

CASH

## Columbia County Remodel Permit Application

\$292.80

## For Office Use Only

Application #

44465

Date Received

2/5

By

MG

Permit #

39385

Zoning Official

LW/CH

Date

2-10-20

Flood Zone

X

Land Use

Ag

Zoning

PRD

FEMA Map #

Elevation

MFE

River

Plans Examiner

T.C.

Date

2-11-20

Comments

- ☒ NOC ☒ Deed or PA ☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor  
☐ F W Comp. letter ☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid  
☐ Site Plan ☒ Env. Health Approval 20-0116 ☒ Sub VF Form \$15

Fax

386

Applicant (Who will sign/pickup the permit) Travis Tuten

Phone (386) 208-5598

Address 174 NW HighPoint Drive Lake City, FL

Owners Name Travis Tuten &amp; Laine Tuten

Phone " "

911 Address " "

Contractors Name Travis Tuten (owner-builder)

Phone " "

Address " "

Contractor Email travis.tuten@suwannee.k12.fl.us

\*\*\*Include to get updates on this job.

Fee Simple Owner Name &amp; Address

Bonding Co. Name &amp; Address

Architect/Engineer Name &amp; Address Kyle McDonough, P.E. Metal Building Engineering; Lexington, Ky

Mortgage Lenders Name &amp; Address

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 20-35-16-02202-101

Estimated Construction Cost \$34,000.00

Subdivision Name Lot 1 Block Unit Phase

Driving Directions from a Major Road 13-miles via Lake Jeffery Rd. - 1.3 miles N. on US-41 N/NW

main blvd. toward NW orange st. turn left onto NW bascom morris Drive 1.2 miles, turn right onto NW Lake Jeffery Rd. 2.1 miles. turn left onto Nash Rd. 1.9 miles turn left onto Bert Ave. 0.8 turn right onto NW Brook Loop 0.6 mi, turn right onto NW high point drive 253 ft.

(shop building)  
Construction of Foundation and steel accessory structure Commercial OR ☒ Residential

Type of Structure (House; Mobile Home; Garage; Exxon) Accessory structure (garage)

Use/Occupancy of the building now N/A Is this changing

If Yes, Explain, Proposed Use/Occupancy

Is the building Fire Sprinkled? No If Yes, blueprints included Or Explain

Entrance Changes (Ingress/Egress) If Yes, Explain

Zoning Applications applied for (Site &amp; Development Plan, Special Exception, etc.)

2/18 - email sent pending

**Columbia County Building Permit Application**

**CODE: Florida Building Code 2017 6th Edition and the 2014 National Electrical Code.**

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within **180** days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Travis Tuten  
Print Owners Name

Travis Tuten  
Owners Signature

**\*\*Property owners must sign here before any permit will be issued.**

**\*\*If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

\_\_\_\_\_  
Contractor's Signature

\_\_\_\_\_  
Contractor's License Number  
Columbia County  
Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.  
Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

SEAL:

\_\_\_\_\_  
State of Florida Notary Signature (For the Contractor)

# SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # \_\_\_\_\_ JOB NAME \_\_\_\_\_

## THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

**NOTE:** It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

**Use website to confirm licenses:** <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

**NOTE:** If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

<b>ELECTRICAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>MECHANICAL/A/C</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>PLUMBING/GAS</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>ROOFING</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SHEET METAL</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>FIRE SYSTEM/SPRINKLER</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>SOLAR</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
<b>STATE SPECIALTY</b> <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<b>Need</b> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

Prepared by and return to:

Rob Stewart  
Lake City Title  
426 SW Commerce Drive, Ste 145  
Lake City, FL 32025  
(386) 758-1880  
File No 2019-3010  
Parcel Identification No 20-3S-16-02202-101

[Space Above This Line For Recording Data]

**WARRANTY DEED**

(STATUTORY FORM – SECTION 689.02, F.S.)

**This indenture made the 5th day of August, 2019 between Brown Road Builders, Inc., a Florida Corporation, whose post office address is 1140 SW Bascom Norris Drive, Lake City, FL 32025, of the County of Columbia, State of Florida, Grantor, to Travis R. Tuten and Laine T. Tuten, Husband and Wife, whose post office address is 174 NW High Point Drive, Lake City, FL 32055, of the County of Columbia, State of Florida, Grantees:**

**Witnesseth**, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

Lot 1, of HIGH POINTE, a subdivision according to the Plat thereof, as recorded in PRRD Book 1, Pages 28-31, of the Public Records of Columbia County, Florida.

**Together with** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


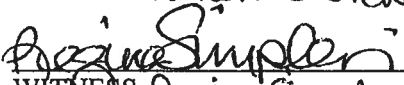
**Subject to** taxes for 2019 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

**TO HAVE AND TO HOLD** the same in fee simple forever.


**And** Grantor hereby covenant with the Grantees that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered  
in our presence:


  
WITNESS Robert S. Stewart  
  
WITNESS Regina Simpkins

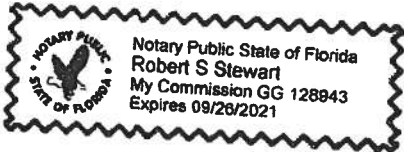
Brown Road Builders, Inc., a Florida Corporation

By:   
Trevor E. Hickman, President

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 5<sup>th</sup> day of August, 2019 by Trevor E. Hickman President of Brown Road Builders, Inc., a FL Corporation, who is personally known to me.

  
Signature of Notary Public  
Robert S. Stewart





## **COLUMBIA COUNTY BUILDING DEPARTMENT**

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

### **OWNER BUILDER DISCLOSURE STATEMENT**

#### **Florida Statutes Chapter 489.103:**

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or <http://www.myfloridalicense.com/> for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

174 NW High Point Dr. Lake City, FL 32055

(Write in the address of jobsite property)



12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

**Florida Statutes Chapter 489.503:**

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.



Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

**TYPE OF CONSTRUCTION**

☐ *Single Family Dwelling*    ☐ *Two-Family Residence*    ☐ *Farm Outbuilding*

☒ *Addition, Alteration, Modification or other Improvement*    ☐ *Electrical*

☐ *Other* \_\_\_\_\_

☐ *Contractor substantially completed project, of a* \_\_\_\_\_

☐ *Commercial, Cost of Construction* \_\_\_\_\_ *for construction of* \_\_\_\_\_

I Travis Tuten, have been advised of the above disclosure  
(Print Property Owners Name)

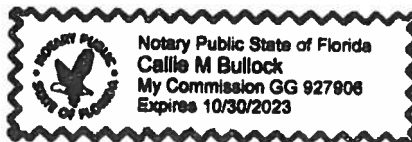
statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

Signature: *Travis Tuten* Date: 1/27/20  
(Signature of property owner)

**NOTARY OF OWNER BUILDER SIGNATURE**

The above signer is personally known to me or produced identification \_\_\_\_\_

Notary Signature *Caille M. Bullock* Date 1/27/2020 (Seal)



## Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 1/6/2020

Parcel: &lt;&lt; 20-3S-16-02202-101 &gt;&gt;

## Owner &amp; Property Info

Result: 1 of 1

Owner	TUTEN TRAVIS R & LAINE T TUTEN 174 NW HIGH POINT DR LAKE CITY, FL 32055		
Site	174 HIGH POINT DR, LAKE CITY		
Description*	LOT 1 HIGH POINTE S/D WD 1189-1043, WD 1292-2615, WD 1390-1841,		
Area	1.87 AC	S/T/R	20-3S-16
Use Code**	SINGLE FAM (000100)	Tax District	3

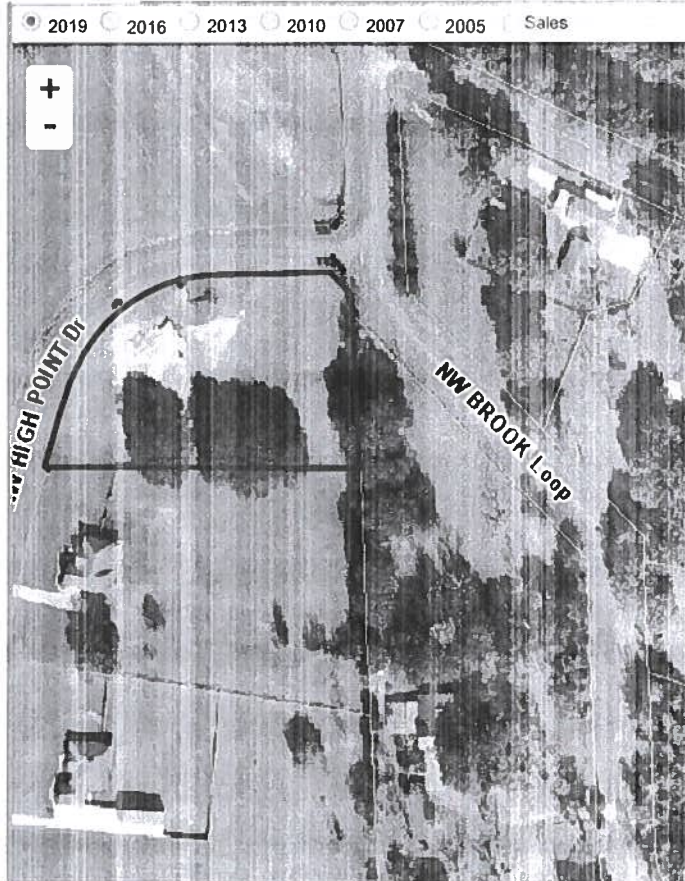
\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

## Property &amp; Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$30,000	Mkt Land (1)	\$30,000
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (1)	\$219,151
XFOB (0)	\$0	XFOB (1)	\$3,106
Just	\$30,000	Just	\$252,257
Class	\$0	Class	\$0
Appraised	\$30,000	Appraised	\$252,257
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$30,000	Assessed	\$252,257
Exempt	\$0	Exempt	\$0
Total	county:\$27,830	Total	county:\$252,257
Taxable	city:\$27,830	Taxable	city:\$252,257
	other:\$27,830		other:\$252,257
	school:\$30,000		school:\$252,257

Aerial Viewer Pictometry Google Maps



## Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
8/5/2019	\$324,900	1390/1841	WD	I	Q	01
4/15/2015	\$91,500	1292/2615	WD	V	U	30
2/19/2010	\$550,000	1189/1043	WD	V	V	38

## Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2019	2422	3264	\$219,151

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

## Extra Features &amp; Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2019	\$3,106.00	1553.000	0 x 0 x 0	(000.00)

## Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000100	SFR (MKT)	1.000 LT - (1.870 AC)	1.00/1.00 1.00/1.00	\$30,000	\$30,000

Search Result: 1 of 1

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: Grizzlylogic.com

# NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

20-35-16-02202-101

Clerk's Office Stamp

Inst: 202012003492 Date: 02/12/2020 Time: 4:30PM  
Page 1 of 1 B: 1405 P: 1296, P. DeWitt Cason, Clerk of Court  
Columbia, County, By: PT  
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description):

a) Street (job) Address: 174 NW High Point Drive Lake City, Florida

2. General description of Improvements: Accessory structure - residential shop building

3. Owner Information or Lessee information if the Lessee contracted for the improvements:

a) Name and address: Travis Tuten 174 NW High Point Drive Lake City, Florida

b) Name and address of fee simple titleholder (if other than owner)

c) Interest in property

4. Contractor Information

a) Name and address: Travis Tuten

b) Telephone No.: (386) 208-5598

5. Surety Information (if applicable, a copy of the payment bond is attached):

a) Name and address:

b) Amount of Bond:

c) Telephone No.:

6. Lender

a) Name and address:

b) Phone No.:

7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section

713.13(1)(a)7., Florida Statutes:

a) Name and address:

b) Telephone No.:

8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:

a) Name: \_\_\_\_\_ OF \_\_\_\_\_

b) Telephone No.: \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

10. Travis Tuten

Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager

Travis Tuten

Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 27<sup>th</sup> day of January, 2020, by:

Callie M. Bullock

as notary

for Travis Tuten

(Name of Person)

(Type of Authority)

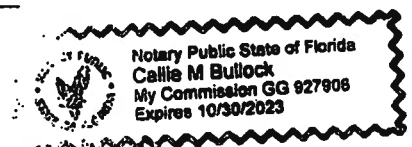
(name of party on behalf of whom instrument was executed)

Personally Known ☒ OR Produced Identification ☐ Type \_\_\_\_\_

Notary Signature

Callie M. Bullock

Notary Stamp or Seal:





As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>1. EXTERIOR DOORS</b>			<del>FL17900-R2</del>
A. SWINGING	Tell Manufacturing	3070-exterior door (Swinging door)	FL17900-R2
B. SLIDING			
C. SECTIONAL/ROLL UP	DBCI	3000-series exterior roll-up doors	FL1964-R6
D. OTHER			
<b>2. WINDOWS</b>			
A. SINGLE/DOUBLE HUNG	<del>DBCI</del> ←	error no windows in building.	
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
<b>3. PANEL WALL</b>			
A. SIDING	TriCounty Metals	26 g PBR wall panel	FL9901.1 R3
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
<b>4. ROOFING PRODUCTS</b>			
A. ASPHALT SHINGLES			
B. NON-STRUCTURAL METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
<b>5. STRUCTURAL COMPONENTS</b>			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
<b>6. NEW EXTERIOR</b>			
<b>ENVELOPE PRODUCTS</b>			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Contractor OR Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 20-0116  
DATE PAID: 2/12/20  
FEE PAID: 60  
RECEIPT #: 1467521

## APPLICATION FOR:

☐ New System ☒ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: Travis TutenAGENT: \_\_\_\_\_ TELEPHONE: 386-208-5598MAILING ADDRESS: 174 NW High Point Dr Lake City, FL 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: 2 BLOCK: \_\_\_\_\_ SUBDIVISION: High Point Farms PLATTED: \_\_\_\_\_PROPERTY ID #: 20-35-16-02202-101 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y ☐ NPROPERTY SIZE: 1.87 ACRES WATER SUPPLY: ☐ PRIVATE ☐ PUBLIC ☐ <=2000GPD ☐ >2000GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: \_\_\_\_\_ FTPROPERTY ADDRESS: 174 NW High Point Dr

DIRECTIONS TO PROPERTY: \_\_\_\_\_

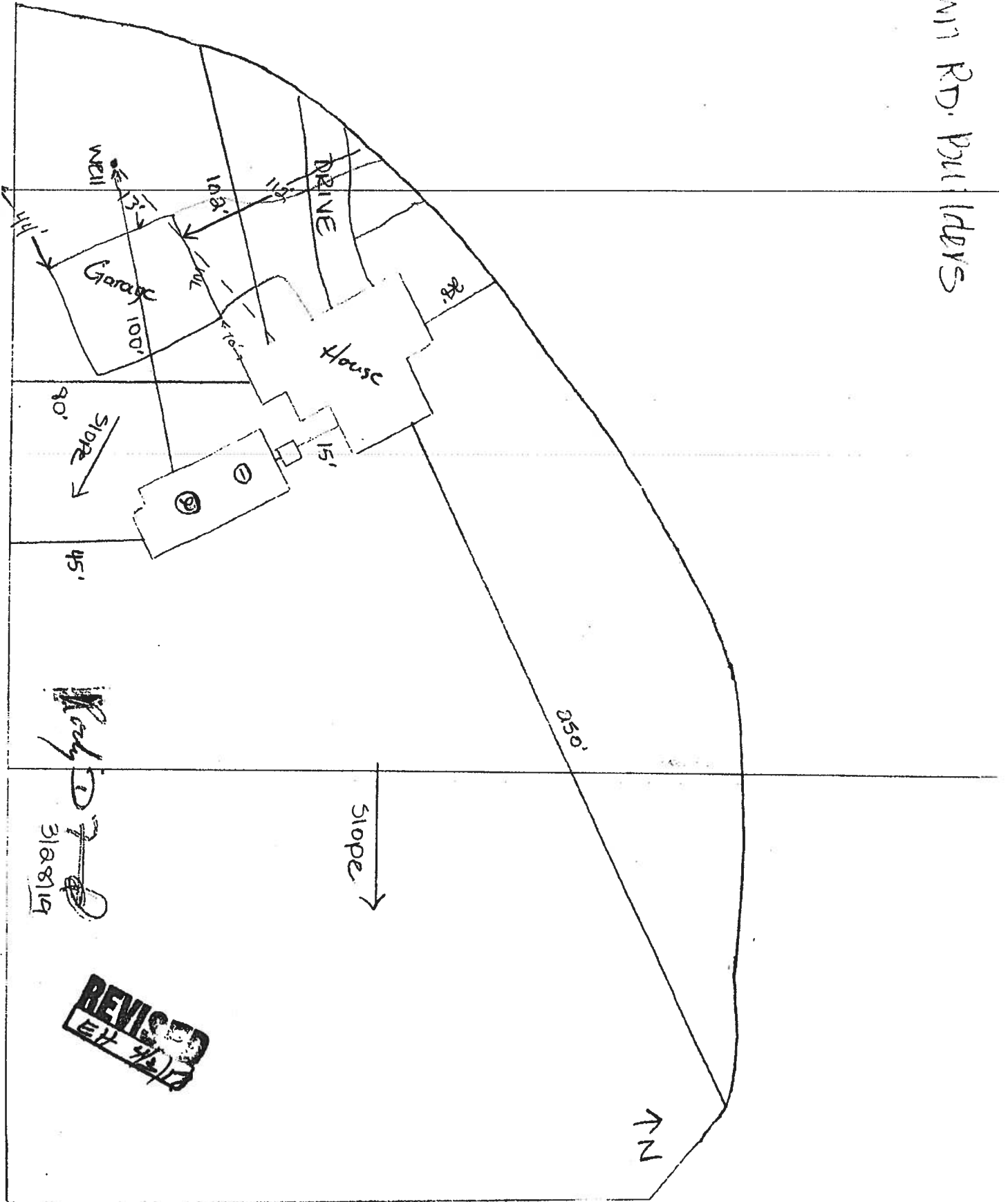
## BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

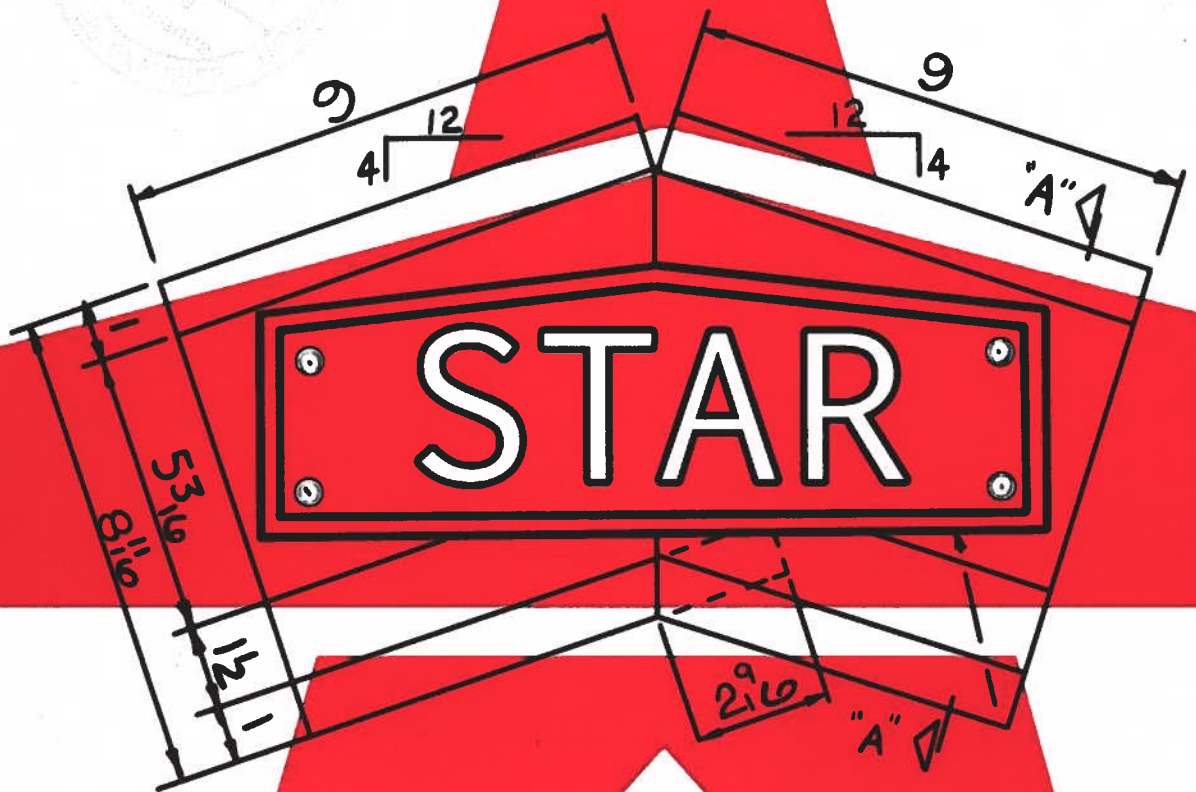
Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Garage</u>	<u>0</u>	<u>1280</u>	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_SIGNATURE: Travis Tuten DATE: 2/12/20

Brown RD. Builders



# ENGINEERING



# PRODUCT DATA



December 30, 2019

APEX METAL BUILDING SYSTEMS  
118 CONNER ST NE  
LIVE OAK, FL 32064-2470

17-B-48260  
TRAVIS TUTEN  
LAKE CITY, FL  
32'0" x 40'0" x 14'0"

To Whom It May Concern:

This is to certify that materials for the subject structure have been designed in accordance with the order documents, specifically as shown per the attached Engineering Design Criteria Sheet.

Aspects of code compliance as related to use or occupancy, such as sprinkler requirements, are not addressed by these documents.

These materials, when properly erected on an adequate foundation in accordance with the erection drawings as supplied and using the components as furnished, will meet the attached loading requirements.

This certification does not cover field modifications or the design of materials not furnished by Star Building Systems.

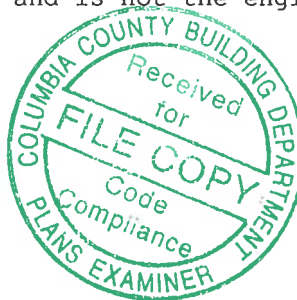
The attached design criteria and calculations are to remain with and form part of this Letter of Certification.

The calculations and the metal building they represent are the product of Star Building Systems or a division of its affiliate NCI Building Systems. The engineer whose seal appears hereon is employed by either Star Building Systems or a division of its affiliate NCI Building Systems and is not the engineer of record for this project.

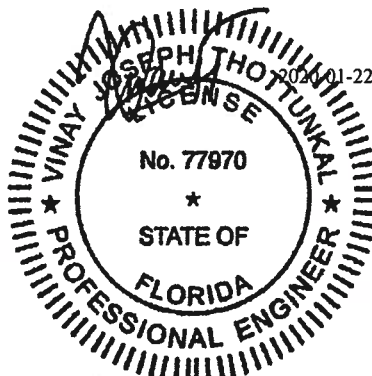
Cordially,

Star Building Systems  
Materials for Metal Buildings  
An NCI Company

Vinay Joseph Thottunkal, P.E.  
Manager of Engineering



This document has been  
digitally signed.





## DESIGN PACKAGE

**BUILDER:** APEX METAL BUILDING SYSTEMS  
**CUSTOMER:** TRAVIS TUTEN  
**JOB NUMBER:** 17-B-48260

### TABLE OF CONTENTS

	Page
Design Criteria	1
Notes on Drawings	2-3
Deflection Criteria	4
Project Layout	NA
Building A	5-13
Special Details	NA

Original Design Completed thru Change Order # 0  
Revision History

Rev #	Update Reactions?	Reason for Revision	Pages Revised	Date Revised	Eng.
1	Yes	Change Order #1	5, 9-10, 12	1/15/2020	LRV

Project Engineer: Laura Vega Ruiz (Fairview)  
Checking Engineer: Vinay Joseph  
Signing Engineer: Vinay Joseph, P.E.

Job Number ..... 17-B-48260  
 Builder ..... APEX METAL BUILDING SYSTEMS  
 Jobsite Location ..... TRAVIS TUTEN, LAKE CITY, Florida  
  
 Building Code ..... FLORIDA BUILDING CODE, 6TH EDITION (2017)  
 Building Risk Category ..... Agricultural (Category I)  
 Roof Dead Load  
     Superimposed ..... 2.12 psf  
     Collateral ..... 0.50 psf  
     (0.50 psf Other)  
 Roof Live Load ..... 20.00 psf reduction allowed  
  
 Wind  
     Ultimate Wind Speed (Vult) ... 110.00 mph  
     Nominal Wind Speed (Vasd) .... 85 mph (IBC section 1609.3.1)  
     Serviceability Wind Speed .... 76 mph  
     Wind Exposure Category ..... B  
     Internal Pressure Coef (GCpi)   0.18/-0.18  
     Wall Loads for components not provided by building manufacturer  
     Corner Areas (within 3.20' of corner) 21.76 psf pressure -29.14 psf suction  
     Other Areas                      21.76 psf pressure -23.61 psf suction  
     These values are the maximum values required based on a 10 sq ft area.  
     Components with larger areas may have lower wind loads.

Material properties of steel bar, plate, and sheet used in the fabrication of built-up structural framing members conform to ASTM A529, ASTM A572, ASTM A1011 SS, or ASTM A1011 HSLAS with a minimum yield point of 50 ksi. Material properties of hot rolled structural shapes conform to ASTM A992, ASTM A529, or ASTM A572 with a minimum specified yield point of 50 ksi. Hot rolled angles, other than flange braces, conform to ASTM 36 minimum. Hollow structural shapes conform to ASTM A500 grade B, minimum yield point is 42 ksi for round HSS and 46 ksi for rectangular HSS. Material properties of cold-formed light gage steel members conform to the requirements of ASTM A1011 SS Grade 55, ASTM A1011 HSLAS Grade 55 Class 1, ASTM A653 SS Grade 55, or ASTM A653 HSLAS Grade 55 Class 1 with a minimum yield point of 55 ksi. For Canada, material properties conform to CAN/CSA G40.20/G40.21 or equivalent.

All bolted joints with A325 Type 1 bolts are specified as snug-tightened joints in accordance with the Specification for Structural Joints Using ASTM A325 or A490 Bolts, December 31, 2009. Pre-tensioning methods, including turn-of-nut, calibrated wrench, twist-off-type tension-control bolts or direct-tension-indicator are NOT required. Installation inspection requirements for Snug Tight Bolts (Specification for Structural Joints Section 9.1) is suggested.

Design criteria as noted is as given within order documents and is applied in general accordance with the applicable provisions of the model code and/or specification indicated. Neither the metal building manufacturer nor the certifying engineer declares or attests that the loads as designated are proper for local provisions that may apply or for site specific parameters. The design criteria is supplied by the builder, project owner, or an Architect and/or Engineer of Record for the overall construction project.

This project is designed using manufacturer's standard serviceability criteria. Generally this means that all deflections are within typical performance limits for normal occupancy and standard metal building products.

The use of the structure is limited to Occupancy Category I for structures representing a low hazard to humans; including agricultural facilities, temporary facilities and/or minor storage facilities. The resulting reduction in applied loads would explicitly exclude most industrial or commercial applications, high human occupancy or post disaster uses. Future use for any category other than Occupancy Category I will require investigation of the structure by a qualified design professional in order to determine any reinforcement that may be required.

This metal building system is designed as Enclosed Building. All exterior components (i.e. doors, windows, vents, etc.) must be designed to withstand the specified wind loading for the design of components and cladding in accordance with the specified building code.

Framed openings, walk doors, and open areas shall be located in the bay and elevation as shown in the erection drawings. The cutting or removal of girts shown on the erection drawings due to the addition of framed openings, walk doors, or open areas not shown may void the design certifications supplied by the metal building manufacturer.

Roof and wall panels have been designed in accordance with section 2222.4 of the Florida Building Code, 6th Florida (2017) Product approval numbers for the State of Florida, Department of

\* Community Affairs per Product Rule 9B-72:

1. Panel Walls

FL11917 PBR 26 gauge walls

2. Roofing Products

FL11868 PBR 26 gauge roofs

Using 7" x 7" eave gutter with 4 x 5 downspouts, the roof drainage system has been designed using the method outlined in the MBMA Metal Building Systems Manual. Downspout locations have not been located on these drawings. The downspouts are to be placed on the building sidewalls at a spacing not to exceed 40 feet with the first downspout from both ends of the gutter run within 20 feet of the end. Downspout spacing that does not exceed the maximum spacing will be in compliance with the building code. The gutter and downspout system as provided by the manufacturer is designed to accommodate 10 in/hr rainfall intensity.

The rigid frame at building A Frame Line 1 is designed as a non-expandable rigid frame. Corresponding frame reactions are calculated based upon actual tributary area.

Job Number.....: 17-B-48260  
 Builder.....: APEX METAL BUILDING SYSTEMS  
 Jobsite Location.....: TRAVIS TUTEN, LAKE CITY, FL

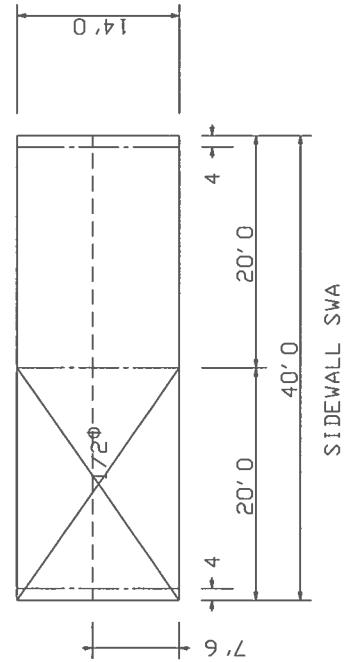
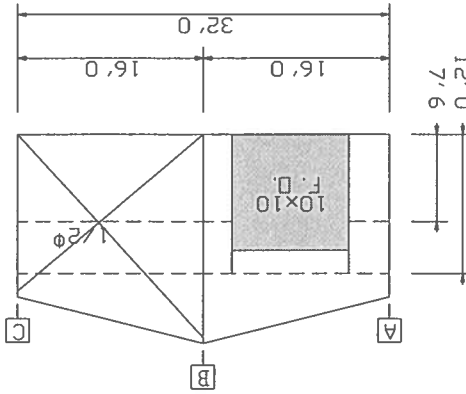
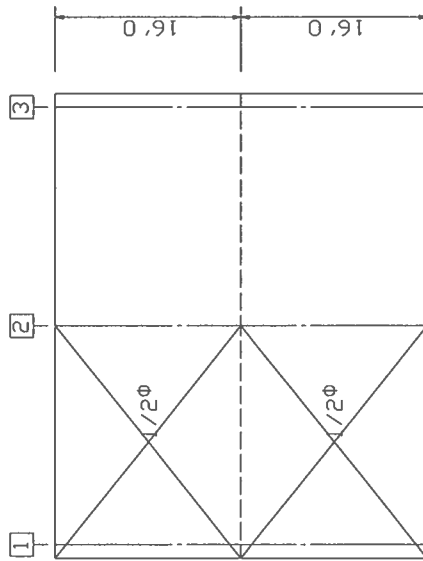
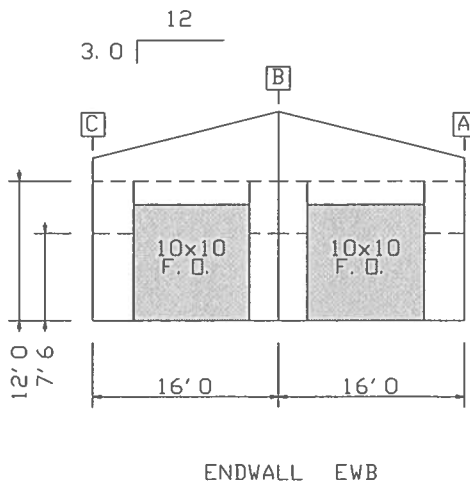
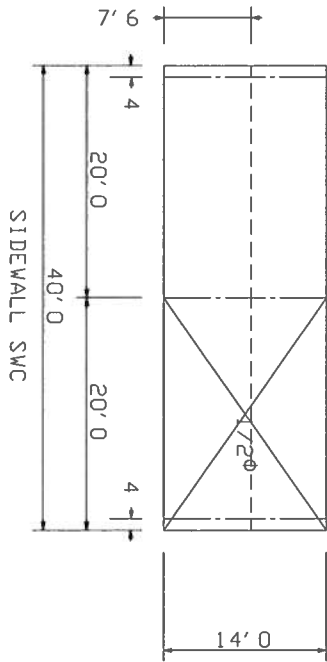
The material supplied by the manufacturer has been designed with the following minimum deflection criteria. The actual deflection may be less depending on actual load and actual member length.

BUILDING DEFLECTION LIMITS.....: BLDG-A

Roof Limits	Rafters	Purlins	Panels
-----	-----	-----	-----
Live: L/	180	150	60
Serviceability Wind: L/	180	180	60
Total Gravity: L/	120	120	60
Total Uplift: L/	N/A	N/A	60
Frame Limits	Sidesway		
-----	-----		
Live: H/	60		
Serviceability Wind: H/	60		
Total Gravity: H/	60		
Wall Limits	Limit		
-----	-----		
Total Wind Panels: L/	60		
Total Wind Girts: L/	90		
Total Wind EW Columns: L/	120		

key Strut: x=double Z,  
 xx=triple Z,  
 o=pipe(FM)

Builder :  
 APEX METAL BUILDING SYS  
 Job No: 48260A run01  
 Version: ver01-xxvega  
 Wed Jan 15 08:31:41 2020



Owner :  
 TRAVIS TUTEN  
 LAKE CITY FL 32055  
 P.O. FASTAR - TRAV...



Star Building Systems, OKC, OK

Design Summary Program

Design Summary Report

User: LXVega

Version: 8.07.2

Job Number: 48260A

run01 Date: 01/15/20

Start Time: 08:31:27

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BUILDING - A - DESIGN SUMMARY REPORT

All connections use ASTM A325N bolts, unless noted otherwise.

All anchor rods are checked according to ASTM F1554 Gr. 36 strengths.

ROOF PLANE ----- RPA

R:\jobs\Active\Eng\17-B-48260\ver01-lxvega\BLDG-A\run01\AroofRPA\_01.edf

Panel ..... PBR  
Panel Width ..... 36 in  
Panel Gage ..... 26 ga  
Purlins ..... 55.0 ksi Yield Strength  
Eave Struts ..... 55.0 ksi Yield Strength

PURLIN SPACING : 3@4.9577 1.1269

Bay #	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	20.000	8X2.5Z16	None	S 0.000	1.479 C
2	20.000	8X2.5Z16	None	C 1.479	0.000 S

Purlin Clip Use 2 A325 Bolts @ Level 2,3,4 @ Supports: 1,2,3

Purlin Stiffened Clips @ Level 2,4 @ Supports: 1,2,3

Purlin Backup Plate @ Level 2,4 @ Supports: 1,2,3

ROOF PLANE ----- RPC

R:\jobs\Active\Eng\17-B-48260\ver01-lxvega\BLDG-A\run01\AroofRPC\_01.edf

Panel ..... PBR  
Panel Width ..... 36 in  
Panel Gage ..... 26 ga  
Purlins ..... 55.0 ksi Yield Strength  
Eave Struts ..... 55.0 ksi Yield Strength

PURLIN SPACING : 3@4.9577 1.1269

Bay #	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	20.000	8X2.5Z16	None	S 0.000	1.479 C
2	20.000	8X2.5Z16	None	C 1.479	0.000 S

Purlin Clip Use 2 A325 Bolts @ Level 2,3,4 @ Supports: 3,2,1

Purlin Stiffened Clips @ Level 2,4 @ Supports: 3,2,1

Purlin Backup Plate @ Level 2,4 @ Supports: 3,2,1

Star Building Systems, OKC, OK

Design Summary Program

Design Summary Report

User: LXVega

Version: 8.07.2

Job Number: 48260A

run01 Date: 01/15/20

Start Time: 08:31:28

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```
-----
RPC   Purlin Strut @   16.000 (ft) :8X2.5Z16   Bays  1
RPC   Purlin Strut @   16.000 (ft) :8X2.5Z16   Bays  2
SWA    Eave Strut @   14.000 (ft) :8X3.5E14   Bays  1
SWA    Eave Strut @   14.000 (ft) :8X3.5E14   Bays  2
SWC    Eave Strut @   14.000 (ft) :8X3.5E14   Bays  1
SWC    Eave Strut @   14.000 (ft) :8X3.5E14   Bays  2
```

Note: 1) All Purlin strut locations for all roof planes are measured from back  
sidewall.

2) All purlin strut rows use the same lap lengths as the main purlin design.

Eave strut interior connection at SWA uses (2)-1/2" A325 bolts.

Eave strut interior connection at SWC uses (2)-1/2" A325 bolts.

Eave strut connection at end-frame uses (4)-1/2" A325 bolts.

BRACING ----- Roof: 1 bays Rod

Plane SWA : 1 bays Rod: Hillside Washers

Plane SWC : 1 bays Rod: Hillside Washers

Plane EWB :End Frame

Plane EWD : 1 bays Rod

Star Building Systems, OKC, OK  
Design Summary Program  
Design Summary Report

User: LXVega Job Number: 48260A  
Version: 8.07.2 run01 Date: 01/15/20  
Start Time: 08:31:28

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SIDEWALL PLANE SWA -- ( 8.250" Inset columns )

R:\jobs\Active\Eng\17-B-48260\ver01-lxvega\BLDG-A\run01\AwallSWA\_01.edf

Panel ..... PBR  
Panel Width ..... 36 in  
Panel Gage ..... 26 ga  
Girts ..... 55.0 ksi Yield Strength

GIRTS SPACINGS : 7'6

Bay #	Elev. (ft-in)	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	7'6	20.000	8X2.5Z16	None	S 0.000	1.479 C
2	7'6	20.000	8X2.5Z16	None	C 1.479	0.000 S

SIDEWALL PLANE SWC -- ( 8.250" Inset columns )

R:\jobs\Active\Eng\17-B-48260\ver01-lxvega\BLDG-A\run01\AwallSWC\_01.edf

Panel ..... PBR  
Panel Width ..... 36 in  
Panel Gage ..... 26 ga  
Girts ..... 55.0 ksi Yield Strength

GIRTS SPACINGS : 7'6

Bay #	Elev. (ft-in)	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	7'6	20.000	8X2.5Z16	None	S 0.000	1.479 C
2	7'6	20.000	8X2.5Z16	None	C 1.479	0.000 S

Star Building Systems, OKC, OK

Design Summary Program

Design Summary Report

User: LXVega

Job Number: 48260A

Version: 8.07.2

run01

Date: 01/15/20

Start Time: 08:31:28

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Endwall Plane EWB Design ..... NON-EXPANDABLE FRAME


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Panel ..... PBR  
Panel Width ..... 36 in  
Panel Gage ..... 26 ga  
Girts ..... 55.0 ksi Yield Strength

Girts Spacings : 7'6 4'6

Bay #	Elev. (ft-in)	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	7'6	15.312	8X2.5Z16	F.O.	S 0.000	0.000 S
2	7'6	15.312	8X2.5Z16	F.O	S 0.000	0.000 S
1	12'0	15.312	8X2.5Z16	None	S 0.000	0.000 S
2	12'0	15.312	8X2.5Z16	None	S 0.000	0.000 S

#### FRAMED OPENINGS:

Width	Height	Sill Ht	Jamb	Header/Sill	Bay Distance
10'0	10'0	N/A	8X3.5C14	8X2.5C16	2 2'6 
10'0	10'0	N/A	8X3.5C14	8X2.5C16	1 3'6

COLUMNS ----- ( 0.000" Flush columns )

Col #	Dist. from left	Description Member Size Ident.	Base Elev (ft)	Base plate design information Thickness & rods
1-B	16.000'	W10X12 50.0 ksi	0.0000'	0.375" BP thk w/( 4)-0.625" A36

#### ENDWALL COLUMN TO BRIDGE CHANNEL CONNECTIONS:

STRUT-TO-COLUMN CLIP Column extension inside  
COL. NO. ENDWALL PLANE 1  
-----  
PLANE SWC:  
1-B AT PEAK, TYPE 3 CONN., (4)-1/2" A325N  
CF Brdg Channel (0.3750") (4)-3/4" A325N  
W8X10 COLUMN EXTENSION w/ 12.000 " LAP LENGTH;  
8X2.5C12 BRIDGE CHANNEL  
PLANE SWA:

Star Building Systems, OKC, OK

Design Summary Program

Design Summary Report

User: LXVega

Version: 8.07.2

Job Number: 48260A

run01 Date: 01/15/20

Start Time: 08:31:29

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Endwall Plane EWD Design ..... BEARING FRAME

R:\jobs\Active\Eng\17-B-48260\ver01-lxvega\BLDG-A\run01\AwalleEWD\_01.edf

Panel ..... PBR  
Panel Width ..... 36 in  
Panel Gage ..... 26 ga

RAFTERS -----

Mem #	Description Member Size Identification	Length (ft)	Start (ft)	End (ft)
1	W8X10 50.0 ksi	15.268	0.000	15.268
Connections... Left : Type-IV SEP 6.000" X 3/8" (2)-1/2" A325N Bolts				
Right: Type-III SEP 6.000" X 3/8" (4)-1/2" A325N Bolts				
2	W8X10 50.0 ksi	15.268	15.268	30.537
Connections... Left : Type-III SEP 6.000" X 3/8" (4)-1/2" A325N Bolts				
Right: Type-IV SEP 6.000" X 3/8" (2)-1/2" A325N Bolts				

Flange Braces at following purlins (horizontal distance from eave) :

PLANE SWA: None


PLANE SWC: None

Girts ..... 55.0 ksi Yield Strength

Girts Spacings : 7'6 4'6

Bay #	Elev. (ft-in)	Length (ft)	Member Size Identification	Brace Locations	L Lap Exten	R Lap Exten
1	7'6	15.312	8X2.5Z16	None	S 0.000	0.000 S
2	7'6	15.312	8X2.5Z16	None	S 0.000	0.000 S
1	12'0	15.312	8X2.5Z16	None	S 0.000	0.000 S
2	12'0	15.312	8X2.5Z16	None	S 0.000	0.000 S

FRAMED OPENINGS:

Width	Height	Sill Ht	Jamb	Header/Sill	Bay Distance
10'0	10'0	N/A	8X3.5C14	8X2.5C16	1 3'6 

Star Building Systems, OKC, OK  
 Design Summary Program  
 Design Summary Report

User: LXVega Job Number: 48260A  
 Version: 8.07.2 run01 Date: 01/15/20  
 Start Time: 08:31:29

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Cont. EWD  
 COLUMNS ----- ( 0.000" Flush columns )

Col #	Dist. from left	Description Member Size Ident.	Base Elev (ft)	Base plate design information Thickness & rods
3-A	0.000'	W8X10 50.0 ksi	0.0000'	0.375" BP thk w/( 4)-0.625" A36
3-B	16.000'	W8X10 50.0 ksi	0.0000'	0.375" BP thk w/( 4)-0.625" A36
3-C	32.000'	W8X10 50.0 ksi	0.0000'	0.375" BP thk w/( 4)-0.625" A36

ENDWALL COLUMN TO BRIDGE CHANNEL CONNECTIONS:

COL. NO.	STRUT-TO-COLUMN CLIP	Column extension inside
ENDWALL PLANE 3		
PLANE SWA:		
3-B	AT PEAK, TYPE 3 CONN., (4)-1/2" A325N	
	CF Brdg Channel (0.3750") (4)-3/4" A325N	
	W8X10 COLUMN EXTENSION w/ 12.000 " LAP LENGTH;	
	8X2.5C12 BRIDGE CHANNEL	
PLANE SWC:		

FRAMES	Type	Span	Live	Wind	Eave	Trib	Grid Labels
	CS	32.000	20.00/110.00	14.00/	19.67	2	
	CS	32.000	20.00/110.00	14.00/	10.17	1	

Note: Use square anchor rod layout.

Eds2Xds

User: lxvega

Job Number: 17-B-48260

Fairview

Date: 01/15/2020 08:42:49 AM

Relative path: \\HOUNA04\TS\jobs\Active\Eng\17-B-48260

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Building: BLDG-A

CDS file name: 17-B-48260\_BLDG-A\_Eds2Xds.cds

Planes

Name	File
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EWD	\\ver01-lxvega\BLDG-A\run01\AwallEWD 01.edf
SWC	\\ver01-lxvega\BLDG-A\run01\AwallSWC 01.edf
EWB	\\ver01-lxvega\BLDG-A\run01\AwallEWB 01.edf
RPA	\\ver01-lxvega\BLDG-A\run01\AroofRPA 01.edf
RPC	\\ver01-lxvega\BLDG-A\run01\AroofRPC 01.edf

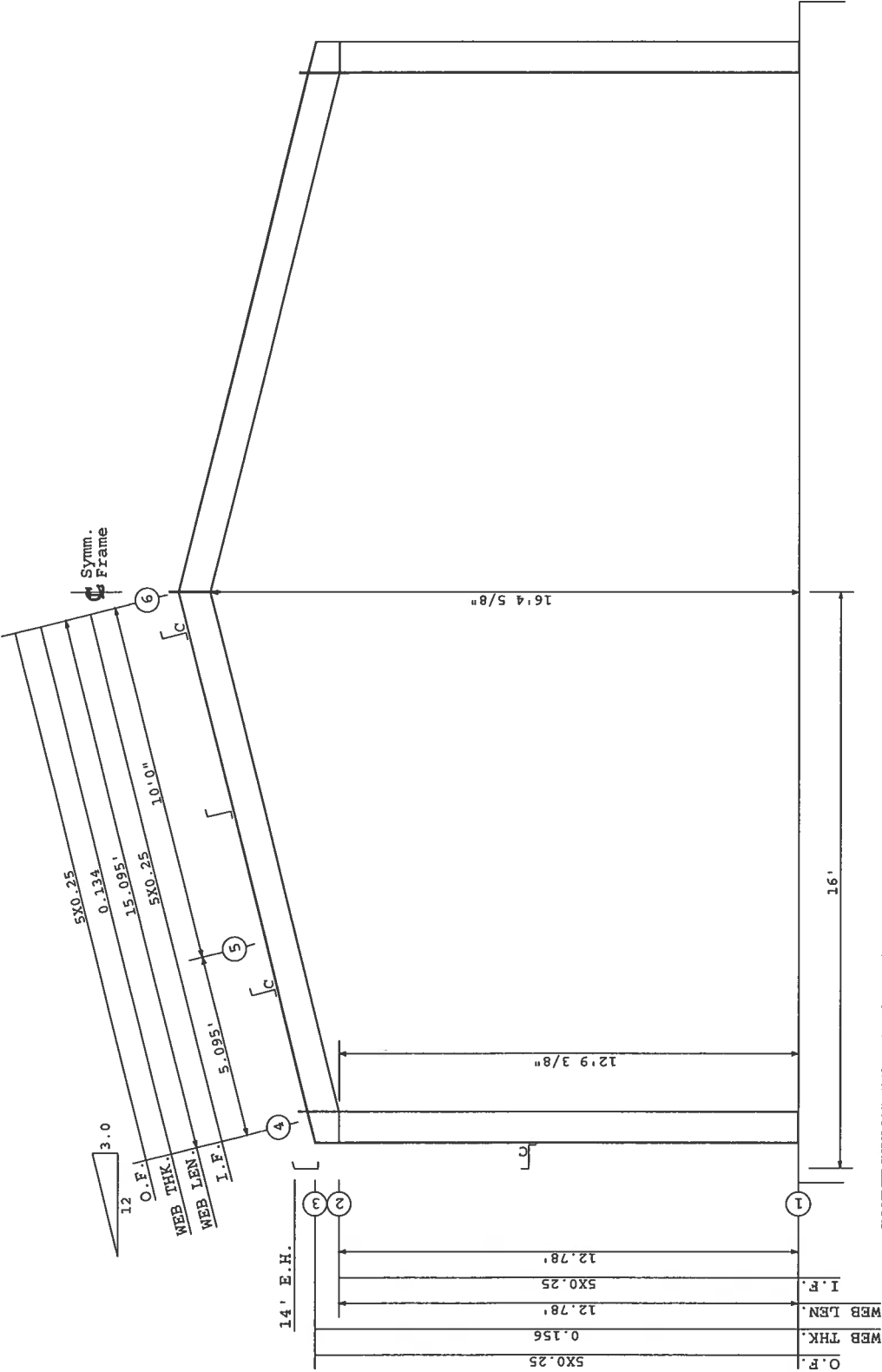
Frames

Frame Line	Left Frame	Left File	Right Frame	Right File
1	C	\\ver01-lxvega\BLDG-A\DRFTG\x01L	C	\\ver01-lxvega\BLDG-A\DRFTG\x01L
2	C	\\ver01-lxvega\BLDG-A\DRFTG\x01L	C	\\ver01-lxvega\BLDG-A\DRFTG\x01L

Portal Frames

Plane Name	Bay	Frame	File
------------	-----	-------	------





CONNECTION DETAILS : GRIDLINES \* = 1 2

Location	① *-C	②	③	④	⑤	⑥
Web Dep.	10.0	10.0	N/A	10.0	10.0	10.0
Type	BASE	HORZ STF	CAP (EXT)	2E/2E	SPLICE	2E/2E
Plate (DN)	6.0X0.375	2.25X0.25	5.0X0.25	6.0X0.375	N/A	6.0X0.375
Plate (UP)	N/A	N/A	N/A	6.0X0.375	N/A	6.0X0.375
Bolts	(4) - 3/4	N/A	N/A	(8) - 3/4	N/A	(8) - 3/4



## REACTIONS

**BUILDER: APEX METAL BUILDING SYSTEMS**

**CUSTOMER: TRAVIS TUTEN**

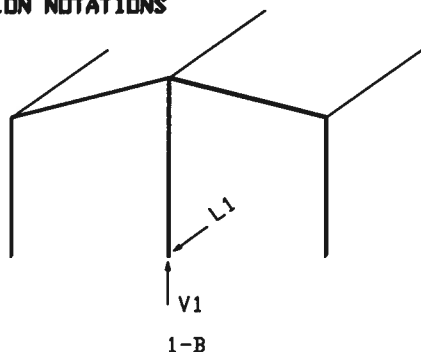
**JOB NUMBER: 17-B-48260**

### Notes

- 1) The reactions provided are based on the Order Documents at the time of mailing. Any changes to building loads or dimensions may change the reactions. The reactions will be superseded and voided by any future mailing.
- 2) The reactions provided have been created with the following layout (unless noted otherwise).
  - a) A reaction table is provided with the reactions for each load group.
  - b) Rigid Frames
    - (1) Gabled Buildings
      - (a) Left and Right columns are determined as if viewing the left side of the building, as shown on the anchor rod drawing, from the outside of the building.
      - (b) Interior columns are spaced from left side to right side.
    - (2) Single Slope Buildings
      - (a) Left column is the low side column.
      - (b) Right column is the high side column.
      - (c) Interior columns are spaced from low side to high side.
  - c) Endwalls
    - (1) Left and Right columns are determined as if viewing the wall from the outside.
    - (2) Interior columns are spaced from left to right.
  - d) Anchor rod size is determined by shear and tension at the bottom of the base plate. The length of the anchor rod and method of load transfer to the foundation are to be determined by the foundation engineer.
  - e) Anchor rods are ASTM F1554 Gr. 36 material unless noted otherwise on the anchor rod layout drawing.
  - f) X-Bracing
    - (1) Rod Bracing reactions have been included in values shown in the reaction tables.
    - (2) For IBC and UBC based building codes, when x-bracing is present in the sidewall, individual longitudinal seismic loads (RBUPEQ and RBDWEQ) do not include the amplification factor,  $\Omega_0$ .
    - (3) For IBC and UBC based building codes, when x-bracing is present in the endwall, individual transverse seismic loads (EQ) do not include the amplification factor,  $\Omega_0$ .
- 3) Reactions are provided as un-factored for each load group applied to the column. The foundation engineer will apply the appropriate load factors and combine the reactions in accordance with the building code and design specifications to determine bearing pressures and concrete design. The factors applied to load groups for the steel column design may be different than the factors used in the foundation design.
  - a) For projects using ultimate design wind speeds such as 2012 IBC, 2015 IBC, or Florida building code, the wind load reactions are at a **strength** value with a load factor of 1.0.
  - b) For IBC codes, the seismic reactions provided are at a **strength** level and do not contain the rho factor.
  - c) For NBCC codes, the seismic reactions provided do not contain the  $R_d \cdot R_o$  factor.

*The manufacturer does not provide "maximum" load combination reactions. However, the individual load reactions provided may be used by the foundation engineer to determine the applicable load combinations for his/her design procedures and allow for an economical foundation design.*

### REACTION NOTATIONS



### LOAD GROUP REACTION TABLE

COLUMN	1-B		
	H1	V1	L1
D	0.	0.2	0.
W+	0.	0.	3.3
W-	0.	0.	-3.6

### LOAD GROUP DESCRIPTION

D : DEAD LOAD  
 W+ : WIND LOAD AS AN INWARD ACTING PRESSURE  
 W- : WIND LOAD AS AN OUTWARD ACTING SUCTION

**SUPPORT REACTIONS FOR EACH LOAD GROUP**

\*LOCATION: Gridlines: 1 2

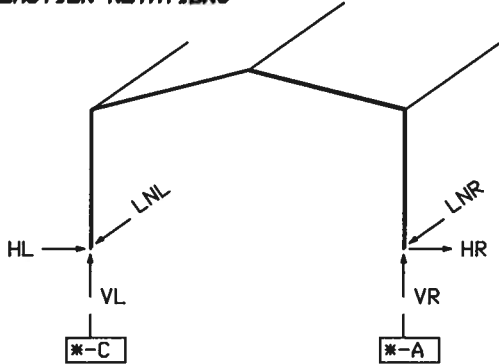
NOTES: (1) All reactions are in kips and kip-ft.

(2) Primary wind load cases are not concurrent.

(3) X-bracing reactions (RBPULW and RBUPEQ) are combined withLWL and LEQ groups only.

TIME: 08:38:26

**REACTION NOTATIONS**



**LOAD GROUP REACTION TABLE GRIDLINES \* = 1 2**

COLUMN	*-C			*-A		
LOAD GROUP	HL	VL	LNL	HR	VR	LNR
DL	0.3	1.2	0.0	-0.3	1.2	0.0
LL	1.2	4.7	0.0	-1.2	4.7	0.0
COLL	0.1	0.2	0.0	-0.1	0.2	0.0
WL1	-2.9	-9.6	0.0	-2.0	-6.6	0.0
WL2	-4.4	-1.6	0.0	-0.5	1.4	0.0
WL3	2.0	-6.6	0.0	2.9	-9.6	0.0
WL4	0.5	1.4	0.0	4.4	-1.6	0.0
LWL1	1.5	-8.2	0.0	-1.0	-7.5	0.0
RBUPLW	0.0	-1.2	-1.7	-0.0	-1.2	-1.7
LWL2	1.0	-7.5	0.0	-1.5	-8.2	0.0
LWL3	0.0	-0.2	0.0	0.6	0.5	0.0
LWL4	-0.6	0.5	0.0	-0.0	-0.2	0.0
RBDWLW	-0.0	1.2	0.0	0.0	1.2	0.0

**LOAD GROUP DESCRIPTION**

- DL : Roof Dead Load
- LL : Roof Live Load
- COLL : Roof Collateral Load
- WL1 : Wind from Left to Right with +GCp1
- WL2 : Wind from Left to Right with -GCp1
- WL3 : Wind from Right to Left with +GCp1
- WL4 : Wind from Right to Left with -GCp1
- LWL1 : Windward Corner Left with +GCp1
- RBUPLW : Upward Acting Rod Brace Load from Long. Wind
- LWL2 : Windward Corner Right with +GCp1
- LWL3 : Windward Corner Left with -GCp1
- LWL4 : Windward Corner Right with -GCp1
- RBDWLW : Downward Acting Rod Brace Load from Long. Wind

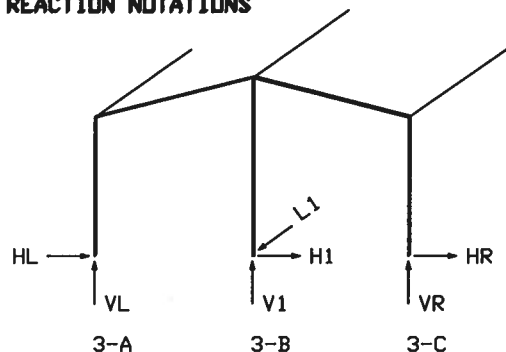
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Endwall EWD  
PATH: R:\Jobs\Active\Eng\17-B-48260\ver01-lxvega\BLDG-A\run01\

USER NAME: LXVega DATE: 1/15/20 PAGE: EW-2  
JOB NAME: 48260A FILE: REW4BLDG1

SUPPORT REACTIONS FOR EACH LOAD GROUP  
NOTE: All reactions are in kips and kip-ft.

TIME: 08:31:27

# REACTION NOTATIONS

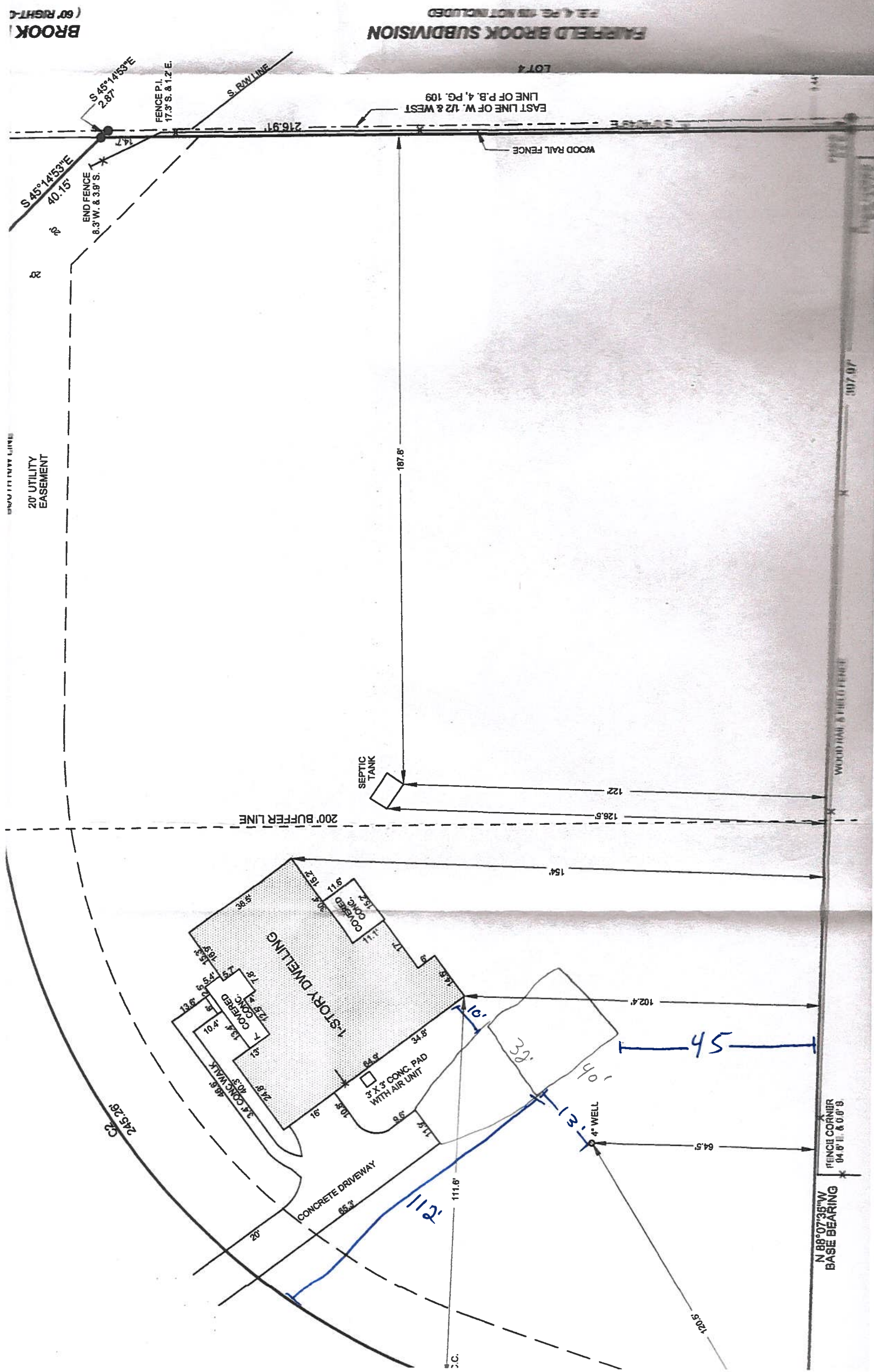


# LOAD GROUP REACTION TABLE

COLUMN	3-A			3-B			3-C		
LOAD GROUP	HL	VL	LL	H1	V1	L1	HR	VR	LR
D	0.0	0.4	0.	0.	0.7	0.	0.0	0.4	0.
C	0.0	0.0	0.	0.	0.1	0.	0.0	0.0	0.
L	0.0	1.7	0.	0.	3.0	0.0	0.0	1.7	0.
W+	-0.1	-2.9	0.	0.	-4.9	3.3	0.1	-2.9	0.
W-	-0.1	-2.9	0.	0.	-4.9	-3.6	0.1	-2.9	0.
WR	-0.1	-2.9	0.	0.	-3.6	0.0	1.3	-4.2	0.
WL	-0.1	-2.9	0.	-1.2	-6.0	0.0	0.1	-1.8	0.

# LOAD GROUP DESCRIPTION

D : DEAD LOAD  
C : COLLATERAL LOAD  
L : LIVE LOAD  
W+ : WIND LOAD AS AN INWARD ACTING PRESSURE  
W- : WIND LOAD AS AN OUTWARD ACTING SUCTION  
WR : WIND FORCE FROM THE RIGHT  
WL : WIND FORCE FROM THE LEFT





## GENERAL NOTES

THE LOADS SPECIFIED HERE ARE FOR DESIGN OF THE FOUNDATION ONLY. REACTIONS SUPPLIED BY THE METAL BUILDING PROVIDER ARE USED FOR THE FOUNDATION DESIGN IN LIEU OF THE ASSUMED DESIGN LOADS WHEN SUPPLIED.

FLORIDA INTERNATIONAL BUILDING CODE 2017

### RISK CATEGORY I

**SLAB ON GRADE = 100 PSF**

SEISMIC DESIGN CATEGORY = N/A

SEISMIC SITE CLASSIFICATION = D

IMPORTANCE FACTOR: WIND = 1.0

SEISMIC = 1.0

**SNOW = 1.0**

**SNOW = 1.0**

1. ASSUMED SOIL BEARING CAPACITY = 1500 P.S.F. ON FIRM, UNDISTURBED SOIL OR COMPACTED FILL MATERIAL. ALL CONCRETE FOOTINGS SHOULD EXTEND BELOW THE FROST LINE PER LOCAL BUILDING CODE.
2. FILL MATERIAL SHALL BE FREE OF ROOTS, WOOD, AND OTHER ORGANIC MATERIAL. MATERIALS USED FOR FILL BELOW FOOTINGS AND WITHIN BUILDING LIMITS SHALL BE TESTED AND APPROVED FOR USE BY AN APPROVED TESTING AGENCY.
3. FILL SHALL BE PLACED IN LIFTS NO GREATER THAN 8 INCHES AND COMPACTED TO 95 PERCENT OF THE OPTIMUM DENSITY AS DEFINED BY ASTM D-698.
4. PROOFORMING SHALL BE CONDUCTED FOR BUILDING SUBGRADE USING A FULLY LOADED DUMP TRUCK. PROOFORMING SHALL BE CONDUCTED FOLLOWING A SUITABLE PERIOD OF DRY WEATHER TO AVOID DEGRADING ON OTHERWISE ACCEPTABLE SUBGRADE.
5. UTILITY LINES SHALL NOT BE PLACED THROUGH BUILDING FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.

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5. UTILITY LINES SHALL NOT BE PLACED THROUGH BUILDING FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL.

1. ALL CONCRETE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE \*ACI 318-14\*.
2. ALL CONCRETE SHALL HAVE ASTM C-33 AGGREGATE WITH MAXIMUM UNIT WEIGHT OF 150 PCF. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI AT 28 DAYS, MIN.

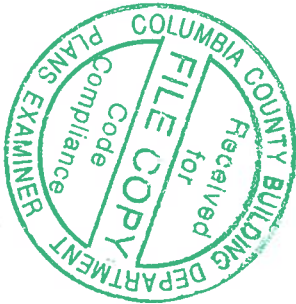
1. ALL CONCRETE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE \*ACI 318-14\*.
2. ALL CONCRETE SHALL HAVE ASTM C-33 AGGREGATE WITH MAXIMUM UNIT WEIGHT OF 150 PCF. CONCRETE COMPRESSIVE STRENGTH SHALL BE 3,000 PSI AT 28 DAYS, MIN.

1. REINFORCING STEEL SHALL BE BILLET STEEL, DEFORMED BARS CONFORMING TO ASTM A-615, GRADE 60.
2. CONCRETE COVERAGE OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE FOLLOWING SCHEDULE UNLESS NOTED OTHERWISE:
  - A. FOOTING AND GRADE BEAMS 3 INCHES
  - B. SLABS ON GRADE 2 INCHES
3. REINFORCING STEEL SHALL BE LAPPED USING THE FOLLOWING SCHEDULE:

NO. 4 = 25"	NO. 5 = 31"	NO. 6 = 37"
-------------	-------------	-------------

1. FINISHED FLOOR ELEVATION IS AT 100'-0" UNLESS NOTED OTHERWISE.
2. SLAB ON GRADE IS 4 INCH NORMAL WEIGHT CONCRETE WITH 6"x6" W1.4xW1.4 WELDED WIRE FABRIC \*OR FIBER REINFORCEMENT\* ON 6 MIL VAPOR BARRIER AND 4" GRANULAR BASE.
3. CONTROL JOINTS IN CONCRETE SLABS SHALL BE SAWCUT. CONSTRUCTION JOINTS SHALL BE FORMED WITH KEVED METAL EDGE FORM MATERIAL OR EQUIVALENT.
4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL NATIONAL, STATE, AND LOCAL CODES AND REGULATIONS.
5. ALL DIMENSIONS SHOULD BE READ OR CALCULATED, NOT SCALED.
6. REFER TO METAL BUILDING DRAWINGS FOR SPECIFIC DETAILS AND INFORMATION.

STRUCTURAL ABBREVIATIONS	
AR	ANCHOR ROD
ADDL	ADDITIONAL
AFF	ABOVE FINISHED FLOOR
CIP	CAST IN PLACE
SJ	CONTROL JOINT
CJ	CONSTRUCTION JOINT
CLR	CLEAR
COL	COLUMN
EXP	EXPANSION
EXP JT	EXPANSION JOINT
FD	FLOOR DRAIN
FDN	FOUNDATION
FFE	FINISHED FLOOR ELEVATION
MFG	MANUFACTURING
MIN	MINIMUM
MTL	METAL
OH	OVERHEAD/OVERHANG
PL	PLATE
TFE	TOP OF FOOTING ELEVATION
TP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
WVF	WELDED WIRE FABRIC

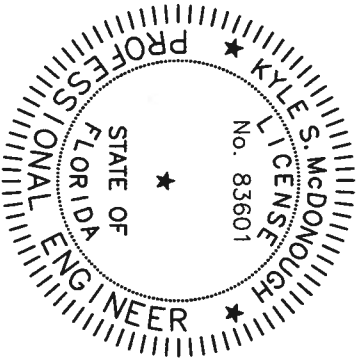


boy kyle

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boy kyle



KYLE S. McDONOUGH, PE AND METAL BUILDING ENGINEERING, LLC ARE NOT THE ENGINEER OF RECORD ON THIS PROJECT. THE ENGINEER OF RECORD IS RESPONSIBLE FOR SPECIAL INSPECTIONS AS REQUIRED BY BUILDING CODE REQUIREMENTS AND DESIGN CRITERIA. NOTIFY METAL BUILDING ENGINEERING, LLC IF DESIGN CRITERIA SPECIFIED HERE REQUIRES MODIFICATION.

FOUNDATION ENGINEER:  
KYLE MCDONOUGH, PE  
METAL BUILDING ENGINEERING, LLC  
LEXINGTON, SC 29073

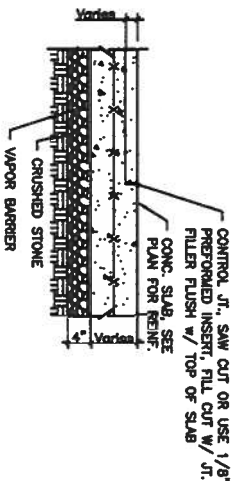
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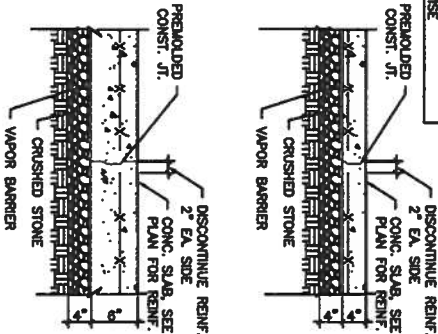
NOTE:  
(1) SEE FOUNDATION PLAN FOR  
CL LOCATIONS  
(2) SAW CUT JT. WITHIN 12  
HOURS OF POURING CONC.

NOTE:	SLAB DEPTH	CONTROL JOINT DEPTH
	4"	1.5"
	6"	2"
	8"	

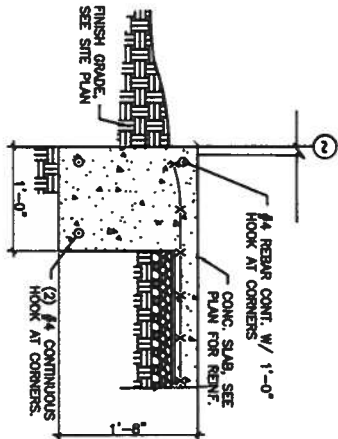


1 CONTROL JOINT DETAIL

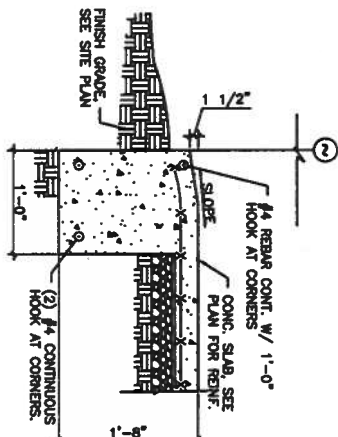
NOTE: CONSTRUCTION JOINTS  
MAY BE USED @ CONTROL  
JOINT LOCATIONS ONLY, UNLESS  
NOTED OTHERWISE



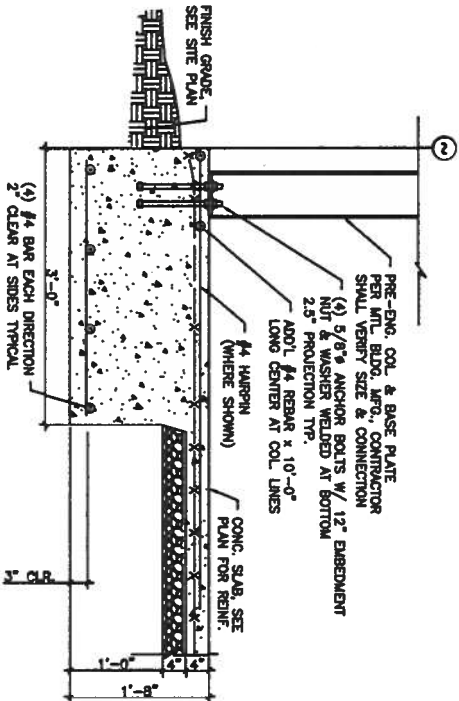
2 CONSTRUCTION JOINT DETAIL



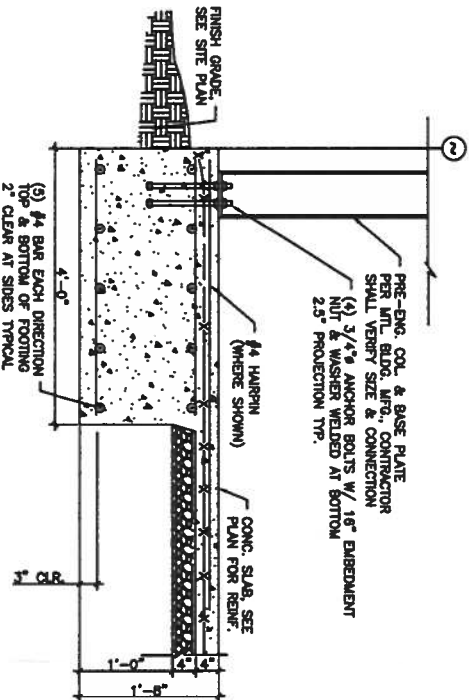
3 PERIMETER DETAIL



4 DETAIL @ EXTERIOR DOOR



5 36"x36"x20"D FOOTING



6 48"x48"x20"D FOOTING

REVISIONS				CUSTOMER TRAVIS TUTEN				APEX METAL BUILDINGS			
NO.	DATE	DESCRIPTION	BY	CHKD	ADDRESS			LINE OAK, FL 32406			
A	1/28/20	FOR CONSTRUCTION	IN	IN							
					OWNER OR PROJECT	TRAVIS TUTEN					
					JOB SITE						
					LOCATION						
					LINE CITY, FL 32954						
					CAD BY	CHKD BY	DATE	SCALE	JOB NO.	SHEET NO.	
					IN	IN	1/28/20	N.T.S.	20-041	53	

Digitally signed by  
Kyle McDonough  
Date: 2020.01.28  
13:59:47 -05'00'

STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
KYLE S. McDONOUGH  
No. 83601  
LICENSE