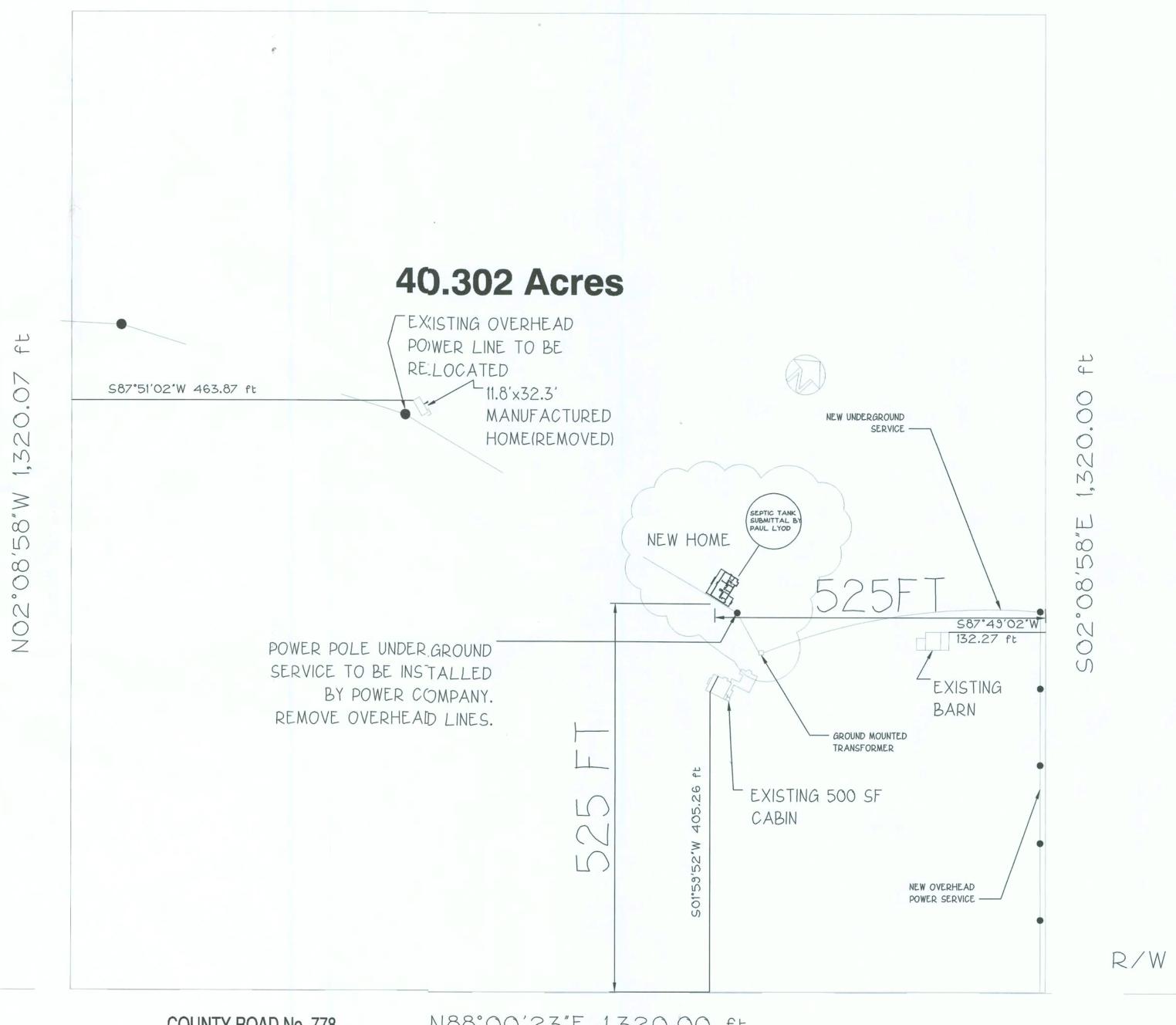


RONNIE & BRIGITTE KLEIN RESIDENCE

NEW HOME SITE PLAN 2535 SW COUNTY RD 778 FORT WHITE, FL 32038

N88°00′23″E 1,320.00 ft



R/W

COUNTY ROAD No. 778
FORMERLY KNOWN AS
STATE ROAD No. 778

N88°00'23"E 1,320.00 ft

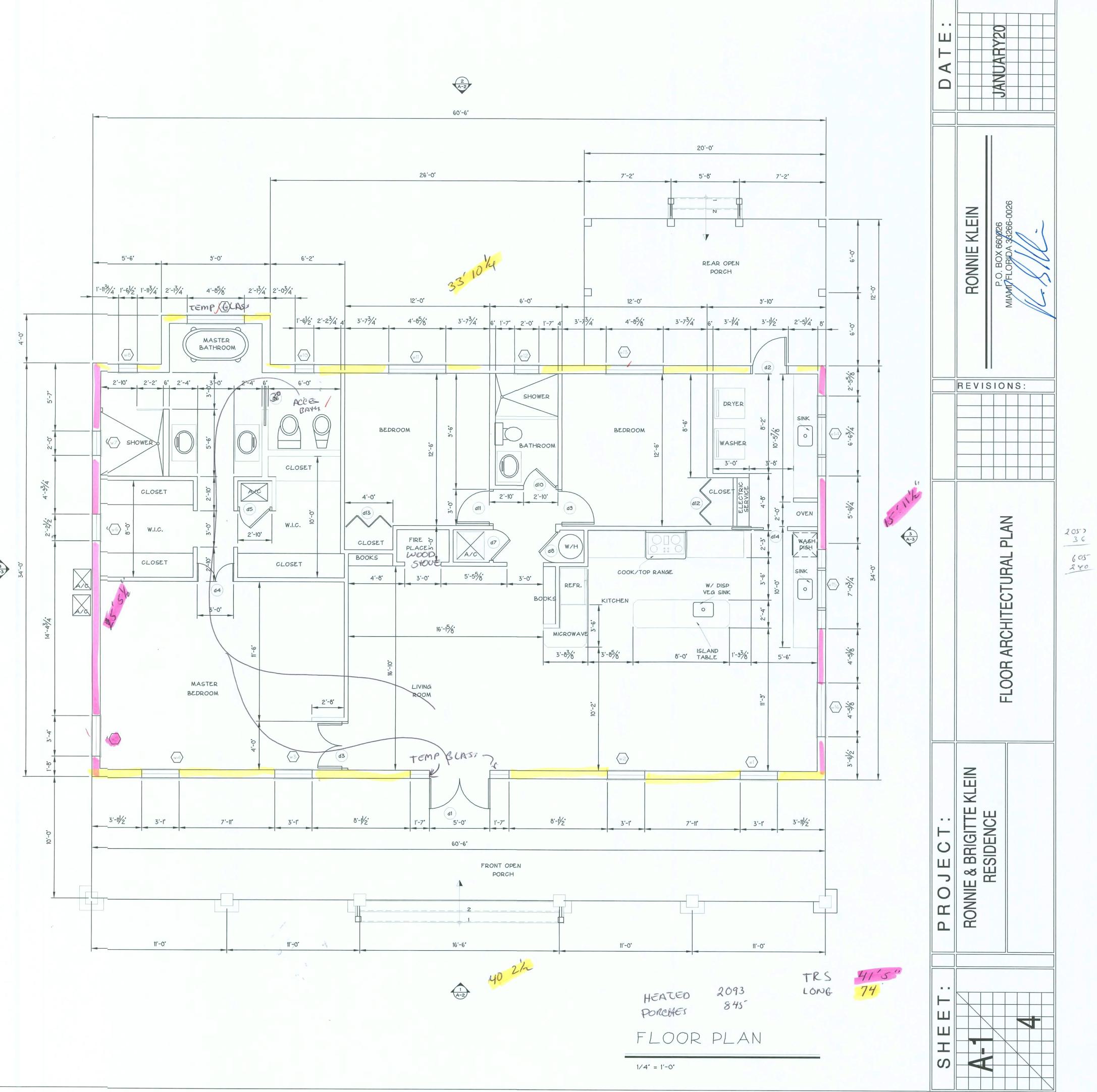
DESCRIPTION: (BY CLIENT)

THE EAST 990 FEET OF THE SOUTH 1320 FEET OF THE WEST 1320 FEET OF THE SOUTHEAST 1/4 OF SECTION 7, TOWNSHIP 7 SOUTH, RANGE 17 EAST, AND THAT PART OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 18, TOWNSHIP 7 SOUTH , RANGE 17

DATE:	JANUARY 20 2006
	P.O. BOX 660026 MIAMI, FLORIDA 33266-0026
	REVISIONS:
	NEW HOME SITE PLAN 2535 SW COUNTY RD 778 FORT WHITE, FL 32038
PROJECT:	RESIDENCE
SHEET:	

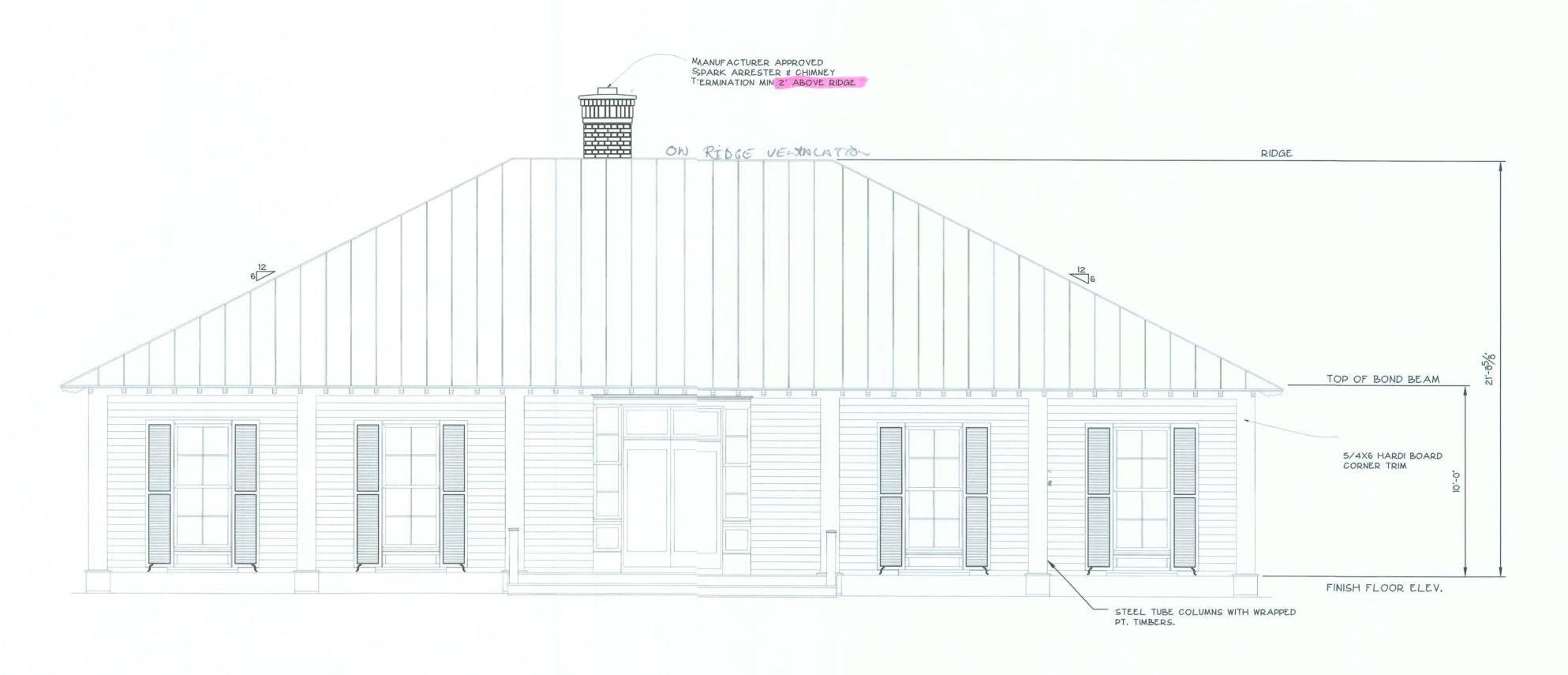
ID	# OF UNITS	DOOR WIDTH	DOOR HEIGHT	DOOR MATERIAL	OPERATION	# OF LEAFS	TRANSOM	Join Mul	R/O Width	R/O HEIGHT	DOOR HARDWARE	MANUFACTURER	REMARKS			
***********			•		FIRST	FLOOR										
D1	1	8'-2"	6'- 8"	Aluminium	Out Swing French	2	19 "Fixed	1"x4"		101 1/4"	Entry	PGT WinGuard	ORDER/ W 19" side lite			
D2	1	3'-1 1/2"	6'- 8"	Aluminium	Out Swing R/H	1				82 1/4''''	Entry	PGT WinGuard	BARN			
D3	1	4'-0"	6'- 8"	Wood / Glass	In Swing L/H	1				82 1/4''''	Entry	Custom	ORDER			
D4	1	3'-0"	6'- 8"	Wood	In Swing French	2				82 1/4'''	Closet	Custom	ORDER			
D5	1	2'-10"	6'- 8"	Wood	Out Swing L/H	1				82 1/4''''	Closet	Custom	ORDER			
D6	1	3'-0"	6'- 8"	Wood	Slider/ Slide Right	1				82 1/4''''	Finger Pull	Custom	ORDER			
D7	1	2'-10"	6'- 8"	Wood / Glass	Out Swing L/H	1				82 1/4'''	Closet	Custom	BARN			
D8	1	3'-0"	6'- 8"	Wood / Glass	Out Swing R/H	1				82 1/4''''	Closet	Custom	BARN			
D9	1	3'-0"	6'- 8"	Wood	In Swing R/H	1				82 1/4""	Passage	Custom	ORDER			
D10	1	2'-10"	6'- 8"	Wood	In Swing R/H	1				82 1/4""	Passage	Custom	ORDER			
D11	1	3'-0"	6'- 8"	Wood	In Swing L/H	1				82 1/4""	Passage	Custom	ORDER			
D12	1	4'-0"	6'- 8"	Wood	Bi Fold	4				82 1/4''''	Knob	Custom	ORDER			
D13	1	4'-0"	6'- 8"	Wood	Bi Fold	4				82 1/4'''	Knob	Custom	ORDER			
D14	1	3'-0"	6'- 8''	Wood	Slider/ Slide Left	1			***************************************	82 1/4'''	Finger Pull	Custom	ORDER			

ID	SIZE CODE	# OF UNITS	JOIN MUL	WINDOW WIDTH	R/O WIDTH	WINDOW HEIGHT	R/O HEIGHT	HEADER HEIGHT	WINDOW TYPE	MANUFACTURER	REMARKS	REMARKS
************	&					***************************************	FIRST FLO	OOR			hannon contraction and the second an	***************************************
1	26	1		37"	40 1/2"	76"	79 1/2"	96"	single hung	PGT WinGuard	Header height from	ORDER
2	26	1		37"	40 1/2"	76"	79 1/2"	96"	single hung	PGT WinGuard	finished floor	ORDER
3	26	1		37"	40 1/2"	76"	79 1/2"	96"	single hung	PGT WinGuard		ORDER
4	26	1		37"	40 1/2"	76"	79 1/2"	96"	single hung	PGT WinGuard		ORDER
5	Custom	1		40"	43 1/2"	58 3/4"	62 1/4"	96"	single hung	PGT WinGuard	All mullion's are	ORDER
6	Custom	1		26 1/2"	30"	38 1/8"	∠1 5/8"	96"	single hung	PGT WinGuard	Aluminum tube	ORDER
7	Custom	1		24"	27 1/2"	48"	£1 1/2"	96"	casement	PGT WinGuard	clipped (PGT)	BARN
8	Custom	1		18 1/2"	22"	30 3/4"	34 1/4"	96"	horiz. roller	PGT WinGuard		BARN
9	Custom	1		56 5/8"	60 1/8"	50 3/4"	£4 1/4"	96"	casement	PGT WinGuard	All windows are white	BARN
10	Custom	1		18 1/2"	22"	30 3/4"	34 1/4"	96"	horiz. roller	PGT WinGuard	colonial with	BARN
11	Custom	1		56 5/8"	60 1/8"	50 3/4"	54 1/4"	96"	casement	PGT WinGuard	clear glass	BARN
12	Custom	1		24"	27 1/2"	36 1/6"	3) 9/16"	96"	single hung	PGT WinGuard		BARN
13	Custom	1		56 5/8"	60 1/8"	50 3/4"	54 1/4"	96"	horiz. roller	PGT WinGuard		BARN
14	Custom	1	1' X 4"	75 1/4"	78 3/4"	38 1/2"	42"	96"	s/h & slide	PGT WinGuard		BARN
15	Custom	1	1' X 4"	75 1/4"	78 3/4"	38 1/2"	42"	96"	s/h & slide	PGT WinGuard		BARN
16	Custom	1		53 1/8"	56 5/8"	58 1/2"	62"	96"	single hung	PGT WinGuard		BARN
									***************************************			000000000000000000000000000000000000000
	A	***************************************		JAA-881-1884-1884-1884-1884-1884-1884-188								
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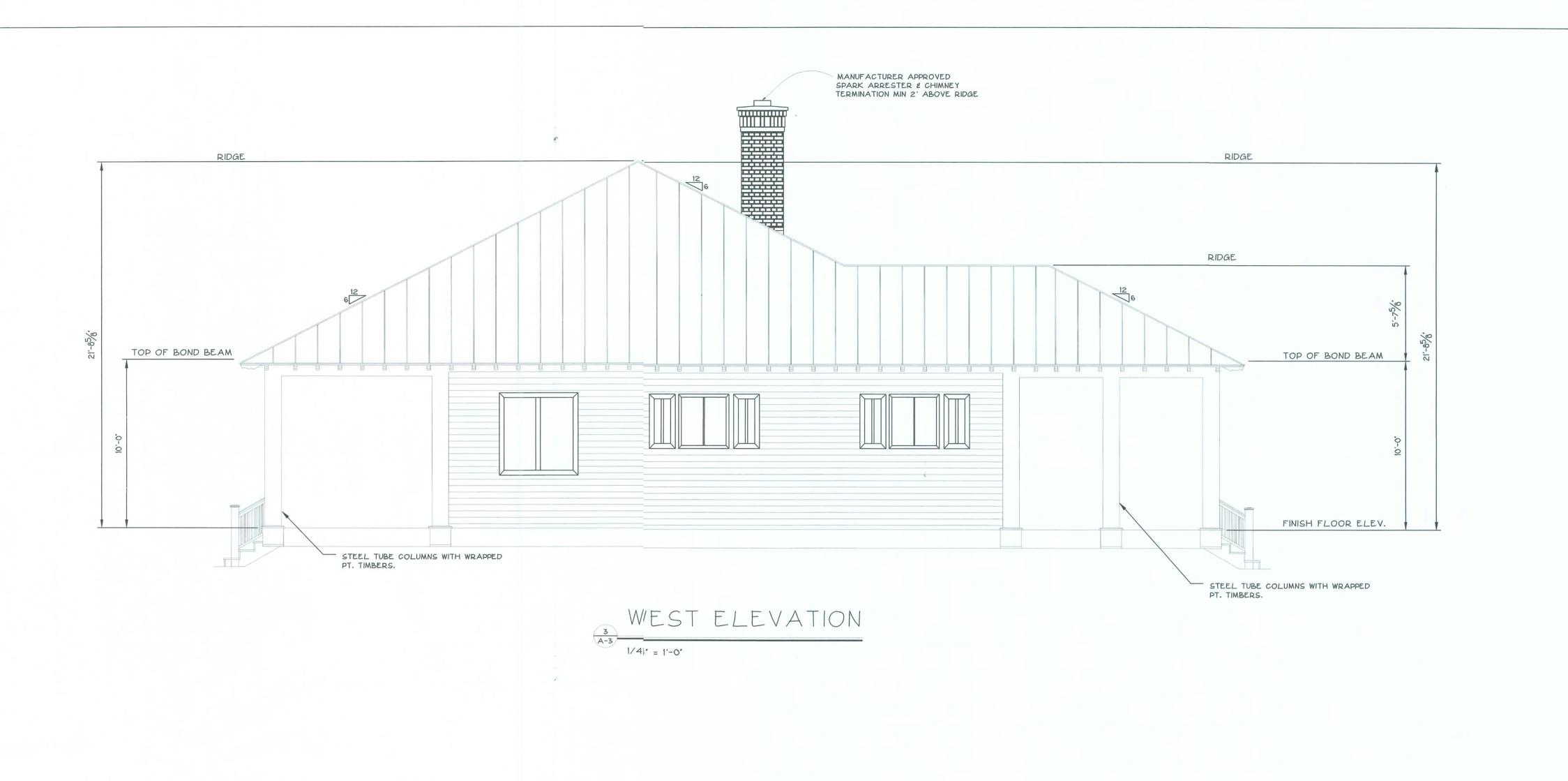
IMPORTANT NOTE: GOVERNING CODE 2004 FLORIDA BUILDING CODE







DATE:	JANUARY20						
	RONNIE KLEIN	P.O. BOX 660026 MIAM, FLOMDA 33266-0026					
	REVIS	SIONS:					
		NORTH SIDE ELEVATON EAST SIDE ELEVATION					
PROJECT:	RONNIE & BRIGITTE KLEIN	AFSIDENCE					
SHEET:	C-V						

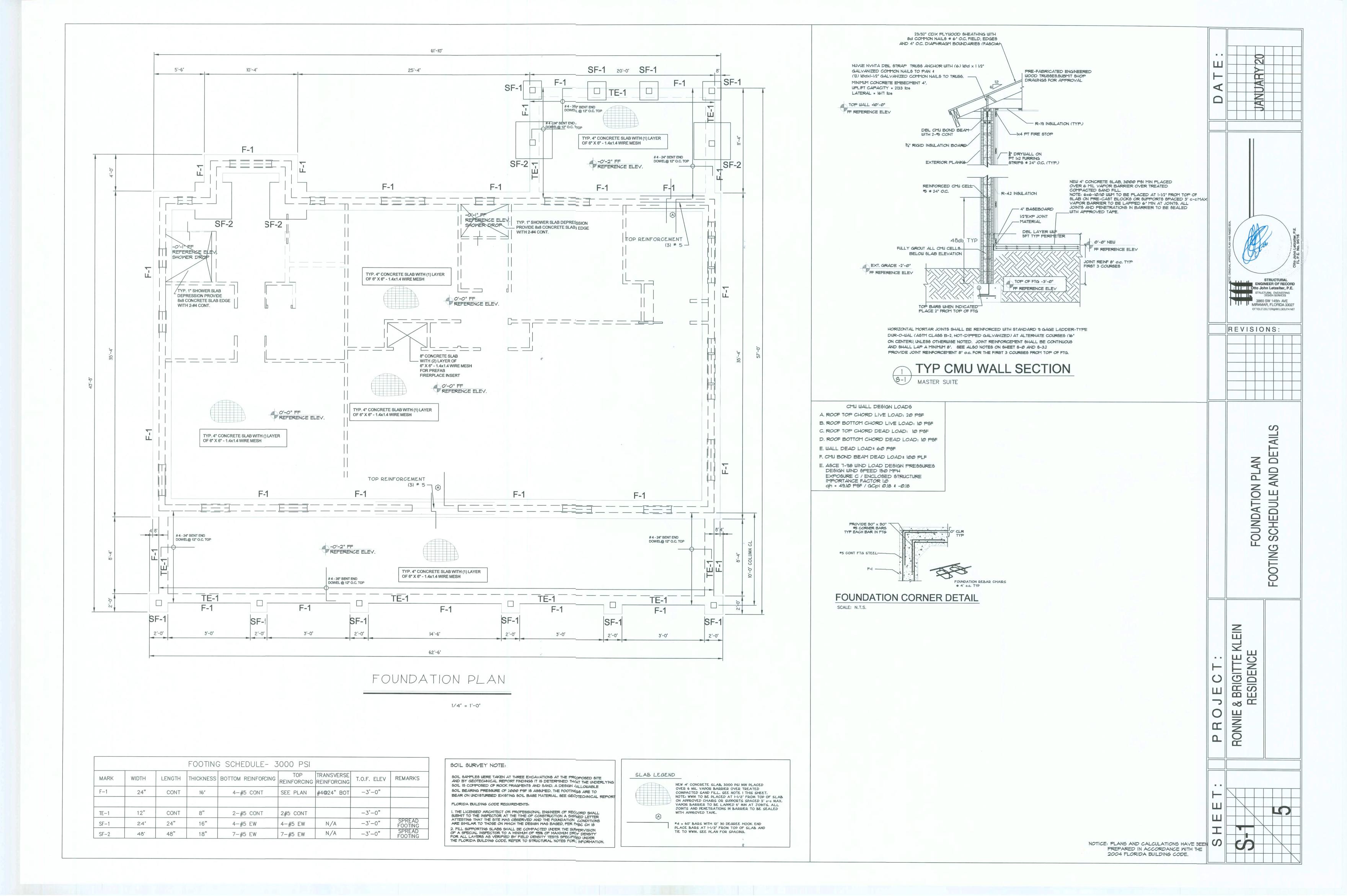


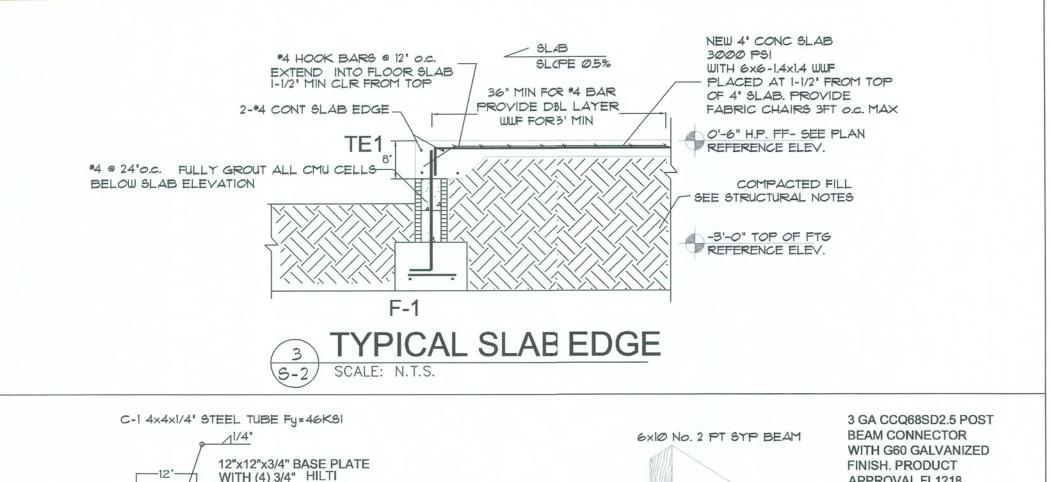


EAST ELEVATION

1/4" = 1'-0"

DATE:		JANUARY20			
	RONNIE KLEIN	P.D. BOX 660026	MIAMI /FLORIDA 38266-0026		
	REVIS	\$10	NS:	:	
		WEST SIDE ELEVATON	SOUTH SIDE ELEVATION		
PROJECT:	RONNIE & BRIGITTE KLEIN	RESIDENCE			
EET:		3		4	





TS4×4×1/4"

STEEL CAP

KWIK BOLT II WITH 8" CONCRETE
EMBEDMENT MINIMUM INTO TOP OF FOOTING TS4×4×1/4" COAT CONNECTION AND **COLUMN WITH** BITUMASTIC PAINT PLAN PRIOR TO CONCRETE **ENCASEMENT BELOW** TOP OF PAITO FLOOR LEVEL

BASE PLATE DETAIL SHOP DRAWINGS REQUIRED TYPICAL STEEL COLJMN C-3

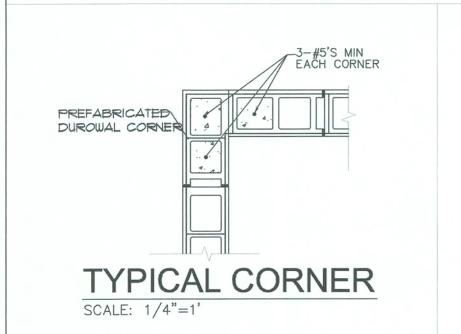
APPROVAL FL1218 DRILL 5 HOLES IN CONNECTOR FOR $10\frac{1}{4}$ "x2 $\frac{1}{2}$ SDS SCREWS EACH SIDE / EACH END OF 6x10 BEAM SUBMIT SHOP DRAWINGS FOR 3 GA CORNER BEAM CONNECTOR PROVIDE MIN G60 GALVANIZED

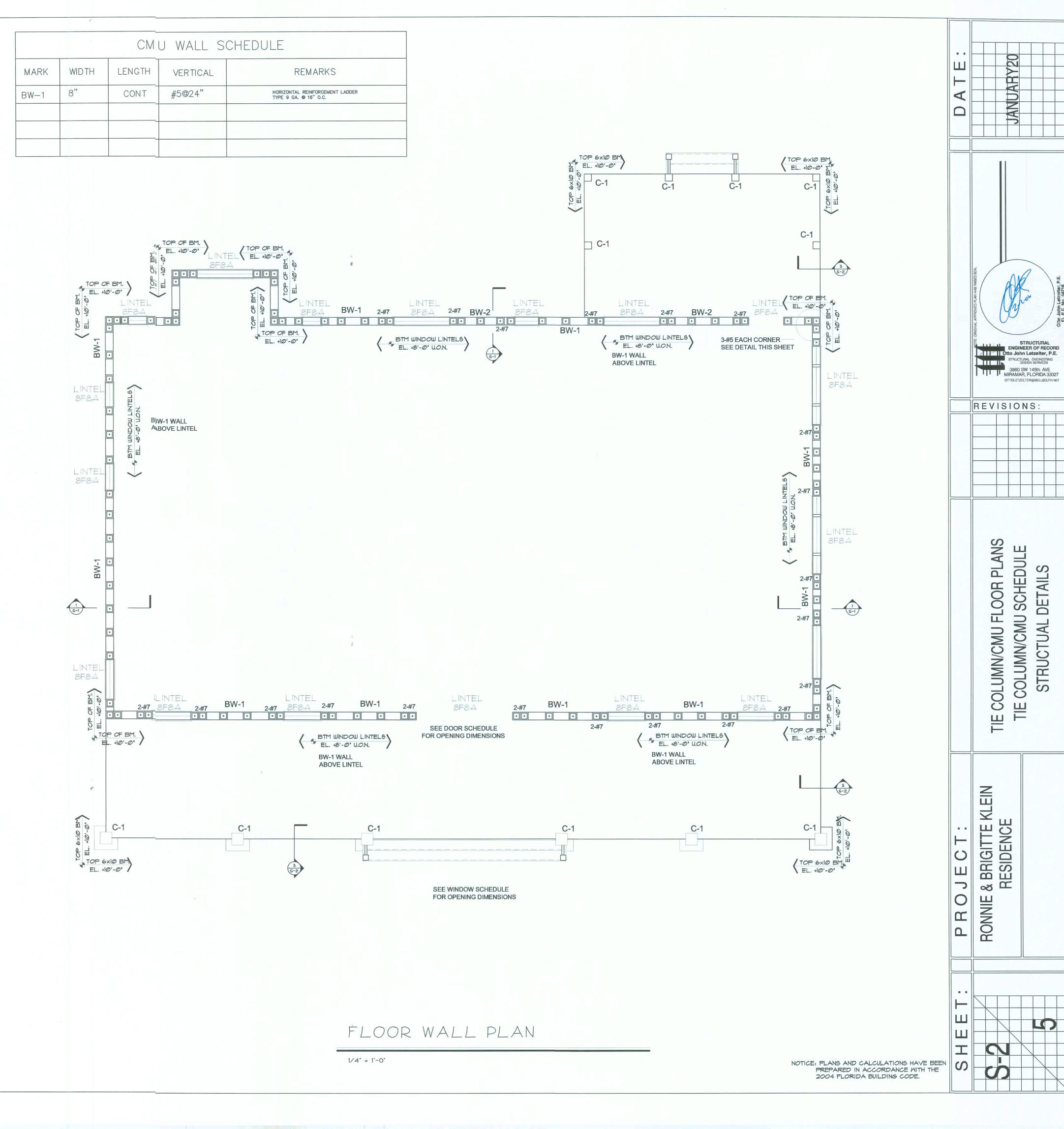
C-3 4x4x1/4" STEEL TUBE Fy=46KSI FINISH AND HOLES FOR 10-4"x2-1 SDS SCREWS EACH SIDE / EACH END OF 6x10 BEAMS

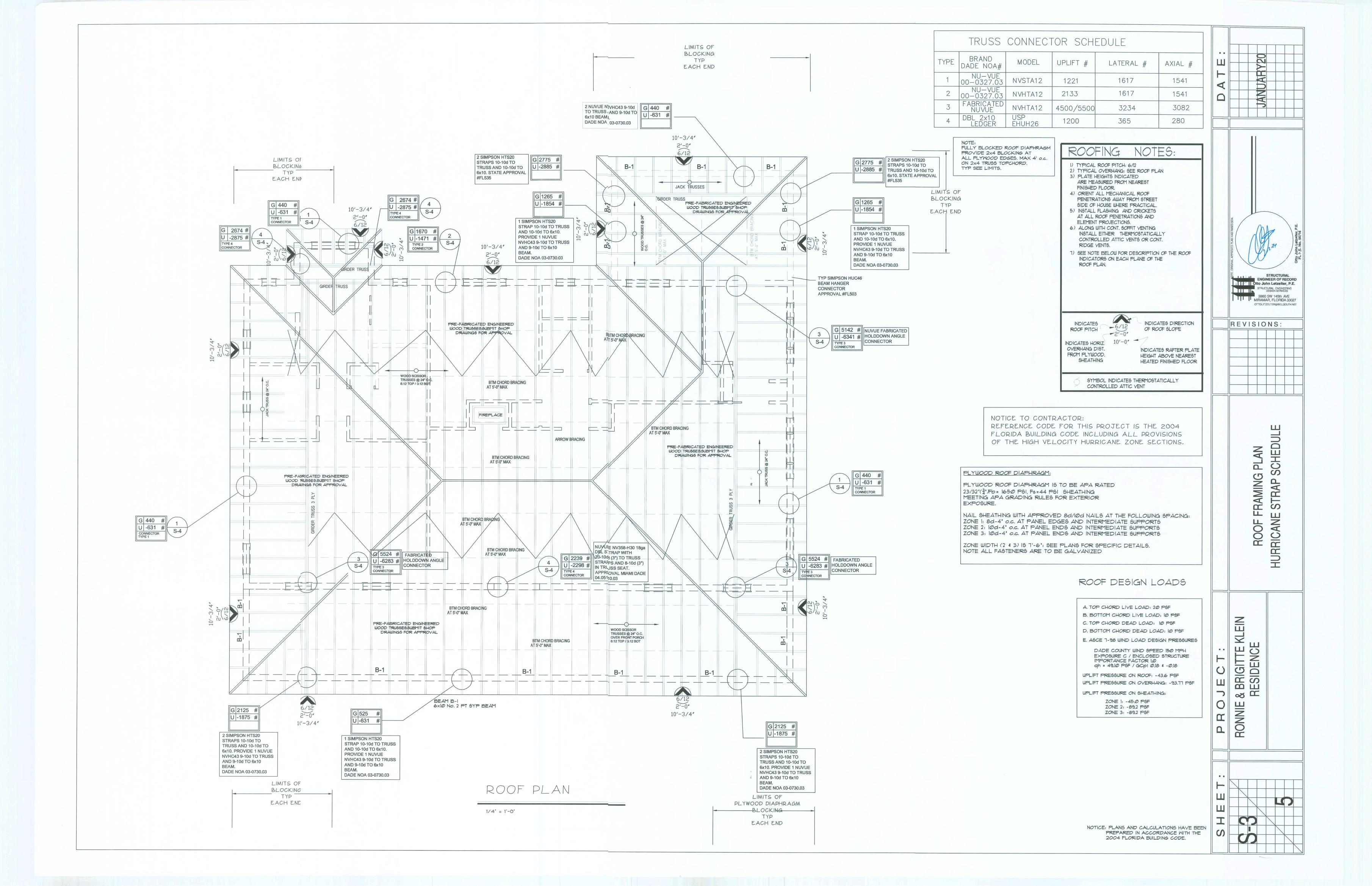
3500 PSI PRECAST CONCRETE LINTEL BY CAST-CRETE INC PROVIDE 1-5 BAR BOTTOM AND 1-5 BAR TOP (8F8A) GROUT WITH 3000 PSI GROUT WITH MAX 3/8" AGGREGATE. LINTEL 8F3A/B

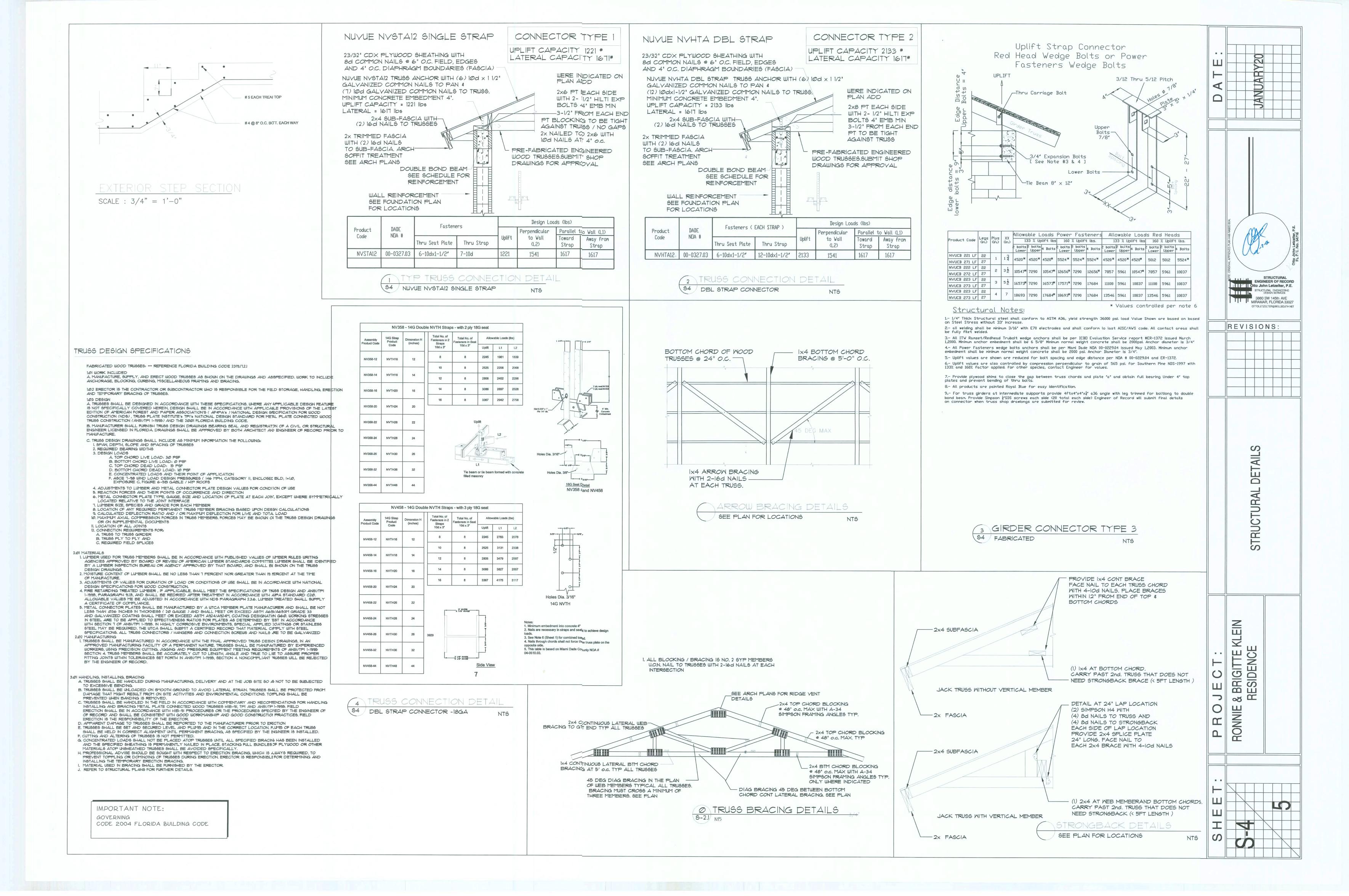
PROVIDE SHOP DRAWINGS FOR APPROVAL. MAX VERTICAL DEFLECTON SHALL BE L/360. MINIMUM BEARING ON CMU WALL IS 8". ENGINEER TO APPROVE ALTERNATE LINTELS, SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR REVIEW. PROVIDE 1-#1 BAR BOTTOM AND 1-#1 BAR TOP (8F8B)

LINTEL DETAILS









STRUCTURAL NOTES

GENERAL NOTES:

STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS, CONSULT ARCHITECTURAL DRAWINGS FOR SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS. AS A MINIMUM, CONSTRUCTION SHALL COMPLY WITH THE 2001 FLORIDA BUILDING CODE, ACI 318, BUILDING CODE REQUIRE-MENTS FOR STRUCTURAL CONCRETE, ACI 530, AISI SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS 1986, AND 419C SPECIFICATIONS.

ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT. EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.

ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN "HE FIELD. DO NOT SCALE THE DRAWINGS. FOLLOW WRITTEN DIMENSIONS ONLY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED PART OF THE WORK.

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PRO-CEDURES AND SEQUENCES TO INSURE SAFETY OF THE BULDING AND ITS COMPONENTS DURING ERECTION. THIS WORK INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS.

THE CONTRACTOR SHALL SUPPLEMENT THE MINIMUM REQUIRED FOUNDATION AND SITE PREP-ARATION REQIREMENTS AND SLAB-ON-GRADE THICKNES; TO HANDLE CONSTRUCTION LOADS.

DESIGN LOADS: ROOF:

LIVE LOAD 30 psf FLOOR: DEAD LOAD 20 psf

LIVE LOAD 40 psf

DEAD LOAD 25 psf

DESIGN WIND SPEED = 150 mph (ASCE 7-98)

SHOP DRAWING REVIEW:

SHOP DRAWINGS WILL BE REVIEWED FOR GENERAL COMFLIANCE WITH THE DESIGN INTENT OF THE CONTRACT DOCUMENTS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRAC-TOR TO VERIFY COMPLIANCE WITH THE CONTRACT DOCUMENTS AS TO QUANTITY, LENGTH, ELEVATIONS, DIMENSIONS, ETC.

ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMITTAL TO THE ARCHITECT/ENGINEER. DRAWINGS SUBMITTED WITHOUT REVIEW WILL BE RETURNED UNCHECKED. SHOP DRAWINGS IN THE FORM OF REPRODUCIBLE SEPIAS OF STRUCTURAL DRAWINGS (CON-TRACT DOCUMENTS) ARE PROHIBITED WITHOUT THE EXPRESS WRITTEN PERMISSON FROM THE ENGINEER.

IN ALL INSTANCES, THE CONTRACT DOCUMENTS WILL GOVERN OVER THE SHOP DRAWINGS CHECKED, UNLESS OTHERWISE SPECIFIED IN WRITING BY THE ENGINEER

FOUNDATION/SITE PREPARATION:

FOOTINGS WERE DESIGNED FOR AN ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. FOOTING EXCAVATIONS AND SLAB SUBGRADE SHALL BE COMPACTED TO A DRY DENSITY OF AT LEAST 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENGITY, DETERMINED IN ACCORDANCE WITH ASTM D-1557. TREAT ALL SOIL FOR TERMITE PROTECTION.

THE OWNER SHALL RETAIN THE SERVICES OF AN INDEPENDENT GEOTECHNICAL ENGINEER TO VERIFY SUCCESSFUL COMPLETION OF SITE PREPARATION EFFORTS. LOCATIONS FAILING TO MEET THE GEOTECHNICAL ENGINEER'S REQUIREMENTS SHALL BE RECOMPACTED AND RETESTED AT THE CONTRACTOR'S EXPENSE, AND AS DIRECTED BY THE ENGINEER. WRITTEN CERTIFICATION THAT THE MINIMUM DESIGN BEARING CAPACITY, AND THAT THE COMPACTION REQUIREMENTS HAVE BEEN MET SHALL BE MADE BY THE GEOTECH, ENGINEER.

CONCRETE

CONCRETE SHALL ACHIEVE MINIMUM 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS: 3,000 PSI REGULAR WEIGHT FOR FOOTINGS, AND SLAB-ON-GRADE 3,000 PSI REGULAR WEIGHT FOR BEAMS, COLUMNS, AND STRUCTURAL SLABS 3,000 PSI REGULAR WEIGHT FOR TERRACE BEAMS

CONTRACTOR SHALL SUBMIT PROPOSED MIX DESIGNS, WITH HISTORICAL STRENGTH DATA FOR EACH SEPARATE MIX PRIOR TO CONCRETE PLACEMENT. CONCRETE SLUMP SHALL NOT EXCEED 4" +/- 1" PRIOR TO THE ADDITION OF PLASTICIZER.

CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ACI 301 AND ASTM C-94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME-STAMPED WHEN CONCRETE IS BATCHED. THE MAXIMUM TIME ALLOWED FROM WHEN WATER IS ADDED TO THE MIX UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED 90 MINUTES. IF FOR ANY REASON THERE IS A DELAY SUCH THAT A BATCH IS HELD FOR LONGER THAN 90 MINUTES, THE CONCRETE SHALL NOT BE PLACED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LABORATORY TO NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONTRAC-TOR OF ANY NONCOMPLIANCE WITH THE ABOVE.

ALL CONCRETE SHALL BE CURED USING A CURING COMPOUND MEETING ASTM STANDARD C-309, TYPE I, CURING COMPOUNDS SHALL HAVE A FUGITIVE DYE. THE CURING COMPOUND SHALL BE PLACED AS SOON AS THE FINISHING IS COMPLETED OR AS SOON AS THE VISIBLE WATER HAS LEFT THE UNFINISHED CONCRETE. ALL SCUFFED OR BROKEN AREAS IN THE CUR-ING MEMBRANE SHALL BE RECOATED DAILY. CALCIUM CHLORIDES SHALL NOT BE UTILIZED IN THE WORK, OTHER ADMIXTURES MAY BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.

REQUIRED CONCRETE COVERAGE OVER REBAR SHALL BE AS FOLLOWS:

- A. 3" FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH (FOUNDATIONS):
- B. FOR CONCRETE EXPOSED TO EXTERIOR WEATHER:
- 1-1/2" FOR #5 AND SMALLER 2" FOR #6 AND LARGER
- C. FOR CONCRETE NOT EXPOSED TO INTERIOR WEATHER:
- 3/4" FOR SLABS, WALLS, AND JOISTS
- 1-1/2" FOR BEAM AND COLUMN PRIMARY REINF, TES, STIRRUPS

FORMWORK:

FORMWORK, SHORING, AND BRACING FOR ALL CONCRETE BEAMS, SLABS, COLUMNS, WALLS, AND FOOTINGS SHALL BE DESIGNED AND CONSTRUCTED N ACCORDANCE WITH ACI 347, "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK".

REINFORCING STEEL:

REBAR SHALL BE ASTM A615 GRADE 60 DEF-ORMED BARS, FREE FROM OIL, SCALE, AND RUST AND PLACED IN ACCORDANCE WITH THE TYPICAL BENDING DIAGRAM AND PLACING DETAILS OF THE ACI STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL SUBMIT REBAR SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. HORIZONTAL AND VERTICAL BARS SHALL LAP 6 x BAR NO., SEE LAP SPLICE SCHEDULE, UNSCHEDULED FIELD LAPS ARE SUBJECT TO ENGINEER'S REVIEW.

TENSION LAP SPLICE SCHEDULE PI AN REINFORDCEMENT

			IN OFFICE LIENT			
	MASONRY	OTHER TH	HAN TOP BARS	TOP BARS		
BAR #	SPLICE LENGTH	(3000 PS) (.4000 PSI)	(3000 PS	61)(4000 P	<
3	-	16"	166"	21"	18"	
4	24"	22"	119"	28"	24"	
5	30"	27"	23"	35'	30"	
6	36"	35"	:31"	46"	40"	
٦	42"	48"	·42"	63"	54"	

PROVIDE 3' x 3' CORNER BARS LAPPED AND, TIED TO EACH BEAM REBAR, TYPICAL AT ALL CORNERS. THESE CORNER BARS SHALL BE THE SAME SIZE AS LONGITUDINAL BEAM BARS. SEE DETAILS FOR ADDITIONAL INFORMATION.

WELDED WIRE MESH:

WELDED WIRE MESH SHALL BE ASTM A185, GR:ADE 65, FREE FROM OIL, SCALE, AND RUST, AND SHALL BE PLACED IN ACCORDANCE WIT'H THE ACI TYPICAL DETAILS, MINIMUM LAP SHALL BE ONE SPACE PLUS TWO INCHES.

STRUCTURAL STEEL:

THE MATERIAL, FABRICATION, AND ERECTION OF STRUCTURAL STEEL SHALL COMPLY WITH THE SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUC-TURAL STEEL FOR BUILDINGS, 9th EDITION, BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION. STRUCTURAL STEEL SHALL BIE ASTM A36, Fy = 36 KSI FOR ANGLES, PLATES, AND W-SHAPES. STRUCTURAL TUBING, SHALL BE ASTM A-500, GRADE B, Fy = 46 ksi. STRUCTURAL PIPE SHALL BE ASTIM A-53, GRADE B, TYPE E OR S, Fy = 35 ksi OR ASTM A501 Fy=36 ksi. TUBE AND PIPE COLUMNS SHALL BE CONCRETE-FILLED IN THE SHOP.

ANCHOR BOLTS AT COLUMN BASES SHALL BE ASTM A307 BOLTS WITH DOUBLE-NUT LEVELING. ALL OTHER BOLTS SHALL BE ASTIM A325-N BOLTS WITH WASHERS UNDER THE TURNED ELEMENT. BOLTS SHALL BE TIGHTENED IN ACCORDANCE WITH THE TURN-OF-THE-NUT METHOD.

WELDING SHALL BE DONE BY AWS CERTIFIED WELDERS USING THE MOST RECENT AWS APPROVED TECHNIQUES. SHIELDED METAL ARC WELDING (SMAW) SHALL USE ETØXX LOW-HYDROGEN ELECTRODES.

ALL STEEL SHALL RECEIVE SHOP AND FIELD TOUCH-UP COATS OF PAINT IN ACCORDANCE WITH SSPC SPECIFICATIONS.

WOOD TRUSSES

TO BE DESIGNED AND FABRICATED IN ACCOMPDANCE WITH THE "NATIONAL DESIGN SPEC-IFICATIONS FOR STRESS-GRADE LUMBER AND) ITS FASTENINGS" BY THE NEPA. TRUSS DESIGNS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN FLORIDA. SEE NOTES FOR SHOP DRAWINGS.

CONNECTOR PLATES SHALL BE A MINIMUM THICKNESS OF 0.036" AND BE MANUFACTURED FROM STEEL MEETING THE REQUIREMENTS OF ASTM A446, GRADE A, AND SHALL BE HOT-DIPPED GALVANIZED.

IN HIGHLY CORROSIVE ENVIRONMENTS, CONNECTOR PLATES AS WELL AS THE HURRICANE STRAPS AND ALL THE NAILS, SHALL BE MADE OF STAINLESS STEEL.

HANDLING, ERECTION AND BRACING OF TRUSSES SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE RECOMMENDATIONS.

HURRICANE STRAPS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

CONNECTORS OR STRAPS THAT DO NOT MATCH EXACTLY THE ONES SPECIFIED IN THE DRAWINGS REGARDING STEEL YIELD OR ULTIMATE STRENGTH, STEEL GAGE, DIMENSIONS (LENGTH AND WIDTH), NUMBER AND DIAMETER OF HOLES FOR THE SAME SIZES OF NAILS OR BOLTS, AND/OR DO NOT HAVE THE SAME GENERAL SHAPE, WILL NOT BE ACCEPTABLE.

ALL SCISSORS OR "A" TRUSSES AND GIRDER TRUSSES, AND ALL TRUSSES AND GIRDER TRUSSES USED AS PART OF ANY "CATHEDRAL CEILINGS" SHALL BE NAILED PERMANENTLY TO HURRICANE STRAPS ONLY AFTER ALL DEAD LOADS, INCLUDING ANY ROOF TILES, ARE IN PLACE. PRIOR TO PERMANENT NAILING, ALL HURRICANE STRAPS MUST BE FREE (TO ALLOW FOR TRUSS DEFLECTION), ROOFS WITH (CLAY TILES SHALL BE SPRINKLED WITH AN ABUNDANT AMOUNT OF WATER FOR AT LEAST II HOUR BEFORE THE PERMANENT NAILING OPERATION CAN START. THE ROOF SHALL BE CONSTANTLY SPRINKLED WITH WATER DURING THE OPERATION. THE CONTRACTOR WILL BE ALSO RESPONSIBLE FOR KEEPING THE ROOF SAFELY IN PLACE IN THE EVENT OF HIGH WIND'S OR OTHER TRANSIENT LOADING CONDITIONS DURING CONSTRUCTION. *** FAILURE TO COMPILY WITH THESE PARAMETERS WILL MAKE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY AND ALL CONSEQUENTIAL DAMAGES CAUSED BY THE HORIZONTAL THRUST DEVELOPED BY THE ROOF FRAMING DUE TO SUPERIMPOSED LOADING AND TRANSFERRED INTO THE BEAM'S, WALLS AND COLUMNS. ***

CONTRACTOR SHALL SUBMIT SIGNED AND SEALED DRAWINGS OF ALTERNATE CONNECTION DETAILS AT TRUSSES/GIRDERS TO COLUMNS AND WALLS FOR APPROVAL.

THE ARCHITECT AND ITS CONSULTANTS OR DESIGN PROFESSIONALS WILL NOT BE RESPON-SIBLE FOR ANY DAMAGE CAUSED AS A CONSIEQUENCE OF TERMITE INFESTATION. THE OWNER SHALL PROVIDE DUE CARE AND INSPECTIONS TO DETECT TERMITE INFESTATION EARLY ENOUGH TO KEEP THE STRUCTURE SAFE.

THE LOCATIONS OF GIRDERS AND TRUSSES SHOWN ON THE ROOF FRAMING PLAN WERE USED TO FACILITATE DESIGN OF FOUNDATIONS, WALLS, AND BEAMS. THE CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS FOR REVIEW BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO FABRICATION. THE TRUSS IFABRICATOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS OF EACH INDIVIDUAL TRUSS AND A, FULLY DIMENSIONED ERECTION PLAN SHOWING COMPONENT LAYOUT. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL ENGINEER.

THE HURRICANE STRAPS SPECIFIED ON THE WALL SECTIONS AND PLANS ARE PROVIDED TO FACILITATE THE CONSTRUCTION SCHEDULE, AND MAY CHANGE PREDICATED ON THE TRUSS AND GIRDER REACTIONS PROVIDED BY THE TRUSS ENGINEER.

ALL WOOD FOR BEAMS, BEARING WALLS, SOLE PLATES, TOP PLATES, BLOCKING, BRACING, LEDGERS, CRIPPLES, SILLS, ETC., SHALL BE SOUTHERN PINE NO. 2, KD-15, OR BETTER

MICRO-LAM BEAMS SHALL BE MANUFACTURED BY TRUS-JOIST CORP., OR APPROVED EQUAL, AND SHALL PROVIDE A MODULUS OF ELASTICITY OF 2,000,000 psi, A MIN, FLEXURAL STRESS OF 2,925 psi, AND A MIN. HORIZONTAL SHEAR STRESS OF 285 psi.

ALL WOOD IN CONTACT WITH CONCRETE OR CONCRETE BLOCK SHALL BE PRESSURE-TREATED. WOOD FOR NON-STRUCTURAL USES SHALL BE RATED TO RETENTION LEVELS OF 0.25 PCF OF CHROMATED COPPER ARSENATE (CCA). WOOD FOR STRUCTURAL USE THAT SHALL BE TREATED FOR ANY REASON SHALL BE RATED TO RETENTION LEVELS OF Ø.4 PCF OF CCA OR MORE.

FOR STRUCTURAL USES, AVOID BUYING TREATED LUMBER THAT CONTAINS MORE THAN 1/2" OF HEARTWOOD.

AVOID INHALATION OF SAWDUST PRODUCED BY PRESSURE TREATED WOOD. WEAR A DUST MASK AND WORK OUTDOORS. DISPOSE OF DUST AND SCRAP BY ORDINARY TRASH COLLEC-TION. DO NOT BURN IT: PRESSURE TREATED WOOD MAY PRODUCE VERY TOXIC FUMES. WOOD PREVIOUSLY USED AS FORMWORK SHALL NOT BE USED AS ROOF FRAMING OR SHEATHING.

IN HIGHLY CORROSIVE ENVIRONMENTS, ALL WIND RESISTING HARDWARE INCLUDING THE HURRICANE STRAPS, SHALL BE MADE OF STAINLESS STEEL, OR SHALL BE DIPPED (AND SCRATCHES RE-PAINTED) IN COAL-TAR EPOXY PAINT. HURRICANE STRAPS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS

HANGERS OR STRAPS THAT DO NOT MATCH EXACTLY THE ONES SPECIFIED ON THE DRAW-INGS IN STEEL YIELD OR ULTIMATE STRENGTH, STEEL DIMENSIONS (LENGTH AND WIDTH). NUMBER AND DIAMETER OF HOLES FOR THE SAME SIZES OF NAILS OR BOLTS, AND/OR DO NOT HAVE THE SAME GENERAL SHAPE, WILL NOT BE ACCEPTABLE.

NO POCKETS WILL BE ALLOWED IN CONCRETE OR STEEL MEMBERS FOR CONNECTION OF WOOD MEMBERS UNLESS THE CONNECTION DETAIL IS IN WRITING PRIOR TO INSTALLATION.

ALL NAILS, SCREWS, AND BOLTS SHALL BE HOT-DIPPED GALVANIZED

MASONRY:

ALL BLOCK WALLS SHALL BE TWO-CELL HOLLOW CONCRETE MASONRY REGULAR SIZE BLOCK MANUFACTURED IN CONFORMANCE WITH ASTM C-90, GRADE N, I'm = 1500 psi. BLOCK SHALL BE PLACED USING RUNNING BOND UNLESS OTHERWISE NOTED. LAY-UP MASONRY WALLS TO BOTTOM OF TIE BEAMS BEFORE PLACING CONCRETE FOR IN-WALL COLUMNS. GROUT USED TO FILL MASONRY CELLS SHALL COMPLY WITH ASTM C-476, AND SHALL PROVIDE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 psi AT 28 DAYS. THE GROUT MIX SHALL HAVE A MAXIMUM 3/8" COARSE AGGREGATE, AND SHALL BE PLACED WITH A SLUMP OF 8" TO 10". USE ONLY MECHANICAL VIBRATION TO CONSOLIDATE GROUT.

TYPE S MORTAR SHALL BE USED EXCLUSIVELY ON THIS PROJECT, MORTAR SHALL BE PROPORTIONED AND MIXED AS OUTLINED UNDER ASTM C-270. HORIZONTAL AND VERT MORTAR JOINTS SHALL BE 3/8" THICK UNLESS OTHERWISE NOTED. REMOVE MORTAR PROTRUSIONS THAT EXTEND INTO CELLS TO BE FILLED. ALLOW A MINIMUM 12 HOURS FOR MORTAR TO CURE PRIOR TO GROUTING CELLS.

HORIZONTAL MORTAR JOINTS SHALL BE REINFORCED WITH STANDARD 9 GAGE LADUR-TYPE DUR-O-WAL (ASTM CLASS B-2, HOT-DIPPED GALVANIZED) AT ALTERNATE COURSES (16" ON CENTER), UNLESS OTHERWISE NOTED. JOINT REINFORCEMENT SHALL BE CONTINUOUS AND SHALL LAP A MINIMUM 8".

LAP VERTICAL REBAR 6 x BAR NO., U.O.N.

MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM WITH ALL REQUIREMENTS OF THE "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530,1-95/ASCE 6-95/TMS 602-95). AS PUBLISHED BY THE MASONRY STANDARDS JOINT COMMITTEE.

CV ш Otto John Letzelter, P.I STRUCTURAL ENGINEERING DESIGN SERVICES 3860 SW 145th AVE REVISIONS AND

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NOTICE TO CONTRACTOR: REFERENCE CODE FOR THIS PROJECT IS THE 2004 FLORIDA BUILDING CODE INCLUDING ALL PROVISIONS OF THE HIGH VELOCITY HURRICANE ZONE SECTIONS.

