Just Value		$30,662.00
Class Value		$0.00
Assessed Value		$30,662.00
Exempt Value		$0.00
Total Taxable Value		Cnty: $30,662 Other: $30,662 | Schl: $30,662

2011 Working Values

NOTE:
2011 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
3/9/2009	1168/2371	WD	V	Q	01	$160,000.00
1/15/2004	1004/2504	TR	V	U	03	$65,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SFR MANUF (000200)	2001	(31)	1216	1216	$29,269.00
	Note: All S.F. calculations are based on exterior building dimensions.					

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000200	MBL HM (MKT)	5.75 AC	1.00/1.00/1.00/1.00	$4,799.38	$27,596.00
009945	WELL/SEPT (MKT)	1 UT - (0000000.000AC)	1.00/1.00/1.00/1.00	$2,000.00	$2,000.00

Columbia County Property Appraiser DB Last Updated: 1/6/2011

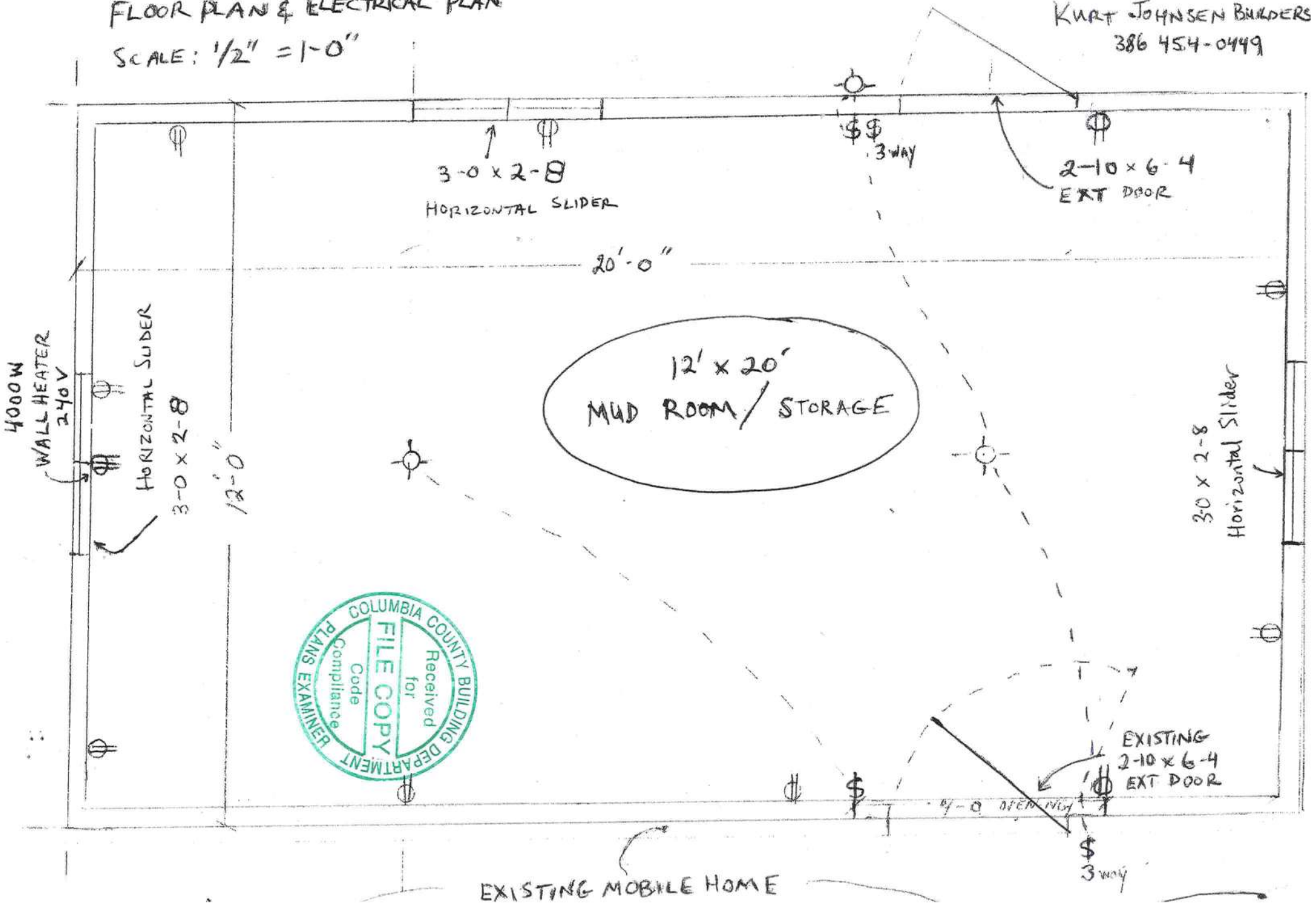
WILLIAMS ADDITION

FLOOR PLAN & ELECTRICAL PLAN

SCALE: 1/2" = 1-0"

2345 Old Bellamy Rd Fort White, FL

KURT JOHNSEN BUILDERS
386 454-0449



PRODUCT APPROVAL SPECIFICATION SHEET

Location: 2345 old Bellamy Rd. FORT WHITE, FL **Project Name:** Williams Addition

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are **applying for a building permit on or after April 1, 2004.** We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS	ELIXIR	Model 6000	
1. Swinging	INDUSTRIES	Combination ext. door & storm door	1722.5
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider	PGT	Vinyl with insulated glass	FL 10507.1
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass –through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11 Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other	STRUCTALL	SNAP N LOCK ROOF PANELS	5945-R3
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor	SIMPSON	AC6, ACE6	FL 10860
2. Truss plates		LUS28, HUC26-	FL 10655
3. Engineered lumber		LSTA9	FL 10852
4. Railing		HTS-16, SP4, H-10	FL 10456
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Kurt M Johnsen
Contractor or Contractor's Authorized Agent Signature

Kurt M. Johnsen
Print Name

2/4/11
Date

2210 SW Old Bellamy Rd Fort White, FL 32038
Location

STRUCTURAL ENGINEERING

FOR

WILLIAMS RESIDENCE ADDITION
Old Bellamy Road Fort White, FL 32038

w s e

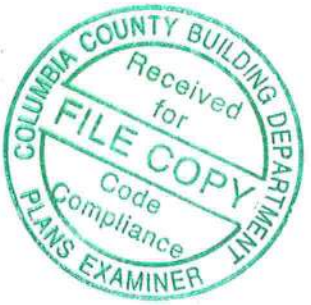
WAYLAND

STRUCTURAL ENGINEERING

8200 SW 16th Place Gainesville, FL 32607

Phone/Fax 352-331-0727

FL COA #8236



Project No. 11011
January 28, 2011

For
Kurt Johnsen
2210 SW Old Bellamy Rd. Fort White, FL 32038

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GREGORY S. WAYLAND, PE
FL PE #54396

1/31/11

WAYLAND STRUCTURAL ENGINEERING			Date:	1/28/2011
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By:	GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page:	1
Project Name:	WILLIAMS RESIDENCE ADDITION		For:	-
WSE Project Number:	11011			-
Project Location:	FORT WHITE, FL			-

STRUCTURAL SPECIFICATION

A. GENERAL

1. This STRUCTURAL SPECIFICATION shall be considered part of the contract documents for this project and shall be attached to the drawings prepared by: NA Date:
2. Roof truss layout, uplift loads and gravity loads relied upon for design of supporting walls, lintels, headers, footings, etc. prepared by: NA Date: -
3. Information and materials specified in this STRUCTURAL SPECIFICATION shall take precedence over that shown on the drawings.
4. Signing and sealing this document and/or the construction drawings by Wayland Structural Engineering certifies only the structural systems for this building, and is not a certification of the site plan, architectural, electrical, mechanical, plumbing or other systems that may be shown on the same drawing. WSE is not responsible for changes made to this document by others without written consent.
5. It is assumed that this building site is not located within a 100 year floodplain and is not designed for hydrostatic or moving water loads.

B. GOVERNING CODE

FLORIDA BUILDING CODE, 2007 + 2009 SUPPLEMENT

C. DESIGN LOADS

1. Dead Loads		(Section 1606)
Roof Top Chord	10	psf
Roof Bottom Chord	10	psf
Floor	10	psf
2. Live Loads		(Section 1607)
Floor Live Load	40	psf
Balconies	60	psf
Attics w/o storage	10	psf
Attics w storage	20	psf
3. Roof Live Loads		(Section 1607.11.2)
12:12 pitch	12	psf
10:12 pitch	14	psf
8:12 pitch	16	psf
6:12 pitch	18	psf
Flat to 4:12 pitch	20	psf

4. Wind Loads (Section 1609)

Enclosure Classification	Enclosed	
Basic Wind Speed (3 sec. gust)	110	mph
Wind Importance Factor, Iw	1.0	
Exposure Category	B	
Internal Pressure Coefficients:	+0.18, -0.18	

Design Wind Pressures for Doors and Windows:

Opening Area (sf)	Inward Pressure (psf)	Outward Pressure (psf)
0-10	21.8	-29.1
11-20	20.8	-27.2
21-50	19.5	-24.6
51-100	18.5	-22.6

D. EARTHWORK

1. **General:**
   a. **OWNER/CONTRACTOR CAUTION:** A geotechnical or soil investigation has not been performed for this site. It is recommended that the Owner or Contractor employ the services of a geotechnical engineer to perform soil borings and provide recommendations for preparation of the soils specific to this building site, and confirm the soil type assumed in this specification. WSE has no knowledge of the on-site soils and therefore accepts no responsibility for their bearing capacity or performance.
   b. Bearing soil is therefore presumed to be sandy soil with no organics, peat, clay, expansive clays, or boulders.
   c. It is assumed that seasonal high groundwater table is well below footing bearing elevation.
   d. The allowable soil bearing pressure is assumed to be 2,000 pounds per square foot.
   e. If the Contractor or Building Inspector encounters organics, clays, silts, boulders or high grounwater levels during foundation excavation, engineer of record and/or geotechnical engineer shall be contacted and/or employed to assess conditions first hand and give direction for additional corrective work or modifications to the design that may need to be performed.
2. **Site Preparation:**
   a. Strip all trees, grasses, topsoil and other organics from building footprint. Use root rake or similar equipment to remove roots.
   b. Proofcompact existing grade with loaded dump truck or compactor to densify existing soils and identify soft or loose soils.
   c. If soft soils are encountered during proofcompaction, overcut unsuitable material and replace with well graded sand. (See 1e. above)
3. **Excavation:**
   a. Excavations are to be performed in accordance with current OSHA standards. Contractor is responsible for excavation safety.
   b. Compact all excavation bottoms to firm unyielding condition. See B.6.c. for compaction requirement.
4. **Footing Bearing:**
   a. All foundations are to bear on undisturbed sandy soil soil or compacted fill as described herein.
   b. Bottom of footings are to extend at least 12 inches below grade.
5. **Ground/Surface Water Control:**
   a. Excavation and backfill operations are to be maintained in a dry condition.
   b. Slope or crown building subgrades to promote run-off and prevent ponding.
   c. Surface and infiltrating water are to be removed by grading and pumping from sumps if required.
6. **Backfill and Compaction:**
   a. Use only clean, well graded sand with no more than 10% passing #200 sieve for fill and backfill within building footprint.
   b. Mechanically compact all backfill within building footprint in maximum 12" loose lifts to firm unyielding consistency.
   c. Suggest compact to 95% of maximum dry density per Modified Proctor Test, ASTM D-1557.
7. **Pest Control:**
   a. Treat all slab subgrades for termites in accordance with the Florida Building Code and local ordinances.
8. **Exterior Grading:**
   a. Exterior grade is to be kept at least 6 inches below wood siding and/or foam insulation.
   b. Slope exterior grade away from building to promote drainage.

STRUCTURAL SPECIFICATION (Continued)

E. CONCRETE

1. General: Comply with Florida Building Code, Chapter 19, and ACI 301-99 Specifications for Structural Concrete.

2. Concrete:
- a. Cement: ASTM C150, Type I Portland cement
- b. Aggregate: ASTM C33, maximum aggregate size = 1 inch
- c. Water/cement ratio: 0.50 maximum
- d. Slump: 4 inches +/- 1 inch.
- e. Air entraining: ASTM C 260, concrete is to be air entrained for mild exposure, 3 - 6%.

COMPRESSIVE STRENGTH, (psi) min. at 28 days	
Member	Strength
Footings	2,500

3. Reinforcing: ASTM A615, Grade 40.

LAPS, BENDS, HOOKS			
Bar Size	Lap Length	Bend Diameter	Hook Length
#3	15"	2 1/4"	6"
#4	20"	3"	8"
#5	25"	3 3/4"	10"
#6	30"	4 1/2"	12"

BAR COVER	
Condition	Minimum Cover
Cast against and exposed to earth	3"
Exposed to earth or weather	1 1/2"
Not exposed to weather or earth	
Slabs, walls, joists	3/4"
Beams, columns (stirrups, ties)	1 1/2"

F. WOOD FRAMING

1. General: Comply with the Florida Building Code, Chapter 23.

2. Studs:

Wall height	Member	Spacing	Grade	Species
Up to 10 ft.	2x4	16" o.c.	No. 2	Spruce-Pine-Fir (SPF)

3. Headers, Joists, Beams: No. 2, Southern Pine (SP).

4. Posts: No. 2, Southern Pine (SP).

5. Sheathing:
- a. Wall Sheathing: 7/16" thick, Oriented Strand Board (OSB), Sheathing Grade, Exposure 1.
  Fasten with 8d nails @ 6" o.c at panel edges, 12" o.c. along intermediate supports.
  Install panels vertically. Nail top edge to top plate. Provide solid blocking at all panel edges.
- b. Floor Sheathing: 3/4" thick, APA Rated Sturd-I-Floor plywood, tongue & groove, exposure 1.
  Fasten with construction adhesive and 10d common nails @ 6" o.c at panel edges, 12" o.c. along intermediate supports.
  Install panels perpendicular to supports, stagger joints one-half panel length.

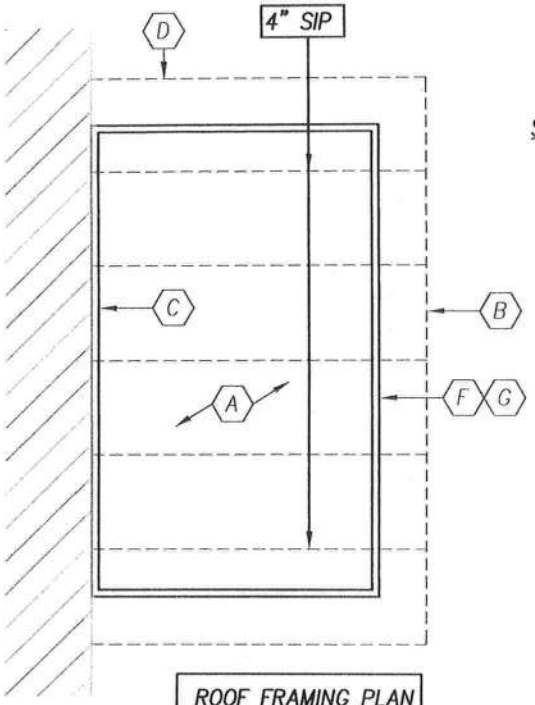
6. Fasteners:
- a. Nails: Comply with Florida Building Code, 2006 Supplement, Table 2304.9.1, "Fastening Schedule."
- b. Bolts: ASTM A307, hot-dip galvanized, see plan for size and quantity.
- c. Uplift Anchors & Ties: Simpson Strong-Tie,
- d. Corrosion Protection: All fasteners exposed to weather or in contact with preservative treated wood shall be hot-dip galvanized to G185. For Simpson connectors, provide "Z-Max" coating.

G. WINDOWS, DOORS, SKYLIGHTS

1. Design: Wayland Structural Engineering is not responsible for the design, construction, or attachment of windows, doors or skylights. The building envelope is designed assuming a fully enclosed condition, therefore windows, doors and skylights must be designed to support the same wind pressures that walls and roofs are designed for.

2. Certification: Window, door and skylight manufacturer shall submit certification indicating that window or door units can adequately support design wind pressures for the specified wind zone as shown in section C.4. above.

3. Fastenings: Window, door and skylight manufacturer is to provide fastening information for attachment to supporting construction.



ROOF FRAMING PLAN

SYMBOL KEY

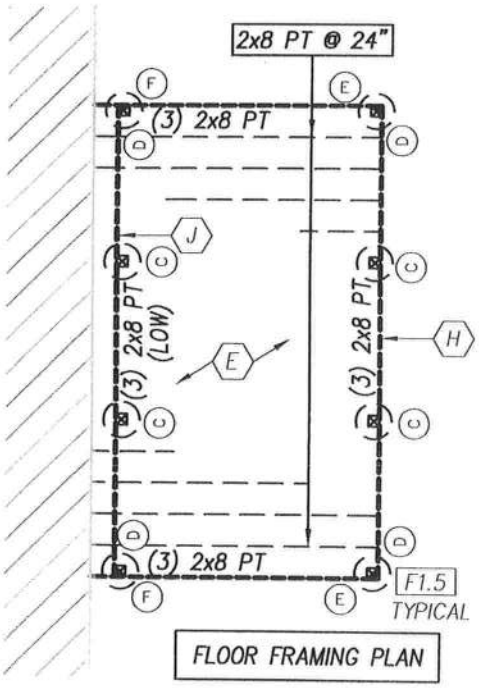
- (B) DETAIL
- (A) ANCHOR
- F2.5 FOOTING
- EXTERIOR BEARING/ SHEAR WALL
- TRUSS OR JOIST
- BEAM

ANCHORS (SIMPSON STRONG-TIE)

- (A) "H2.5A" + (3) 10d TOE-NAILS UNLESS OTHERWISE NOTED
- (B) "H10"
- (C) "AC6"
- (D) "ACE6"
- (E) "HUC26-3"
- (F) "HTS16"

FOOTING SCHEDULE

F1.5 1'-6" DIA. x 3'-0" DEEP



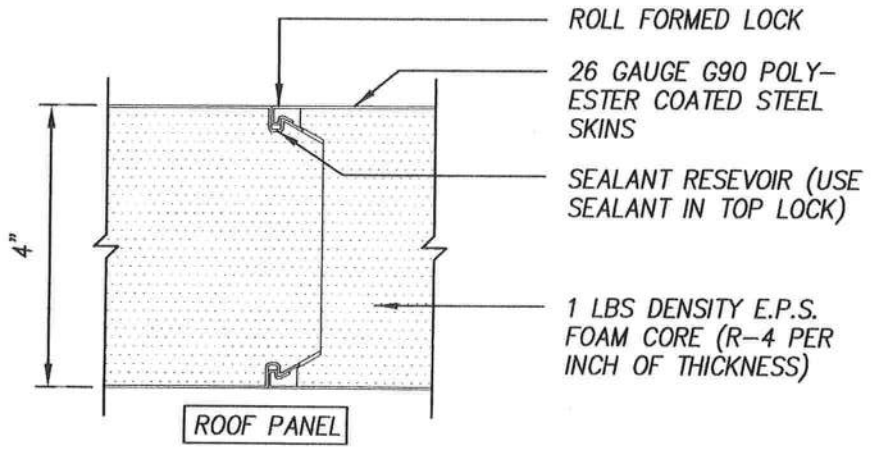
FLOOR FRAMING PLAN

WAYLAND STRUCTURAL ENGINEERING

wse

GREGORY S. WAYLAND, PE
8200 SW 16TH PLACE GAINESVILLE, FL 32607
PHONE/FAX: (352) 331-0727
FLORIDA PE #54396 COA #8236

PROJECT NAME: WILLIAMS RESIDENCE ADDITION			
LOCATION: FORT WHITE, FLORIDA			
DWG. NAME: STRUCTURAL PLAN			
SCALE: 1/8" = 1'-0"	BY: GSW	DWG NO.	S1
PROJECT NO: 11011	DATE: 01/28/2011		

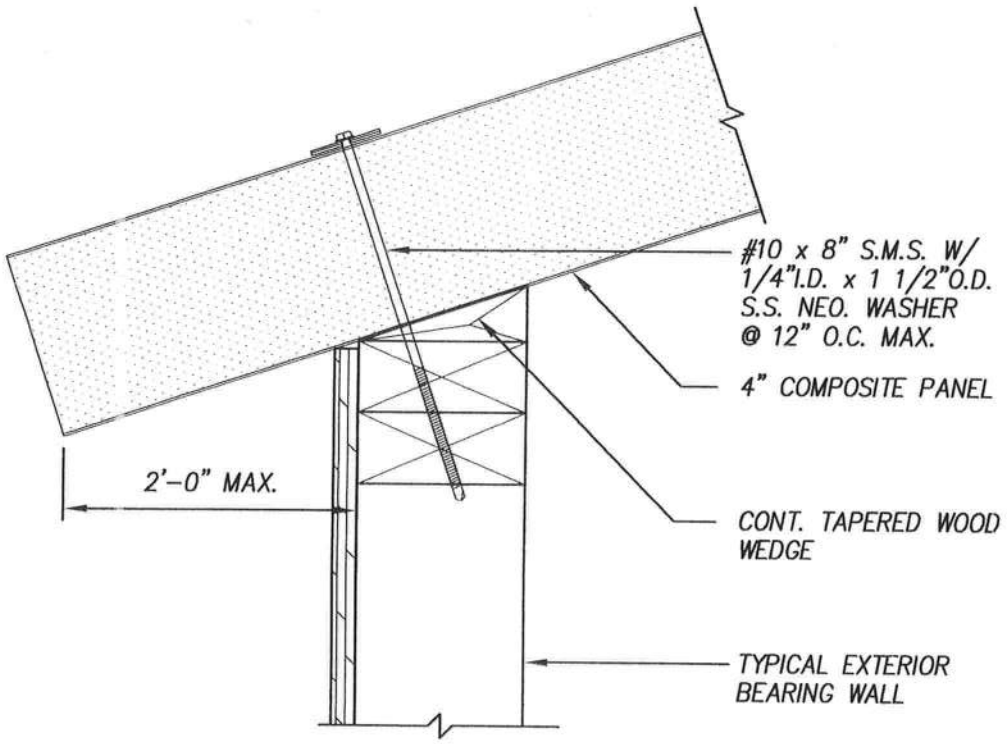


A

Snap-N-Lock Panels, 4"

3" = 1'-0"

SIP 001

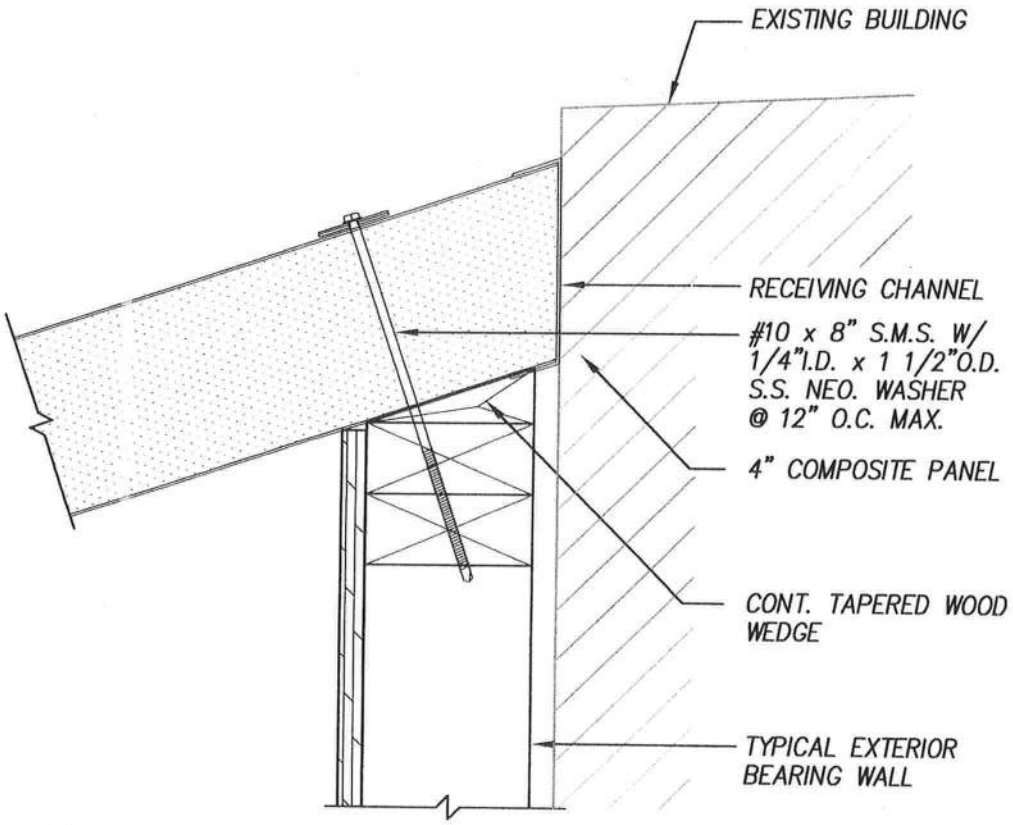


B

Panel Roof to Wood Wall

3" = 1'-0"

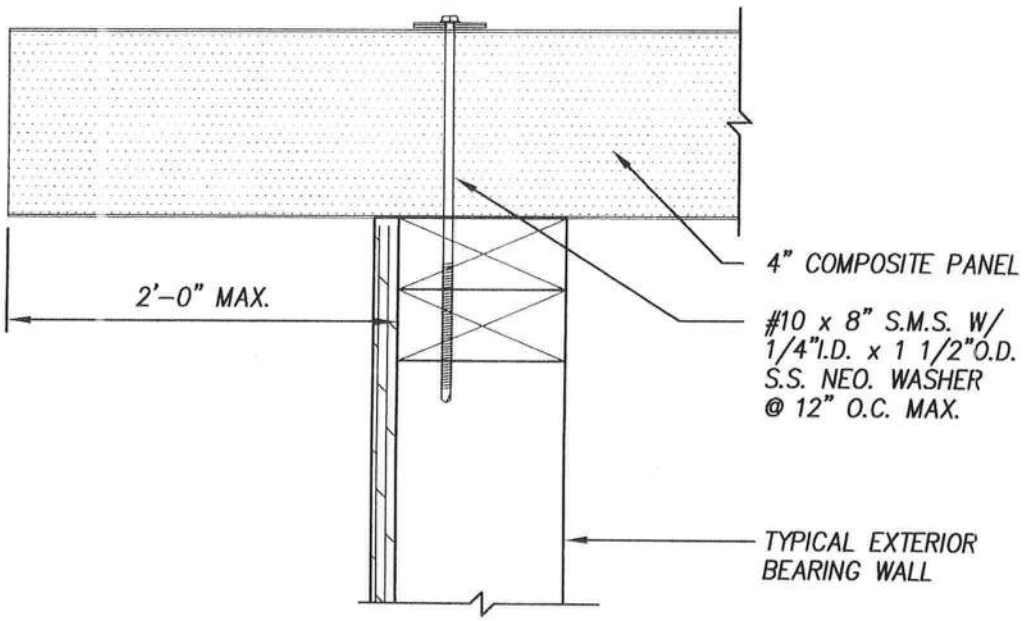
SIP R250



C **Panel Roof to Wood Wall**

3" = 1'-0"

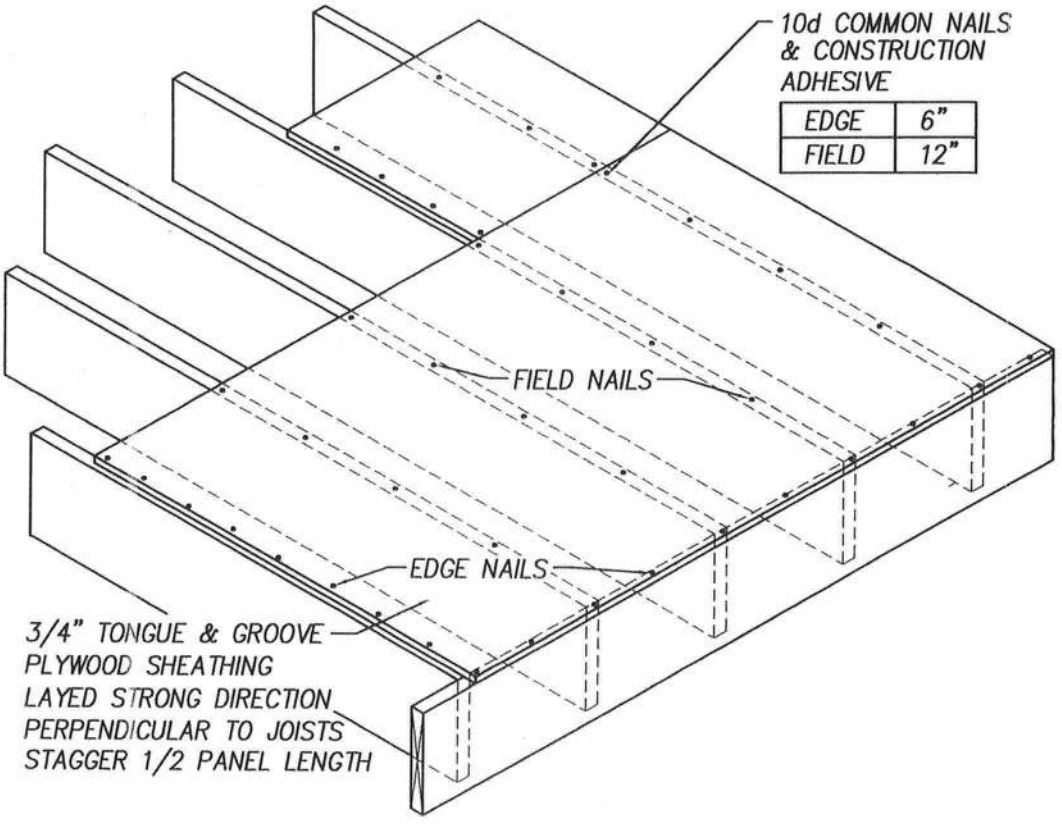
SIP R250A



D **Panel Roof to End Wall**

3" = 1'-0"

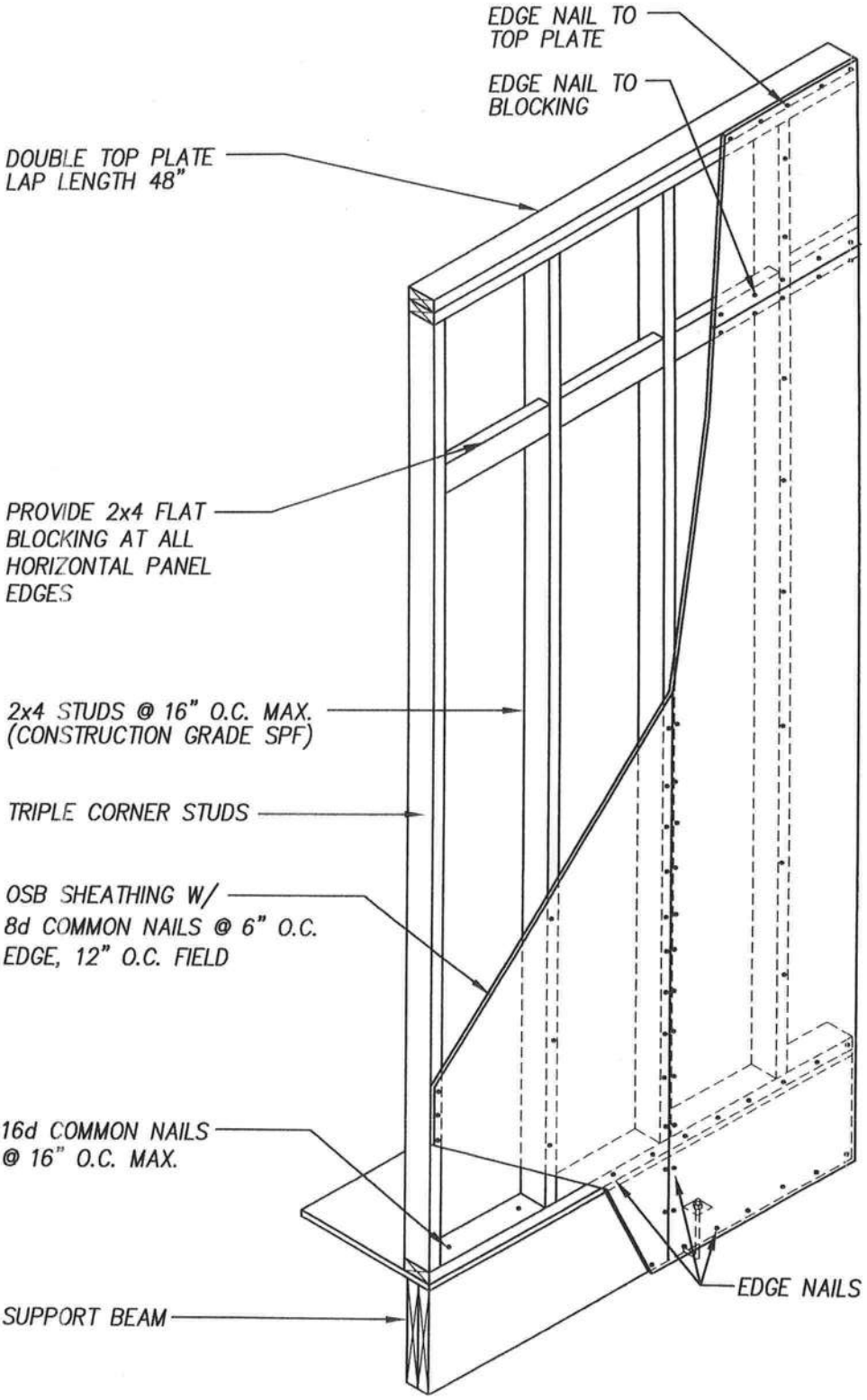
SIP R270



E **Typical Floor Sheathing Detail**

1/2" = 1'-0"

WOOD-F000

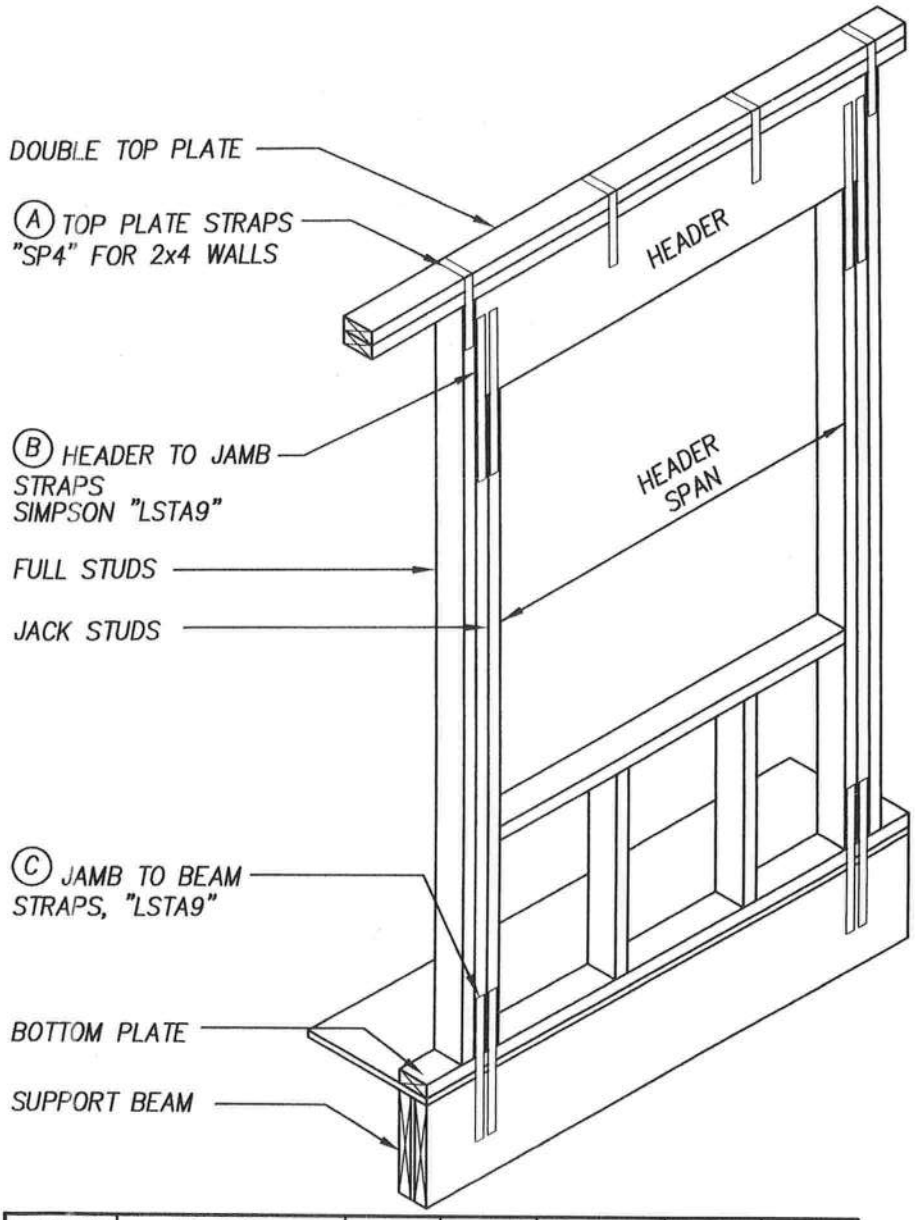


F

Typical Exterior Bearing Wall

1/2" = 1'–0"

WOOD–W400G



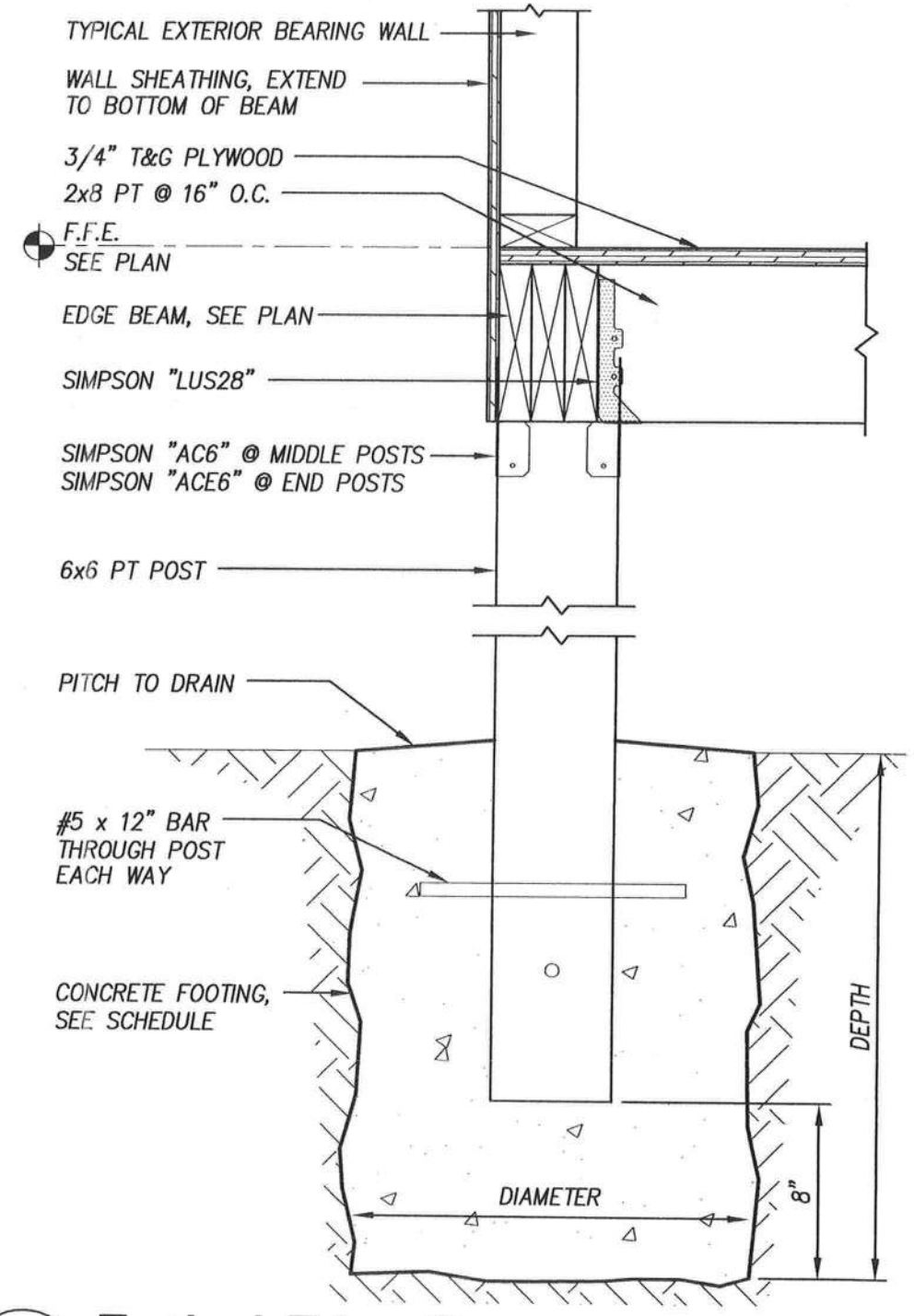
HEADER SPAN (FT)	HEADER	QTY JACK STUDS	QTY FULL STUDS	STRAP (A) SPACING	STRAP (B) QTY	STRAP (C) QTY
4'-0"	(2) 2x4	1	1	NONE	1	1

1. DIMENSIONAL LUMBER HEADERS – NO. 2 SOUTHERN PINE (SP).
2. ALL CONNECTORS ARE BY SIMPSON STRONG-TIE OR EQUIVALENT.
3. PROVIDE 1/2" OSB SPACER BETWEEN PLIES FOR DIMENSIONAL LUMBER.
4. FASTEN HEADER PLIES TOGETHER WITH 16d NAILS @ 12" O.C. STAGGERED.
5. FASTEN JAMB STUDS TOGETHER WITH 10d NAILS @ 12" O.C.

G **Typical Header Schedule**

1/2" = 1'-0"

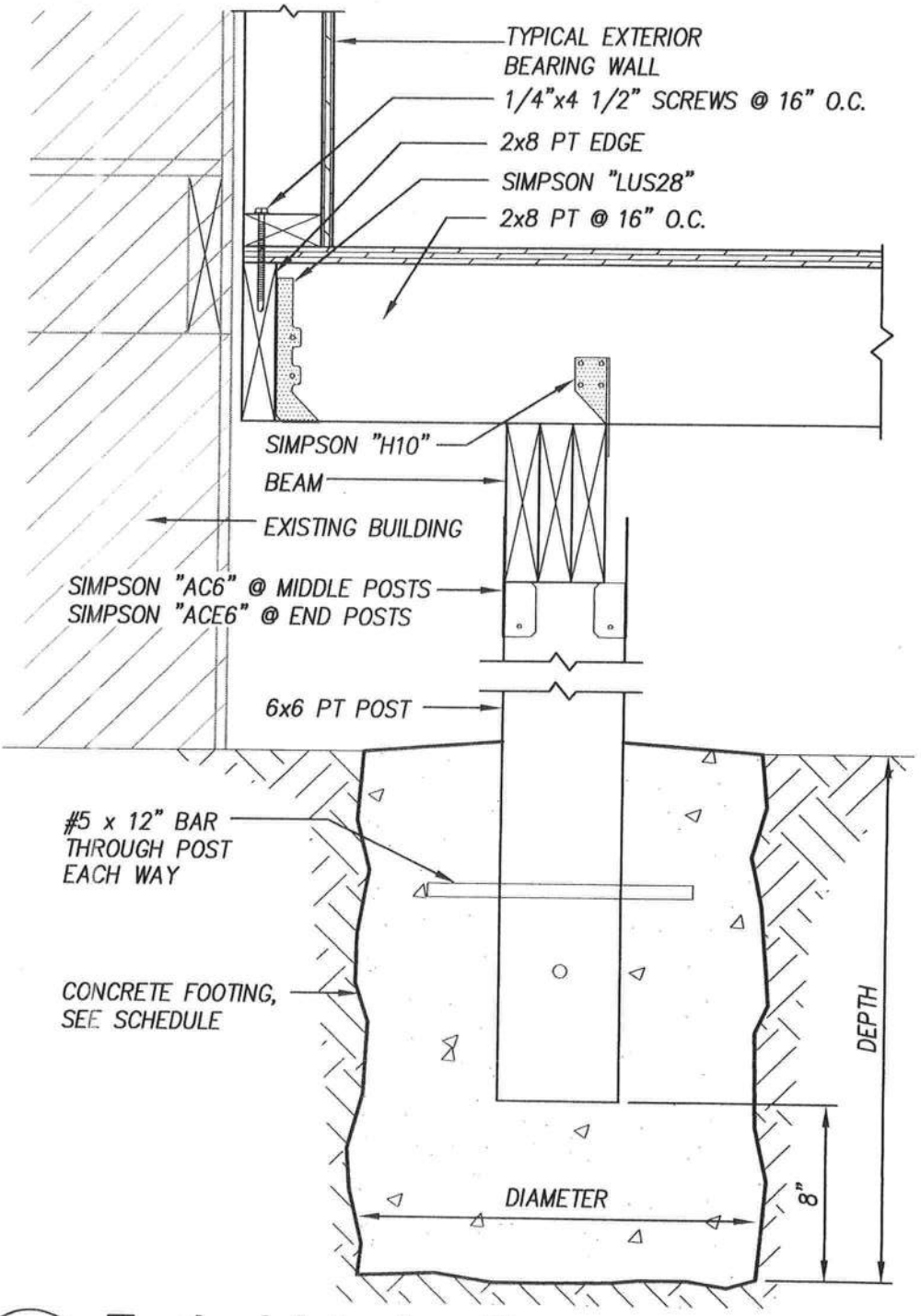
WOOD-W300B



H **Typical Edge Beam**

1 1/2" = 1'-0"

WOOD-F204



J

Typical Interior Beam

1 1/2" = 1'-0"

WOOD-F205

WAYLAND STRUCTURAL ENGINEERING			Date:	
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By:	GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page:	13
Project Name:	WILLIAMS RESIDENCE ADDITION		For:	
WSE Project Number:	11011			
Project Location:	FORT WHITE, FLORIDA			

STRUCTURAL INSULATED PANEL (SIP) BUILDING DESIGN

A. DESIGN LOADS

1. Roof Dead Load — DL = 6 psf
2. Roof Live Load — LL = 16 psf (Slope 4:12 to 12:12); 20 psf (Slope < 4:12)
3. Wind Loads

Wind Speed	110	mph
Exposure	B	
Importance	1.0	
Enclosure	Fully Enclosed	

a. Roof Uplift

	Building	Overhangs
Zone 1	18.1	40.6
Zone 2	29.1	40.6
Zone 3	29.1	42.4

End Strip a = 3.00 ft
End Zone z = 6.00 ft

b. Walls

Zone 4	20.4
Zone 5	22.6

c. MWFRS

	Walls		Roof	
	Interior	End	Interior	End
Transverse	17.7	22.6	-3.9	-7.0
Longitudinal	12.7	19.2	-5.9	-10.0

B. HIGH ROOF PANEL DESIGN

1. Slope — 0.5 /12
2. Span — L = 12.00 ft
3. Overhang — OH = 2.00 ft
4. Reactions — R Ridge = 117 plf; R Eave= 163 plf
5. Uplifts — U Ridge = 142 plf; U Eave= 223 plf
6. Roof Panel Selection
   a. From "STRUCTALL SNAP-N-LOCK" PANEL SPANS "ENCLOSED STRUCTURES,"
      Try: 4" - 26 GA. PANEL
      Allowable Span: 13.00 ft OK
   b. From "STRUCTALL SNAP-N-LOCK" PANEL SPANS "DEAD/LIVE LOADS," (see appendix)
      Try: 4" - 26 GA. PANEL
      Allowable Span: 13.00 ft OK
   c. Therefore, use **4" - 26 GA. STEEL "SNAP-N-LOCK" PANEL by STRUCTALL**
7. Roof Panel Connection to Ridge Member
   a. Base Material — WOOD
   b. Screw Size — #10
   c. Screw Spacing — 12 in
   d. Allowable Pullout — 229 lb/screw (with 33% stress increase)
   e. Actual Pullout — 142 lb/screw OK
   f. Therefore, use **#10 SCREWS @ 12 INCHES O.C. AT RIDGE**
8. Roof Panel Connection to Eave Member
   a. Base Material — WOOD gauge
   b. Screw Size — #10
   c. Screw Spacing — 12 in
   d. Allowable Pullout — 229 lb/screw (with 33% stress increase)
   e. Actual Pullout — 223 lb/screw OK
   f. Therefore, use **#10 SCREWS @ 12 INCHES O.C. AT EAVE**

WAYLAND STRUCTURAL ENGINEERING			Date:	
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By:	GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page:	14
Project Name:	**WILLIAMS RESIDENCE ADDITION**	For:	KURT JOHNSEN	
WSE Project Number:	11011		-	
Project Location:	FORT WHITE, FL		-	

VERTICAL WALL MEMBERS (STUDS & POSTS)

Refer to Truss Engineering or Truss Uplift Calculations for calculations of vertical roof loads to be supported by walls.
Refer to attached spreadsheets for individual stud or post design calculations.

A. TYPICAL EXTERIOR BEARING WALL STUDS

Stud Height H = 8.00 ft
Stud Spacing s = 16 in

Load Case 1 - DL + LL

	Uniform Axial Load, (plf)	Axial Load (lb/stud)
Dead Load	38	51
Live Load	125	167
Total	**163**	**217**

Load Case 2 - 0.6DL + WL

	Uniform Axial Load, (plf)	Axial Load (lb/stud)
0.6 Dead	23	30
Wind Uplift	223	297

Lateral Wind	Pressure (psf)	Uniform load (plf)
	22.6	30.1

USE: 2x4 STUDS @ 16" O.C., CONSTRUCTION GRADE SPRUCE-PINE-FIR (SPF)
W/ DOUBLE 2x4 TOP PLATE, 2x4 P.T. BOTTOM PLATE & STRUCTURAL SHEATHING FULL HEIGHT ONE SIDE OF STUD

WAYLAND STRUCTURAL ENGINEERING			Date:	
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8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page:	15
Project Name: **WILLIAMS RESIDENCE ADDITION**		For:	KURT JOHNSEN	
WSE Project Number:			-	
Project Location:			-	

HORIZONTAL WALL MEMBERS (HEADERS, BEAMS, GIRDERS)

A. TYPICAL WALL HEADERS

Dead Load	38	plf
Live Load	125	plf
Total	163	plf
Wind Uplift	223	plf

		Header Span, (ft)				
		3.00	4.00			
Uplift, (lb)	U =	335	446			
Shear, (lb)	V =	245	326			
Moment (in-lb)	M =	2,201	3,912			
Deflection (in)	delta total =	0.15	0.20			
	delta live =	0.10	0.13			
Area (in^2)	A =	2.2	2.9			
Section Mod. (in^3)	S =	1.8	3.2			
Mom. of Inertia (in^4)	I total =	1.2	2.9			
	I live =	1.4	3.4			
Header		**(2) 2x4**	**(2) 2x4**			
Straps	Plate to Hdr*	**NONE**	**NONE**			
	Hdr to Post	**(1) LSTA9**	**(1) LSTA9**			
Jamb Posts	Jack	**1**	**1**			
	Full	**1**	**1**			

WAYLAND STRUCTURAL ENGINEERING			Date:	
Gregory S. Wayland, PE	FL PE #54396	FL COA #8236	By:	GSW
8200 SW 16th Place Gainesville, FL 32607	Ph/Fax 352-331-0727		Page:	16
Project Name: WILLIAMS RESIDENCE ADDITION			For:	KURT JOHNSEN
WSE Project Number:				-
Project Location:				-

C. LATERAL ANALYSIS

1. Building Data

Building Length	L =	20.00	ft
Building Width	B =	12.00	ft
Eave Height	he =	8.00	ft
Peak ht above eave	hp =	9.00	ft
Roof Slope		1	/12
Exposure Category		B	
Adjustment Coefficient		1.00	

2. Edge Zone

a = 0.10*B	1.20	ft
a = 0.40*h	3.20	ft
a =	1.20	ft
a = 0.04*B	0.48	ft
a = 3.00	3.00	ft
a =	**3.00**	**ft**

3. End Zone

z = 2*a = **6.00** **ft**

4. LONGITUDINAL DIRECTION

MWFRS Wind Pressures:

Wall Interior Zone	12.7	psf
Wall End Zone	19.2	psf
Roof Interior Zone	-5.9	psf
Roof End Zone	-10.0	psf

Wall Shear Force:

Interior	0.00	kips
End	0.92	kips
Total	0.92	kips

Roof Shear Force:

Interior	0.00	kips
End	-0.02	kips
Total	-0.02	kips
Use	0.00	kips

Total Shear Force:

V = **0.92** **kips**

Roof Diaphragm Check:

Diaphragm shear	v =	23	plf
Allowable shear	v =	240	plf
	check	OK	

Shear Wall Check:

Shear wall length	d =	14.00	ft
Shear wall height	h =	8.00	ft
Shear in wall	v =	33	plf
Allowable shear	v =	260	plf
	check	OK	

Overturning moment **M =** 3686 ft-lb

Uplift at Corner **T =** 184 lb

5. TRANSVERSE DIRECTION

MWFRS Wind Pressures:

Wall Interior Zone	17.7	psf
Wall End Zone	26.6	psf
Roof Interior Zone	-3.9	psf
Roof End Zone	-7.0	psf

Wall Shear Force:

Interior	0.57	kips
End	1.28	kips
Total	1.84	kips

Roof Shear Force:

Interior	-0.14	kips
End	-0.01	kips
Total	-0.15	kips
Use	0.00	kips

Total Shear Force:

V = **1.84** **kips**

Roof Diaphragm Check:

Diaphragm shear	v =	77	plf
Allowable shear	v =	240	plf
	check	OK	

Shear Wall Check:

Shear wall length	d =	9.00	ft
Shear wall height	h =	8.00	ft
Shear in wall	v =	102	plf
Allowable shear	v =	260	plf
	check	OK	

Overturning moment **M =** 7373 ft-lb

Uplift at Corner **T =** 369 lb

WALL SHEATHING:

USE: 7/16" THICK ORIENTED STRAND BOARD (OSB), SHEATHING GRADE
W/ 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES, 12" O.C. AT PANEL INTERIOR,
W/ SOLID 2x4 BLOCKING AT ALL PANEL EDGES

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Project Location: FORT WHITE, FLORIDA				

TYPICAL FLOOR JOISTS

$W_d = (1.33)(10) = 13$

$W_\ell = (1.33)(40) = 53$

$w = 66$ plf

$P_d = [(12/2)(20) + (8)(10)]\,1.33 = 266$

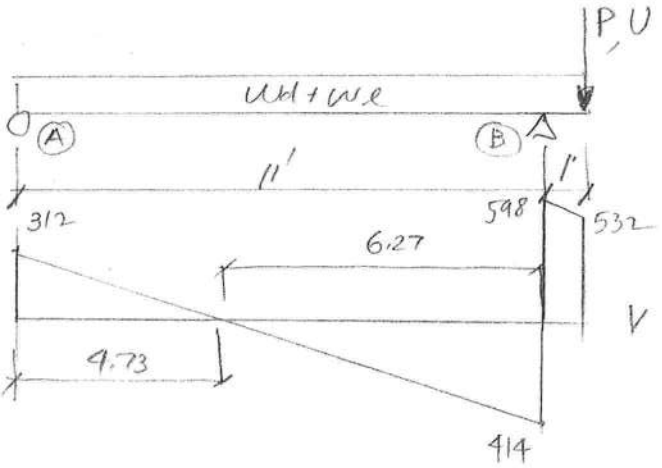
$P_\ell = 266$

$P = 532$ lb

$V = (149/2)(1.33) = 99$ lb

$R_A = 312$ $\quad R_B = 1012$ lb.

$U_A = -916$ $\quad U_B = 108$ lb.



$V_{max} = 598$ lb

(back span) $M_{max} = 1298 \times 12 = 15576$ in-lb $\quad W_{eq} \cong 8(1298)/11^2 = 86$ plf

(cant.) $M_{max} = 565 \times 12 = 6780$ in-lb $\quad W_{eq} \cong 86(53/66) = 69$ plf

$A = 598/(90 \times 1.15 \times 1.25) = 4.6$ in^2

$S = 15576/(1000 \times 1.25 \times 1.15) = 9.0$ in^3

$\Delta_\ell = (132/360) = 0.37$ in

$I_e = \dfrac{5(69/12)\,132^4}{384\,(1.6 \times 10^6)\,0.37} = 38.4$ in^4

∴ USE 2x8 PT JOISTS @ 16" OC. (NO 2 SP)

connectors

$U = 108$ lb. $\quad F_2 = (22.6)(8)(1.33) = 240$ lb

try H10

$I = \dfrac{108}{990} + \dfrac{240}{525} = 0.57 < 1.0$ OK

TYPICAL SIDE FLOOR BEAM $L = 6'-8$

$Wd = 8(20) + 18(10) + (6)(10) = 300$

$Wl = 8(70) + (6)(40) = 400$

$w = 700\ \#$

$u = (284/2) - (8)(10) = 62\ \#$

$V = 700(6.67/2) = 2335\ lb/end$ $\quad P = 4669\ lb/post$

$U = 62(6.67/2) = 207\ lb/end$ $\quad U = 414\ lb/post$

$M = 1/8(700)6.67^2 \times 12 = 46,713\ in\cdot lb.$

$\Delta = 80/240 = 0.33 in.$

$A = 2335/(90 \times 1.25) = 20.8\ in^2$

$S = 46713/(1200 \times 1.25) = 31.1\ in^3$

$I = \dfrac{5(700/12)80^4}{384(1.6 \times 10^6)0.33} = 58.9\ in^4$

$\therefore$ USE **(3) 2X8 PT. BEAM (NO. 2 SP)**

connection

$U = 414$ $\quad F_2 = \{(19.2 \times 6 \times 2) + (12.7 \times 8)\}\ 8/8 = 332\ lb$

for "AC6"

$U = 2500$, $F = 1070$

$I = \dfrac{414}{2500} + \dfrac{332}{1070} = 0.48 < 1.0$ OK

$\therefore$ USE **SIMPSON "AC6" FOR MIDDLE POSTS**
SIMPSON "ACE6" FOR END POSTS

FOOTINGS

$P = 4669\ lb.$ $\quad U = 207\ lb$

$V = 332\ lb.$ $\quad M = 332(2) = 664\ ft.lb.$

See attached spreadsheet.

$\therefore$ USE **1'-6" DIA. x 3'-0 DEEP FOOTING**

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TYPICAL FLOOR END BEAM $L = 12'$

$W_d = (3)(20) + (8)(10) + 0.67(10) = 147$

$W_L = (3)(25) + (0.67)(40) = 87$

$w = 234$ plf

$V = 234(12/2) = 1404$ lb

$M = 1/8(234)12^2 \times 12 = 50544$

$\Delta = 144/240 = 0.6$

$A = 1404/(90 \times 1.25) = 12.5$ in^2

$S = 50544/(1200 \times 1.25) = 33.7$ in^3

$I = \dfrac{5(234/12)144^4}{384(1.6 \times 10^6)\,0.6} = 114$ in^4

∴ USE (3) 2X8 PT BEAM (NO. 2 SP) w/ SIMPSON "HUC26-3"

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WOOD COLUMN DESIGN Referenced Codes: Florida Building Code, 2001 and National Design Specification 1997

MEMBER DESCRIPTION: TYPICAL EXTERIOR BEARING WALL STUDS (LOAD CASE 1 - DL + LL)

A. Member Properties

1. Wood Species		SPF		
2. Wood Grade		No. 2		
3. Trial Member Size		2x4 @ 16" o.c.		nominal
4. Allowable Stresses		Fb =	1,000	psi
		Fb* =	1,438	psi
		Fv =	70	psi
		Fv' =	151	psi
		Fc =	1,400	psi
		Fc* =	2012.5	psi
		E =	1,300,000	psi
		E' =	1,300,000	psi
Bearing II to Grain	Table 2A	Fg =	1,220	psi
		Fg' =	1,525	psi
		G =	0.55	
5. Allowable Deflection		L/	180	

B. Member Dimensions

Width	dx =	3.50	in.
Thickness	dy =	1.50	in.
Length	Lux =	8.00	ft
	Luy =	1.00	ft
Effective Length Factor	Kex =	1.00	
	Key =	1.00	
Effective Length	Lex =	96	in
	Ley =	12	in
Slenderness Ratios	Lex/dx =	27	
	Ley/dy =	8	
Area	A =	5.25	in^2
Section Modulus	Sx =	3.06	in^3
	Sy =	1.31	in^3
Moment of Inertia	Ix =	5.36	in^4
	Iy =	0.98	in^4
Member laterally supported (y-axis) throughout length by sheathing		X	YES
			NO

C. Loading

Axial load	Pd =	217	lb
	Pl =	217	lb
	P =	434	lb
Uniform horizontal load	wx =	0.0	plf
	wy =	0.0	plf
Shear	Vx =	0	lb
	Vy =	0	lb
Moment	Mx =	0	in-lb
	My =	0	in-lb

D. Use Factors

Load Duration Factor	CD =	1.25	
Wet Service Factor	CM =	1.00	
Temperature Factor	CT =	1.00	1.00
Beam Stability Factor	CL =	1.00	
Repetitive Member Factor	Cr =	1.15	
Flat Use Factor	Cfu =	1.00	
Shear Stress Factor	CH =	1.50	

E. Column Design

Column Stability Factor

c =	0.80	sawn lumber
KcE =	0.30	visually graded lumber
Le/d =	27	<= 50, OK
Fce =	518	psi
Fce/Fc* =	0.258	
Cp =	**0.24**	

Beam Stability Factor

Rb =	12.22	
KbE =	0.439	visually graded lumber
Fbe =	3,822	
Fbe/Fb* =	2.66	
CL =	0.68	
CL =	**1.00**	

Shear Check

Fv' =	151	psi	
fvx =	0	psi	OK
fvy =	0	psi	OK

Deflection Check

allowable deltax =	0.53	in	
calculated deltax =	0.00	in	OK
allowable deltay =	0.07	in	
calculated deltay =	0.00	in	OK

Bearing Area Check

calculated fg =	83	psi	
allowable Fg'=	1,220	psi	OK

Dead + Live Load

A req'd =	0.89	in^2	OK
fc =	83	psi	
Fc' =	487	psi	
Interaction Equation =		0.17	NDS 3.9-3

Dead + Wind Load

fc =	41	psi	
fb =	0	psi	
Fc' =	487	psi	
Fb' =	1,438	psi	
Interaction Equation =		0.01	NDS 3.9-3

INTERACTION EQUATION =	0.170	USE	No. 2	SPF	2x4 @ 16" o.c.

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WOOD COLUMN DESIGN Referenced Codes: Florida Building Code, 2001 and National Design Specification 1997

MEMBER DESCRIPTION: TYPICAL EXTERIOR BEARING WALL STUDS (LOAD CASE 2 - DL + WL)

A. Member Properties

1. Wood Species		SPF		
2. Wood Grade		No. 2		
3. Trial Member Size		2x4 @ 16" o.c.		nominal
4. Allowable Stresses		Fb =	1,000	psi
		Fb* =	1,840	psi
		Fv =	70	psi
		Fv' =	193	psi
		Fc =	1,400	psi
		Fc* =	2576	psi
		E =	1,300,000	psi
		E' =	1,300,000	psi
Bearing II to Grain	Table 2A	Fg =	1,220	psi
		Fg' =	1,952	psi
		G =	0.55	
5. Allowable Deflection		L/	180	

B. Member Dimensions

Width	dx =	3.50	in.
Thickness	dy =	1.50	in.
Length	Lux =	8.00	ft
	Luy =	1.00	ft
Effective Length Factor	Kex =	1.00	
	Key =	1.00	
Effective Length	Lex =	96	in
	Ley =	12	in
Slenderness Ratios	Lex/dx =	27	
	Ley/dy =	8	
Area	A =	5.25	in^2
Section Modulus	Sx =	3.06	in^3
	Sy =	1.31	in^3
Moment of Inertia	Ix =	5.36	in^4
	Iy =	0.98	in^4
Member laterally supported (y-axis) throughout length by sheathing		X	YES
			NO

C. Loading

Axial load	Pd =	217	lb
	Pl =	0	lb
	P =	217	lb
Uniform horizontal load	wx =	30.0	plf
	wy =	0.0	plf
Shear	Vx =	120	lb
	Vy =	0	lb
Moment	Mx =	2,880	in-lb
	My =	0	in-lb

D. Use Factors

Load Duration Factor	CD =	1.60	
Wet Service Factor	CM =	1.00	
Temperature Factor	CT =	1.00	1.00
Beam Stability Factor	CL =	1.00	
Repetitive Member Factor	Cr =	1.15	
Flat Use Factor	Cfu =	1.00	
Shear Stress Factor	CH =	1.50	

E. Column Design

Column Stability Factor

c =	0.80	sawn lumber
KcE =	0.30	visually graded lumber
Le/d =	27	<= 50, OK
Fce =	518	psi
Fce/Fc* =	0.201	
Cp =	**0.19**	

Beam Stability Factor

Rb =	12.22	
KbE =	0.439	visually graded lumber
Fbe =	3,822	
Fbe/Fb* =	2.08	
CL =	0.61	
CL =	**1.00**	

Shear Check

Fv' =	193	psi	
fvx =	34	psi	OK
fvy =	0	psi	OK

Deflection Check

allowable deltax =	0.53	in	
calculated deltax =	0.40	in	OK
allowable deltay =	0.07	in	
calculated deltay =	0.00	in	OK

Bearing Area Check

calculated fg =	41	psi	
allowable Fg'=	1,220	psi	OK

Dead + Live Load

A req'd =	0.44	in^2	OK
fc =	41	psi	
Fc' =	495	psi	
Interaction Equation =		0.08	NDS 3.9-3

Dead + Wind Load

fc =	41	psi	
fb =	940	psi	
Fc' =	495	psi	
Fb' =	1,840	psi	
Interaction Equation =		0.56	NDS 3.9-3

INTERACTION EQUATION =	0.565	USE	No. 2	SPF	2x4 @ 16" o.c.

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WOOD COLUMN DESIGN Referenced Codes: Florida Building Code, 2001 and National Design Specification 1997

MEMBER DESCRIPTION: TYPICAL FLOOR POSTS (LOAD CASE 2 - DL + WL)

A. Member Properties

1. Wood Species		SP		
2. Wood Grade		NO. 2		
3. Trial Member Size		6x6		nominal
4. Allowable Stresses		Fb =	850	psi
		Fb* =	1,564	psi
		Fv =	100	psi
		Fv' =	276	psi
		Fc =	525	psi
		Fc* =	966	psi
		E =	1,200,000	psi
		E' =	1,200,000	psi
Bearing II to Grain	Table 2A	Fg =	1,220	psi
		Fg' =	1,952	psi
		G =	0.55	
5. Allowable Deflection		L/	180	

B. Member Dimensions

Width	dx =	5.50	in.
Thickness	dy =	5.50	in.
Length	Lux =	2.00	ft
	Luy =	2.00	ft
Effective Length Factor	Kex =	1.00	
	Key =	1.00	
Effective Length	Lex =	24	in
	Ley =	24	in
Slenderness Ratios	Lex/dx =	4	
	Ley/dy =	4	
Area	A =	30.25	in^2
Section Modulus	Sx =	27.73	in^3
	Sy =	27.73	in^3
Moment of Inertia	Ix =	76.26	in^4
	Iy =	76.26	in^4
Member laterally supported (y-axis) throughout length by sheathing			YES
		X	NO

C. Loading

Axial load	Pd =	2,335	lb
	Pl =	0	lb
	P =	2,335	lb
Uniform horizontal load	wx =	30.0	plf
	wy =	0.0	plf
Shear	Vx =	30	lb
	Vy =	0	lb
Moment	Mx =	5,424	in-lb
	My =	0	in-lb

D. Use Factors

Load Duration Factor	CD =	1.60	
Wet Service Factor	CM =	1.00	
Temperature Factor	CT =	1.00	1.00
Beam Stability Factor	CL =	1.00	
Repetitive Member Factor	Cr =	1.15	
Flat Use Factor	Cfu =	1.00	
Shear Stress Factor	CH =	1.50	

E. Column Design

Column Stability Factor

c =	0.80	sawn lumber
KcE =	0.30	visually graded lumber
Le/d =	4	<= 50, OK
Fce =	18906	psi
Fce/Fc* =	19.572	
Cp =	**0.99**	

Beam Stability Factor

Rb =	2.09	
KbE =	0.439	visually graded lumber
Fbe =	120,725	
Fbe/Fb* =	77.19	
CL =	0.99	
CL =	**0.99**	

Shear Check

Fv' =	276	psi	
fvx =	1	psi	OK
fvy =	0	psi	OK

Deflection Check

allowable deltax =	0.13	in	
calculated deltax =	0.00	in	OK
allowable deltay =	0.13	in	
calculated deltay =	0.00	in	OK

Bearing Area Check

calculated fg =	77	psi	
allowable Fg'=	1,220	psi	OK

Dead + Live Load

A req'd =	2.44	in^2	OK
fc =	77	psi	
Fc' =	956	psi	
Interaction Equation =		0.08	NDS 3.9-3

Dead + Wind Load

fc =	77	psi	
fb =	196	psi	
Fc' =	956	psi	
Fb' =	1,545	psi	
Interaction Equation =		0.14	NDS 3.9-3

INTERACTION EQUATION =	0.144	USE	NO. 2	SP	6x6

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POLE FOOTING DESIGN

Florida Building Code 2007 + 2009 Supplement

MEMBER DESCRIPTION: TYPICAL FLOOR POST FOOTING

A. Pole Loading

a. Axial Loads	DL =	**2.335**	kips
	LL =	**2.335**	kips
	Total =	4.670	kips
b. Uplift Load	U =	**0.207**	kips
c. Base shear	V =	**0.332**	kips
d. Base Moment	M =	**0.664**	k-ft

B. Soil Properties

a. Soil type		**Sand**	
b. Allow. bearing pressure	Bv =	**3,000**	psf
c. Allow. lateral brg. pressure	Bh =	**150**	psf
d. Friction factor for uplift	c =	**0.10**	
e. Safety factor against uplift	SF =	**1.00**	

C. Footing Poperties

a. Trial footing diameter	B =	**1.50**	ft
b. Trial footing depth	D =	**3.00**	ft
c. Bearing area	A =	1.77	sq. ft
d. Footing weight	W =	0.80	kips

C. Footing Design

a. Load Case 1 - DL + LL (Axial Load Only)

Required bearing area, A = P/Bv	**0.78 sq. ft**	**OK**

b. Load Case 2 - DL +WL (Uplift)

Friction force against uplift, F = pi*B*(H-1)*c	0.94	kips
Total Resisting Force, U = F + W + DL	4.07	kips
Required resisting force, W = U*SF	**0.21 kips**	**OK**

c. Load Case 3 - DL + WL (Overturning)

Resisting Moment, Mr = (W+DL)*B/2	2.35	k-ft
Net Overturning Moment, Mo = M - Mr	0.00	k-ft
Required footing depth, H	**2.32 ft**	**OK**