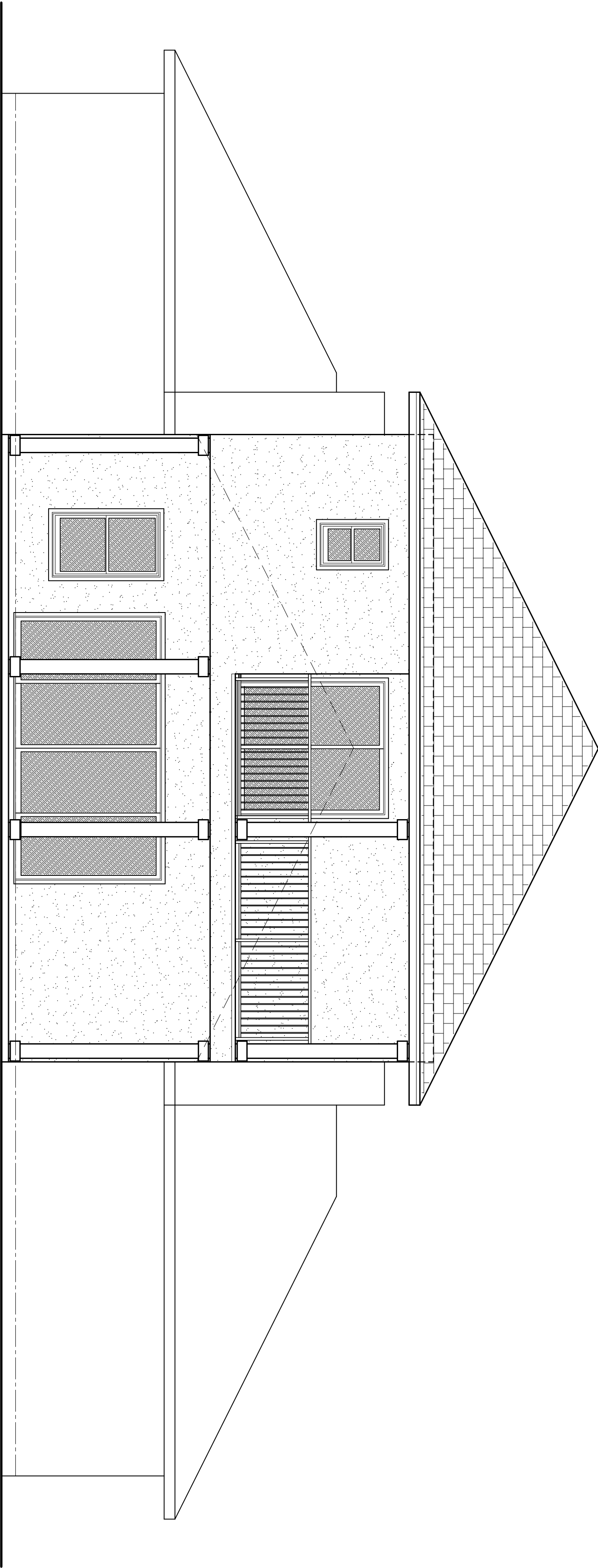




Alterations and Additions to Residence for:

Mr. and Mrs. Janik Patel

Lake City, Florida

Drawing Index

SHT N°.	DRAWING TITLE	ISSUED	LATEST REV'N	SHT N°.	DRAWING TITLE	ISSUED	LATEST REV'N
CS.1	COVER SHEET	01 SEP 2021	09 AUG 2022	A.4	ARCHITECTURAL DETAILS	01 SEP 2021	.
SD.1	DEPO PLAN and HVAC PLAN	01 SEP 2021	21 SEP 2021	A.5	STRUCTURAL INFORMATION	01 SEP 2021	.
A.1	ELEVATIONS	01 SEP 2021	.	A.6	STRUCTURAL PLANS	01 SEP 2021	29 SEP 2021
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A.3	WALL SECTIONS	01 SEP 2021	.	A.8	GENERAL NOTES	01 SEP 2021	.

REVISION:

Revised: 2022
N.P. Geisler, Architect
AR0007005

DRAWN:

128

ALTERATIONS & ADDITIONS TO RESIDENCE for:
MR. & MRS. JANAK PATEL
LAKE CITY, FLORIDA
COVER SHEET



DATE:

01 SEP 2021

CONTR:

2K2091

SHEET:

CS.1

1 of 1

Digitally signed by: N. P. GEISLER
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N. P. GEISLER

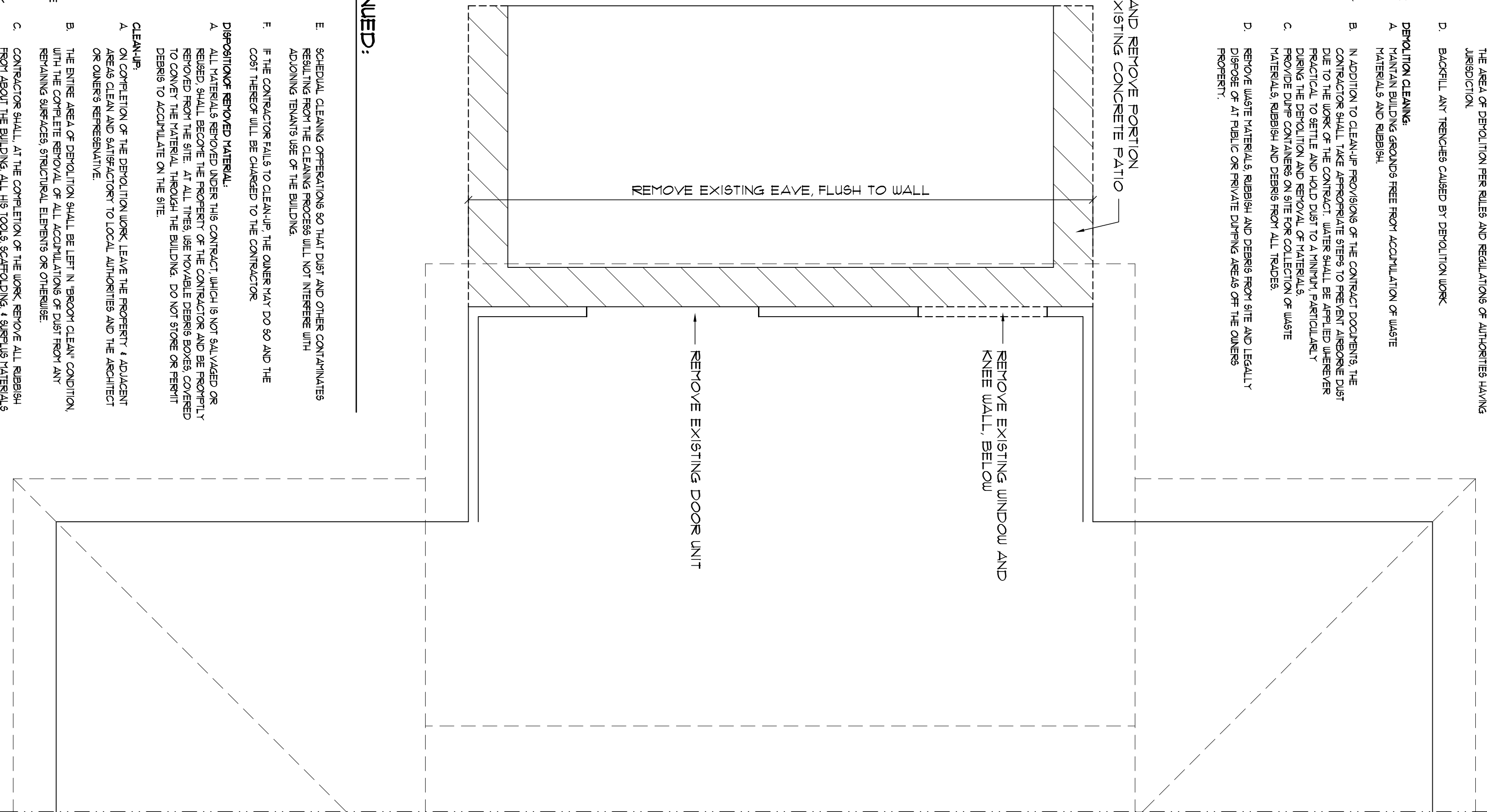
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GENERAL DEMOLITION NOTES:

- SCOPE:**
COMPLETE ALL DEMOLITION WORK AS SHOWN IN THE DRAWINGS AND AS INDICATED HEREIN.
- CONDITIONS AT SITE:**
VISIT THE SITE AND EXAMIN THE EXISTING STRUCTURES. NOTE ALL CONDITIONS AS TO CHARACTER AND EXTENT OF WORK INVOLVED.
- PROTECTION:**
A. ALL DEMOLITION WORK IN AN OPERABLE AND CAREFUL MANNER WITH DUE CONSIDERATION FOR EXISTING STRUCTURES TO REMAIN, INCLUDING ANY PARTS OF THE SURROUNDING AREAS WHICH ARE TO REMAIN. BARRICADE AND COVER AS NECESSARY TO PROTECT FURNISHINGS, WORKMAN AND ADJACENT PROPERTIES. PERIODICALLY BRANKE TO ALLAY DUST. PROTECT ANY ACTIVE SERVICE LINES INDICATED OR NOT.
- B. AVOID ANY ENCROACHMENT ON ADJACENT PROPERTIES. REPAIR AND MAKE GOOD ANY DAMAGE TO ADJACENT PROPERTIES OR IMPROVEMENTS CAUSED BY OPERATIONS, INCLUDING ANY DAMAGE OR LOSS TO ADJACENT TENANTS OR PROPERTY OWNERS, WHETHER TO BUILDING STOCKS OR THEREAFTER, UNDER FENCED OR THE LIKE.
- C. CONTRACTOR SHALL CONVEY HIS APPARATUS, STORAGE OF MATERIALS AND ADJUTS AND SHALL REMAIN AND MAINTAIN PARKING OF ALL VEHICLES AND EQUIPMENT WITHIN THE PROPERTY LINES LEAVING ALL WALKS, DRIVEWAYS, ROADS AND ENTRANCES UNIMPEDED.
- DEMOLITION CLEANUP:**
A. MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH.
- B. IN ADDITION TO CLEANUP PROVISIONS OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AEROSOL DUST FROM BEING RELEASED INTO THE AIR. THIS SHALL BE DONE BY WETTING THE SURFACES PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM PARTICULAR DURING THE DEMOLITION AND REMOVAL OF MATERIALS.
- C. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FROM ALL TRUCKS.
- D. REMOVE WASTE MATERIALS, RUBBISH AND DEBRIS FROM SITE AND LEGALLY DISPOSE OF AT PUBLIC OR PRIVATE DUMPING AREAS OFF THE OWNERS PROPERTY.

GENERAL DEMOLITION NOTES, CONTINUED:

- RESTRICTED ACCESS:**
A. CONTRACTOR SHALL USE AND MAINTAIN A CLEAN CONDITION SITE ACCESS ROUTE AS AGREED UPON AT THE PRE-CONSTRUCTION CONFERENCE. NO OTHER ACCESS SHALL BE USED FOR VEHICLES OR TRAILERS.
- B. CONTRACTOR AND ALL OTHER PARTIES CONNECTED TO THE PROJECT SHALL USE ONLY PARKING AREAS DESIGNATED AT THE PRE-CONSTRUCTION CONFERENCE.
- C. CONTRACTOR AND WORKMEN SHALL NOT PASS INTO AREAS BEYOND THE DESIGNATED LIMITS OF WORK AREAS AS DETERMINED AT THE PRE-CONSTRUCTION CONFERENCE.
- OCCUPANCY BY OWNER OF CERTAIN COMPLETED AREAS DURING CONSTRUCTION:**
A. IT IS UNDERSTOOD THAT THE OWNER MAY OCCUPY CERTAIN PORTIONS OF THE BUILDING DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO COMPLETE WORK AREAS OF THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO COMPLETE WORK AREAS OF THE BUILDING. THIS SHALL BE DONE WITH COOPERATION OF THE SCHEDULING OF THE WORK BY THE CONTRACTOR. EARLY OCCUPANCY OF SUCH AREAS AND THE MOVING IN OF FURNISHINGS BY THE OWNER SHALL NOT BE CONSIDERED TO BE A PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO COMPLETE WORK AREAS OF THE BUILDING. THIS SHALL BE DONE WITH COOPERATION OF THE SCHEDULING OF THE WORK BY THE CONTRACTOR. EARLY OCCUPANCY OF SUCH AREAS AND THE MOVING IN OF FURNISHINGS BY THE OWNER SHALL NOT BE CONSIDERED TO BE A PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO COMPLETE WORK AREAS OF THE BUILDING. THIS SHALL BE DONE WITH COOPERATION OF THE SCHEDULING OF THE WORK BY THE CONTRACTOR. EARLY OCCUPANCY OF SUCH AREAS AND THE MOVING IN OF FURNISHINGS BY THE OWNER SHALL NOT BE CONSIDERED TO BE A PART OF THE CONTRACT.
- B. CONTRACTOR SHALL BE HELD HARMLESS FOR ANY DAMAGE DONE TO THE WORK BY EARLY OCCUPANCY OF THE OWNER.
- C. CONTRACTOR SHALL MAKE AVAILABLE IN AREAS SO OCCUPIED ANY UTILITY SERVICES, HEATING AND COOLING AS ARE IN CONDITION TO BE PUT INTO OPERATION AT THE TIME OF EARLY OCCUPANCY. ALL RESPONSIBILITY FOR SUCH EQUIPMENT SHALL REMAIN WITH THE CONTRACTOR UNTIL IT IS SO OPERATED BY THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF OPERATION STATUS SHALL BE MADE AND CERTIFIED BY THE ARCHITECT. THIS LIST SHALL BE THE BASIS FOR THE COMPENSATION OF THE GUARANTEE PERIOD ON THE EQUIPMENT BEING OPERATED FOR THE BENEFIT OF THE OWNERS EARLY OCCUPANCY.



DEMO PLAN

SCALE: 1/4" = 1'-0"

EQUIPMENT REQMTS

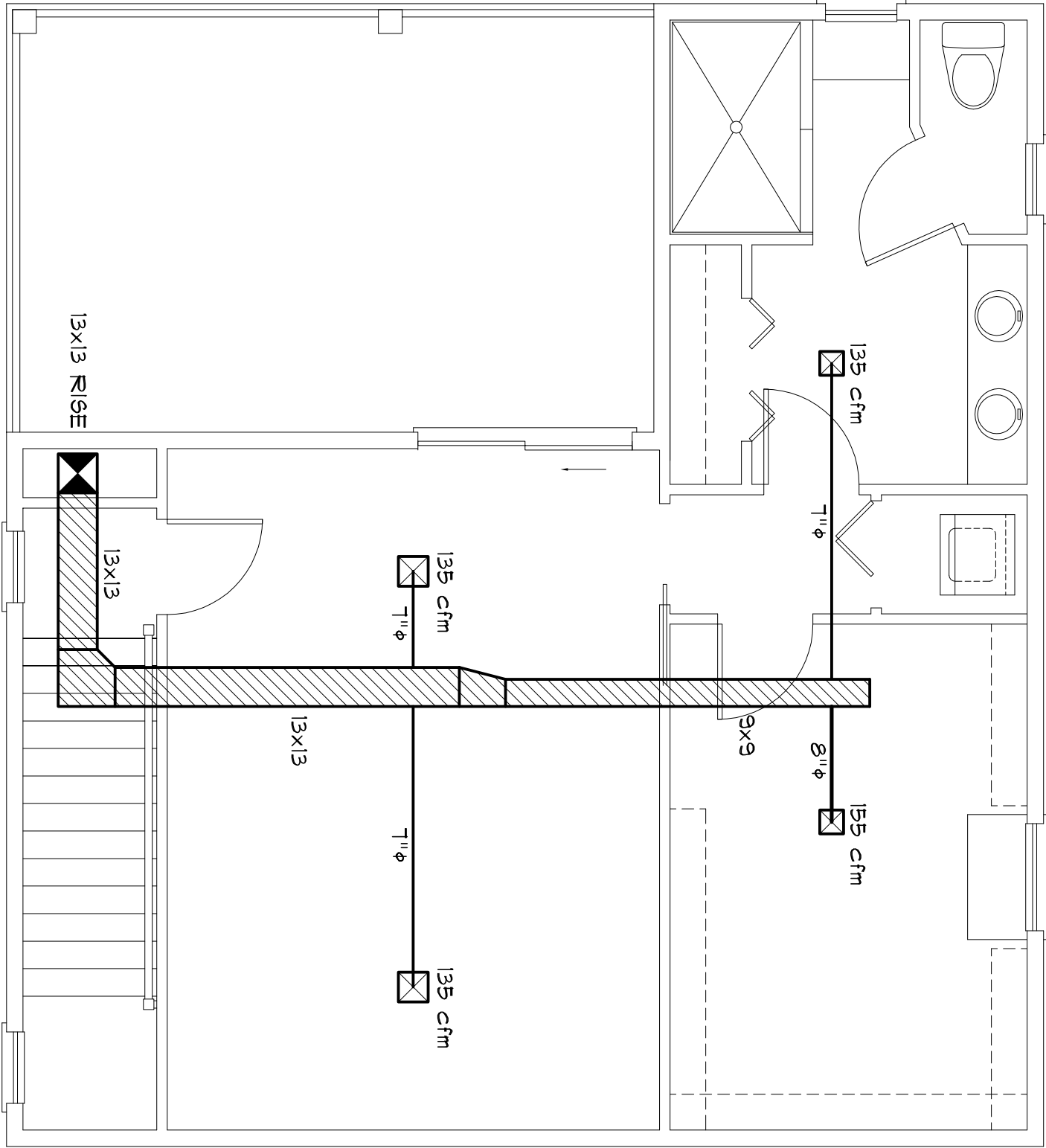
- SYSTEM DESCRIPTIONS:**
NEW HVAC SYSTEMS ARE SPLIT COIL/AD SYSTEMS WITH REFRIG. BACK-UP. THE SYSTEM SHALL BE A HEAT PUMP CONFIGURATION.
- NOTE: ELECTRICAL REQUIREMENTS, WIRING, RISES, STARTERS AND CONTROLS SHALL BE AS REQUIRED BY THE MANUFACTURER FOR A COMPLETE & OPERATING SYSTEM. ACCESSORY ITEMS, IE. DRIERS, RECEIVERS, MOUNTING EQUIPMENT AND THE LIKE SHALL BE PART OF THE SYSTEM AS REQUIRED.
- SUPPLY D/FRIGERS / RETURN GRILLES**
1. AIR DEVICES SHALL BE CONSTRUCTED OF ALUMINUM ALLOY FOR ALL WALL AND CEILING LOCATIONS.
2. DRIERS SHALL HAVE OFFERABLE DAIFFERS W/ CURVED BLADE ADJUSTABLE VANES IN ALL WALL & CEILING APPLICATIONS, AND OFFERED BLADE DAIFFERS IN FLOOR LOCATIONS.
3. RETURN AIR GRILLES SHALL BE CONSTRUCTED OF ALUMINUM ALLOY FOR ALL WALL & CLG. LOCATIONS.
4. RETURN AIR GRILLES SHALL HAVE AN OFFERABLE FACE W/ A FILTER HOLDER INCLUDED.

- DUCTWORK**
1. DUCTWORK SHALL BE RECTANGULAR SHEET METAL W/ 80/20 EOL FACED FIBERGLASS INSULATION IN ATTIC AREAS, R-6 EOL INSULATION FOR ALL MAIN TRUNK LINES WITH FOIL FACED METAL FLEX DUCT FOR ALL BRANCH DROPS.
2. ALL TURNING VANES, EXTRACTORS AND DAIFFERS SHALL BE INCLUDED AND SHALL BE FABRICATED FROM GALV. SHEET METAL.
3. ALL JOINTS IN DUCTWORK SHALL BE LAP SEILED IN THE DIRECTION OF FLOW AND SEALED W/ FOIL FACED DUCT TAPE.

- NOTE:**
HVAC CONTRACTOR SHALL PREPARE WORKING SHOP DRAWINGS INDICATING ALL HVAC WORK, INCLUDING ALL DUCTWORK, LOC. SIZES, LINES & EQUIPMENT SCH. - CONTRACTOR SHALL PROVIDE 1 COPY OF WORKING SHOP DRAWS TO THE PERMITTING AGENCY PRIOR TO STARTING INSTALLATION OF ANY MATERIALS.
- NOTE:**
PROVIDE A PROGRAMMABLE THERMOSTAT W/ HUMIDISTAT IN EACH ZONE LOCATED 5'-0" AFF. AND WITHIN THE RETURN STREAM OF THE SYSTEM IF CONTROL IS.
- 344 BLOOR DUCTWORK:**
DUCTWORK TO BE RUN IN RIGGERS IS SUGGESTED - RIGGS LOCATIONS, TURNS AND OTHER CHARACTERISTICS OF THE DUCT INSTALLATION WILL REQUIRE FIELD ADJUSTMENTS / MODIFICATIONS AS NEEDED TO ACCOMMODATE THE STRUCTURAL MEMBERS AND LIMITATIONS.
- NOTE:**
CONTRACTOR SHALL PREPARE 1/4" BUILT SHOP DRAWINGS INDICATING ALL HVAC WORK, INCLUDING ALL DUCTWORK, LOC. SIZES, LINES, EQUIPMENT SCH. & BALANCING REPORT. - CONTR. SHALL PROVIDE 1 COPY OF AS-BUILT DRAWS TO OWNER & 1 COPY TO THE PERMITTING AGENCY.
- NOTE:**
MOUNT COND. UNITS ON 4" THK CONC. PAD SIZED TO EXTEND 4" BEYOND EQUIPMENT ALL AROUND. SECURE EQUIPMENT W/ STL STRAPS & TEC SCREWS & EACH CORNER.
- NOTE:**
REIN. BLADES W/ 6X6 @10' O.C.
- NOTE:**
PROVIDE TURNING VANES & DUCT TURNS & ADL EXTRACTORS & ALL BRANCH DUCT TAPS.
- NOTE:**
PROVIDE A 3/4" GA. GALV. HTL. DRAIN PAN SIZED 2" LONGER AND WIDER THAN AHU X 2" DP, W/ 3/4" PVC DRAIN TO DRIP TO EXTERIOR DRIEVELL.
- NOTE:**
REMOVE SMOKE DETECTORS IN ALL RETURN AIR PATHS. DRY PACK DETECTORS TO BE REMOVED. ACTIVATION INDICATOR LIGHT WITH MANUAL RESET AND SHALL BE INTERLOCKED TOGETHER - ACTIVATION OF ANY SMOKE DETECTOR SHALL SHUT-DOWN ALL HVAC AHUS.
- NOTE:**
ANY DEVIATION FROM THE APPROVED PERMIT SET OR CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO THE BUILDING DEPARTMENT PRIOR TO MAKING ANY SUCH CHANGES TO THE CONSTRUCTION.

2nd FLOOR PLAN

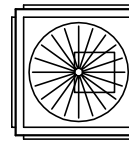
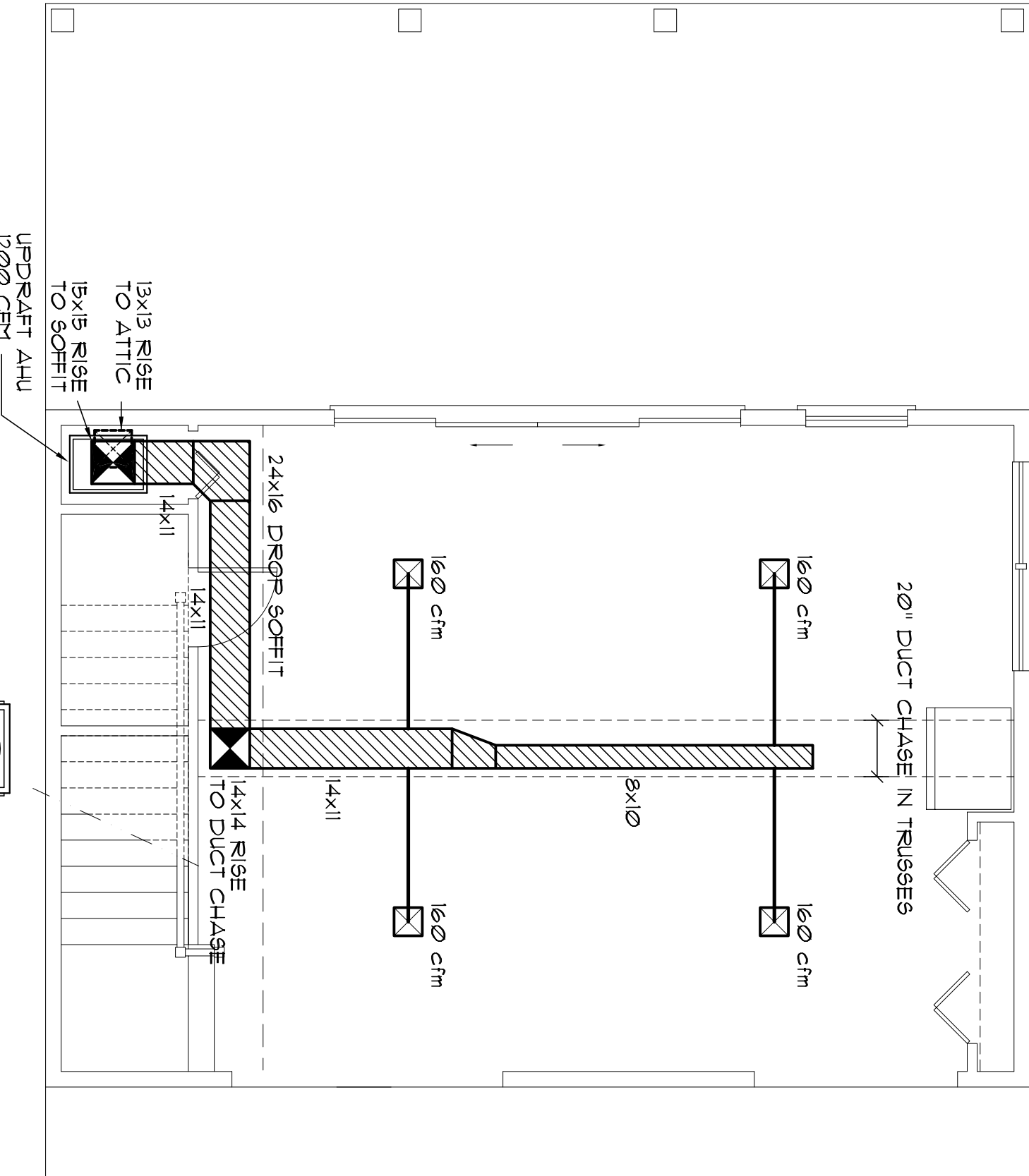
SCALE: 1/4" = 1'-0"



NOTE: DUCT PLAN IS SUGGESTED, HOWEVER, JOB CONDITIONS SHALL GOVERN PLACEMENT, TURNS, PHYSICAL SIZES AND ALL OTHER ASPECTS OF THE INSTALLATION - REFER TO THE "AS-BUILT" DRAWING REQUIREMENTS.

1st FLOOR PLAN

SCALE: 1/4" = 1'-0"



31 CONDENSING UNIT
SEER = 10.0 OR GREATER

SHEET: SD.1

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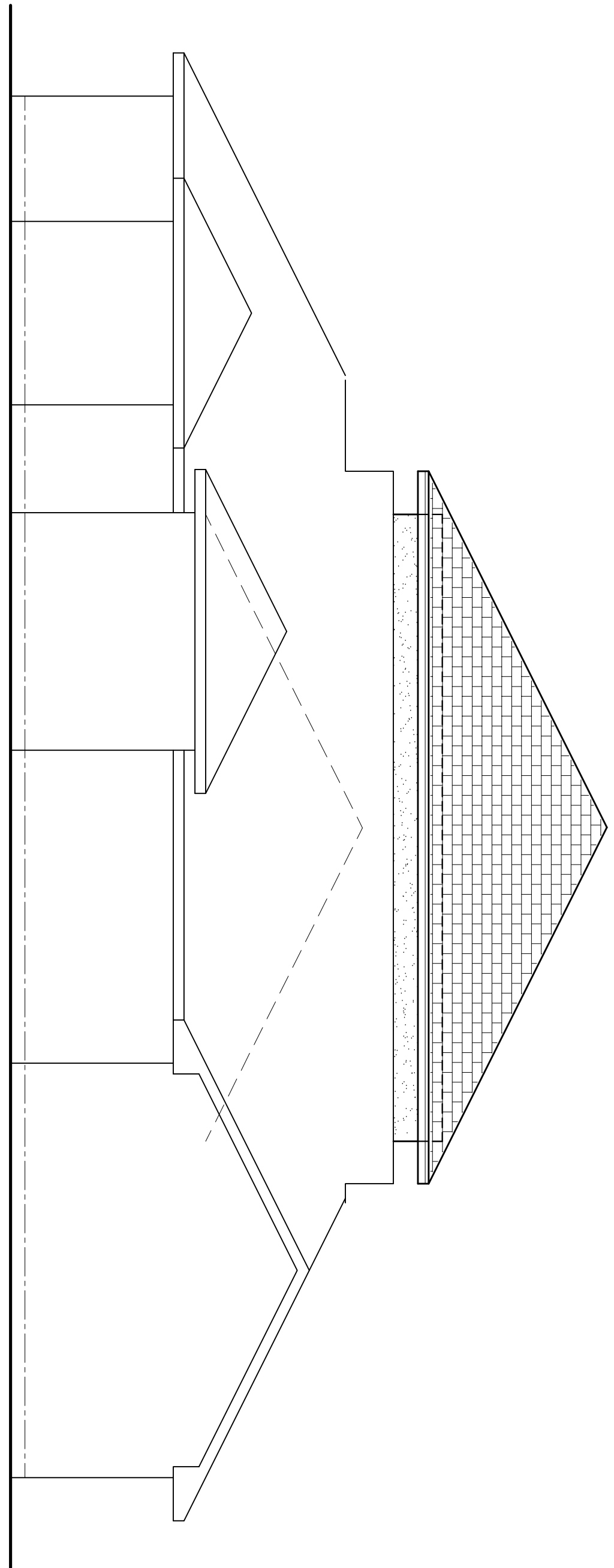
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SCALE: 3/16" = 1'-0"

WINDOW SCHEDULE			
MARK	DESCRIPTION	MODEL	NOTES
2020	3"X6" E LING ALUMI SASH W/ INCL. GL-485	SHWERS 650	
3060	3"X6" E LING ALUMI SASH W/ INCL. GL-485	SHWERS 650	
2-3060	3"X6" E LING ALUMI SASH W/ INCL. GL-485	SHWERS 650	

ALL UNDOCS ARE QUALIFIED AND WEATHERSTRIPPED AS MANUFACTURED BY "H HOME PRODUCTS, INC."
OTHER MANUFACTURES/PRODUCTS SHALL BE CONSIDERED AS EQUAL IF THEIR WIND DESIGN PERFORMANCE
MEETS OR EXCEEDS THESE UNITS

NOTE, VERIFY ROUGH OPENING WINDOW REQUIREMENTS PRIOR TO CONSTRUCTION

NOTE !!!
EXTERIOR DOORS SHALL MEET OR EXCEED THE WIND
RESISTANCE OF THE FOLLOWING PRODUCT:

SERIES ENTERGY 6-8 W/ INSULING OPAQUE RESIDENTIAL
INSULATED STEEL DOOR W/ STEEL FRAME AS MFG'D BY
"PREMDOR ENTRY SYSTEMS"

NOTE !!!
WINDOW ASSEMBLIES SHALL MEET OR EXCEED THE WIND
RESISTANCE OF THE FOLLOWING PRODUCTS:

THE HOME PRODUCTS, INC.'S SERIES 450/650 ALUMINUM WINDOWS, SINGLE HUNG, 1, 2 & 3 MILLED UNITS, PICTURE WINDOWS & SLIDING GLASS DOORS
PER ASTM E 283, ASTM E 330 & ASTM E 541

NOTE!!!

ROOF SHINGLES SHALL BE OF THE FOLLOWING
MANUFACTURERS AND MODELS:
TAKKO ROOFING PRODUCTS

GAFF MATERIALS CORP.
ROYAL SOVEREIGN
MANGUS
LEATHER MAX
SLATELINE
GRAND CANYON
GRAND SECLOIA
COUNTRY MANSON
COUNTRY ESTABLES
TIMBERLINE 30
TIMBERLINE SELECT 40
TIMBERLINE ULTRA
SENTIEL
GAFF REQUIRED NAILS/SHINGLES

THESE SHINGLES MEET THE REQUIREMENTS OF ASTM D-316 TYPE I MODIFIED TO 120 MPH WINDS & FBC TAS 100, USING THE SPECIFIED NAILS

EXTERIOR FINISH MATERIALS:

TEMPERED GLASS NOTES:

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING:

1. GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.

2. GLAZING IN DOORS AND WALLS OF ENCLOSURES FOR HOT TUBS, JACUZZI POOL, SAUNAS, STEAM ROOMS, BATHING ENCLOSURES AND OTHER SUCH UTILITIES WHERE SUCH GLAZING IS LOCATED 36 INCHES (91.4 CM) OR LESS MEASURED HORIZONTALLY FROM A STANDING OR WALKING SURFACE WITHIN THE ENCLOSURE AND WHERE THE BOTTOM EDGE OF THE EXPOSED GLAZING IS LESS THAN 60 INCHES (152.4 CM) MEASURED VERTICALLY ABOVE SUCH STANDING OR WALKING SURFACES.

3. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 4-INCH (160 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WORKING EDGE IS 1.565 THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.

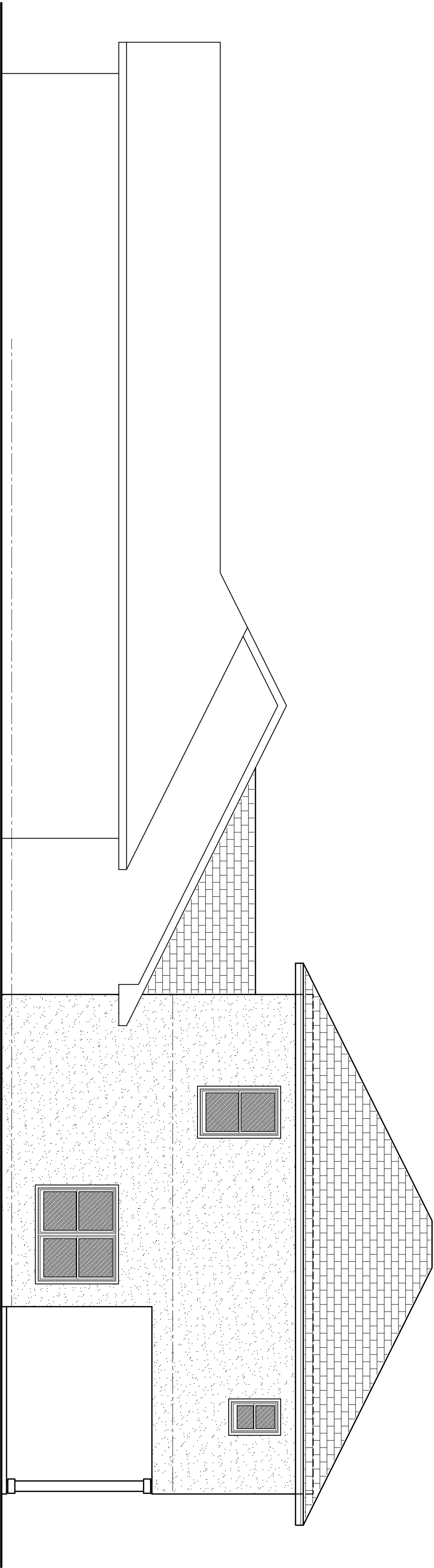
- 4.1. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ FT (0.84 M²).

- 42 BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR
- 43 TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR
- 44 ONE OR MORE WALKING SURFACES WITHIN 36 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.

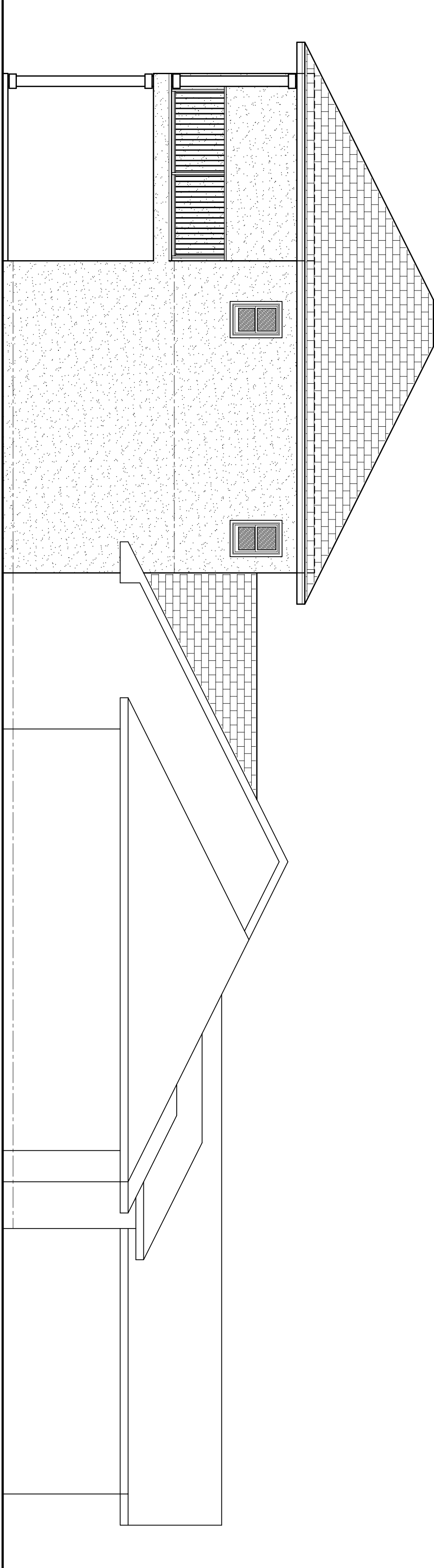
EXTERIOR FINISH MATERIALS:

- 1 CONT. RIDE X/NT TO MATCH ROOFING
- 2 FINISH ROOFING AS SELECTED BY OWNER
- 3 MTL. FLASHING ON MTL. UNWRAPPED 2X6 P/T FLASHING
- 4 ROOF BEAM - SEE PLAN FOR SIZE
- 5 SLIDING GLASS DOORS W/ TEMPERED GLASS AS SELECTED BY THE OWNER
- 6 STUCCO - COLOR/TEXTURE AS PER OWNER
- 7 CONCRETE PORCH DECK W/ WOOD FLOAT FINISH & TOOLED EDGES
- 8 SINGLE HUNG ALUMINUM WINDOWS W/ DEL. GLAZING AS SELECTED BY OWNER
- 9 ALUMINUM PORCH RAILING - SEE DETAIL
- 10 P/T WOOD PORCH POSTS, PRIMED & PAINTED TO MATCH FINISH
- 11 CONCRETE FOUNDATION - FINISH AS DIRECTED BY OWNER

SCALE: 3/16" = 1'-0"



SCALE: 3/16" = 1'-0"



AREA CALCULATION

GROSS 1st FLOOR AREA:	5800 SF
GROSS 2nd FLOOR AREA:	7100 SF
COVERED PORCH AREA:	3480 SF
OPEN DECK AREA:	2180 SF

TOTAL AREA:	18560 SF
GROSS CONDITIONED VOLUME:	116098 CF

ELECTRICAL PLAN NOTES

INSTALLATION SHALL BE PER 2008 N.A.T.L. ELECTRIC CODE.
WIRE ALL APPLIANCES, HVAC UNITS AND OTHER EQUIPMENT PER MANUF. SPECIFICATIONS.
CONSULT THE OWNER FOR THE NUMBER OF SEPARATE TELEPHONE LINES TO BE INSTALLED.
ALL SMOKE DETECTORS SHALL BE 120V W/ BATTERY BACKUP OF THE PHOTOELECTRIC TYPE AND SHALL BE INTERLOCKED TOGETHER. INSTALL INSIDE AND NEAR ALL BEDROOMS.
PROVIDE 4 INSTALL CARBON MONOXIDE DETECTORS IN ALL BEDROOMS, 8 12" ADV FIN FL., INTERLOCKED TOGETHER.
TELEPHONE, TELEVISION AND OTHER LOW VOLTAGE DEVICES OR OUTLETS SHALL BE AS PER THE OWNER'S DIRECTIONS & IN ACCORDANCE W/ APPLICABLE SECTIONS OF NEC-LATEST EDITION.
ALL RECEPTICALS NOT OTHERWISE DESIGNATED SHALL BE ARC-FULT INTERRUPTER TYPE EXCEPT DEDICATED OUTLETS.
ALL RECEPTICALS IN KITCHEN AND BATHS SHALL BE GROUND FAULT INTERRUPTER TYPE (GFI).
ALL EXTERIOR RECEPTICALS SHALL BE WEATHER-PROOF GROUND FAULT INTERRUPTER TYPE (WPGFI).
ELECTRICAL CONTR SHALL PREPARE "AS-BUILT" SHOP DRAWG INDICATING ALL ELECTRICAL WORK INCLUDING ANY CHANGES TO THE ORIGINAL DRAWG. THE ELECTRICAL WORK SHALL BE IDENTIFIED W/ COT N. DESCRIPTION & BRKR SERVICE ENT. & ALL UNDERGROUND WIRE LOCATION/ROUTING/DEPTH. RISER DIA SHALL INCLUDE WIRE SIZE/TYPE & EQUIPMENT TYPE W/ RATINGS & LOADS.
CONTRACTOR SHALL PROVIDE 1 COPY OF AS-BUILT DRAWG TO OWNER & 1 COPY TO THE PERMIT ISSUING AUTHORITY.

CONSTRUCTION NOTES

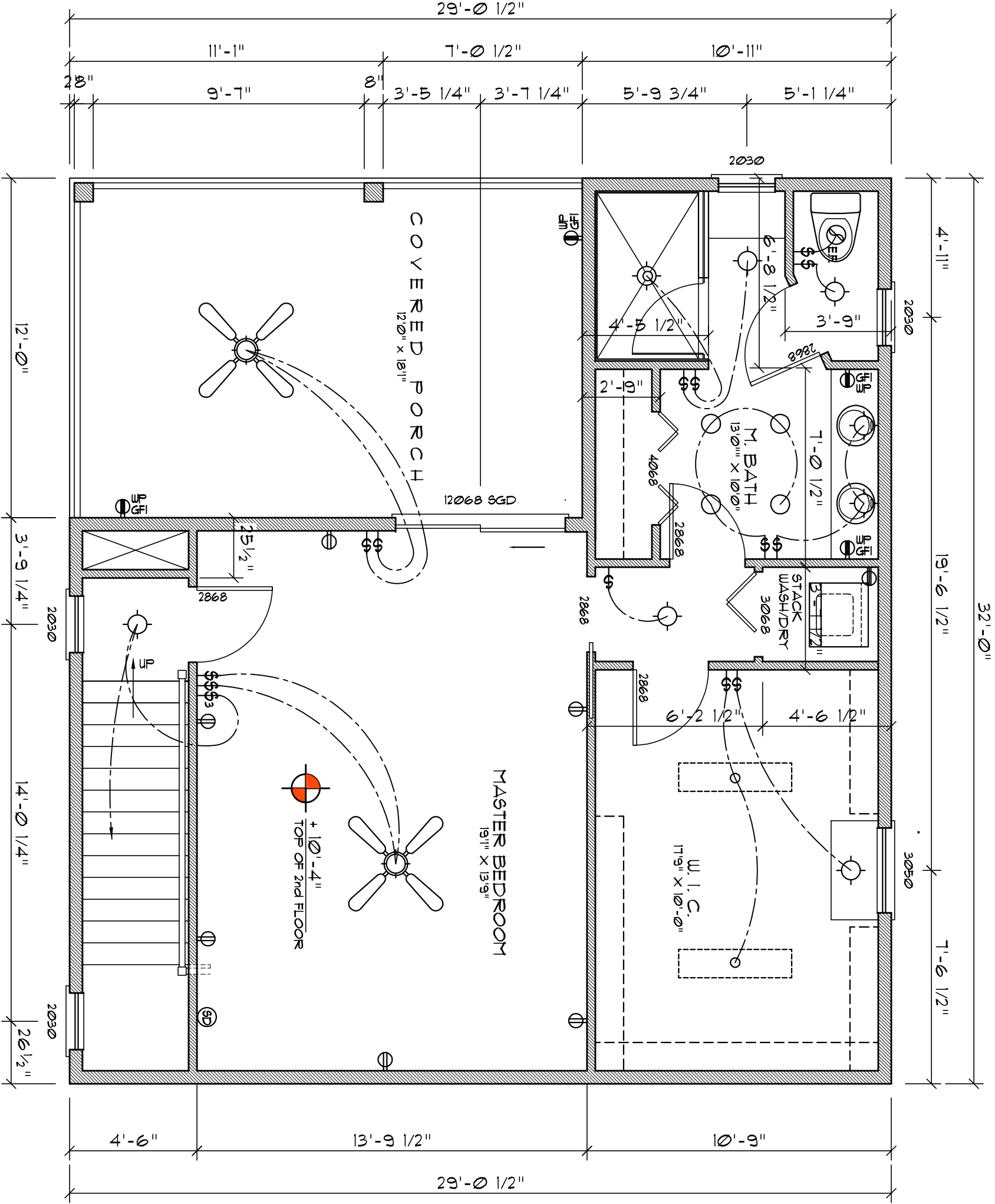
- FIELD VERIFY ALL DIMENSIONS AND MATERIALS. ALL OUTSIDE DIMENSIONS ARE TO FACE OF FOUNDATION.
- ALL NAILING CONSTRUCTION MATERIALS SHALL BE AS PER 2020 PEC.
- N/A
- N/A
- CONTRACTOR SHALL CALL ATTENTION TO THE DESIGNER ANY DISCREPANCIES IN DRAWINGS AND/OR SPECIFICATIONS AND SHALL RECEIVE INSTRUCTIONS OR CLARIFICATIONS BEFORE PROCEEDING WITH THE PORTION OF THE WORK IN QUESTION.
- ROOF & FLOOR TRUSS FRAMING PLANS ARE FOR GENERAL INFORMATION ONLY. THE TRUSS MANUFACTURER SHALL PROVIDE A DETAILED LAYOUT FOR TRUSSES AND FRAMING MEMBERS.
- SHOULD CONDITIONS AT THE SITE BE FOUND MATERIALLY DIFFERENT FROM THOSE INDICATED BY THE DRAWINGS AND/OR SPECIFICATIONS, AND THE CONDITIONS USUALLY INHERENT IN THE WORK OF THE CHARACTER SHOWN AND SPECIFIED BE DIFFERENT FROM THE DESIGNER'S INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING ATTENTION TO SUCH CONDITIONS BEFORE PROCEEDING.
- N/A
- DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY.

GENERAL INTERIOR FINISH SCHEDULE:

FLOOR AREA:	CARPET AND PAD PATTERN & COLOR AS PER THE OWNER OR LAMINATE STRIP WOOD - SEE OWNER FOR CHANGES
BEDROOM FLOOR:	THINSET CERAMIC TILE OR NATURAL STONE, PAT. & COLOR AS SELECTED BY THE OWNER
BASE:	TRIM AS PER DETAIL ON A3 COLOR AS SELECTED BY THE OWNER OR CERAMIC TILE OR STONE - MATCH WITH FLOORING
TRIM:	COVERS CROWN, CABINETS CHAIRS AND THE LIKE AS PER DETAIL ON A3, STAIN & VARNISH OR PAINT COLOR AS SELECTED BY THE OWNER
WALLS:	1/2" GIBB, PRIMEED AND PAINTED 2 COATS LATEX WALL PAINT, COLOR & GLOSS AS SELECTED BY THE OWNER
MAIN CEILING:	5/8" GIBB DIRECT HANG, TAPED & FINISHED W/ 2 COATS OF LATEX CEILING PAINT, COLOR & GLOSS AS SELECTED BY THE OWNER
APPLIED FINISHES:	APPLIED FINISHED TO GIBB, 16 GREY, ROCK-DOWN SKI-TRONEL AND SIMILAR TREATMENTS AS DIRECTED BY THE OWNER
CABINETS:	AS SELECTED BY THE OWNER, MINIMUM 40" GRADE, "CUSTOM" - ALL COUNTERTOPS SHALL BE AS SELECTED BY THE OWNER

2nd FLOOR PLAN

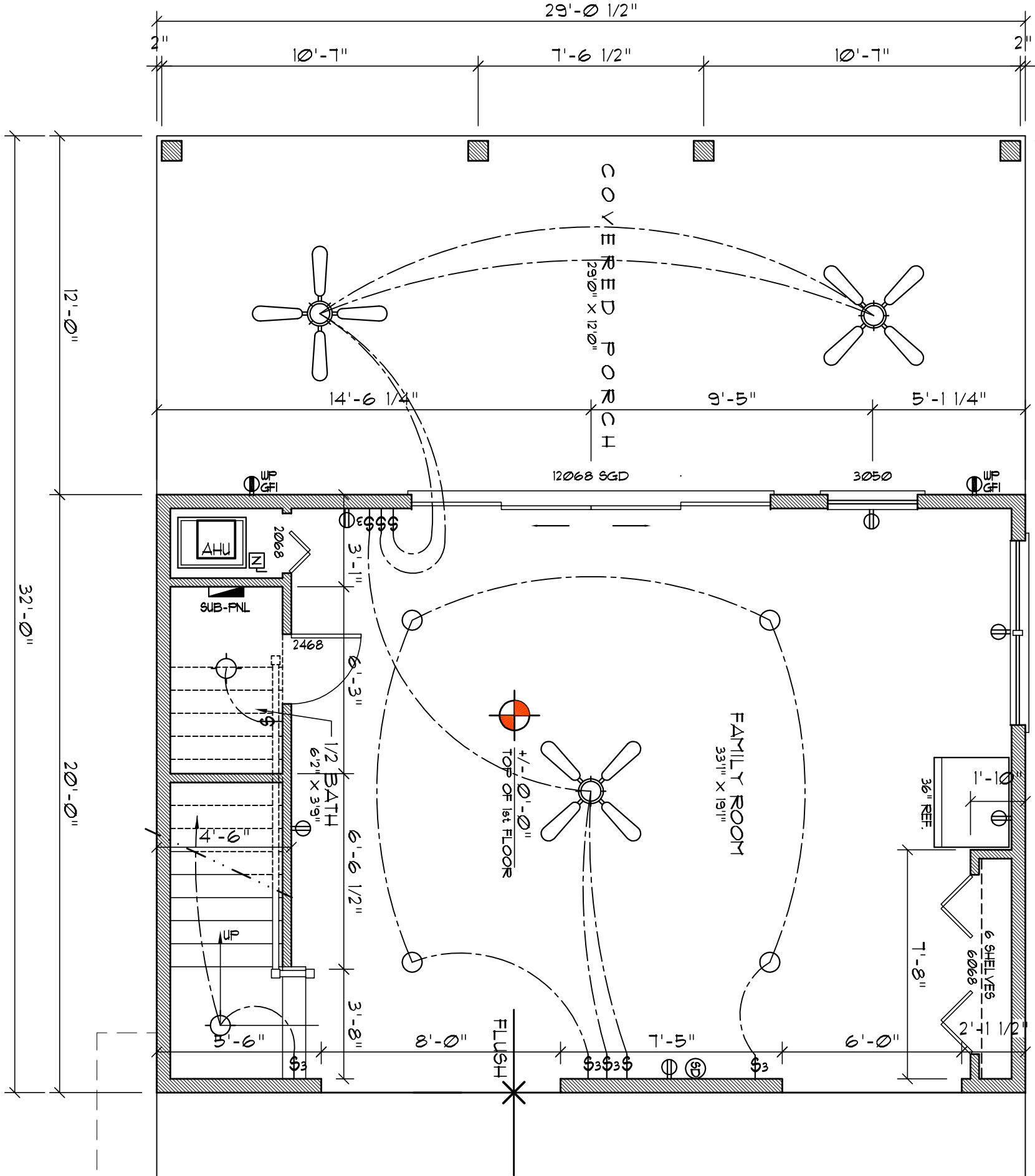
SCALE: 1/4" = 1'-0"



1st FLOOR PLAN

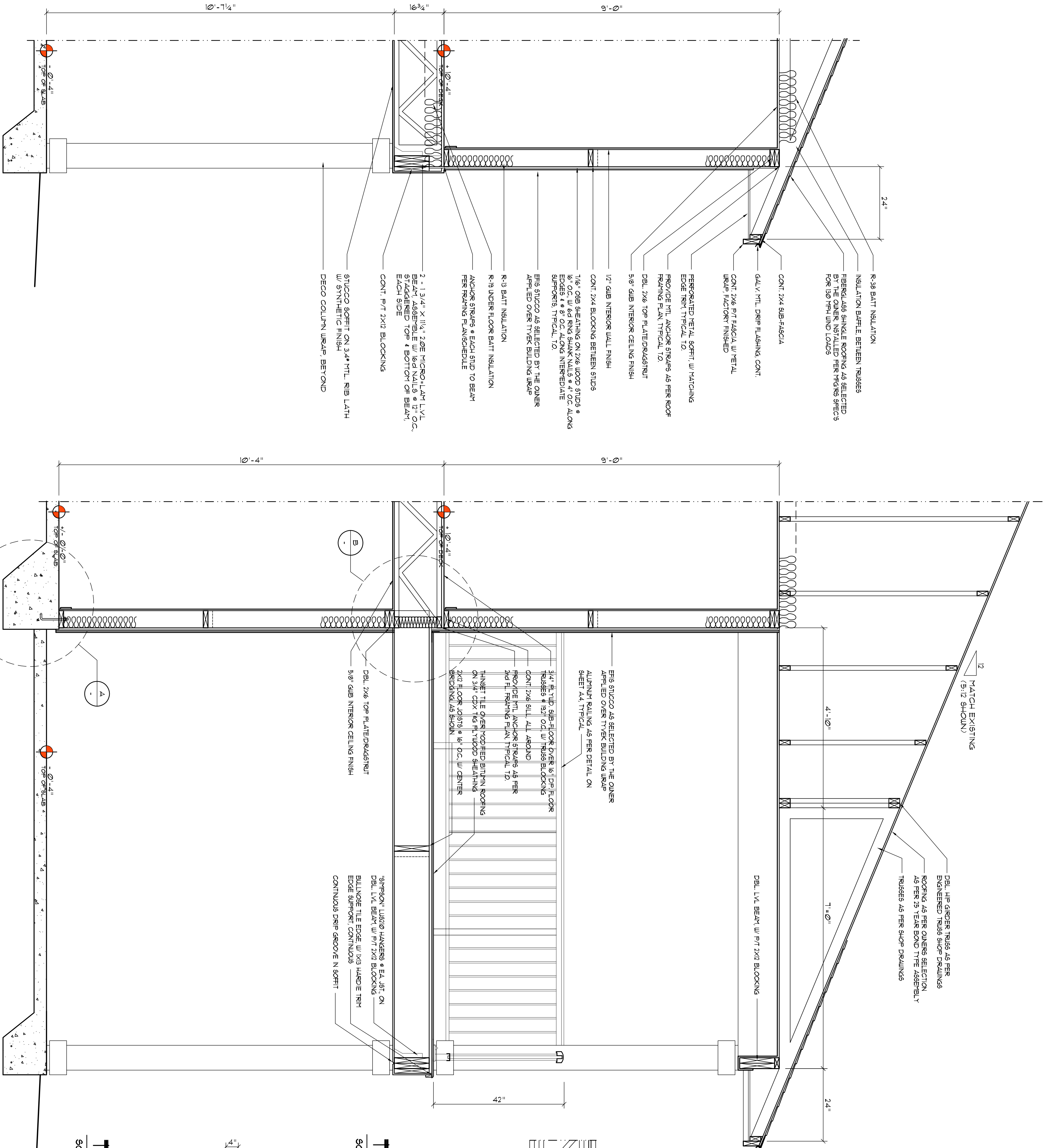
SCALE: 1/4" = 1'-0"

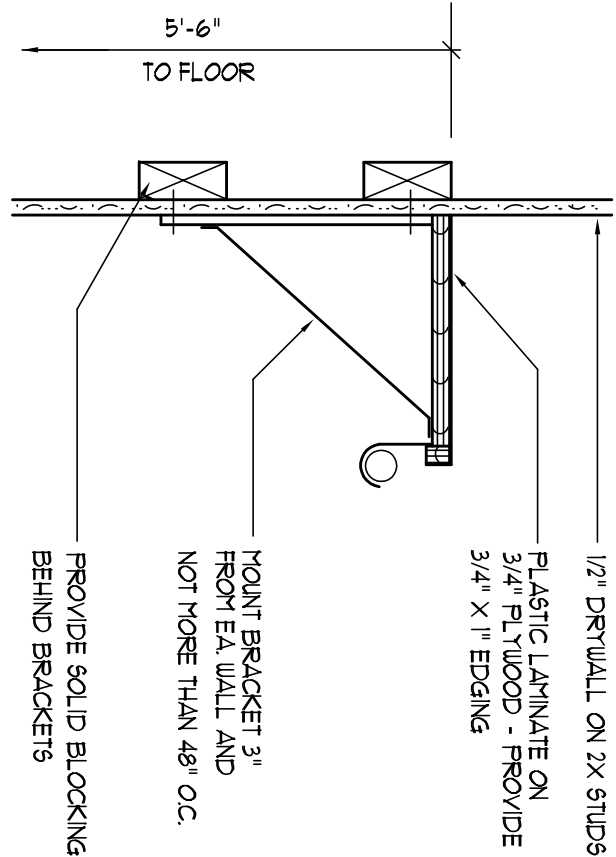
NOTE: PROVIDE NEW SUB-PAN, POWERED VIA SPARE CIRCUITS IN EXISTING HOUSE PANEL OR VIA NEW 80 AMP BREAKER REFER TO AS-BUILT RECORDS FOR ELECTRICAL WORK.



NOTE: CABINETS, COUNTERTOPS, SINKS, AND THE LIKE SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF QUALITY AS OUTLINED IN THE NOTES TITLED "GENERAL MILLWORK NOTES" AND SHALL INCLUDE SUCH FEATURES, HARDWARE, AND FINISHES AS DIRECTED BY THE OWNER. THE PLAN VIEWS INDICATED ARE FOR GENERAL LOCATION AND EXTENT OF THE WORK - UNLESS DETAILED CABINET PLANS ARE INCLUDED WITH THIS PLAN PACKAGE ALL OTHER PHYSICAL CHARACTERISTICS SHALL BE AS DIRECTED BY THE OWNER.

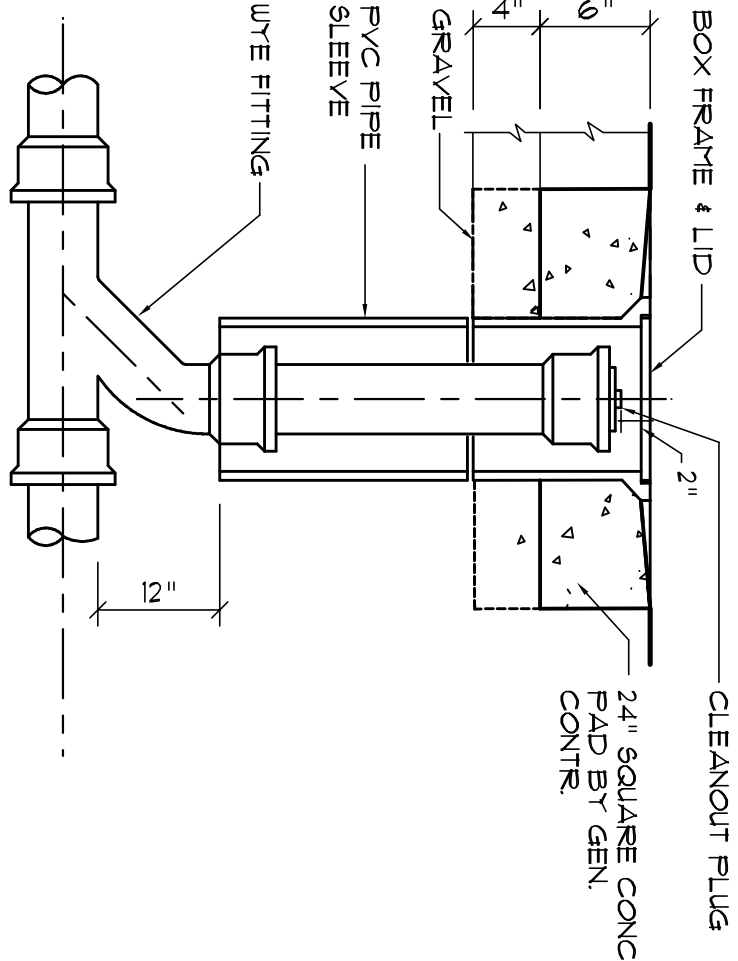
NOTE: PROVIDE 2X6 BACKING AT ALL OVERHEAD CABINET LOCATIONS, FLUSH WITH FACE OF FRAMING - TOP OF BACKING TO BE 1'-0" AFF.





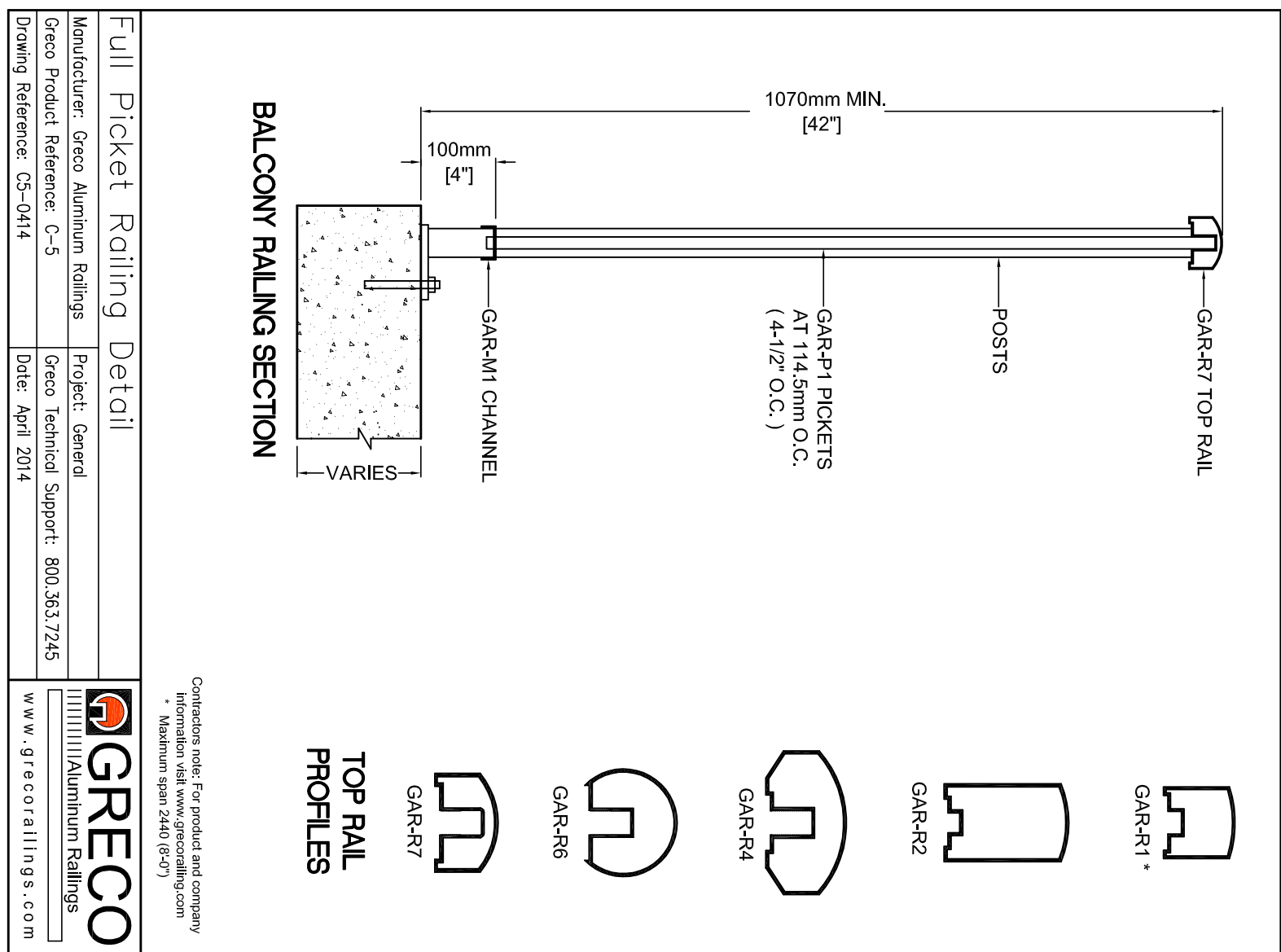
Closest Rod & Shelf Detail

SCALE: NONE



Outdoor Cleanout Detail

N.T.S.

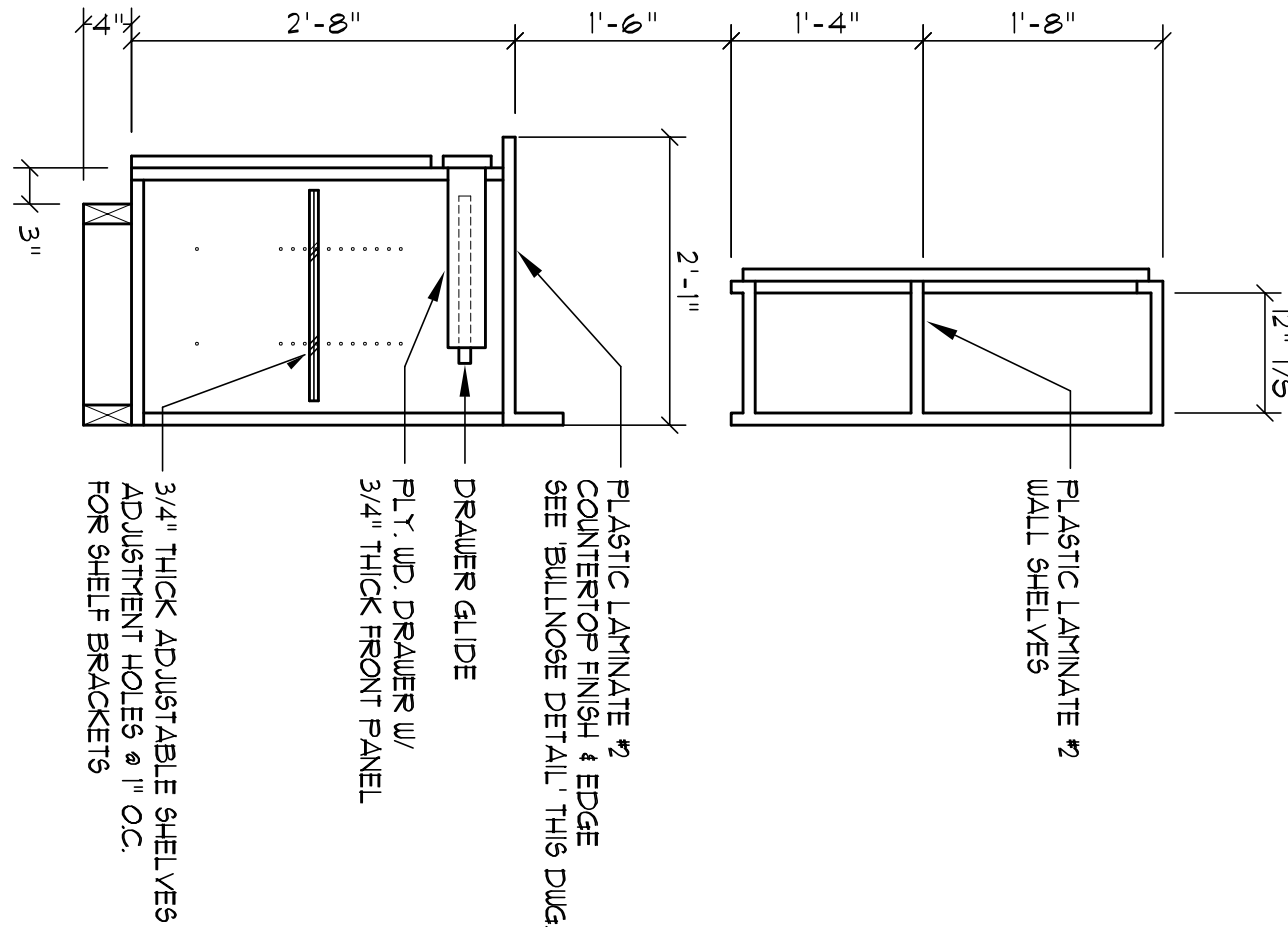


BALCONY RAILING

SCALE: 1/4" = 1'-0"

NOTE: ENGINEERED SHOP DRAWINGS REQUIRED

NOTE:
THESE CABINET DETAILS ARE GENERAL IN NATURE & PROVIDE A BASIS FOR ACTUAL CABINET CONSTRUCTION.
NOTE:
PROVIDE 2X6 BACKING AT ALL OVERHEAD CABINET LOCATIONS, FLUSH WITH FACE OF FRAMING - TOP OF BACKING TO BE 1'-0" AFF.



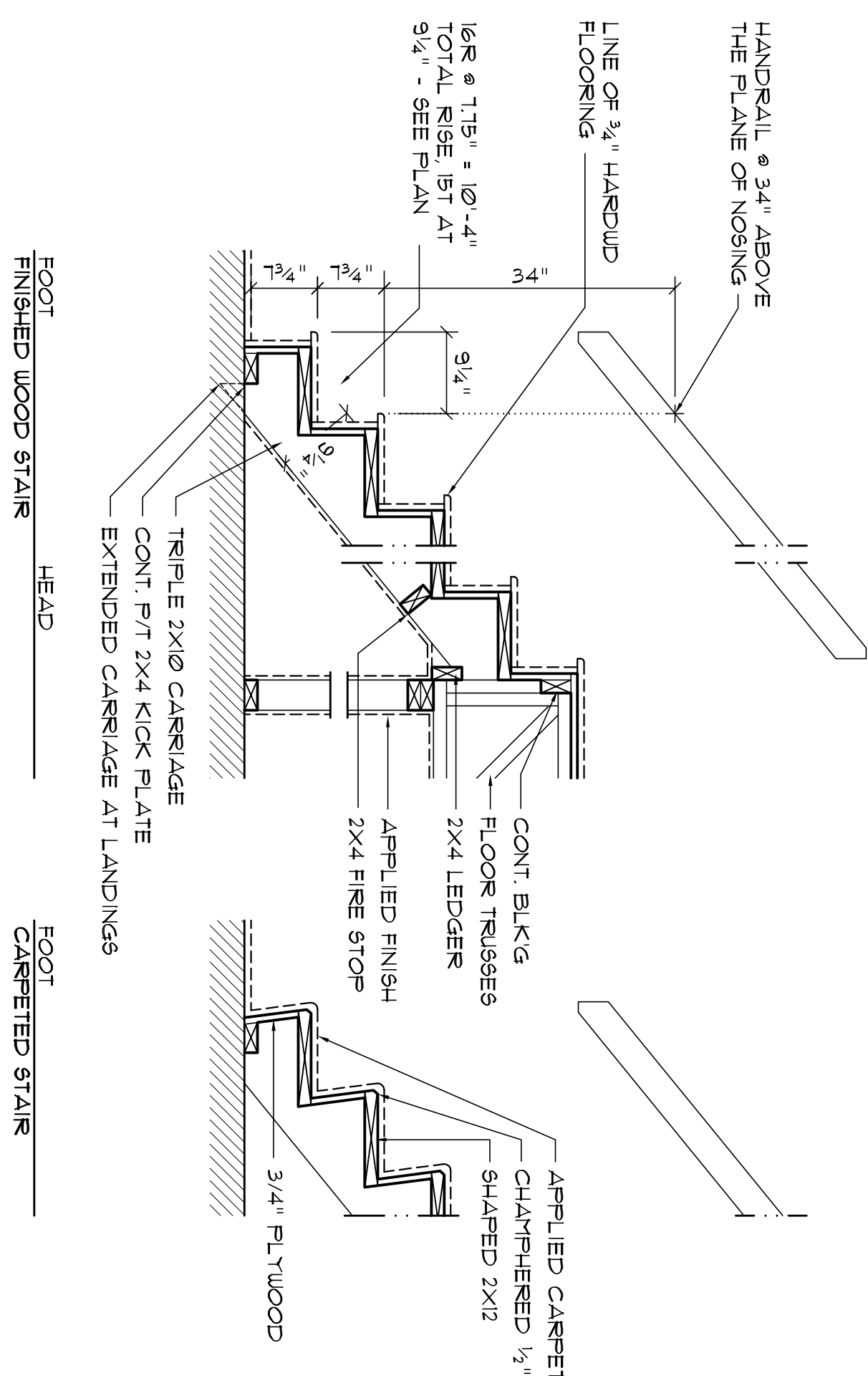
Base & O/H Cab.

SCALE 3/4" = 1'-0"

NOTE:
CABINET'S COUNTERS, SHELVES AND THE LIKE SHOWN ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF QUALITY AS OUTLINED IN THE NOTES TITLED "GENERAL MILLWORK NOTES", AND SHALL INCLUDE THE FOLLOWING: ALL MILLWORK SHALL BE PROVIDED BY THE OTHER TRADES INDICATED AS PROVIDED BY LOCATION AND EXTENT OF THE WORK - UNLESS DETAILED CABINET PLANS ARE INCLUDED WITH THIS PLANS PACKAGE ALL OTHER PHYSICAL CHARACTERISTICS SHALL BE AS DIRECTED BY THE OWNER.

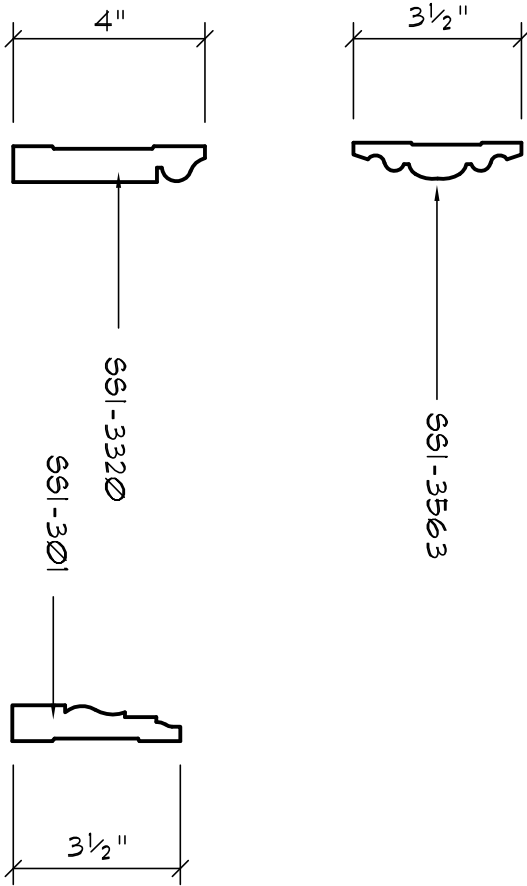
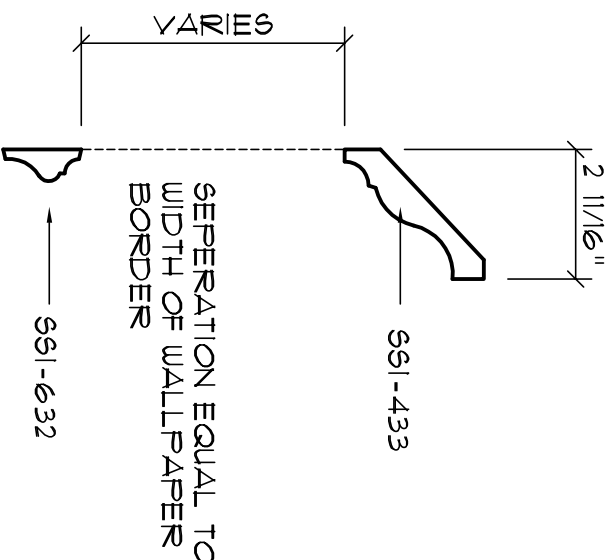
Typ. Cabinet Details

SCALE 3/4" = 1'-0"



Typical Stair Detail

SCALE: 3/4" = 1'-0"



T1 TRIM

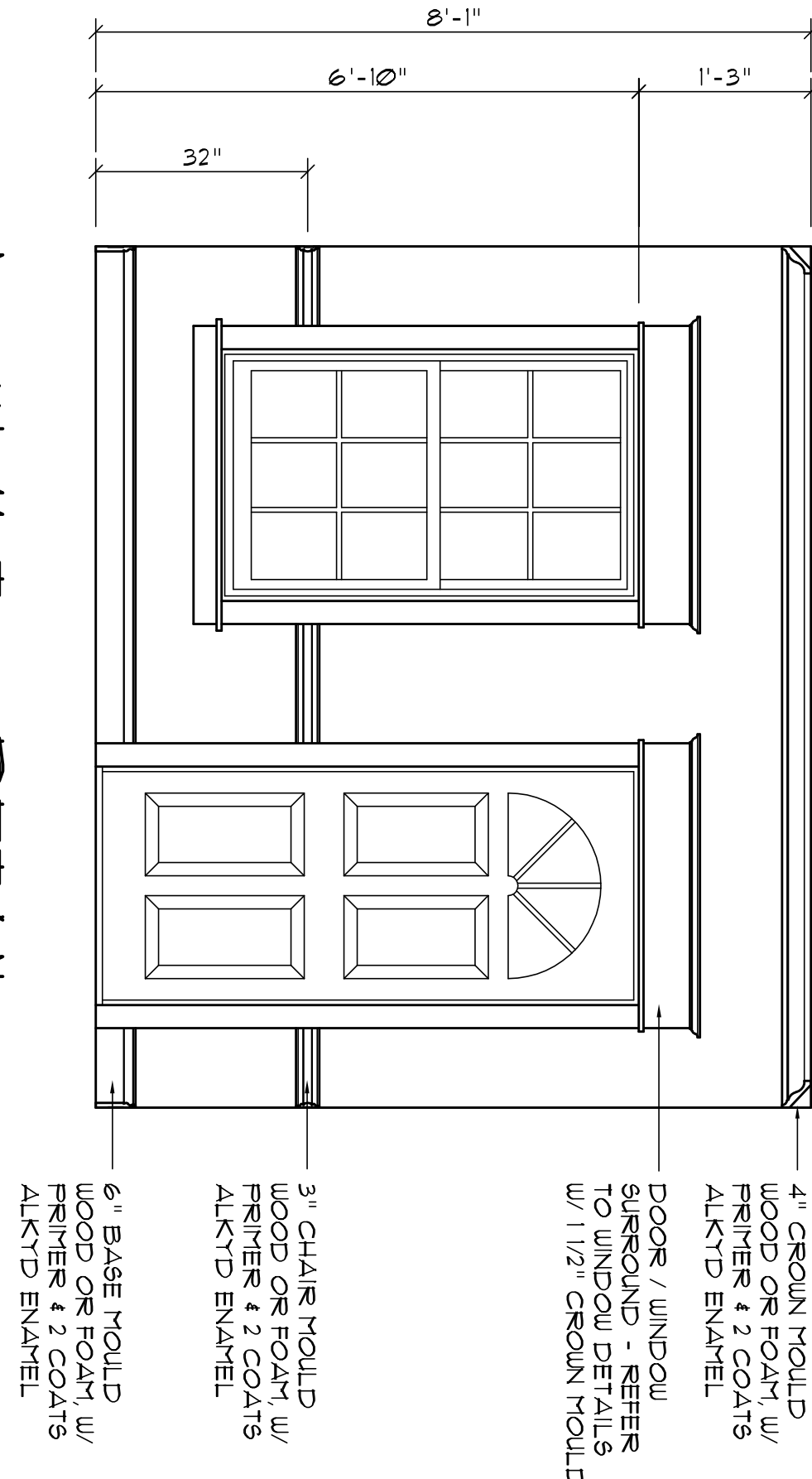
T2 TRIM

NOTE 111
ALL PROFILES AS PER 646 CRAFTSMAN INC., TAMP A, FLORIDA
TRIM WOOD SPECIES SHALL BE "POP LAM" FOR STAIN FINISH, OR
"FINGER-JOINT FINE" FOR PAINTED FINISH.

Wall/Ceiling Trim Detail

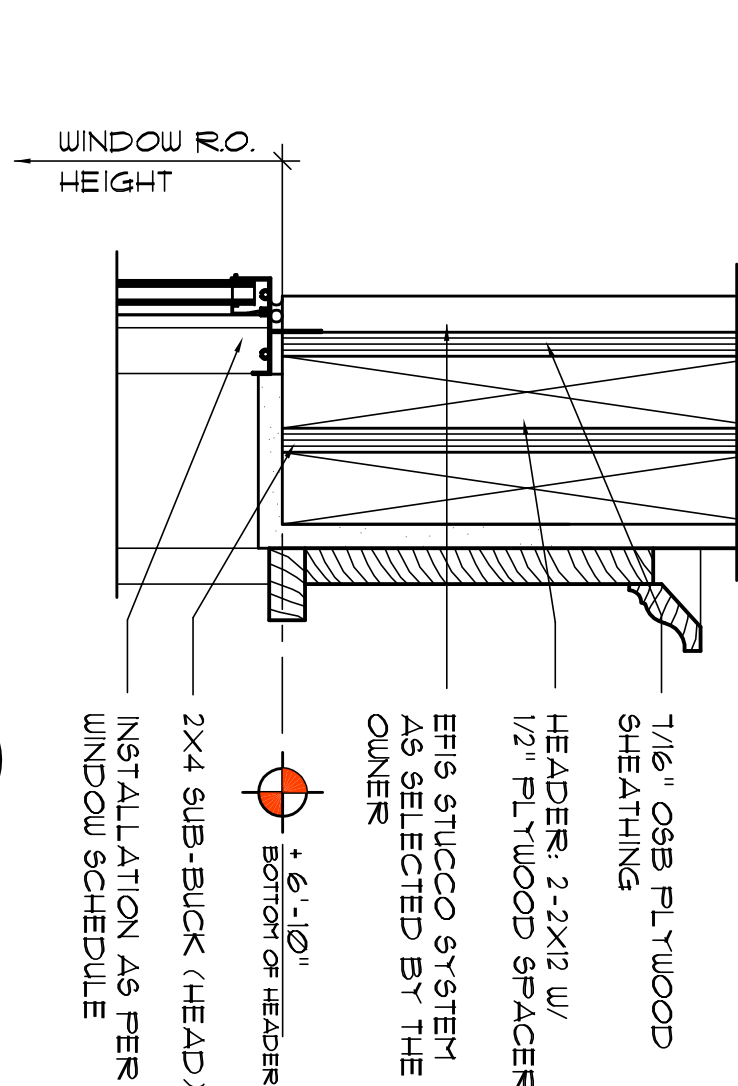
SCALE: 3" = 1'-0"

ALTERNATE N-2:
FOR TRIM TYPE T1 2" DENTAL MOLDING MAY BE
INSERTED BETWEEN 661-456 AND 661-3346



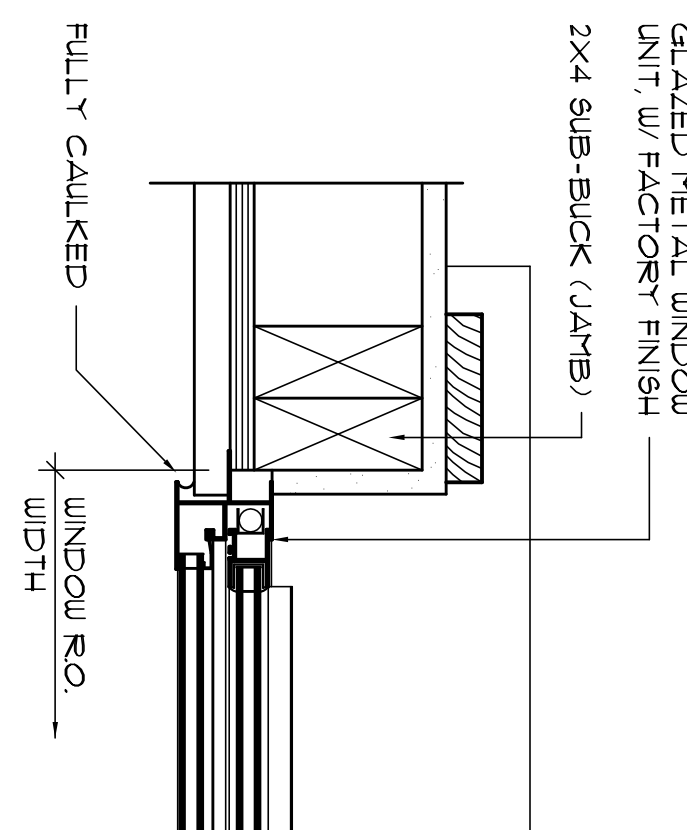
Int. Wall Trim Detail

SCALE: 1/2" = 1'-0"



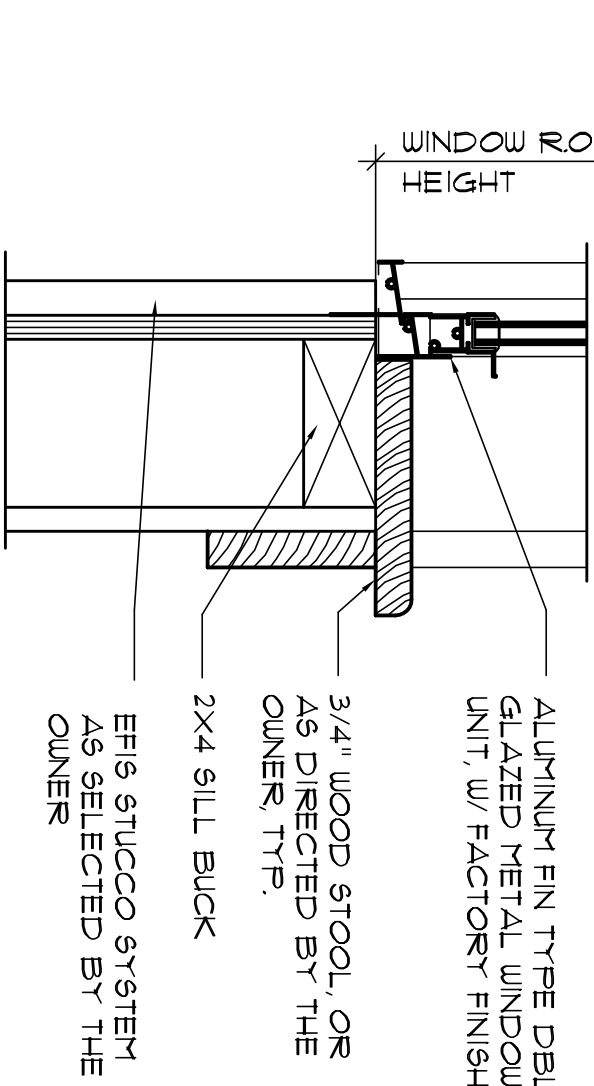
HEAD DETAIL MTL. SASH

1



JAMB DETAILS MTL. SASH

2



SILL DETAIL MTL. SASH

3

Typical Window Details

SCALE: 3" = 1'-0"

REWORK

DATE: 07 SEP 2021
DRAWN: 128

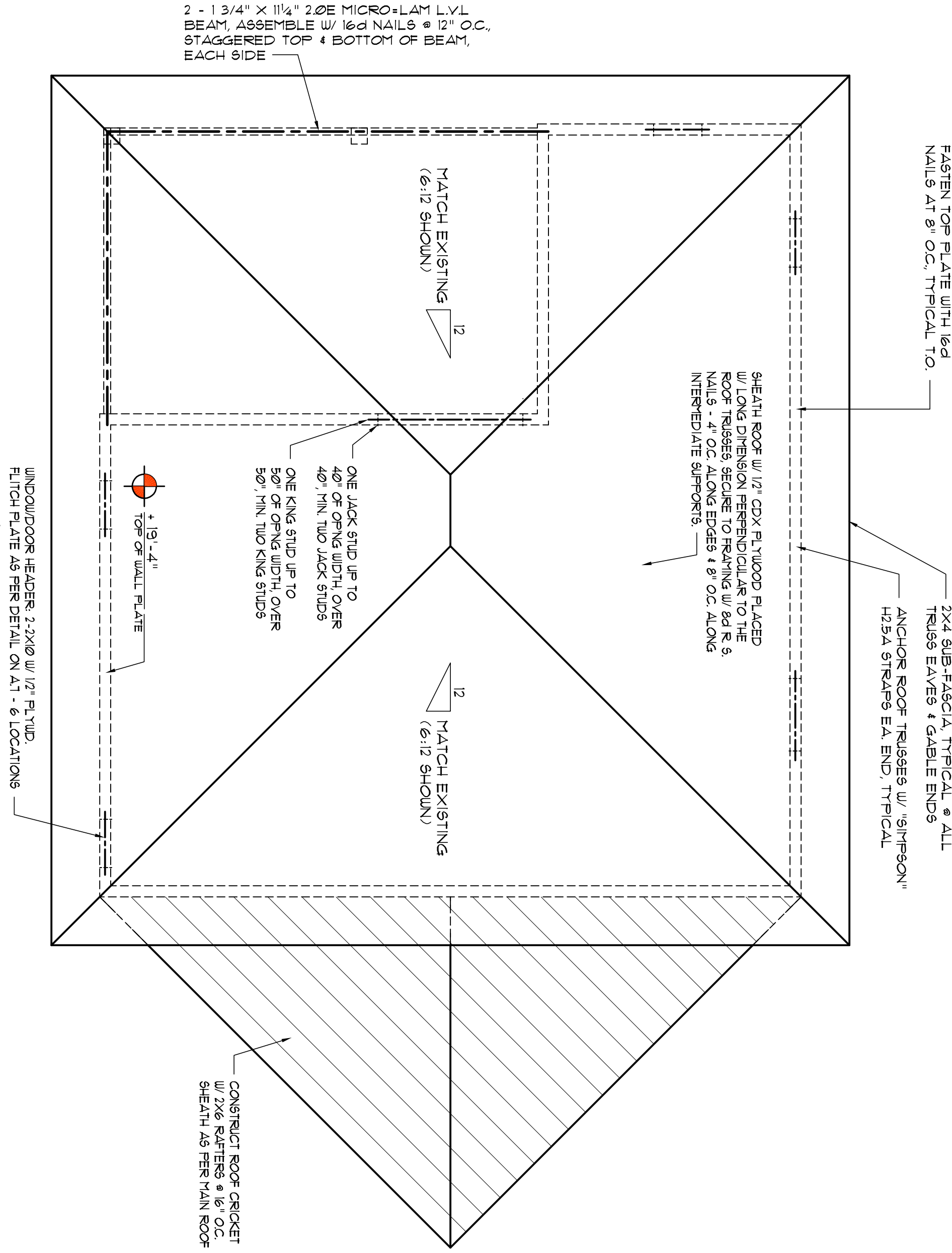
ALTERATIONS & ADDITIONS TO RESIDENCE for:
MR. & MRS. JANAK PATEL
LAKE CITY, FLORIDA
ARCHITECTURAL DETAILS

Celebrating
48 Years of Service
1972 - 2020
N.P. Geisler, Architect
AR0007005

NICHOLAS PAUL GEISLER
ARCHITECT
N.C.A.R.B. Certified
1758 NW Brown Rd.,
Lake City, FL 32055
386-365-4355

DATE: 07 SEP 2021
COM: 2K2091
SHEET: A.4
4 of 8

AR0007005



ROOF PLAN

SCALE: 1/4" = 1'-0"

NOTE!

ANCHOR W/UNDER TRUSSES TO HEADER WITH 2 (SIMPSON) L672 G/7 ANCHORS - ANCHOR HEADS TO KING STUDS W/ 2 (SIMPSON) 5722 EA END - 11P, 10.

EXTERIOR WALL SHEATHING:

APPLY VERTICAL "W/6\"/>

CONCRETE / MASONRY / METALS GENERAL NOTES:

- DESIGN SOIL BEARING PRESSURE: 15000 PSF.
- EXPANSIVE SOILS: WHERE DIRECTED BY THE SOILS ENGINEER, SOIL REMEDIATION PER THE SOILS ENGINEER'S SPECIFICATIONS SHALL BE PERFORMED TO DETERMINE THE SUBGRADE TO SUPPORT THE DESIGN LOADS.
- CLEAN SAND FILL OVER STRIPPED AND COMPACTED EXISTING GR. SHALL BE PLACED IN 12" LIFTS. BOTH SUB-SOIL AND FILL COMPACTION SHALL BE NOT LESS THAN 98% AS MEASURED BY A MODIFIED PROCTOR TEST AT THE RATE OF ONE TEST FOR EACH 1500 SF OF BUILDING PAD AREA OR RATION THEREOF FOR EACH 12" LIFT.
- REINFORCING STEEL SHALL BE GRADE 60 AND MEET THE REQUIREMENTS OF ASTM A605. ALL BENDS SHALL BE MADE COLD.
- WELDED WIRE MESH SLAB REINFORCING SHALL MEET THE REQUIREMENTS OF ASTM A955 - MIN. YIELD STRESS: 55 KSI.
- CONCRETE SHALL BE STANDARD MIX FC = 3000 PSI FOR ALL FLOORS, SLABS, CHAIRS AND BEAMS OR SHALL BE STANDARD PUMP MIX FC = 3000 PSI. STRENGTH SHALL BE ATTAINED WITHIN 28 DAYS OF PLACEMENT. MIXING, PLACING AND FINISHING SHALL BE AS PER ACI 309 AND ACI 308.
- CONCRETE BLOCK SHALL BE AS PER MANUFACTURER'S PRODUCT GUIDE FOR ASTM C-308 REQUIREMENTS WITH MEDIUM SURFACE FINISH - Fm = 1500 PSI.
- MORTAR SHALL BE TYPE "N" OR "M" FOR ALL MASONRY UNITS.
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A36. STANDARDS FOR STRENGTH BOLTS SHALL BE ASTM A307 / GRADE 1 OR A325, AS PER PLAN REQUIREMENTS.
- WELDS SHALL BE AS PER AMERICAN WELDING SOCIETY'S STANDARDS FOR STRUCTURAL STEEL APPLICATIONS.

WOOD STRUCTURAL NOTES

- TEMPORARY BRACING OF THE STRUCTURE DURING ERECTION, REQUIRED FOR SAFE AND STABLE CONSTRUCTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SO ENGAGED TEMPORARY / PERMANENT BRACING OF ROOF TRUSSES SHALL BE AS PER THE STANDARD GUIDE LINES OF THE TRUSS PLATE MANUFACTURER.
- WOOD STUDS IN EXTERIOR WALLS & INTERIOR BEARING WALLS SHALL BE NOT LESS THAN 12" 2-HI-FIR OR BETTER.
- CONNECTORS FOR WOOD FRAMING SHALL BE GALVANIZED METAL OR SHALL BE PLACED IN 12" LIFTS. BOTH SUB-SOIL AND FILL COMPACTION SHALL BE NOT LESS THAN 98% AS MEASURED BY A MODIFIED PROCTOR TEST AT THE RATE OF ONE TEST FOR EACH 1500 SF OF BUILDING PAD AREA OR RATION THEREOF FOR EACH 12" LIFT.

FRAMING ANCHOR SCHEDULE

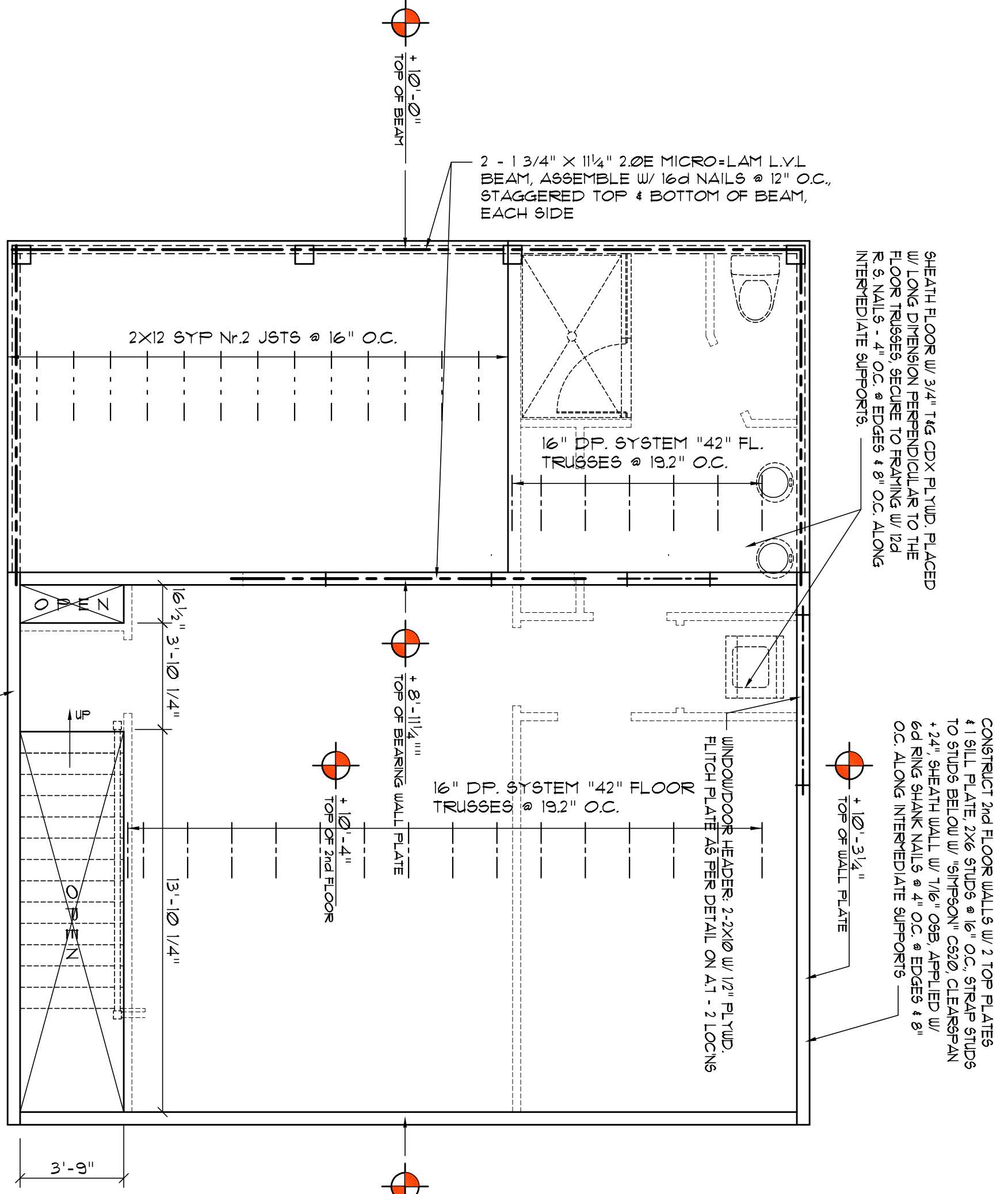
APPLICATION	MANUFACTURER/MODEL	CAP
TRUSS TO WALL	SIMPSON 1025.1	560P
ANCHOR TRUSS TO POST/HEADER	SIMPSON 167	78P
ANCHOR TRUSS TO KING STUD (6")	SIMPSON 972	137P
STUD TO SILL	SIMPSON 997	1065P
STUD TO POST	SIMPSON 9246/EPCC66	1565P
POST BEAM TO FHD	SIMPSON 1646	1200P
FHD JOINTS	SIMPSON 1431	3871/140P

NOTE: ALL ANCHORS SHALL BE SECURED W/ NAILS AS PRESCRIBED BY THE MANUFACTURER FOR MAXIMUM JOINT STRENGTH, UNLESS NOTED OTHERWISE.

NOTE: REFER TO THE INCLUDED STRUCTURAL DETAILS FOR ADDITIONAL ANCHORS/JOINT REINFORCEMENT AND FASTENERS.

NOTE: ALL FASTENED JOINTS IN THE LOAD PATH SHALL BE REINFORCED WITH SIMPSON 5647 RENDING ANCHORS, TYPICAL TO.

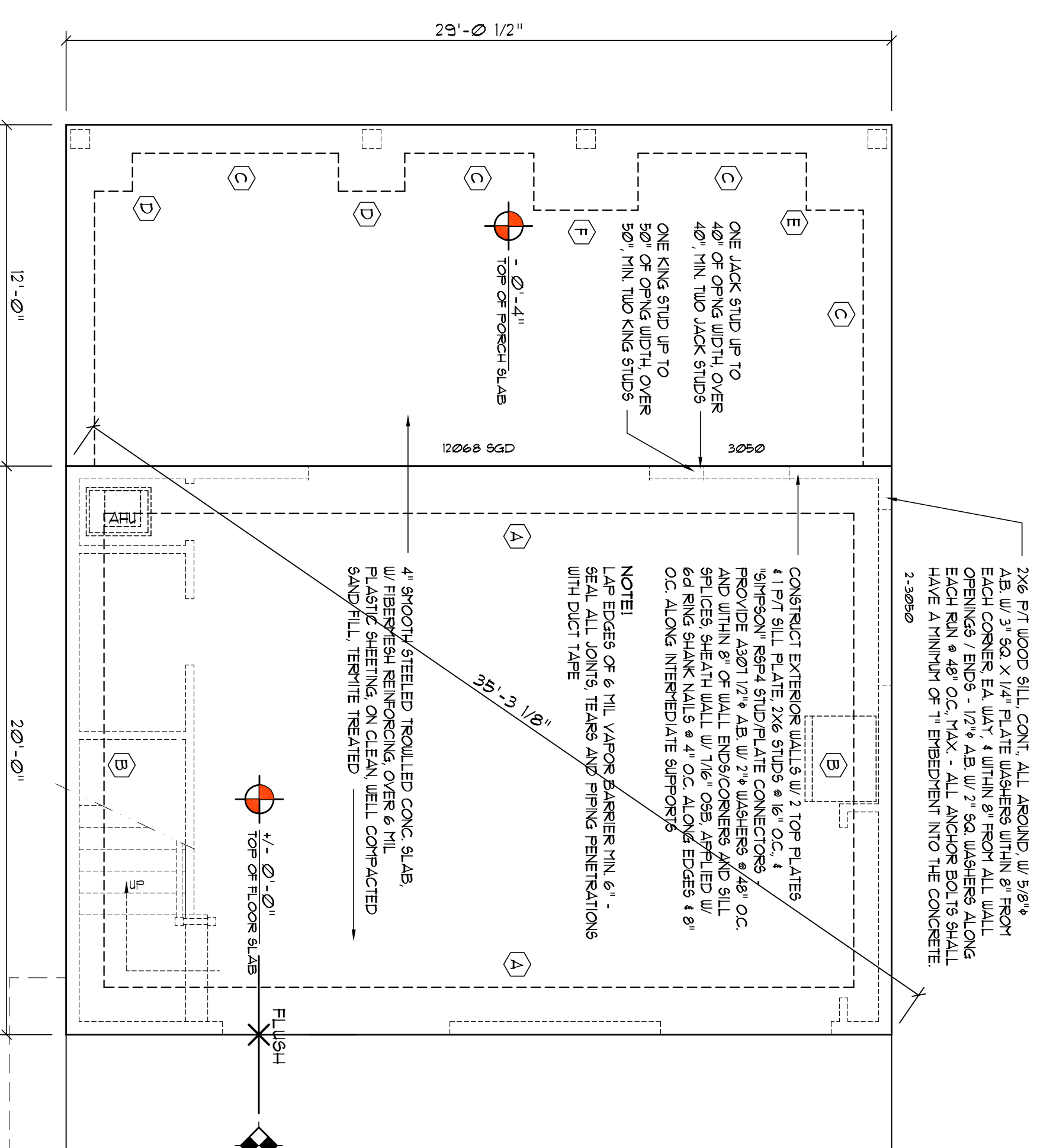
NOTE: SIMPSON PRODUCT LITERATURE, L.S. HYBRID COUNTY REPORT 57-007105, 56-12611, 59-061304, 95C1-NER-443, NER-333



2nd FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

NOTE!
PROVIDE "SIMPSON" EPCC4 / FC44 POST TO BEAM CONNECTOR

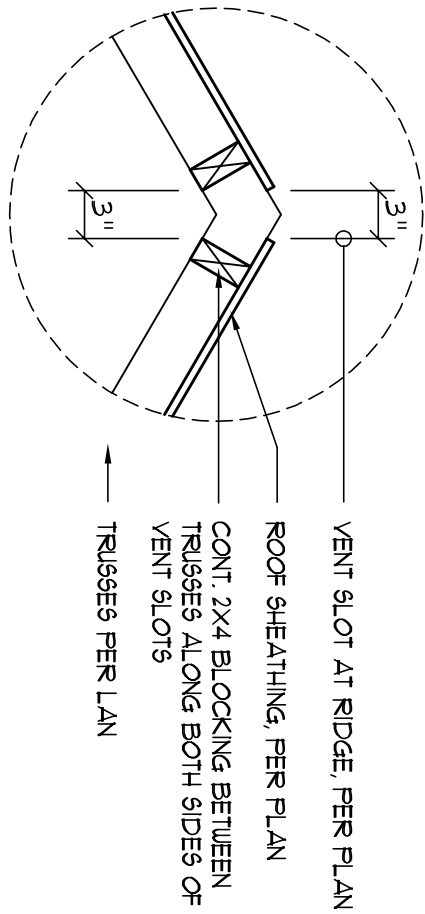


FOUNDATION PLAN

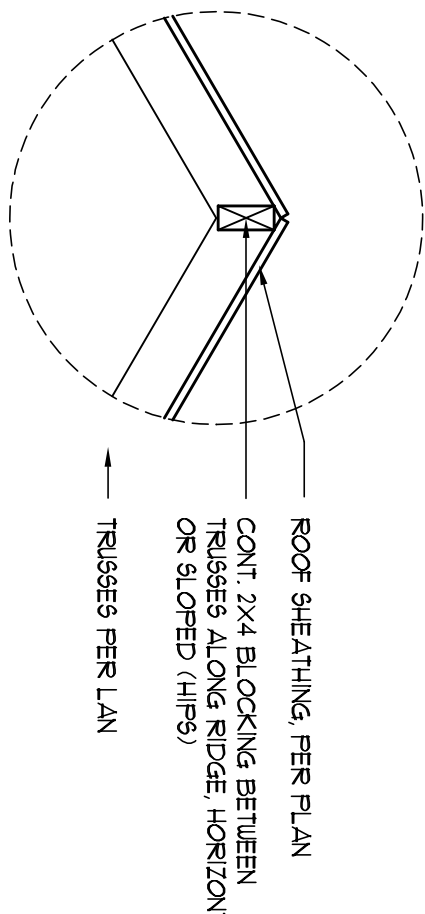
SCALE: 1/4" = 1'-0"

NOTE!
SHEAR WALL SECTIONS, SEE AX PROJECT 16 120 MP4 PER 2020 IRC 1609 AND LOCAL JUREDICTION REQUIREMENTS

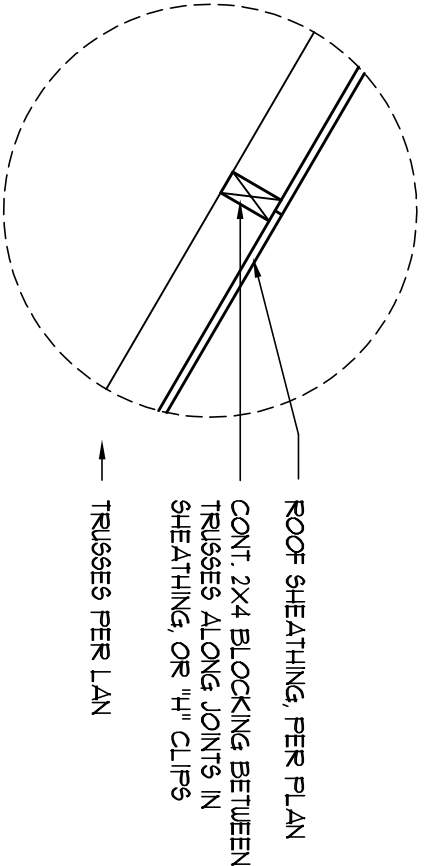
NOTE!
ADOPTED FILL SHALL BE APPLIED IN 8" LIFTS - FILL LIFT SHALL BE COMPACTED TO 98% DRY TAMPING METHOD.



Vent Detail
SCALE: 1" = 1'-0"

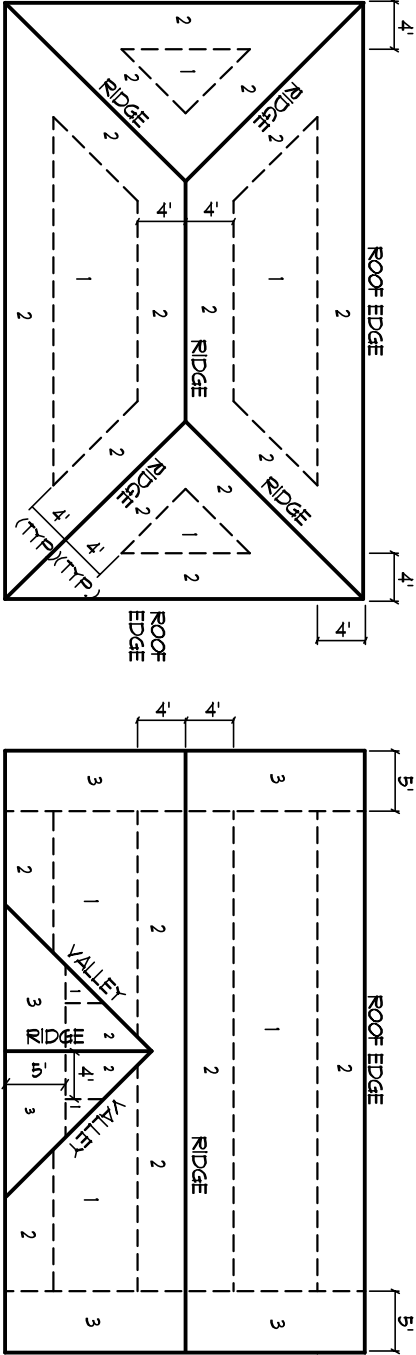


Ridge Detail
SCALE: 1" = 1'-0"

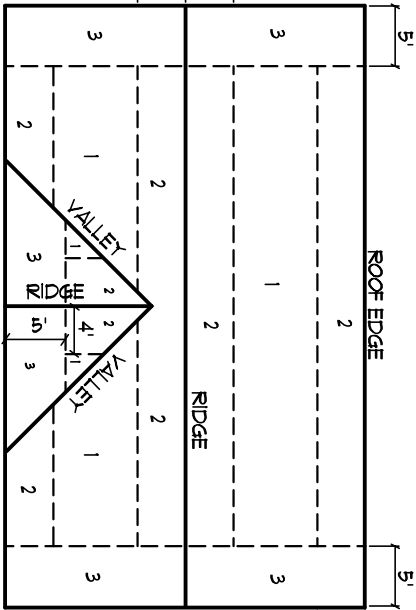


Joint Detail
SCALE: 1" = 1'-0"

ROOF SHEATHING FASTENINGS			
NAILING ZONE	SHEATHING TYPE	FASTENER	SPACING
1			6" o.c. EDGE
2	1 1/8" O.G.B. OR 5/8" CDX	6d COMMON OR 6d HOT DIPPED GALVANIZED BOX NAILS	2" o.c. FIELD
3			6" o.c. FIELD



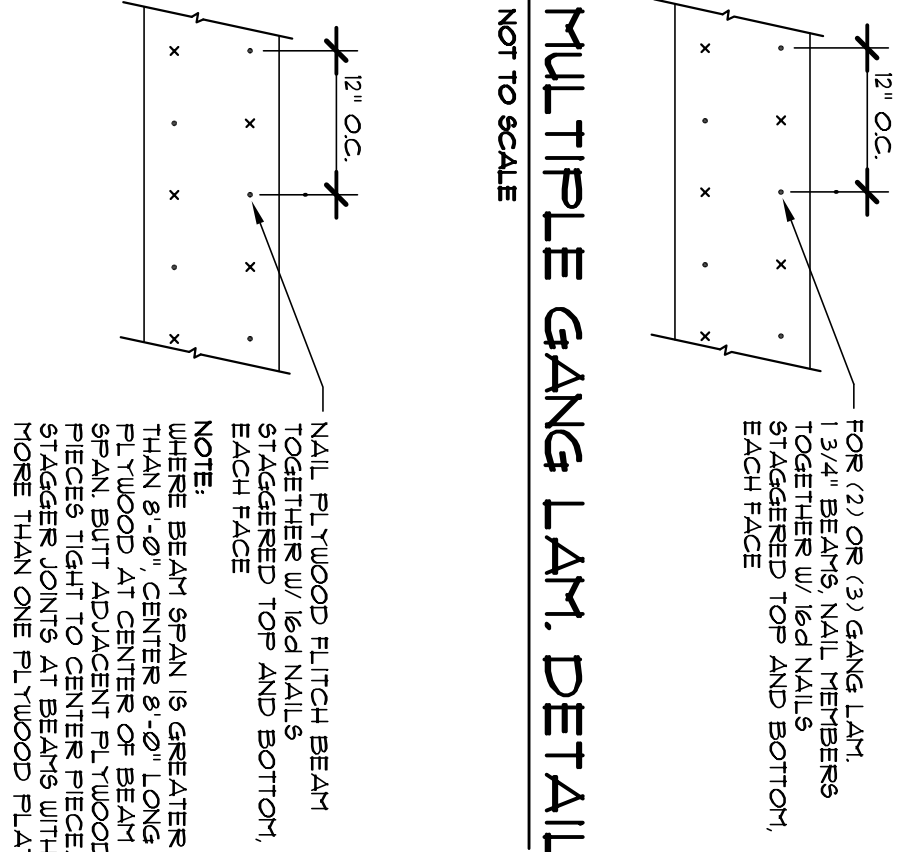
ROOF SHEATHING NAILING ZONES
(HIP ROOF)



ROOF SHEATHING NAILING ZONES
(GABLE ROOF)

Roof Nail Pattern Det.
SCALE: NONE

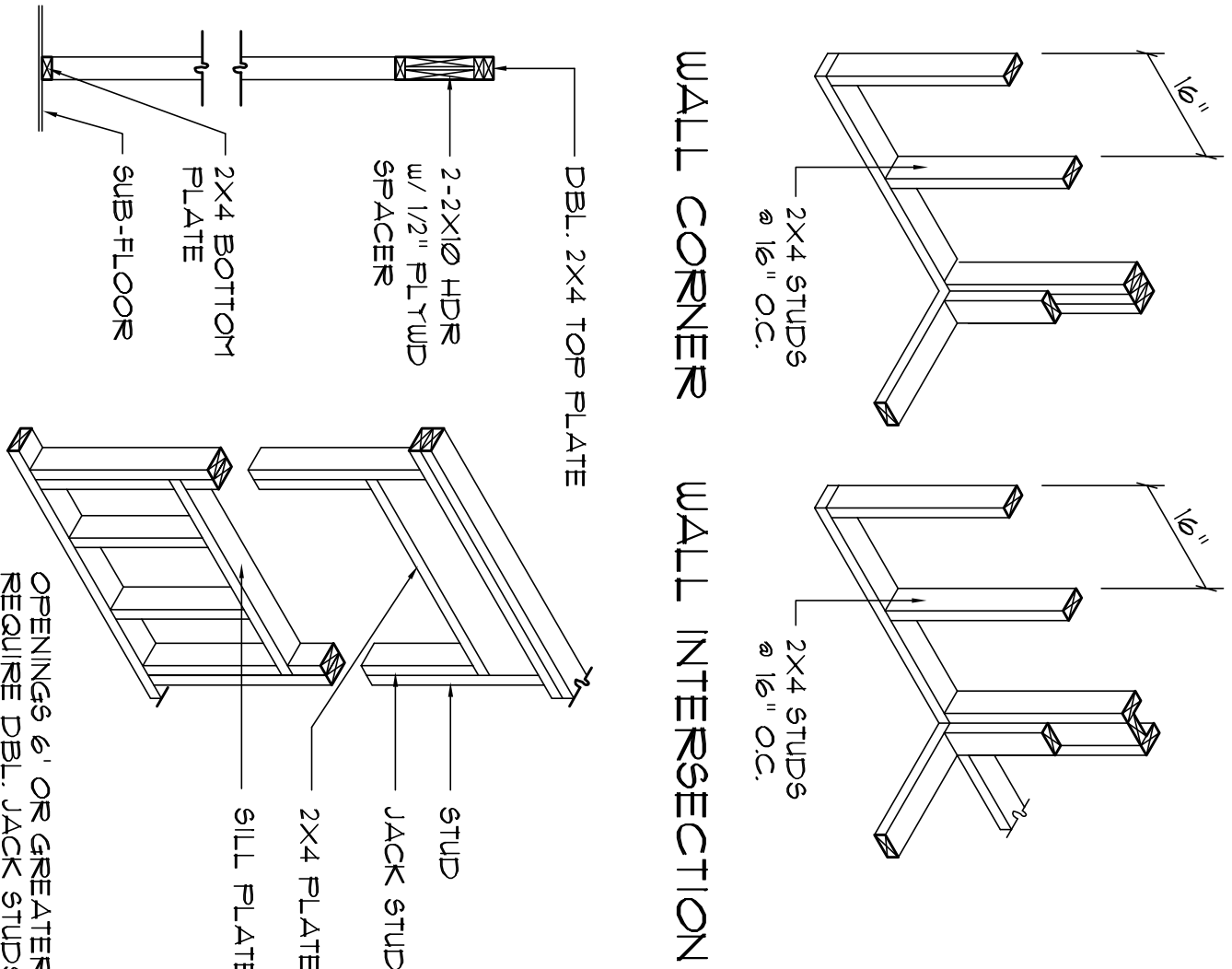
HEADER SPANS FOR EXTERIOR BEARING WALLS				
HEADERS SUPPORTING:	HEADER SIZE	BUILDING WIDTH (FT)		
		20'	28'	36'
ROOF, CEILING	2-2x4	3'-6"	3'-2"	2'-10"
	2-2x6	5'-5"	4'-8"	4'-2"
	2-2x8	6'-10"	5'-11"	5'-4"
	2-2x10	8'-5"	7'-3"	6'-6"
	2-2x12	9'-9"	8'-5"	7'-6"
	3-2x8	8'-4"	7'-5"	6'-8"
	3-2x10	10'-6"	9'-11"	8'-2"
	3-2x12	12'-2"	10'-11"	9'-5"
	4-2x8	9'-2"	8'-4"	9'-2"
	4-2x10	11'-8"	10'-6"	9'-5"
	4-2x12	14'-1"	12'-2"	10'-11"



MULTIPLE GANG LAM. DETAIL
NOT TO SCALE

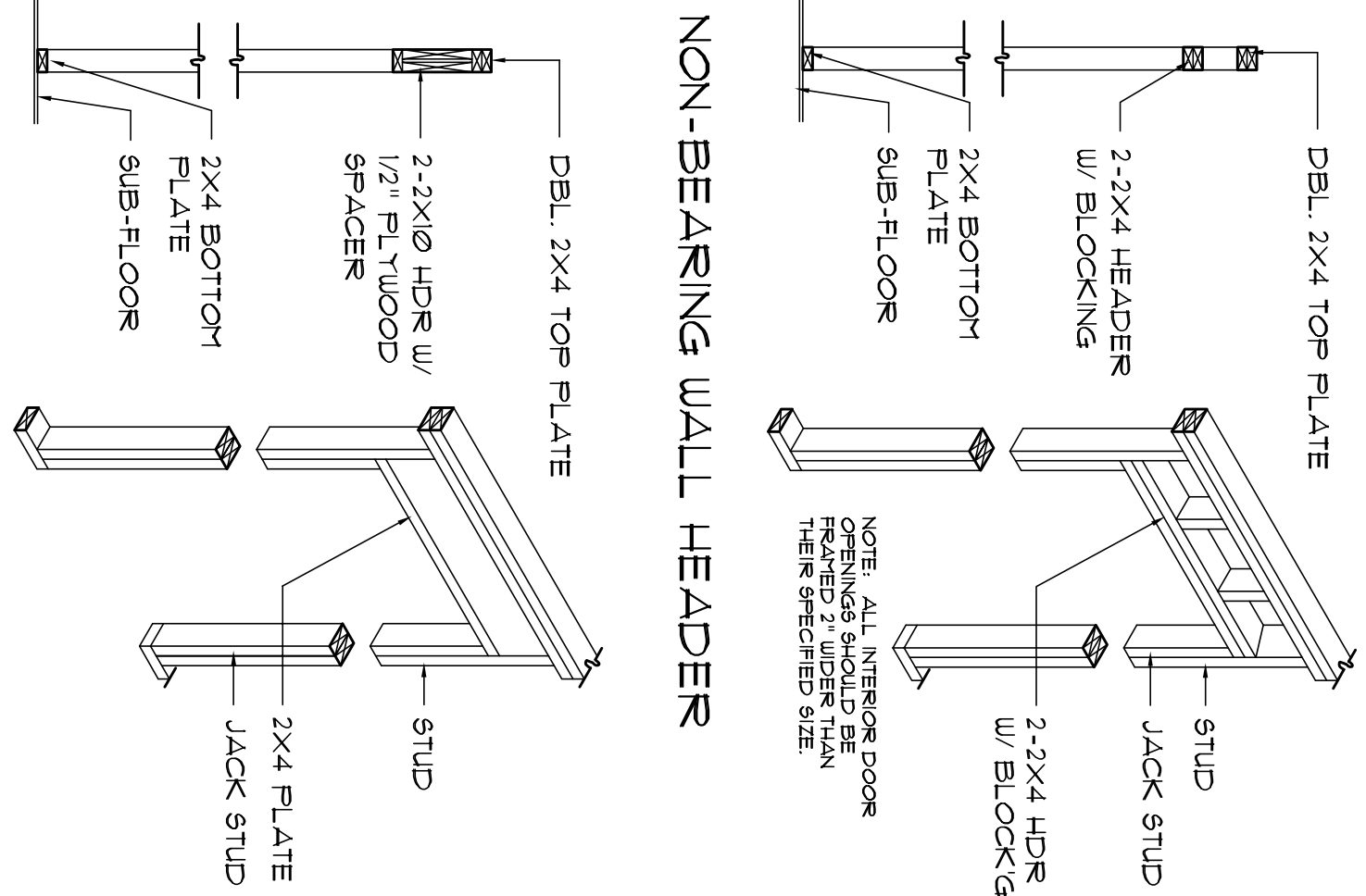
PLYWOOD FLITCH BEAM DETAIL
NOT TO SCALE

Beam Details
SCALE: NONE



WALL CORNER

WALL INTERSECTION

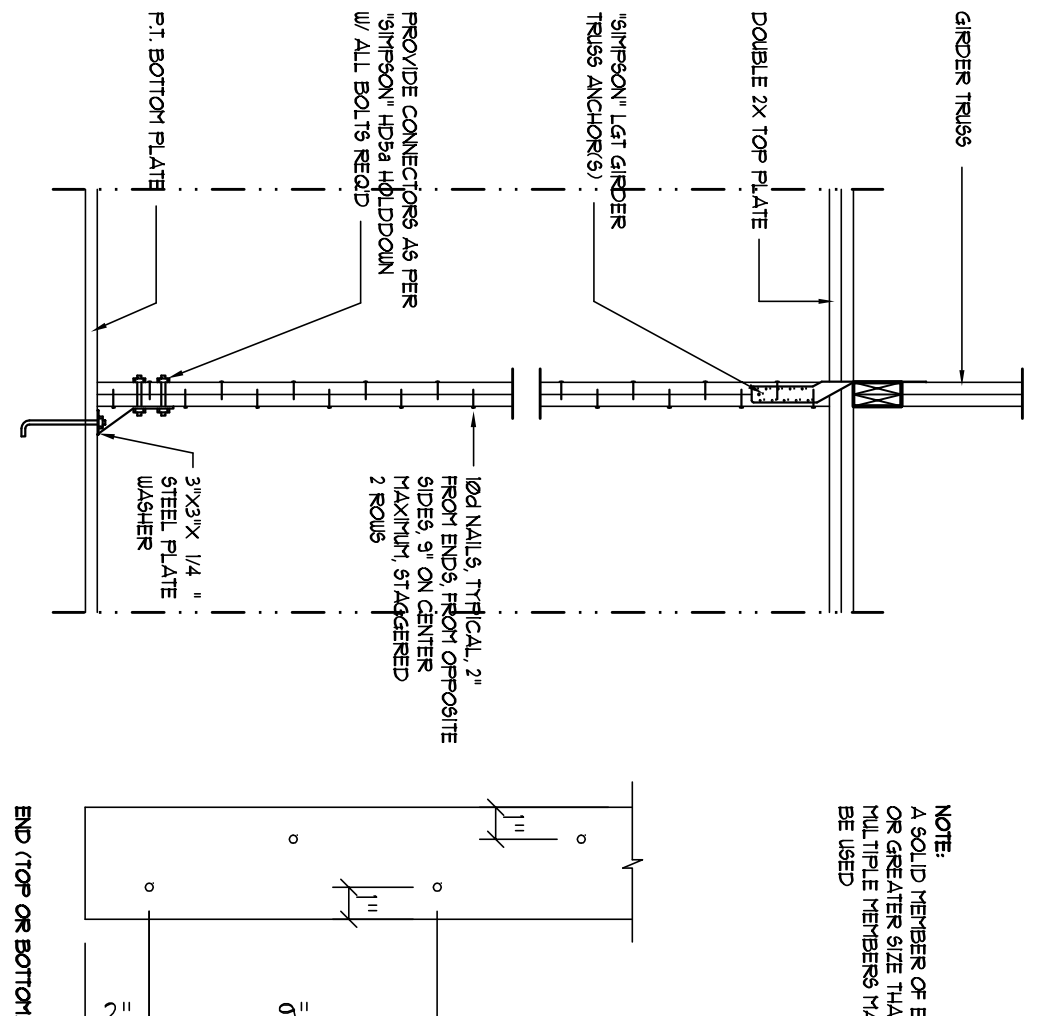


NON-BEARING WALL HEADER

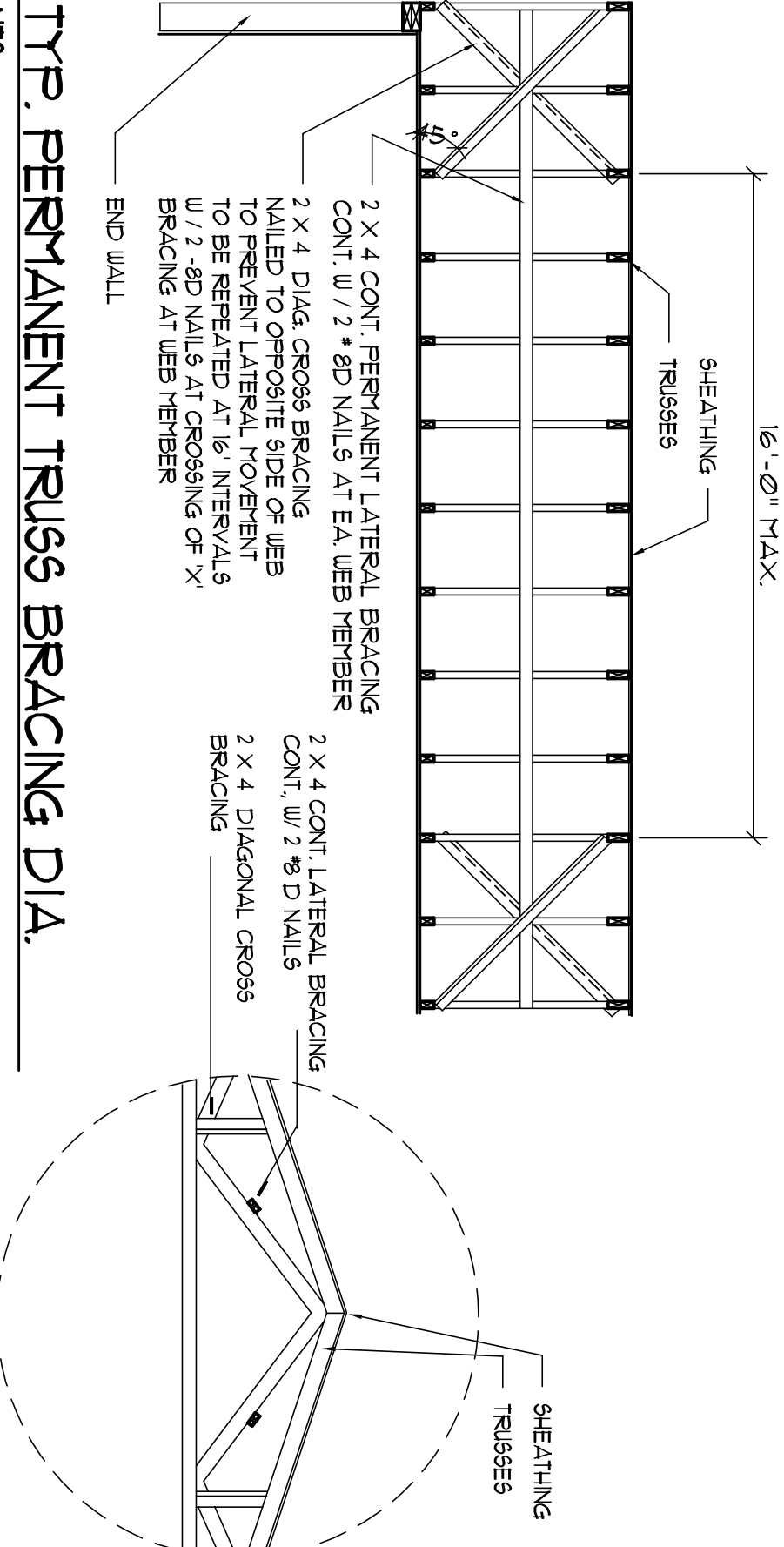
TYPICAL WINDOW HEADER

BEARING WALL HEADER

Wall Framing/Header Details
SCALE: NONE

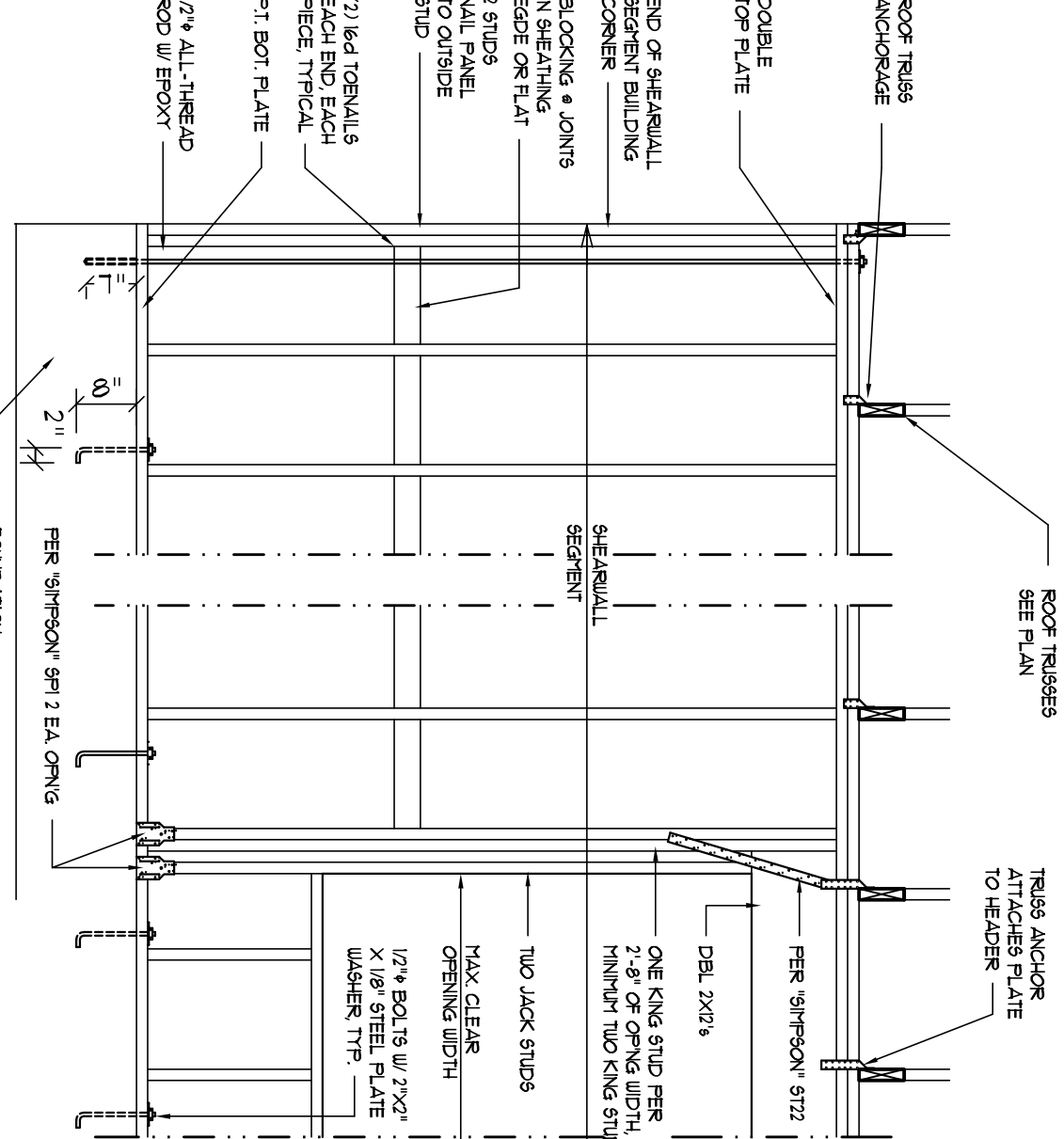


Girder Truss Column Det.
SCALE: 1/2" = 1'-0"



TYP. PERMANENT TRUSS BRACING DIA.
NOTE: ALL WOOD TO BE NUMBER 2 GRADE SOUTHERN YELLOW PINE

Truss Bracing Details
SCALE: AS NOTED



SHEARWALL NOTES		
1.	ALL SHEARWALLS SHALL BE TYPE 1 SHEARWALLS AS DEFINED BY STD. 07-51 (SDC 3/99.43).	
2.	THE WALL SHALL BE ENTIRELY BEAMED WITH 1 1/8" O.G.B. INCLUDING AREAS ABOVE AND BELOW OPENINGS.	
3.	ALL SHEATHING SHALL BE ATTACHED TO RAINING FASERS OCCURRING OVER CORNER RAISING MEMBERS OR ALONG BLOCKING.	
4.	WALL BRACING SHALL BE 4" O.C. EDGES AND 16" O.C. FIELD.	
5.	TYPE 1 SHEARWALLS ARE DESIGNED FOR THE OPENING RATIO OF 0.75. IF THE WALL HEIGHT OF OPENING SHALL BE MORE THAN 1/3 OF THE WALL HEIGHT, THE MINIMUM DISTANCE FROM EACH WALL IS 1/3 OF THE WALL HEIGHT.	

OPENING WIDTH	ALL FASERS	1/4\"/>
0\"/>	(1) 2x4 OR (1) 2x6	1
0\"/>	(1) 2x4 OR (1) 2x6	3

DATE: 07 SEP 2021
COM: 2K2091

Shear Wall Details
SCALE: NONE

