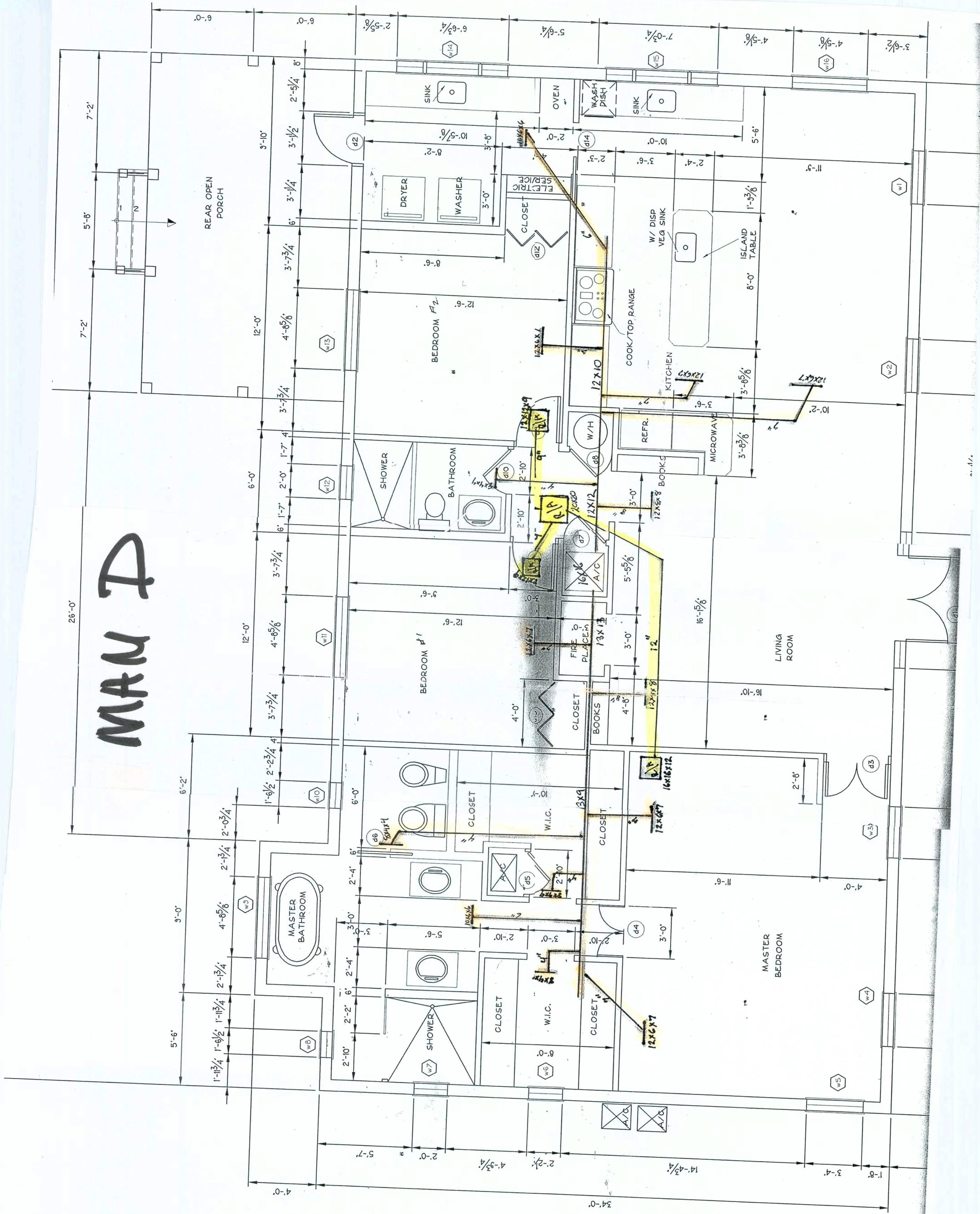
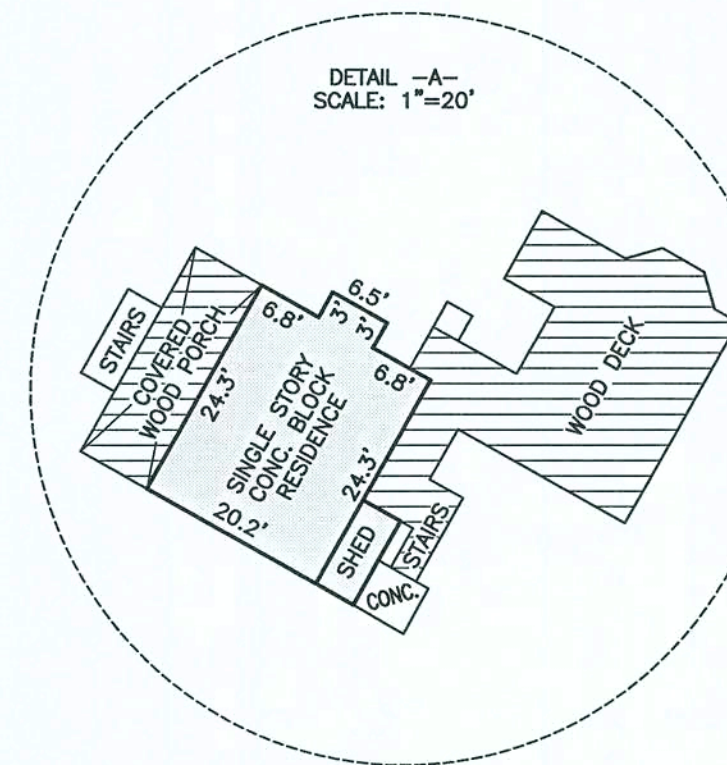
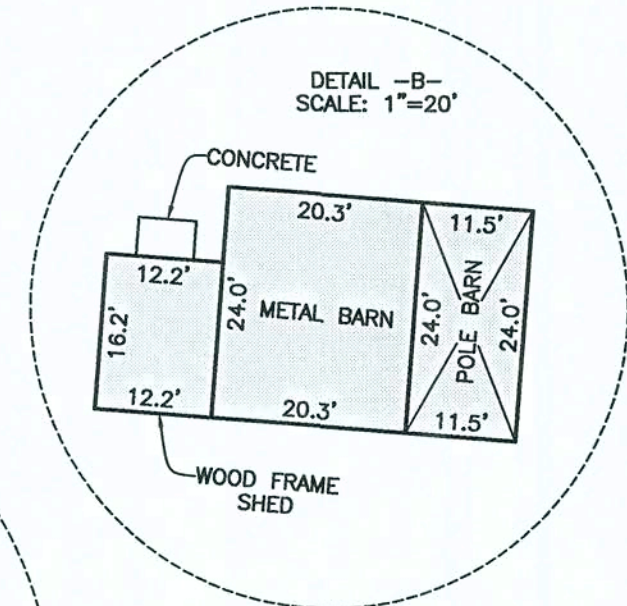


[illegible]



1. BEARINGS HEREON ARE REFERRED TO AN ASSUMED VALUE OF S88°00'23"W FOR THE SOUTH END OF SECTION 7, SAID BEARING IS IDENTICAL WITH A PREVIOUS SURVEY BY OTHERS.
2. NO UNDERGROUND UTILITIES OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
3. THE SURVEYOR HAS NO KNOWLEDGE OF UNDERGROUND FOUNDATIONS WHICH MAY ENCROACH.
4. FENCES SHOWN HEREON MAY BE EXAGGERATED FOR PICTORIAL PURPOSES ONLY AND NOT TO SCALE.
5. PROPERTY LINES SHOULD NOT BE RECONSTRUCTED BASED ON DISTANCES TO IMPROVEMENTS.
6. NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THE SURVEYOR EXCEPT AS SHOWN, AND NO SEARCH OF THE PUBLIC RECORDS HAS BEEN DONE BY THE SURVEYOR.
7. BUILDING SETBACKS SHOWN HEREON WERE TAKEN FROM THE RECORD PLAT OR INFORMATION FURNISHED TO THE SURVEYOR ONLY. THEREFORE, IF NO BUILDING SETBACKS ARE SHOWN ON THIS MAP, THEN THE RECORD PLAT DID NOT REFLECT ANY SETBACKS AND NO INFORMATION WAS FURNISHED. THIS IS NOT TO IMPLY THERE ARE NO BUILDING SETBACKS ON THE PROPERTY SHOWN HEREON.
8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
9. THIS SURVEY IS CERTIFIED ONLY TO THE SURVEY DATE AND NOT THE SIGNING DATE.
10. INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP(S), SHOWN ON THIS MAP WAS CURRENT AS OF THE REFERENCED DATE. MAP REVISIONS AND AMENDMENTS ARE PERIODICALLY MADE BY LETTER AND MAY NOT BE REFLECTED ON THE MOST CURRENT MAP.

L2
S02°08'58"E
13.57'

Section 7
N88°00'08"E 1296.45'

$$\begin{array}{c|c} 7 & 8 \\ \hline 18 & 17 \end{array}$$

- = 4"x4" CONC. MONUMENT FOUND
(NO IDENT. UNLESS SHOWN)
- = IRON MARKER FOUND
- = 1/2" IRON ROD SET MARKED
"P.L.S. 1824"
- IDENT. = IDENTIFICATION
- (R.B.) = REFERENCE BEARING
- P.O.C. = POINT-OF-COMMENCEMENT
- P.O.B. = POINT-OF-BEGINNING
- P.U.E. = PUBLIC UTILITY EASEMENT
- CH = CHORD
- L = ARC LENGTH
- R = RADIUS
- D = DELTA (CENTRAL ANGLE)

R=34330.59
L=990.07
Tan=495.07
D=1°39'09"
CH=S88°18'46"W 990.03'

THE EAST 990 FEET OF THE SOUTH 1320 FEET OF THE WEST 1320 FEET OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 SOUTH, RANGE 17 EAST, AND THAT PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 7 SOUTH, RANGE 17 EAST, LESS THE WEST 330 FEET LYING NORTH OF STATE ROAD NO. 778, COLUMBIA COUNTY, FLORIDA.

Prepared By:
Professional Land Surveyors

3131 N.W. 13th Street, Suite 36,
WAYNE CHANCE, INC.

Gainesville, Florida, 32609
Ph. (352) 336-0909 Fax 336-0012

<p>THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.</p>	
<p>Florida License No. 1824 Certificate of Authorization No. 6806</p>	<p>WAYNE CHANCE, P.L.S.</p> <p><i>Wayne Chance</i></p> <p>Professional Land Surveyor</p>
<p>NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER</p>	<p>Signing Date: <i>6/28/01</i></p>

CERTIFIED TO:

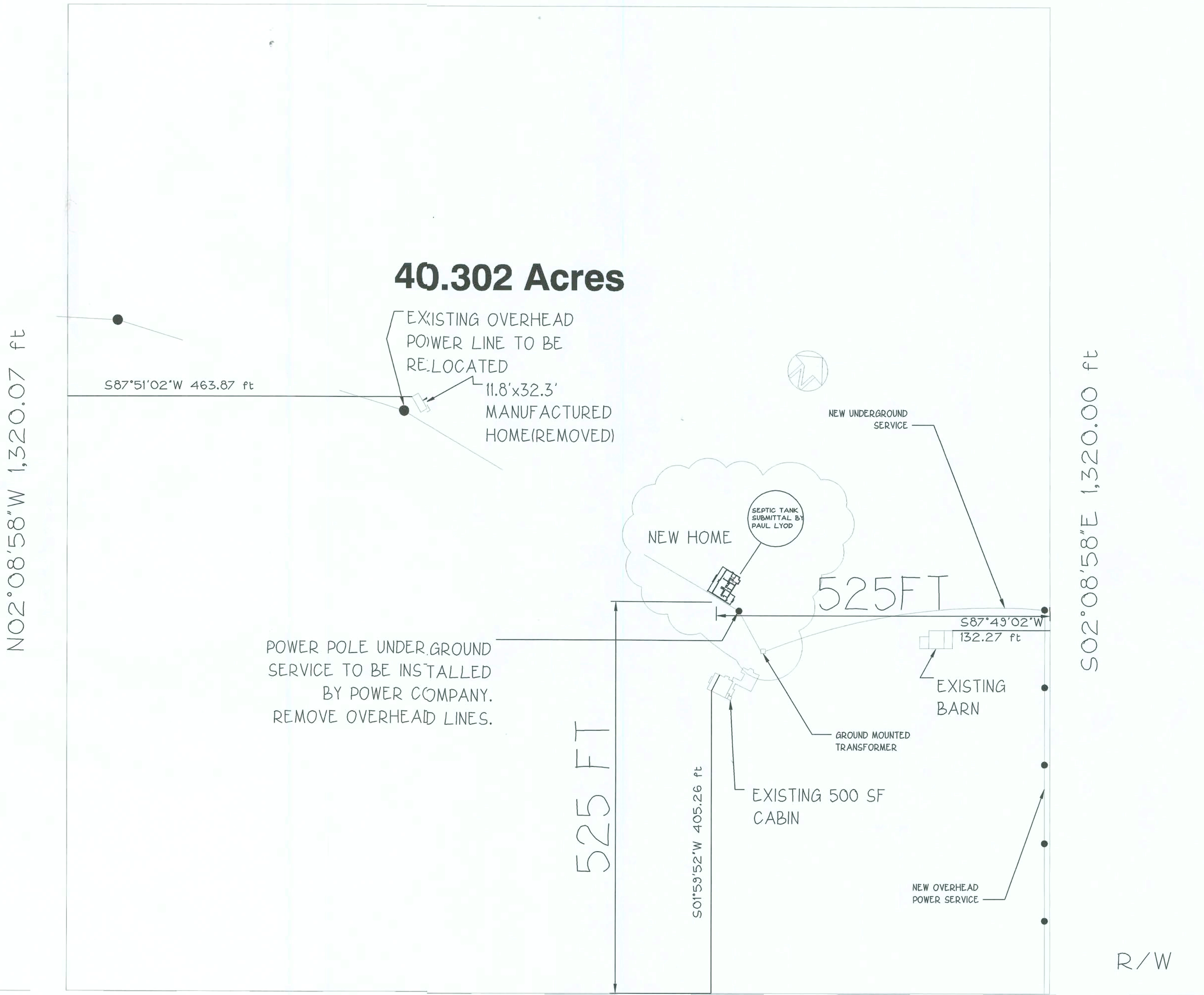
 RONNIE S.KLEIN
 BRIDGETTE K. KLEIN
 FIRST FEDERAL SAVINGS
 BANK OF FLORIDA
 ALLIANCE TITLE OF
 AMERICA, INC.
 COUNTRY RIVERS TITLE

Scale: 1"=100'
Proj. No. 01-080
Drawn: S.M.M.
Chk'd: W.C.
Dwg. Name: W01-01
Survey Date: 6/12/
Field Book: 669
Pages: 58-59

Office copy

RONNIE & BRIGITTE KLEIN
RESIDENCE
NEW HOME SITE PLAN
2535 SW COUNTY RD 778
FORT WHITE, FL 32038

N88°00'23"E 1,320.00 ft



COUNTY ROAD No. 778
FORMERLY KNOWN AS
STATE ROAD No. 778

N88°00'23"E 1,320.00 ft

DESCRIPTION: (BY CLIENT)

THE EAST 990 FEET OF THE SOUTH 1320 FEET OF THE WEST 1320 FEET OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 SOUTH, RANGE 17 EAST, AND THAT PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 7 SOUTH, RANGE 17 EAST.

SHEET:	PROJECT:	DATE:
SITE	RONNIE & BRIGITTE KLEIN RESIDENCE	JANUARY 20 2006
NEW HOME SITE PLAN 2535 SW COUNTY RD 778 FORT WHITE, FL 32038		
REVISIONS:		
		</

[illegible][illegible]

HEATED 2093
PORCHES 845

FLOOR PLAN

TRS
LONG

JANUARY 20

P.O. BOX 660026
MIAMI, FLORIDA 33266-0026

FLOOR ARCHITECTURAL PLAN

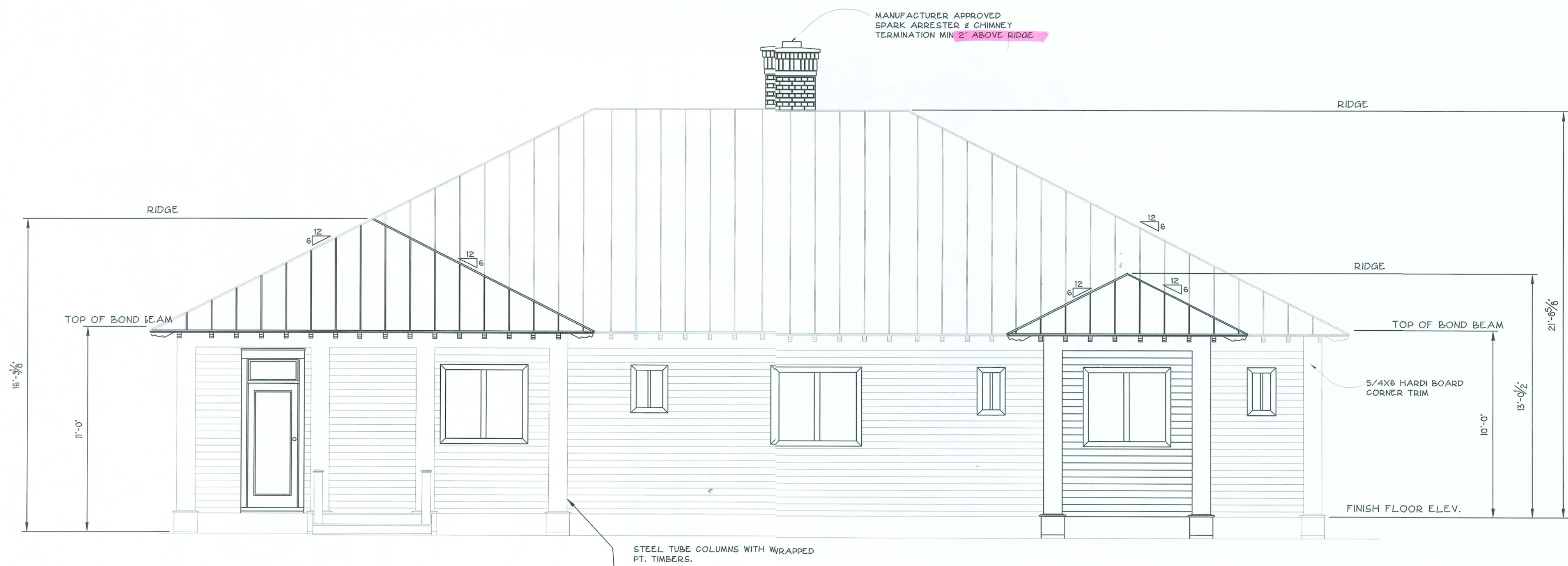
RONNIE & BRIGITTE KLEIN
RESIDENCE

A


4

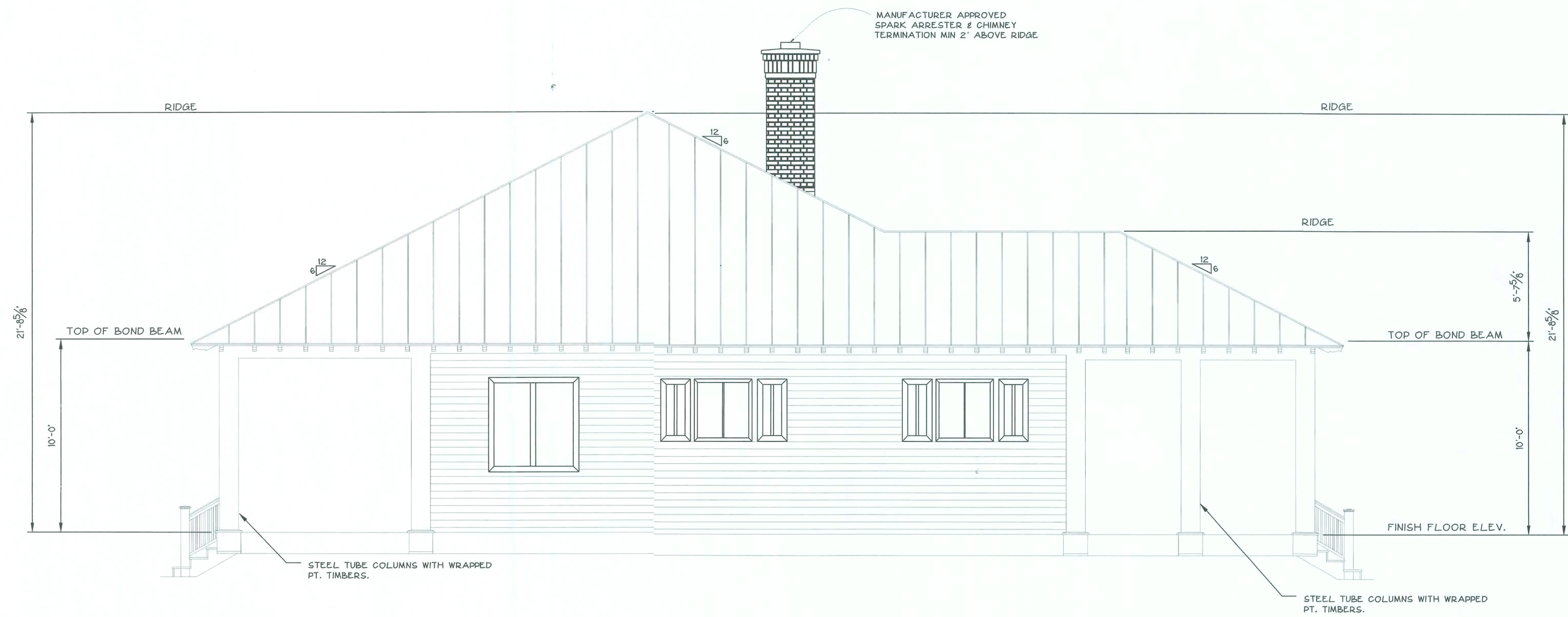


1
A-2
NORTH ELEVATION
1/4" = 1'-0"



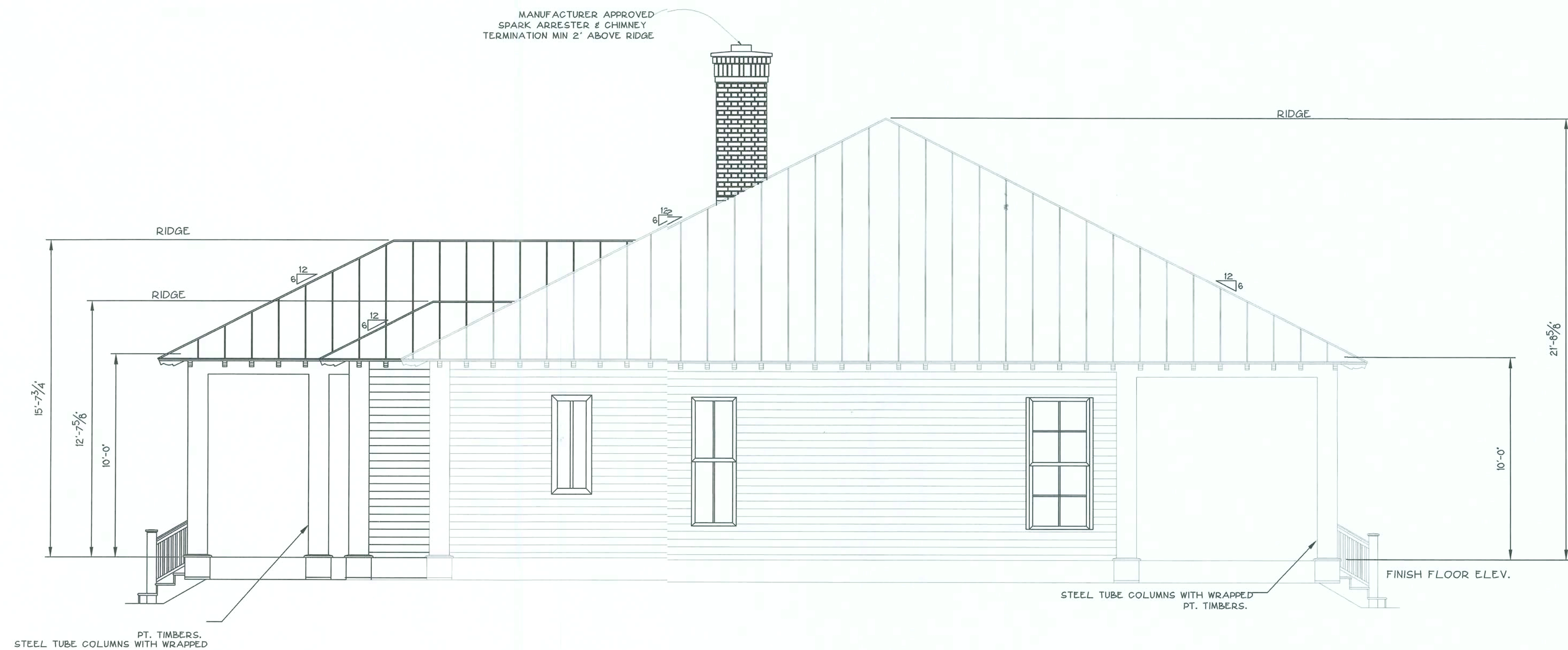
2
A-2
SOUTH ELEVATION
1/4" = 1'-0"

SHEET:										PROJECT:										DATE:									
A-2										RONNIE & BRIGITTE KLEIN RESIDENCE										JANUARY 20									
4										NORTH SIDE ELEVATION EAST SIDE ELEVATION										REVISIONS:									
										RONNIE KLEIN P.O. BOX 660026 MIAMI, FLORIDA 33266-0026 																			



WEST ELEVATION

3
A-3
1/4" = 1'-0"



EAST ELEVATION

4
A-3
1/4" = 1'-0"

DATE:

JANUARY 20

RONNIE KLEIN

P.O. BOX 660926
MIAMI, FLORIDA 33266-0026

REVISIONS:

WEST SIDE ELEVATION
SOUTH SIDE ELEVATION

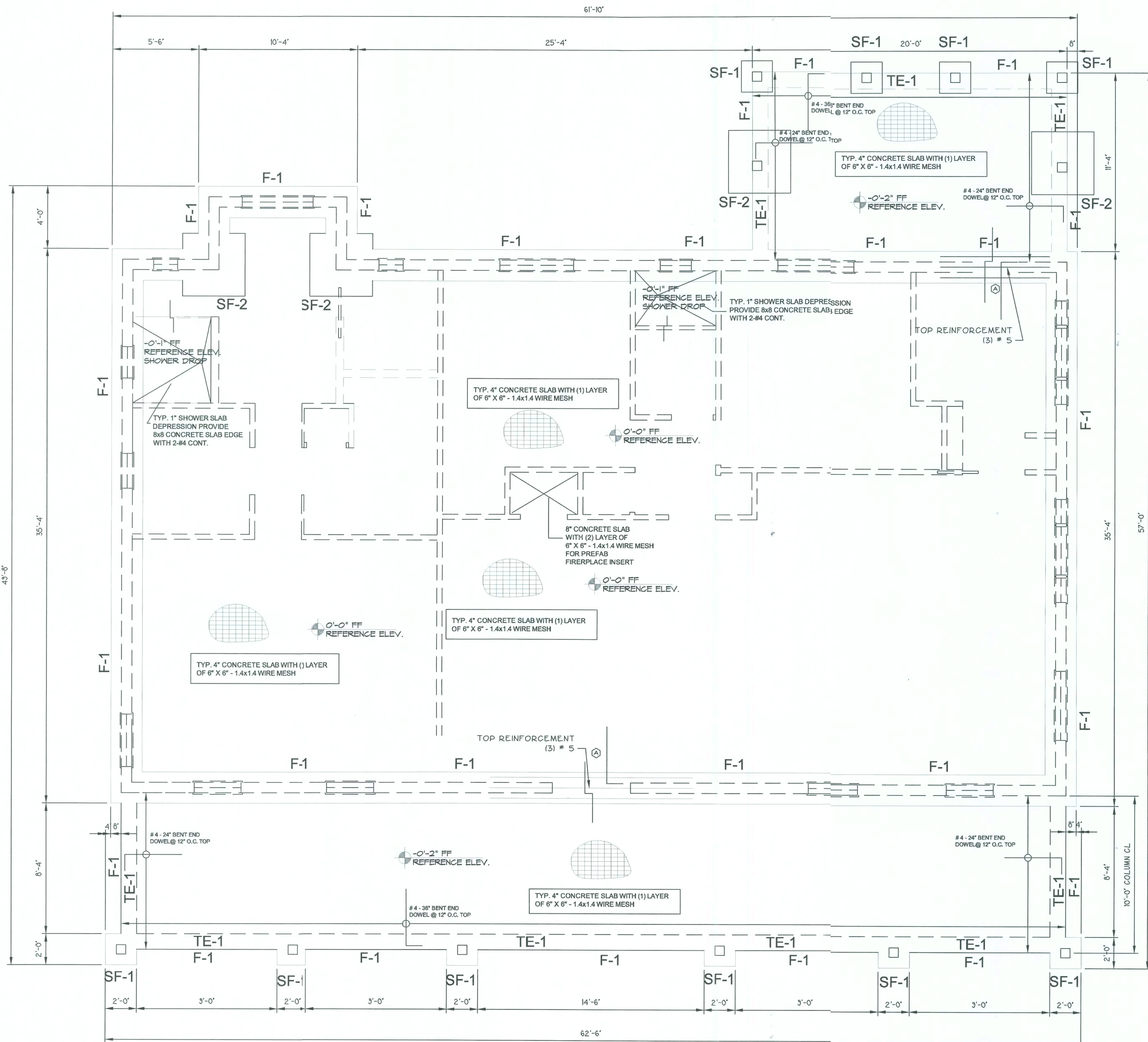
PROJECT:

RONNIE & BRIGITTE KLEIN
RESIDENCE

SHEET:

A-3

4



FOUNDATION PLAN

1/4" = 1'-0"

FOOTING SCHEDULE- 3000 PSI							
MARK	WIDTH	LENGTH	THICKNESS	BOTTOM REINFORCING	TOP REINFORCING	TRANSVERSE REINFORCING	T.O.F. ELEV
F-1	24"	CONT	16"	4-#5 CONT	SEE PLAN	#4@24" BOT	-3'-0"
TE-1	12"	CONT	8"	2-#5 CONT	2#5 CONT		-3'-0"
SF-1	24"	24"	16"	4-#5 EW	4-#5 EW	N/A	-3'-0"
SF-2	48"	48"	18"	7-#5 EW	7-#5 EW	N/A	-3'-0"

SOIL SURVEY NOTE:

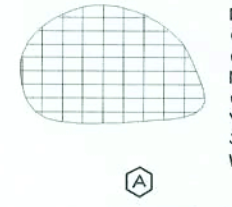
SOIL SAMPLES WERE TAKEN AT THREE EXCAVATIONS AT THE PROPOSED SITE AND BY GEOTECHNICAL REPORT FINDINGS IT IS DETERMINED THAT THE UNDERLYING SOIL IS COMPOSED OF ROCK FRAGMENTS AND SAND. A DESIGN ALLOWABLE SOIL BEARING PRESSURE OF 1000 PSF IS ASSUMED. THE FOOTINGS ARE TO BEAR ON UNDISTURBED EXISTING SOIL. BASE MATERIAL, SEE GEOTECHNICAL REPORT.

FLORIDA BUILDING CODE REQUIREMENTS:

1. THE LICENSED ARCHITECT OR PROFESSIONAL ENGINEER OF RECORD SHALL SUBMIT TO THE INSPECTOR AT THE TIME OF CONSTRUCTION A SIGNED LETTER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE ON WHICH THE DESIGN WAS BASED. PER FBC CH 19.

2. FILL SUPPORTING SLABS SHALL BE COMPACTED UNDER THE SUPERVISION OF A SPECIAL INSPECTOR TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY FOR ALL LAYERS AS VERIFIED BY FIELD DENSITY TESTS SPECIFIED UNDER THE FLORIDA BUILDING CODE. REFER TO STRUCTURAL NOTES FOR INFORMATION.

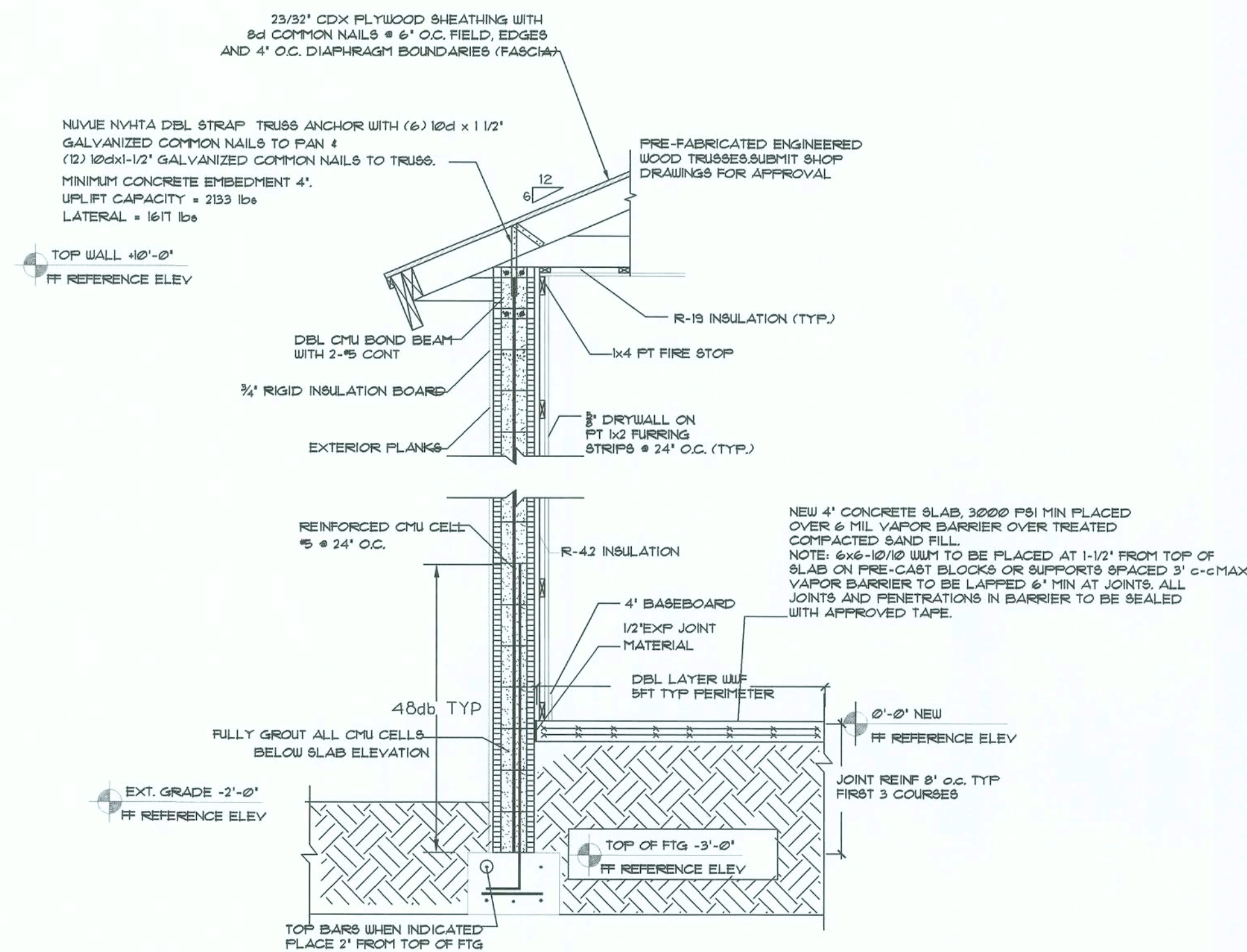
SLAB LEGEND



NEW 4" CONCRETE SLAB, 3000 PSI MIN PLACED OVER 6" MIL VAPOR BARRIER OVER TREATED COMPACTED SAND FILL. SEE NOTE 1 THIS SHEET.

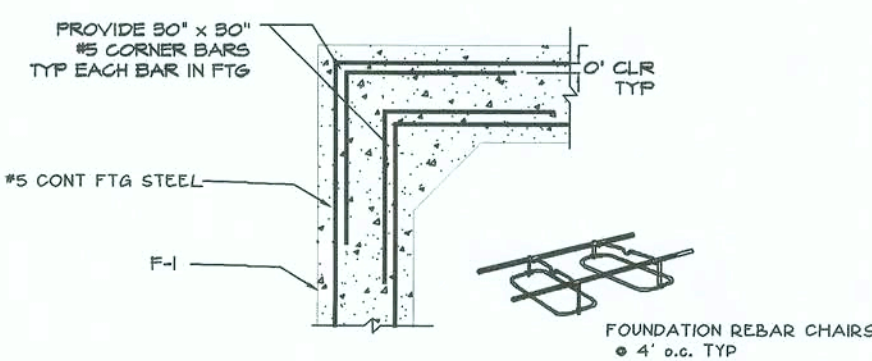
NOTE: WWW TO BE PLACED AT 1-1/2" FROM TOP OF SLAB ON APPROVED CHAIRS OR SUPPORTS SPACED 3' O-C MAX. VAPOR BARRIER TO BE LAPPED 6" MIN AT JOINTS. ALL JOINTS AND PENETRATIONS IN BARRIER TO BE SEALED WITH APPROVED TAPE.

#4 x 60" BARS WITH 12" 30 DEGREE HOOK END PLACE BARS AT 1-1/2" FROM TOP OF SLAB AND TIE TO WWW. SEE PLAN FOR SPACING.



TYP CMU WALL SECTION
MASTER SUITE

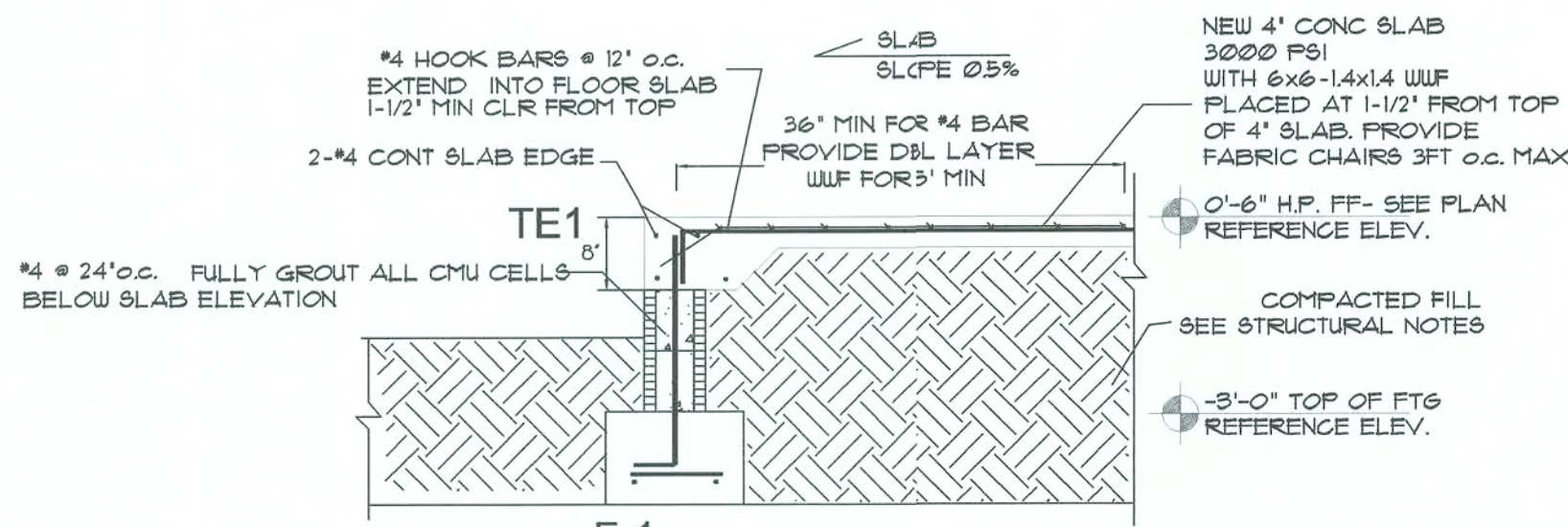
- CMU WALL DESIGN LOADS
- A. ROOF TOP CHORD LIVE LOAD: 20 PSF
 - B. ROOF BOTTOM CHORD LIVE LOAD: 10 PSF
 - C. ROOF TOP CHORD DEAD LOAD: 10 PSF
 - D. ROOF BOTTOM CHORD DEAD LOAD: 10 PSF
 - E. WALL DEAD LOAD: 60 PSF
 - F. CMU BOND BEAM DEAD LOAD: 100 PLF
 - G. ASCE 7-98 WIND LOAD DESIGN PRESSURES
DESIGN WIND SPEED 150 MPH
EXPOSURE C / ENCLOSED STRUCTURE
IMPORTANCE FACTOR 1.0
q_h = 49.10 PSF / G_{CFI} 0.18 4 - 0.18



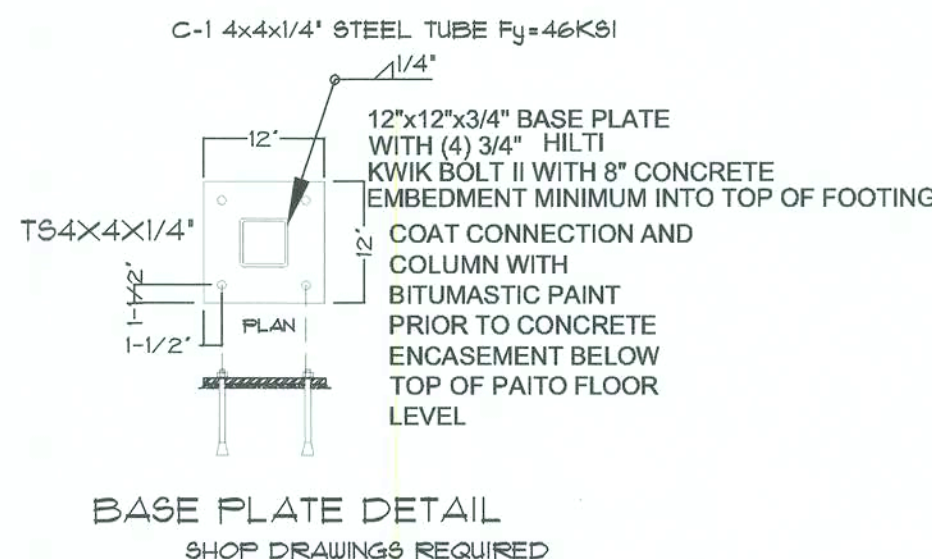
FOUNDATION CORNER DETAIL
SCALE: N.T.S.

NOTICE: PLANS AND CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2004 FLORIDA BUILDING CODE.

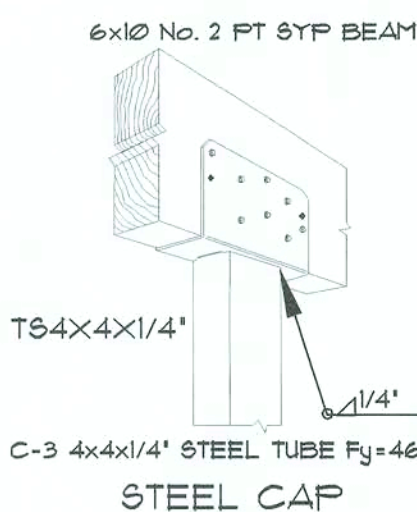
DATE:	JANUARY 20
PROJECT:	RONNIE & BRIGITTE KLEIN RESIDENCE
SHEET:	S-1 5



TYPICAL SLAB EDGE
SCALE: N.T.S.



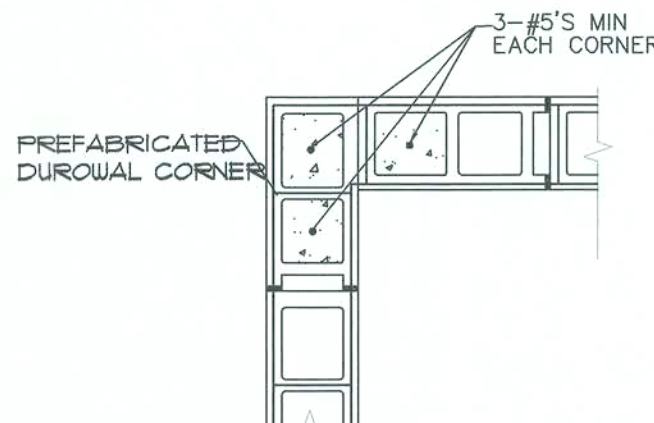
TYPICAL STEEL COLUMN C-3
SCALE: N.T.S.



3 GA CQ68SD2.5 POST BEAM CONNECTOR WITH G60 GALVANIZED FINISH. PRODUCT APPROVAL FL1218 DRILL 1/8" HOLES IN CONNECTOR FOR 10-#7x2-1/2 SDS SCREWS EACH SIDE / EACH END OF 6x10 BEAM. SUBMIT SHOP DRAWINGS FOR 3 GA CORNER BEAM CONNECTOR PROVIDE MIN G60 GALVANIZED FINISH AND HOLES FOR 10-#7x2-1/2 SDS SCREWS EACH SIDE / EACH END OF 6x10 BEAMS

3500 PSI PRECAST CONCRETE LINTEL BY CAST-CRETE INC PROVIDE 1-#5 BAR BOTTOM AND 1-#5 BAR TOP (8F8A) GROUT WITH 3000 PSI GROUT WITH MAX 3/8" AGGREGATE. LINTEL 8F8A/B PROVIDE SHOP DRAWINGS FOR APPROVAL. MAX VERTICAL DEFLECTION SHALL BE L/360. MINIMUM BEARING ON CMU WALL IS 8". ENGINEER TO APPROVE ALTERNATE LINTELS. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR REVIEW. PROVIDE 1-#7 BAR BOTTOM AND 1-#7 BAR TOP (8F8B)

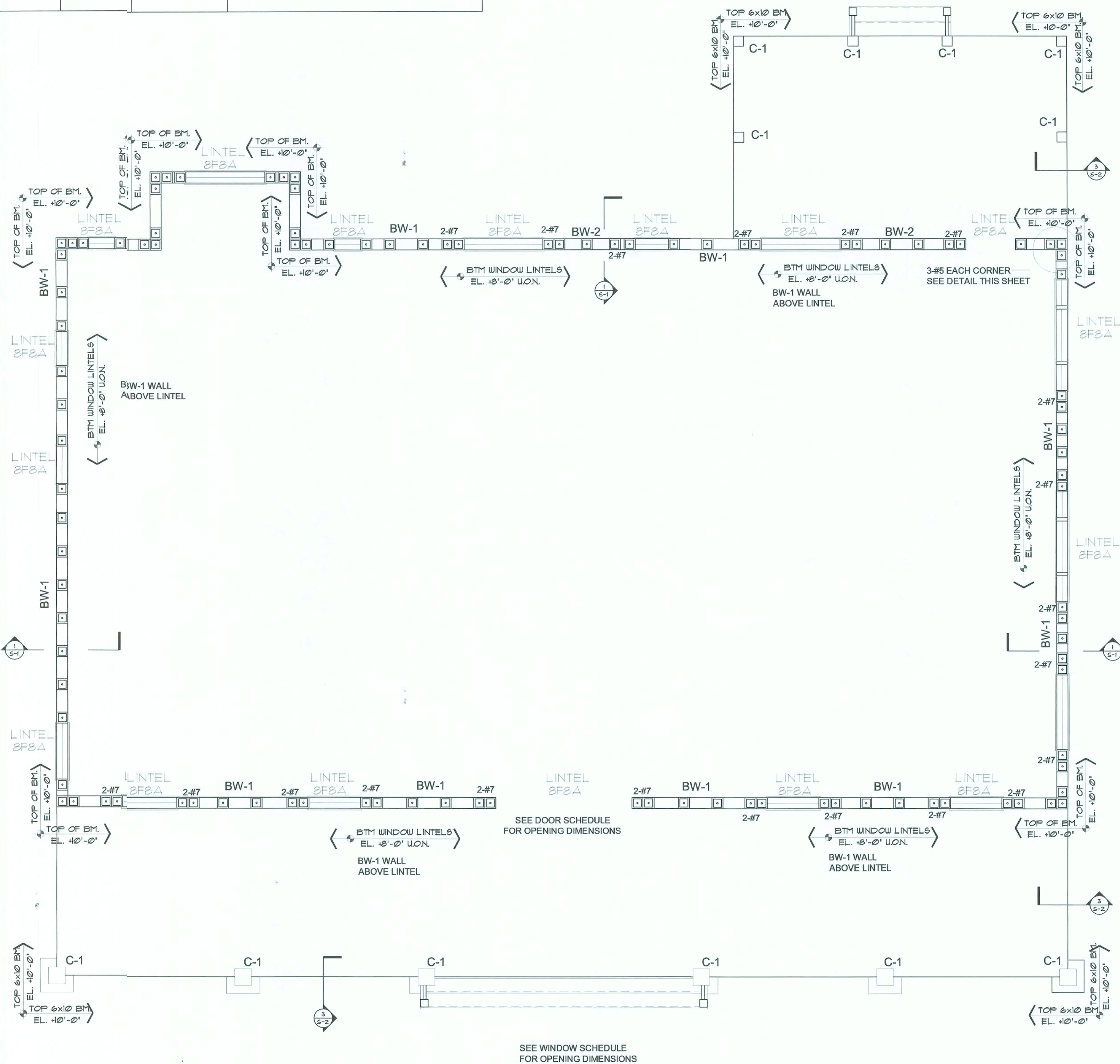
LINTEL DETAILS
SCALE: N.T.S.



TYPICAL CORNER
SCALE: 1/4"=1'

CMU WALL SCHEDULE

MARK	WIDTH	LENGTH	VERTICAL	REMARKS
BW-1	8"	CONT	#5@24"	HORIZONTAL REINFORCEMENT LADDER TYPE 9 GA. @ 16" O.C.



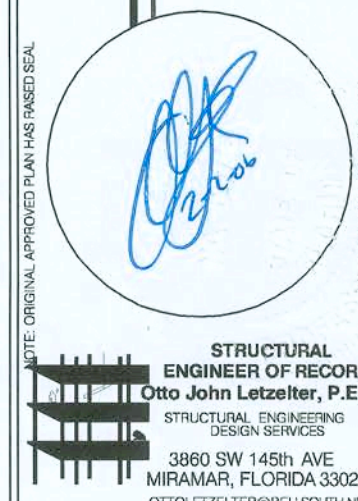
FLOOR WALL PLAN

1/4" = 1'-0"

NOTICE: PLANS AND CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2004 FLORIDA BUILDING CODE.

DATE:

JANUARY 20



REVISIONS:

TIE COLUMN/CMU FLOOR PLANS
TIE COLUMN/CMU SCHEDULE
STRUCTURAL DETAILS

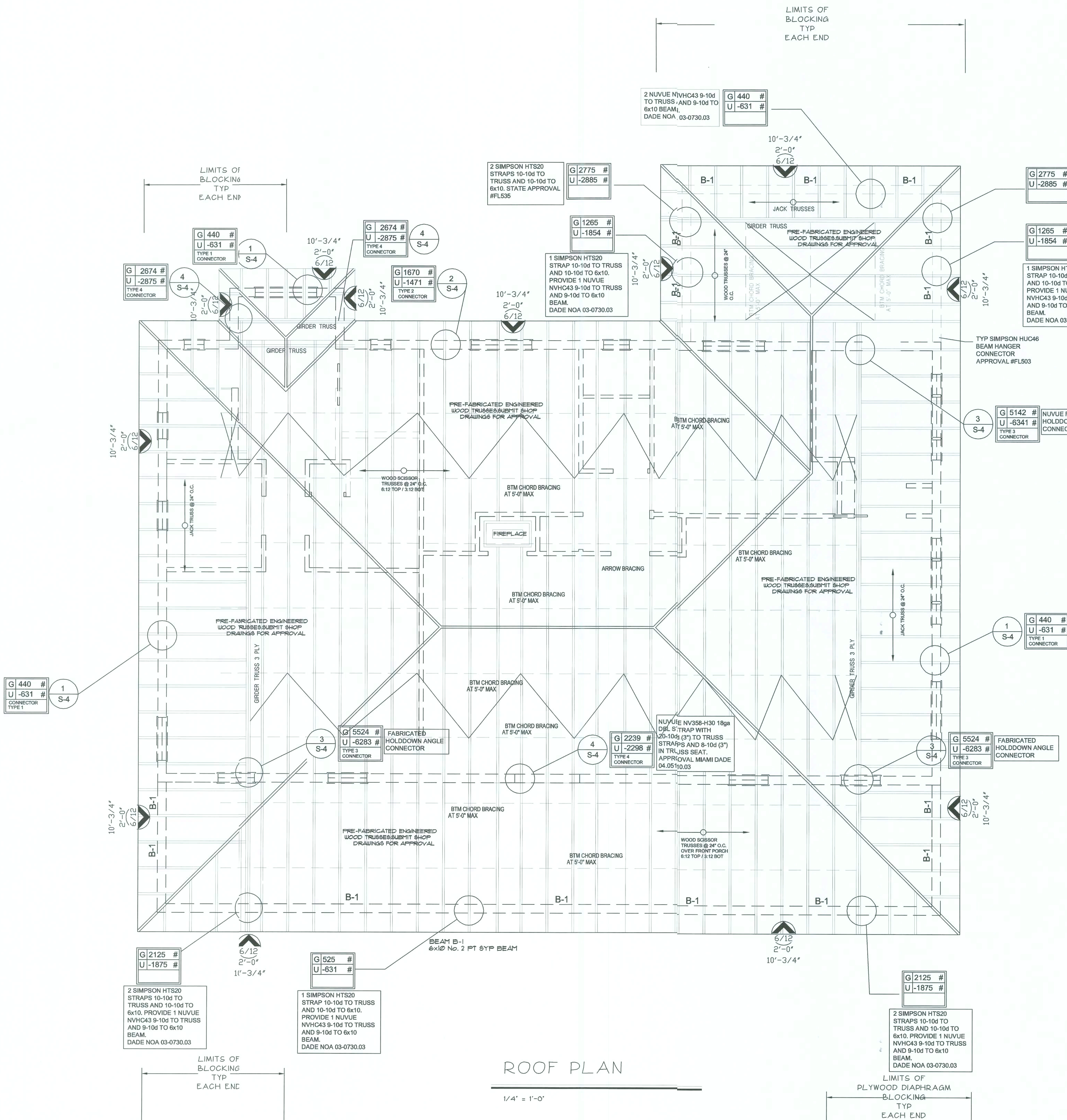
PROJECT:

RONNIE & BRIGITTE KLEIN
RESIDENCE

SHEET:

S-2

5



DATE:

JANUARY 20

REVISIONS:

ROOF FRAMING PLAN
HURRICANE STRAP SCHEDULE

PROJECT:

RONNIE & BRIGITTE KLEIN
RESIDENCE

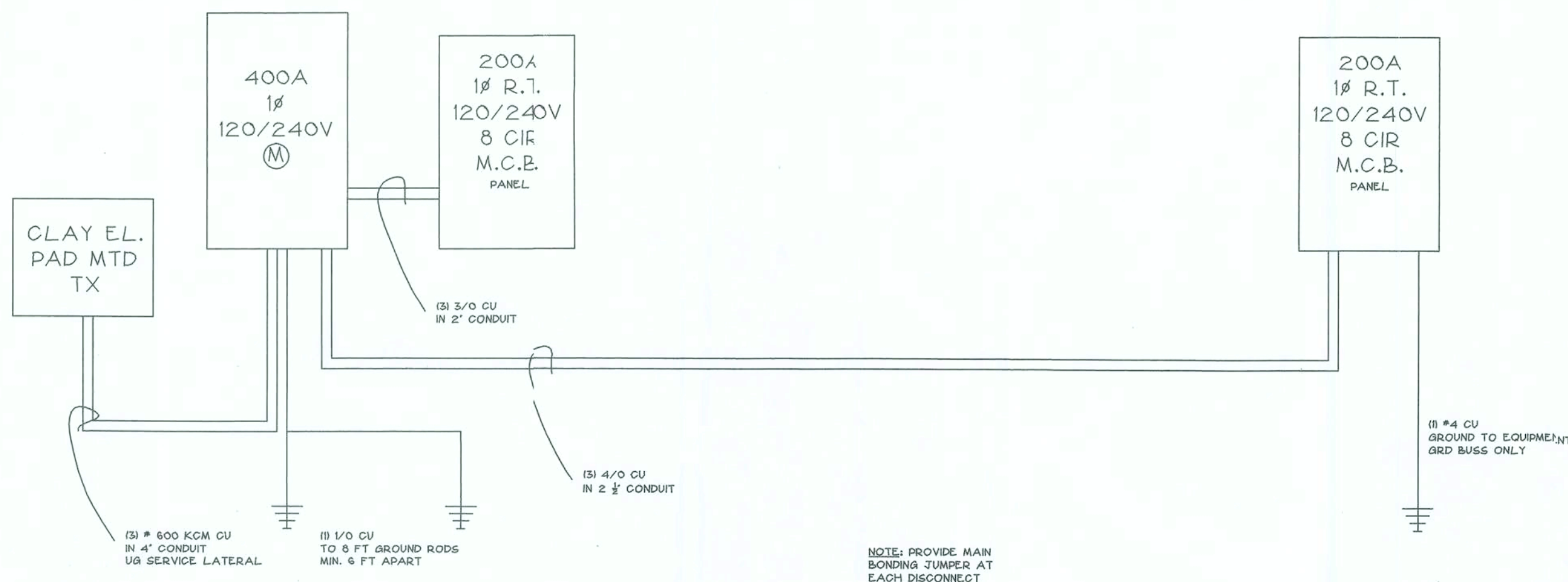
SHEET:

S-3

5

NOTICE: PLANS AND CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2004 FLORIDA BUILDING CODE.

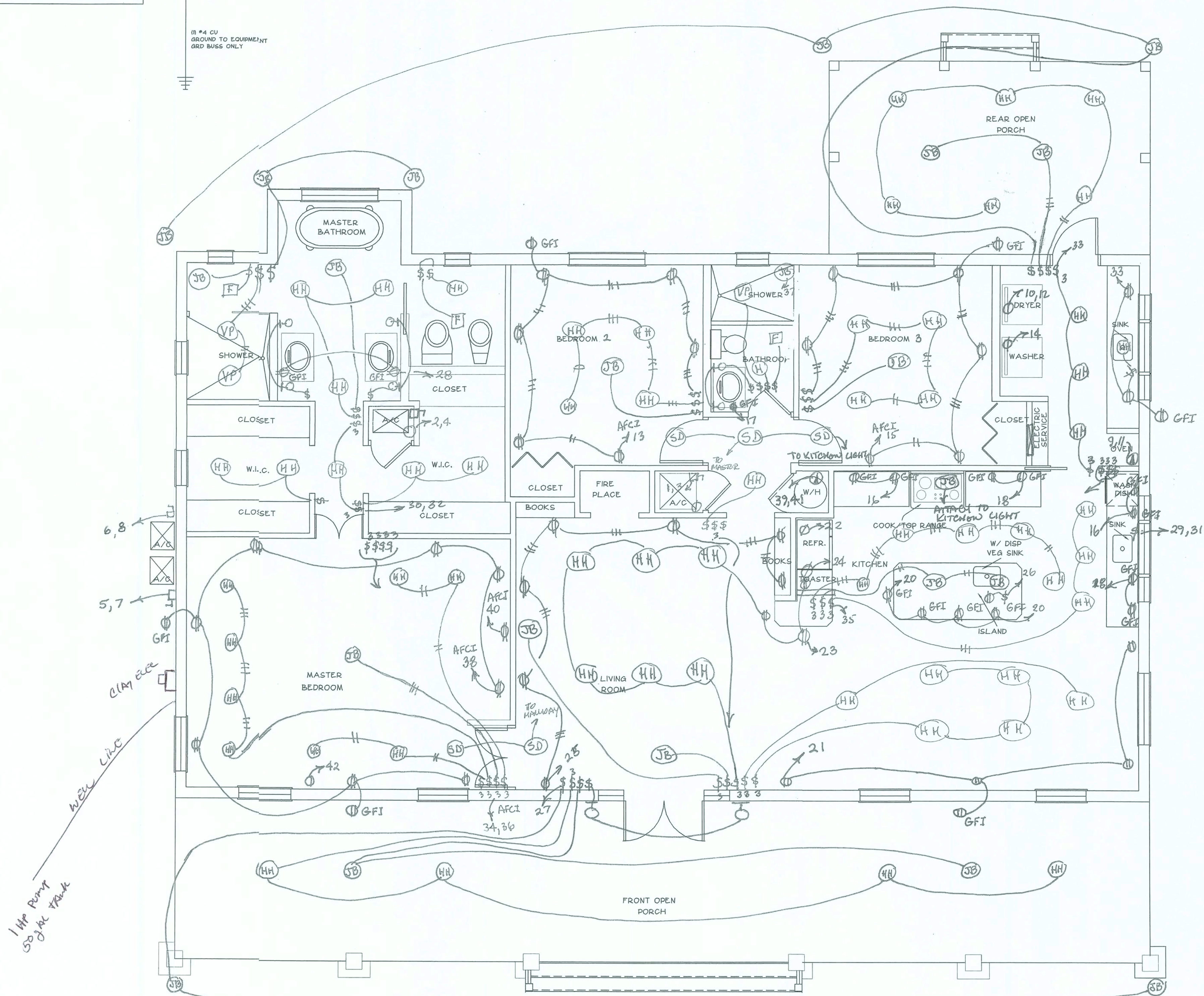
[illegible]



200 AMP MAIN BREAKER PANEL			
1	AHU-1	2	AHU-2
3	AHU-1	4	AHU-2
5	CU-1	6	CU-2
7	CU-1	8	CU-2
9	DOUBLE OVEN	10	DRYER
11	DOUBLE OVEN	12	DRYER
13	BEDROOM 2	14	WASHER
15	BEDROOM 3	16	SMALL APPLIANCE
17	BATHROOM GFI	18	SMALL APPLIANCE
19	LIVING ROOM	20	SMALL APPLIANCE
21	DINING ROOM	22	REFRIGERATOR
23	LIVING ROOM	24	MICROWAVE
25	DINING ROOM	26	DISPOSAL
27	OUTSIDE LIGHTS	28	MASTER BATH GFI
29	DISH WASHER	30	MASTER BATH
31	DISPOSAL	32	MASTER BATH
33	LAUNDRY ROOM	34	MASTER BEDROOM *
35	KITCHEN	36	MASTER BEDROOM *
37	STEAM UNIT	38	MASTER BEDROOM *
39	W/H	40	MASTER BEDROOM *
41	W/H	42	TREAD MILL *
* = AFCI BREAKER			

Overcurrent protection device shall be installed on the exterior of structures to serve as a disconnecting means. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.

NOTE: PROVIDE MAIN BONDING JUNCTION AT EACH DISCONNECT



DATE:

JANUARY 20

RONNIE KLEIN

P.O. BOX 680026
MIAMI, FLORIDA 33166-0026

REVISIONS:

ELECTRICAL PLAN AND NOTES

PROJECT:

RONNIE & BRIGITTE KLEIN
RESIDENCE

SHEET:

E-1

NOTICE: PLANS AND CALCULATIONS HAVE BEEN PREPARED IN ACCORDANCE WITH THE 2004 FLORIDA BUILDING CODE.