

# PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

**For Office Use Only** (Revised 7-1-15)      Zoning Official SN      Building Official WMA  
 AP# 1807-67      Date Received 7-19-18      By LM      Permit # 37124  
 Flood Zone X      Development Permit \_\_\_\_\_      Zoning A3      Land Use Plan Map Category A  
 Comments Special Family Lot #1808

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FEMA Map# \_\_\_\_\_      Elevation \_\_\_\_\_      Finished Floor 1' above road      River \_\_\_\_\_      In Floodway \_\_\_\_\_  
☒ Recorded Deed or ☒ Property Appraiser PO      ☒ Site Plan      ☒ BH # 18-0662      ☐ Well letter OR  
☒ Existing well      ☐ Land Owner Affidavit      ☐ Installer Authorization      ☐ FW Comp. letter      ☒ App Fee Paid  
☐ DOT Approval      ☐ Parent Parcel # \_\_\_\_\_      ☐ STUP-MH \_\_\_\_\_      ☒ 911 App  
☐ Ellisville Water Sys      ☒ Assessment paid      ☐ Out County      ☐ In County      ☒ Sub VF Form

Property ID # 33-45-16-03265-008      Subdivision \_\_\_\_\_      Lot# \_\_\_\_\_

- New Mobile Home ☒      Used Mobile Home \_\_\_\_\_      MH Size 32000      Year 2018
- Applicant William "Bo" Royals      Phone # 754-6737
- Address 4068 US Hwy 90 West Lake City, FL 32055
- Name of Property Owner Cliff & Leslie Boone      Phone# (386) 984-0468
- 911 Address 420 SW Sean Pl. Lake City, FL 32024
- Circle the correct power company -      FL Power & Light      -      Clay Electric  
 (Circle One) -      Suwannee Valley Electric      -      Duke Energy
- Name of Owner of Mobile Home Cliff & Leslie Boone      Phone # (386) 984-0468  
 Address 420 SW Sean Pl. Lake City, FL 32024
- Relationship to Property Owner \_\_\_\_\_
- Current Number of Dwellings on Property (1) Replacement
- Lot Size \_\_\_\_\_      Total Acreage 1 acre
- Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)  
 (Currently using)      (Blue Road Sign)      (Putting in a Culvert)      (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes
- Driving Directions to the Property 47 South to King Rd. TR  
go to sharp left curve. At curve stay straight  
on Sean Pl. go to end.
- Name of Licensed Dealer/Installer William Eugene Royals      Phone # 754-6737
- Installers Address 4068 US Hwy 90 West Lake City, FL 32055
- License Number IH 1025179      Installation Decal # 227132

LM - spoke to Bo 8-13-18

\$375.00  
ok # 10164

# Mobile Home Permit Worksheet

Application Number: \_\_\_\_\_

Date: \_\_\_\_\_

Installer: William Eugene Royals License # IH1025179

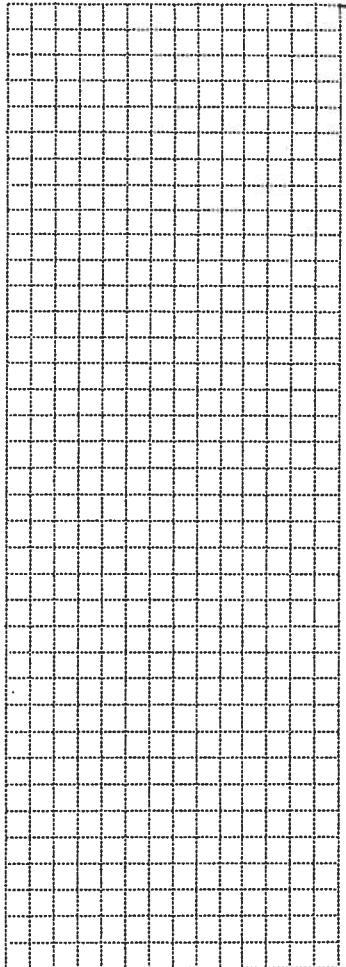
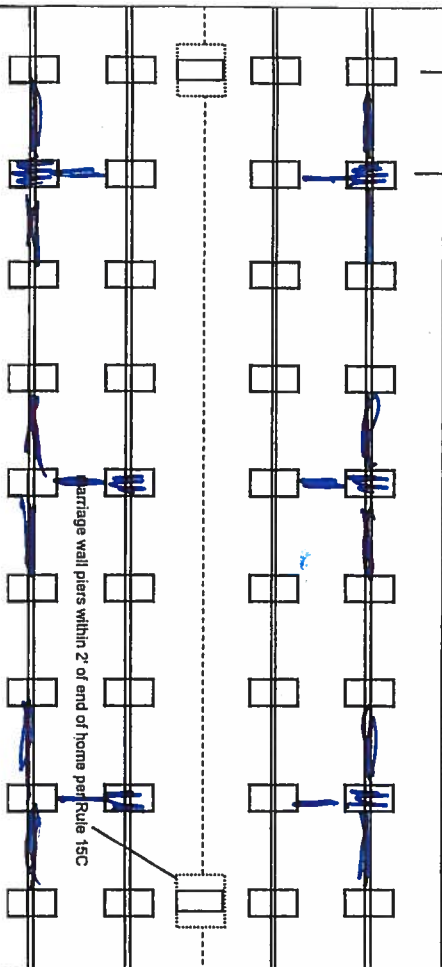
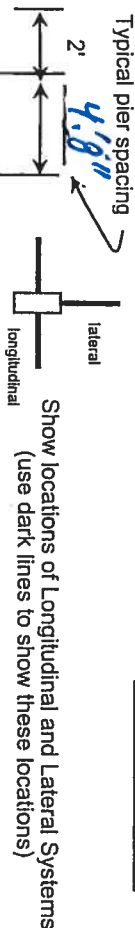
Address of home being installed: 480 SW Sean Place

Lake City, FL 32084

Manufacturer: Destiny Length x width: 32x60

NOTE: if home is a single wide fill out one half of the blocking plan  
if home is a triple or quad wide sketch in remainder of home  
I understand Lateral Arm Systems cannot be used on any home (new or used)  
where the sidewall ties exceed 5 ft 4 in.

Installer's initials: WJR



New Home ☒ Used Home ☐

Home installed to the Manufacturer's Installation Manual  
Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 227132

Triple/Quad ☐ Serial # DISH088406AAB

## PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (sq in)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 psf	3'	4'	4'	5'	6'	7'	8'
1500 psf	4' 6"	6'	7'	8'	8'	8'	8'
2000 psf	6'	8'	8'	8'	8'	8'	8'
2500 psf	7' 6"	8'	8'	8'	8'	8'	8'
3000 psf	8'	8'	8'	8'	8'	8'	8'
3500 psf	8'	8'	8'	8'	8'	8'	8'

\* Interpolated from Rule 15C-1 pier spacing table.

## PIER PAD SIZES

I-beam pier pad size: 17x25  
Perimeter pier pad size: 16x16

Other pier pad sizes (required by the mfg.): \_\_\_\_\_

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening: \_\_\_\_\_ Pier pad size: \_\_\_\_\_

See 1000 lbs Foundation Plan

## POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

## ANCHORS

4 ft 5 ft

## FRAME TIES

within 2' of end of home spaced at 5' 4" oc

## TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer: \_\_\_\_\_

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer: Active Tech

## OTHER TIES

Sidewall Longitudinal Marriage wall Shearwall

Number: 514

# Mobile Home Permit Worksheet

Application Number: \_\_\_\_\_

Date: \_\_\_\_\_

## POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to \_\_\_\_\_ psf or check here to declare 1000 lb. soil without testing.

X 1000 X 1600 X 1800

### POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 600 X 1000 X 1000

## TORQUE PROBE TEST

The results of the torque probe test is 300 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewalk locations. I understand 5 ft anchors are required at all centerline the points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Heck Installer's initials

## ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

William Eugene Royals

Date Tested

7/3/18

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. \_\_\_\_\_

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. \_\_\_\_\_

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. \_\_\_\_\_

## Site Preparation

Debris and organic material removed \_\_\_\_\_ Swale \_\_\_\_\_ Pad \_\_\_\_\_ Other \_\_\_\_\_

## Fastening multi wide units

Floor: Type Fastener: 6x4 Length: 6" Spacing: 24"  
Walls: Type Fastener: 3x2x1 Length: 6" Spacing: 24"  
Roof: Type Fastener: 6x6 Length: 6" Spacing: 24"

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

## Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

Type gasket Pg. \_\_\_\_\_

Installed: Between Floors Yes ✓  
Between Walls Yes ✓  
Bottom of ridgebeam Yes ✓

## Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg. \_\_\_\_\_  
Siding on units is installed to manufacturer's specifications. Yes  
Fireplace chimney installed so as not to allow intrusion of rain water. Yes N/A

## Miscellaneous

Skirting to be installed. Yes ✓ No \_\_\_\_\_  
Dryer vent installed outside of skirting. Yes ✓ N/A  
Range downflow vent installed outside of skirting. Yes ✓ N/A  
Drain lines supported at 4 foot intervals. Yes ✓  
Electrical crossovers protected. Yes ✓  
Other: \_\_\_\_\_

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and or Rule 15C-1 & 2

Installer Signature

William E. Royals Date \_\_\_\_\_

MAXIMUM SPAN BETWEEN PIERS UNDER I-BEAMS (FEET)	MAXIMUM CLEAR SPAN FOR MAIN LINE SUPPORTS (FEET)					
PAD SIZE (SQ. FT.)	PAD SIZE (SQ. FT.)					
SINGLE WIDE	DOUBLE WIDE					
16'x18.5"	2.00	3.90	2.97	3.77	3.57	3.05
17.5'x23.5"	3.00	4.95	4.45	5.65	5.06	4.38
21'x29"	4.00	6.61	5.93	7.54	6.75	6.10
23.25'x31.25"	4.80	7.93	7.12	9.05	8.09	7.32
25'x35"	5.00	8.48	7.64	9.85	8.89	8.12
27'x37"	5.20	8.93	8.09	10.30	9.35	8.58
29'x39"	5.40	9.38	8.54	10.75	9.80	9.03
31'x41"	5.60	9.83	8.99	11.20	10.25	9.48
33'x43"	5.80	10.28	9.44	11.65	10.70	9.93
35'x45"	6.00	10.73	9.89	12.10	11.15	10.38
37'x47"	6.20	11.18	10.34	12.55	11.60	10.83
39'x49"	6.40	11.63	10.79	13.00	12.05	11.28
41'x51"	6.60	12.08	11.24	13.45	12.50	11.73
43'x53"	6.80	12.53	11.69	13.90	12.95	12.18
45'x55"	7.00	12.98	12.14	14.35	13.40	12.63
47'x57"	7.20	13.43	12.59	14.80	13.85	13.08
49'x59"	7.40	13.88	13.04	15.25	14.30	13.53
51'x61"	7.60	14.33	13.49	15.70	14.75	13.98
53'x63"	7.80	14.78	13.94	16.15	15.20	14.43
55'x65"	8.00	15.23	14.39	16.60	15.65	14.88
57'x67"	8.20	15.68	14.84	17.05	16.10	15.33
59'x69"	8.40	16.13	15.29	17.50	16.55	15.78
61'x71"	8.60	16.58	15.74	17.95	17.00	16.23
63'x73"	8.80	17.03	16.19	18.40	17.45	16.68
65'x75"	9.00	17.48	16.64	18.85	17.90	17.13
67'x77"	9.20	17.93	17.09	19.30	18.35	17.58
69'x79"	9.40	18.38	17.54	19.75	18.80	18.03
71'x81"	9.60	18.83	17.99	20.20	19.25	18.48
73'x83"	9.80	19.28	18.44	20.65	19.70	18.93
75'x85"	10.00	19.73	18.89	21.10	20.15	19.38
77'x87"	10.20	20.18	19.34	21.55	20.60	19.83
79'x89"	10.40	20.63	19.79	22.00	21.05	20.28
81'x91"	10.60	21.08	20.24	22.45	21.50	20.73
83'x93"	10.80	21.53	20.69	22.90	21.95	21.18
85'x95"	11.00	21.98	21.14	23.35	22.40	21.63
87'x97"	11.20	22.43	21.59	23.80	22.85	22.08
89'x99"	11.40	22.88	22.04	24.25	23.30	22.53
91'x101"	11.60	23.33	22.49	24.70	23.75	22.98
93'x103"	11.80	23.78	22.94	25.15	24.20	23.43
95'x105"	12.00	24.23	23.39	25.60	24.65	23.88
97'x107"	12.20	24.68	23.84	26.05	25.10	24.33
99'x109"	12.40	25.13	24.29	26.50	25.55	24.78
101'x111"	12.60	25.58	24.74	26.95	26.00	25.23
103'x113"	12.80	26.03	25.19	27.40	26.45	25.68
105'x115"	13.00	26.48	25.64	27.85	26.90	26.13
107'x117"	13.20	26.93	26.09	28.30	27.35	26.58
109'x119"	13.40	27.38	26.54	28.75	27.80	27.03
111'x121"	13.60	27.83	26.99	29.20	28.25	27.48
113'x123"	13.80	28.28	27.44	29.65	28.70	27.93
115'x125"	14.00	28.73	27.89	30.10	29.15	28.38
117'x127"	14.20	29.18	28.34	30.55	29.60	28.83
119'x129"	14.40	29.63	28.79	31.00	30.05	29.28
121'x131"	14.60	30.08	29.24	31.45	30.50	29.73
123'x133"	14.80	30.53	29.69	31.90	30.95	30.18
125'x135"	15.00	30.98	30.14	32.35	31.40	30.63
127'x137"	15.20	31.43	30.59	32.80	31.85	31.08
129'x139"	15.40	31.88	31.04	33.25	32.30	31.53
131'x141"	15.60	32.33	31.49	33.70	32.75	31.98
133'x143"	15.80	32.78	31.94	34.15	33.20	32.43
135'x145"	16.00	33.23	32.39	34.60	33.65	32.88
137'x147"	16.20	33.68	32.84	35.05	34.10	33.33
139'x149"	16.40	34.13	33.29	35.50	34.55	33.78
141'x151"	16.60	34.58	33.74	35.95	35.00	34.23
143'x153"	16.80	35.03	34.19	36.40	35.45	34.68
145'x155"	17.00	35.48	34.64	36.85	35.90	35.13
147'x157"	17.20	35.93	35.09	37.30	36.35	35.58
149'x159"	17.40	36.38	35.54	37.75	36.80	36.03
151'x161"	17.60	36.83	35.99	38.20	37.25	36.48
153'x163"	17.80	37.28	36.44	38.65	37.70	36.93
155'x165"	18.00	37.73	36.89	39.10	38.15	37.38
157'x167"	18.20	38.18	37.34	39.55	38.60	37.83
159'x169"	18.40	38.63	37.79	40.00	39.05	38.28
161'x171"	18.60	39.08	38.24	40.45	39.50	38.73
163'x173"	18.80	39.53	38.69	40.90	39.95	39.18
165'x175"	19.00	39.98	39.14	41.35	40.40	39.63
167'x177"	19.20	40.43	39.59	41.80	40.85	40.08
169'x179"	19.40	40.88	40.04	42.25	41.30	40.53
171'x181"	19.60	41.33	40.49	42.70	41.75	40.98
173'x183"	19.80	41.78	40.94	43.15	42.20	41.43
175'x185"	20.00	42.23	41.39	43.60	42.65	41.88
177'x187"	20.20	42.68	41.84	44.05	43.10	42.33
179'x189"	20.40	43.13	42.29	44.50	43.55	42.78
181'x191"	20.60	43.58	42.74	44.95	44.00	43.23
183'x193"	20.80	44.03	43.19	45.40	44.45	43.68
185'x195"	21.00	44.48	43.64	45.85	44.90	44.13
187'x197"	21.20	44.93	44.09	46.30	45.35	44.58
189'x199"	21.40	45.38	44.54	46.75	45.80	45.03
191'x201"	21.60	45.83	44.99	47.20	46.25	45.48
193'x203"	21.80	46.28	45.44	47.65	46.70	45.93
195'x205"	22.00	46.73	45.89	48.10	47.15	46.38
197'x207"	22.20	47.18	46.34	48.55	47.60	46.83
199'x209"	22.40	47.63	46.79	49.00	48.05	47.28
201'x211"	22.60	48.08	47.24	49.45	48.50	47.73
203'x213"	22.80	48.53	47.69	49.90	48.95	48.18
205'x215"	23.00	48.98	48.14	50.35	49.40	48.63
207'x217"	23.20	49.43	48.59	50.80	49.85	49.08
209'x219"	23.40	49.88	49.04	51.25	50.30	49.53
211'x221"	23.60	50.33	49.49	51.70	50.75	49.98
213'x223"	23.80	50.78	49.94	52.15	51.20	50.43
215'x225"	24.00	51.23	50.39	52.60	51.65	50.88
217'x227"	24.20	51.68	50.84	53.05	52.10	51.33
219'x229"	24.40	52.13	51.29	53.50	52.55	51.78
221'x231"	24.60	52.58	51.74	53.95	53.00	52.23
223'x233"	24.80	53.03	52.19	54.40	53.45	52.68
225'x235"	25.00	53.48	52.64	54.85	53.90	53.13
227'x237"	25.20	53.93	53.09	55.30	54.35	53.58
229'x239"	25.40	54.38	53.54	55.75	54.80	54.03
231'x241"	25.60	54.83	53.99	56.20	55.25	54.48
233'x243"	25.80	55.28	54.44	56.65	55.70	54.93
235'x245"	26.00	55.73	54.89	57.10	56.15	55.38
237'x247"	26.20	56.18	55.34	57.55	56.60	55.83
239'x249"	26.40	56.63	55.79	58.00	57.05	56.28
241'x251"	26.60	57.08	56.24	58.45	57.50	56.73
243'x253"	26.80	57.53	56.69	58.90	57.95	57.18
245'x255"	27.00	57.98	57.14	59.35	58.40	57.63
247'x257"	27.20	58.43	57.59	59.80	58.85	58.08
249'x259"	27.40	58.88	58.04	60.25	59.30	58.53
251'x261"	27.60	59.33	58.49	60.70	59.75	58.98
253'x263"	27.80	59.78	58.94	61.15	60.20	59.43
255'x265"	28.00	60.23	59.39	61.60	60.65	59.88
257'x267"	28.20	60.68	59.84	62.05	61.10	60.33
259'x269"	28.40	61.13	60.29	62.50	61.55	60.78
261'x271"	28.60	61.58	60.74	62.95	62.00	61.23
263'x273"	28.80	62.03	61.19	63.40	62.45	61.68
265'x275"	29.00	62.48	61.64	63.85	62.90	62.13
267'x277"	29.20	62.93	62.09	64.30	63.35	62.58
269'x279"	29.40	63.38	62.54	64.75	63.80	63.03
271'x281"	29.60	63.83	62.99	65.20	64.25	63.48
273'x283"	29.80	64.28	63.44	65.65	64.70	63.93
275'x285"	30.00	64.73	63.89	66.10	65.15	64.38
277'x287"	30.20	65.18	64.34	66.55	65.60	64.83
279'x289"	30.40	65.63	64.79	67.00	66.05	65.28
281'x291"	30.60	66.08	65.24	67.45	66.50	65.73
283'x293"	30.80	66.53	65.69	67.90	66.95	66.18
285'x295"	31.00	66.98	66.14	68.35	67.40	66.63
287'x297"	31.20	67.43	66.59	68.80	67.85	67.08
289'x299"	31.40	67.88	67.04	69.25	68.30	67.53
291'x301"	31.60	68.33	67.49	69.70	68.75	67.98
293'x303"	31.80	68.78	67.94	70.15	69.20	68.43
295'x305"	32.00	69.23	68.39	70.60	69.65	68.88
297'x307"	32.20	69.68	68.84	71.05	70.10	69.33
299'x309"	32.40	70.13	69.29	71.50	70.55	69.78
301'x311"	32.60	70.58	69.74	71.95	71.00	70.23
303'x313"	32.80	71.03	70.19	72.40	71.45	70.68
305'x315"	33.00	71.48	70.64	72.85	71.90	71.13
307'x317"	33.20	71.93	71.09	73.30	72.35	71.58
309'x319"	33.40	72.38	71.54	73.75	72.80	72.03
311'x321"	33.60	72.83	71.99	74.20	73.25	72.48
313'x323"	33.80	73.28	72.44	74.65	73.70	72.93
315'x325"	34.00	73.73	72.89	75.10	74.15	73.38
317'x327"	34.20	74.18	73.34	75.55	74.60	73.83
319'x329"	34.40	74.63	73.79	76.00	75.05	74.28
321'x331"	34.60	75.08	74.24	76.45	75.50	74.73
323'x333"	34.80	75.53	74.69	76.90	75.95	75.18
325'x335"	35.00	75.98	75.14	77.35	76.40	75.63
327'x337"	35.20	76.43	75.59	77.80	76.85	76.08
329'x339"	35.40	76.88	76.04	78.25	77.30	76



**OLIVER TECHNOLOGIES, INC.**  
**FLORIDA INSTALLATION INSTRUCTIONS FOR THE**  
**MODEL 1101 "V" SERIES ALL STEEL FOUNDATION SYSTEM**  
**MODEL 1101"V" (STEPS 1-15)**  
**LONGITUDINAL ONLY: FOLLOW STEPS 1-9**  
**FOR ADDING LATERAL ARM : Follow Steps 10-15**  
**FOR CONCRETE APPLICATIONS: Follow Steps 16-19**

ENGINEERS STAMP

ENGINEERS STAMP

1. SPECIAL CIRCUMSTANCES: If the following conditions occur - **STOP! Contact Oliver Technologies at 1-800-284-7437 :**  
a) Pier height exceeds 48"    b) Length of home exceeds 76' c) Roof eaves exceed 16" d) Sidewall height exceed 96"  
e) Location is within 1500 feet of coast

**INSTALLATION OF GROUND PAN**

2. Remove weeds and debris in an approximate two foot square to expose firm soil for each ground pan (C) .  
3. Place ground pan (C) directly below chassis I-beam . Press or drive pan firmly into soil until flush with or below soil.  
**SPECIAL NOTE:** The longitudinal "V" brace system serves as a pier under the home and should be loaded as any other pier. It is recommended that after leveling piers, and one-third inch (1/3") before home is lowered completely on to piers, complete steps 4 through 9 below then remove jacks.

**INSTALLATION OF LONGITUDINAL "V" BRACE SYSTEM**

**NOTE: WHEN INSTALLING THE LONGITUDINAL SYSTEM ONLY, A MINIMUM OF 2 SYSTEMS PER FLOOR SECTION IS REQUIRED. SOIL TEST PROBE SHOULD BE USED TO DETERMINE CORRECT TYPE OF ANCHOR PER SOIL CLASSIFICATION. IF PROBE TEST READINGS ARE BETWEEN 175 & 275 A 5 FOOT ANCHOR MUST BE USED. IF PROBE TEST READINGS ARE BETWEEN 276 & 350 A 4 FOOT ANCHOR MAY BE USED. USE GROUND ANCHORS WITH DIAGONAL TIES AND STABILIZER PLATES EVERY 5'4" . VERTICAL TIES ARE ALSO REQUIRED ON HOMES SUPPLIED WITH VERTICAL TIE CONNECTION POINTS (PER FLORIDA REG.) .**

4. Select the correct square tube brace (E) length for set - up (pier) height at support location. (The 18" tube is always used as the bottom part of the longitudinal arm). Note: Either tube can be used by itself, cut and drilled to length as long as a 40 to 45 degree angle is maintained.

PIER HEIGHT  
(Approx. 45 degrees Max.)

1.25" ADJUSTABLE  
Tube Length

1.50" ADJUSTABLE  
Tube Length

7 3/4" to 25"	22"	18"
24 3/4" to 32 1/4"	32"	18"
33" to 41"	44"	18"
40" to 48"	54"	18"

5. Install (2) of the 1.50" square tubes (E {18" tube} ) into the "U" bracket (J), insert carriage bolt and leave nut loose for final adjustment.  
6. Place I-beam connector (F) loosely on the bottom flange of the I-beam.  
7. Slide the selected 1.25" tube (E) into a 1.50" tube (E) and attach to I-beam connectors (F) and fasten loosely with bolt and nut.  
8. Repeat steps 6 through 7 to create the "V" pattern of the square tubes loosely in place. The angle is not to exceed 45 degree and not below 40 degrees.  
9. After all bolts are tightened, secure 1.25" and 1.50" tubes using four(4) 1/4"-14 x 3/4" self-tapping screws in pre-drilled holes.

**INSTALLATION OF LATERAL TELESCOPING TRANSVERSE ARM SYSTEM**

**THE MODEL 1101 "V" (LONGITUDINAL & LATERAL PROTECTION) ELIMINATES THE NEED FOR MOST STABILIZER PLATES & FRAME TIES.**

**NOTE: THE USE OF THIS SYSTEM REQUIRES VERTICAL TIES SPACED AT 5'4".**

**FOUR FOOT (4') GROUND ANCHOR MAY BE USED EXCEPT WHERE THE HOME MANUFACTURER SPECIFIES DIFFERENT.**

10. Install remaining vertical tie-down straps and 4' ground anchors per home manufacturer's instructions. **NOTE:** Centerline anchors to be sized according to soil torque condition. Any manufacturer's specifications for sidewall anchor loads in excess of 4,000 lbs. require a 5' anchor per Florida Code.  
11. **NOTE:** Each system is required to have a frame tie and stabilizer attached at each lateral arm stabilizing location. This frame tie & stabilizer plate needs to be located within 18" from of center ground pan.  
12. Select the correct square tube brace (H) length for set-up lateral transverse at support location. The lengths come in either 60" or 72" lengths. (With the 1.50" tube as the bottom tube, and the 1.25" tube as the inserted tube.)  
13. Install the 1.50 transverse brace (H) to the ground pan connector (D) with bolt and nut.  
14. Slide 1.25" transverse brace into the 1.50" brace and attach to adjacent I-beam connector ( I ) with bolt and nut.  
15. Secure 1.50" transverse arm to 1.25" transverse arm using four (4) 1/4" - 14 x 3/4" self-tapping screws in pre-drilled holes.



**OLIVER TECHNOLOGIES, INC.**  
**1-800-284-7437**

Telephone 931-796-4555  
Fax: 931-796-8811  
www.olivertechnologies.com

# **INSTALLATION USING CONCRETE RUNNER / FOOTER**

16. A concrete runner, footer or slab may be used in place of the steel ground pan.

- The concrete shall be minimum 2500 psi mix
- A concrete runner may be either longitudinal or transverse, and must be a minimum of 8" deep with a minimum width of 16 inches longitudinally or 18 inches transverse to allow proper distance between the concrete bolt and the edge of the concrete (see below).
- Footers must have minimum surface area of 441 sq. in. (i.e. 21" square), and must be a minimum of 8" deep.
- If a full slab is used, the depth must be a 4" minimum at system bracket location, all other specifications must be per local jurisdiction. Special inspection of the system bracket installation is not required. Footers must allow for at least 4" from the concrete bolt to the edge of the concrete.

**NOTE: The bottom of all footings, pads, slabs and runners must be per local jurisdiction.**

**LONGITUDINAL: (Model 1101 LC "V")**

17. When using Part # 1101-W-CPCA (wetset), simply install the bracket in runner/footer **OR** When installing in cured concrete use Part # 101-D-CPCA (dryset). The 1101 (dryset) CA bracket is attached to the concrete using (2) 5/8"x3" concrete wedge bolts (Simpson part # S162300H 5/8" X 3" or Powers equivalent). Place the CA bracket in desired location. Mark bolt hole locations, then using a 5/8" diameter masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the holes. Place wedge bolts into drilled holes, then place 1101 (dry set) CA bracket onto wedge bolts and start wedge bolt nuts. Take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt). The sleeve of concrete wedge bolt needs to be at or below the top of concrete. Complete by tightening nuts.

**LATERAL: (Model 1101 TC "V")**

18. For wet set (part # 1101-W-TACA) installation simply install the anchor bolt into runner/footer. For dry set installation (part # 1101-D-TACA) mark bolt hole locations, then using a 5/8" diam. masonry bit, drill a hole to a minimum depth of 3". Make sure all dust and concrete is blown out of the hole. Place wedge bolts (Simpson part #S162300H 5/8" X 3" or Powers equivalent) into (D) concrete dry transverse connector and into drilled hole. If needed, take a hammer and lightly drive the wedge bolts down by hitting the nut (making sure not to hit the top of threads on bolt), then remove the nut. The sleeve of concrete wedge bolt needs to be at or below the top of concrete.

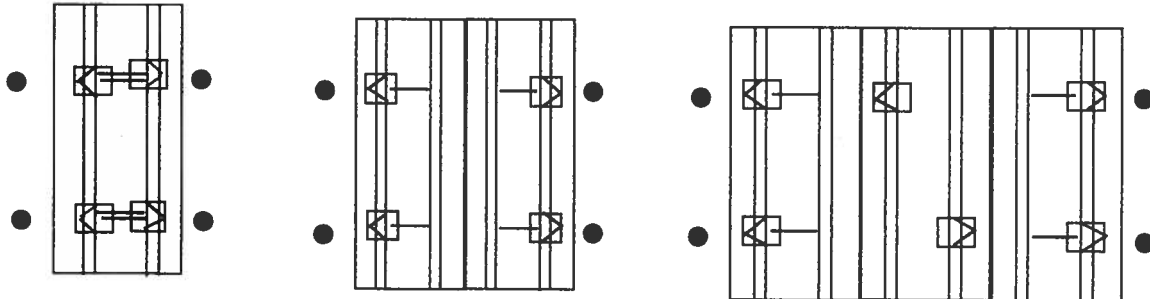
19. When using part # 1101 CVW (wetset) or 1101 CVD (dryset), install per steps 17 & 18.

## **Notes:**

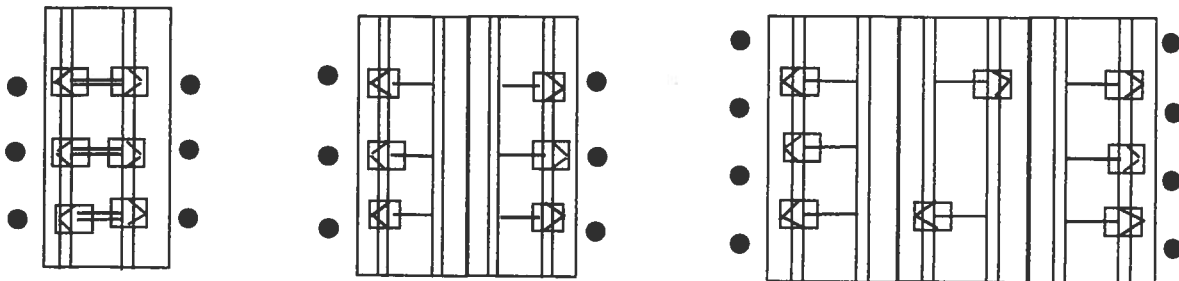
- LENGTH OF HOUSE IS THE ACTUAL BOX SIZE
- = STABILIZER PLATE AND FRAME TIE LOCATION (needs to be located within 18 inches of center of ground pan or concrete)
- ☐ = LOCATION OF LONGITUDINAL BRACING ONLY
- ☐ = TRANSVERSE & LONGITUDINAL LOCATIONS

## **REQUIRED NUMBER AND LOCATION OF MODEL 1101 "V" OR 1101 C "V" BRACES FOR UP TO 4/12 ROOF PITCH**

ALL WIDTHS; AND LENGTHS UP TO 52'



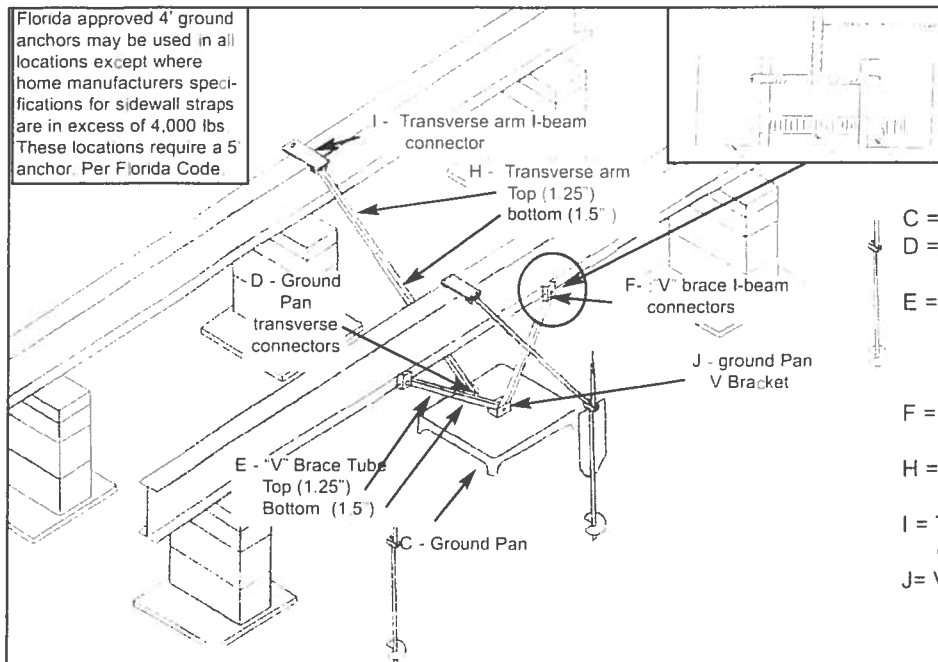
ALL WIDTHS; AND LENGTHS OVER 52' TO 80'



**HOMES WITH 5/12 ROOF PITCH REQUIRE: PER FLORIDA REGULATIONS**

6 systems for home lengths up to 52' and 8 systems for homes over 52' and up 80'. One stabilizer plate and frame tie required at each lateral bracing system.

Florida approved 4" ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5" anchor. Per Florida Code.

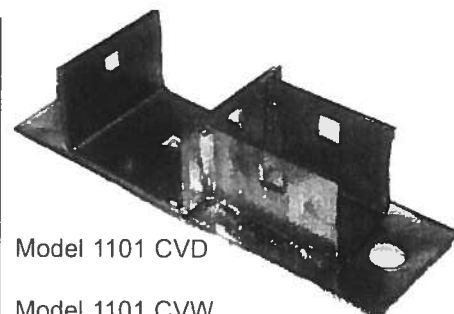
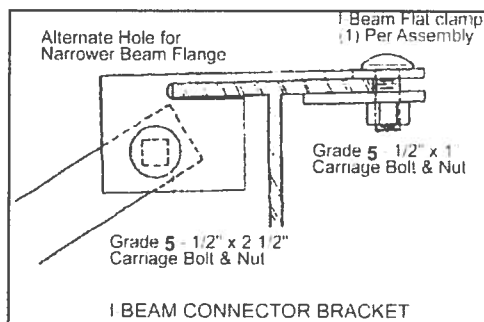
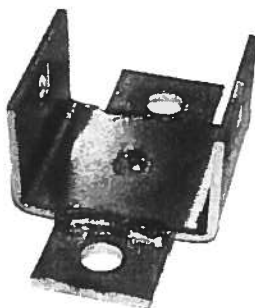


- C = GROUND PAN
- D = GROUND PAN CONNECTOR U BRACKETS TRANSVERSE
- E = TELESOPING V BRACE TUBE ASSEMBLY W/ 1.5 BOTTOM TUBE AND 1.25 TUBE INSERT
- F = "V" BRACE I-BEAM CONNECTORS ASSEMBLY
- H = TELESOPING TRANSVERSE ARM ASSEMBLY
- I = TRANSVERSE ARM I-BEAM CONNECTOR
- J = V PAN BRACKET

Model # 1101 "V"

Longitude dry concrete bracket part # 1101 D-CPA

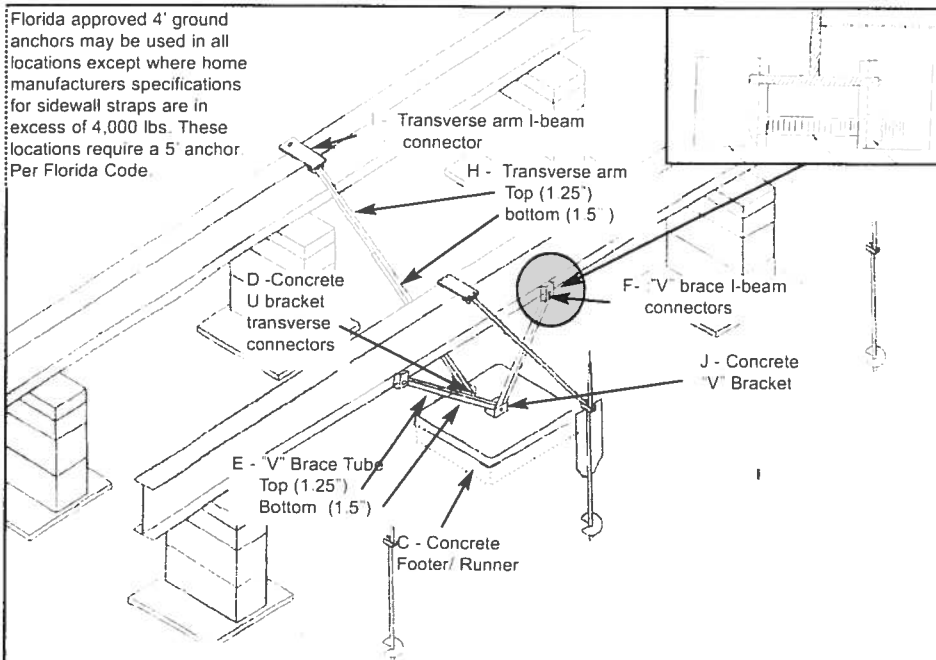
Wet bracket part # 1101 W-CPA not shown



Model 1101 CVD

Model 1101 CVW not shown

Florida approved 4" ground anchors may be used in all locations except where home manufacturers specifications for sidewall straps are in excess of 4,000 lbs. These locations require a 5" anchor. Per Florida Code.



- C = CONCRETE FOOTER/RUNNER
- D = CONCRETE U BRACKET TRANSVERSE CONNECTOR (connects with grade 5 - 1/2" x 2 1/2" carriage bolt & nut)
- E = TELESOPING V BRACE TUBE ASSEMBLY W/ 1.5 BOTTOM TUBE AND 1.25 TUBE INSERT
- F = "V" BRACE I-BEAM CONNECTOR ASSEMBLY (connects with grade 5 - 1/2" x 4" carriage bolt & nut)
- H = TELESOPING TRANSVERSE ARM ASSEMBLY
- I = TRANSVERSE ARM I-BEAM CONNECTOR (connects with grade 5 - 1/2" x 2 1/2" carriage bolt & nut)
- J = CONCRETE "V" BRACKET (connects with grade 5 - 1/2" x 4" carriage bolt & nut)

Model # 1101 C "V"



OLIVER TECHNOLOGIES, INC.  
1-800-284-7437

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Fax 931-796-8811  
www.olivertechnologies.com

District No. 1 - Ronald Williams  
District No. 2 - Rusty DePratter  
District No. 3 - Bucky Nash  
District No. 4 - Everett Phillips  
District No. 5 - Tim Murphy



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

**Address Assignment and Maintenance Document**

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **7/25/2018 4:46:51 PM**

Address: **420 SW SEAN PI**

City: **LAKE CITY**

State: **FL**

Zip Code **32024**

Parcel ID **03265-008**

REMARKS: Address Verification.

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.**

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

COLUMBIA COUNTY

911 ADDRESSING / GIS DEPARTMENT

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125

Email: [gis@columbiacountyfla.com](mailto:gis@columbiacountyfla.com)



# Columbia County Property Appraiser

updated: 6/4/2018

Parcel: 33-4S-16-03265-008

[<< Next Lower Parcel](#)
[Next Higher Parcel >>](#)

## Owner & Property Info

Owner's Name	BOONE CLIFF E & LESLIE L		
Mailing Address	420 SW SEAN PL LAKE CITY, FL 32024		
Site Address			
Use Desc. (code)	TIMBERLAND (005600)		
Tax District	3 (County)	Neighborhood	33416
Land Area	1.000 ACRES	Market Area	01
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. COMM NW COR OF NW1/4 OF NE1/4, E 602.13 FT, S 137.22 FT FOR POB, CONT S 209 FT, E 209 FT, N 209 FT, W 209 FT TO POB, WD 1357-2185.		

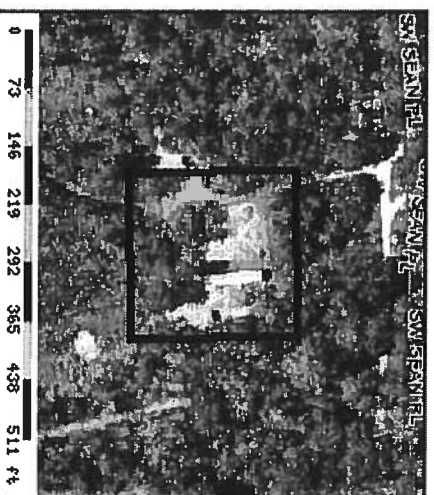
[Tax Collector](#)
[Tax Estimator](#)
[Property Card](#)
[Parcel List Generator](#)
[2017 TRIM \(pdf\)](#)
[Interactive GIS Map](#)
[Print](#)

&lt;&lt; Prev

Search Result: 7 of 27

Next &gt;&gt;

## 2017 Tax Year



## Property & Assessment Values

2017 Certified Values
There are no 2017 Certified Values for this parcel

2018 Working Values	Hide Values
Mkt Land Value	cnt: (1) \$0.00
Ag Land Value	cnt: (0) \$238.00
Building Value	cnt: (0) \$0.00
XFOB Value	cnt: (0) \$0.00
Total Appraised Value	\$238.00
Just Value	\$3,965.00
Class Value	\$238.00
Assessed Value	\$238.00
Exempt Value	\$0.00
Total Taxable Value	Other: \$238 Cnty: \$238 Schl: \$238

NOTE: 2018 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

## Sales History

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
3/2/2018	1357/2185	WD	V	U	11	\$100.00

[Show Similar Sales within 1/2 mile](#)

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Prepared by:

American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 18-064

Inst: 201812007304 Date: 04/13/2018 Time: 12:56PM  
Page 1 of 2 B: 1357 F: 2185, P.DeWitt Cason, Clerk of Court  
Columbia County, FL: BD  
Deputy ClerkDoc Stamp-Deed: 0.70

### General Warranty Deed

Made this March 1,  
~~February~~, 2018 A.D.

By CHARLES A. BOONE, Jr. and JEANETTE S. BOONE, husband and wife, 489 SW Sean Place, Lake City, Florida 32024, hereinafter called the grantor,

To CLIFF E. BOONE, and LESLIE L. BOONE, husband and wife, whose post office address is: 420 SW Sean Place, Lake City, Florida 32024, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

.See Attached Schedule "A"

Parcel ID Number: Parent Parcel 03265-002

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2017.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]  
Witness Printed Name Michael J. Carr

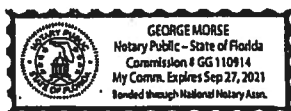
[Signature] (Seal)  
CHARLES A. BOONE, JR.  
Address: 489 SW Sean Place, Lake City, Florida 32024

[Signature]  
Witness Printed Name Geon Morse

[Signature] (Seal)  
JEANETTE S. BOONE

State of Florida  
County of Columbia

The foregoing instrument was acknowledged before me this 1 <sup>March</sup> day of ~~Feb~~ruary, 2018, by CHARLES A. BOONE, JR. and JEANETTE S. BOONE, husband and wife, who is/are personally known to me or who has produced FL-DL as identification.



[Signature]  
Notary Public  
Print Name: Geon Morse  
My Commission  
Expires: 9-27-21

Prepared by:

American Title Services of Lake City, Inc.  
321 SW Main Boulevard, Suite 105  
Lake City, Florida 32025

File Number: 18-064

**"Schedule A"**

**TOWNSHIP 4 SOUTH, RANGE 16 EAST**

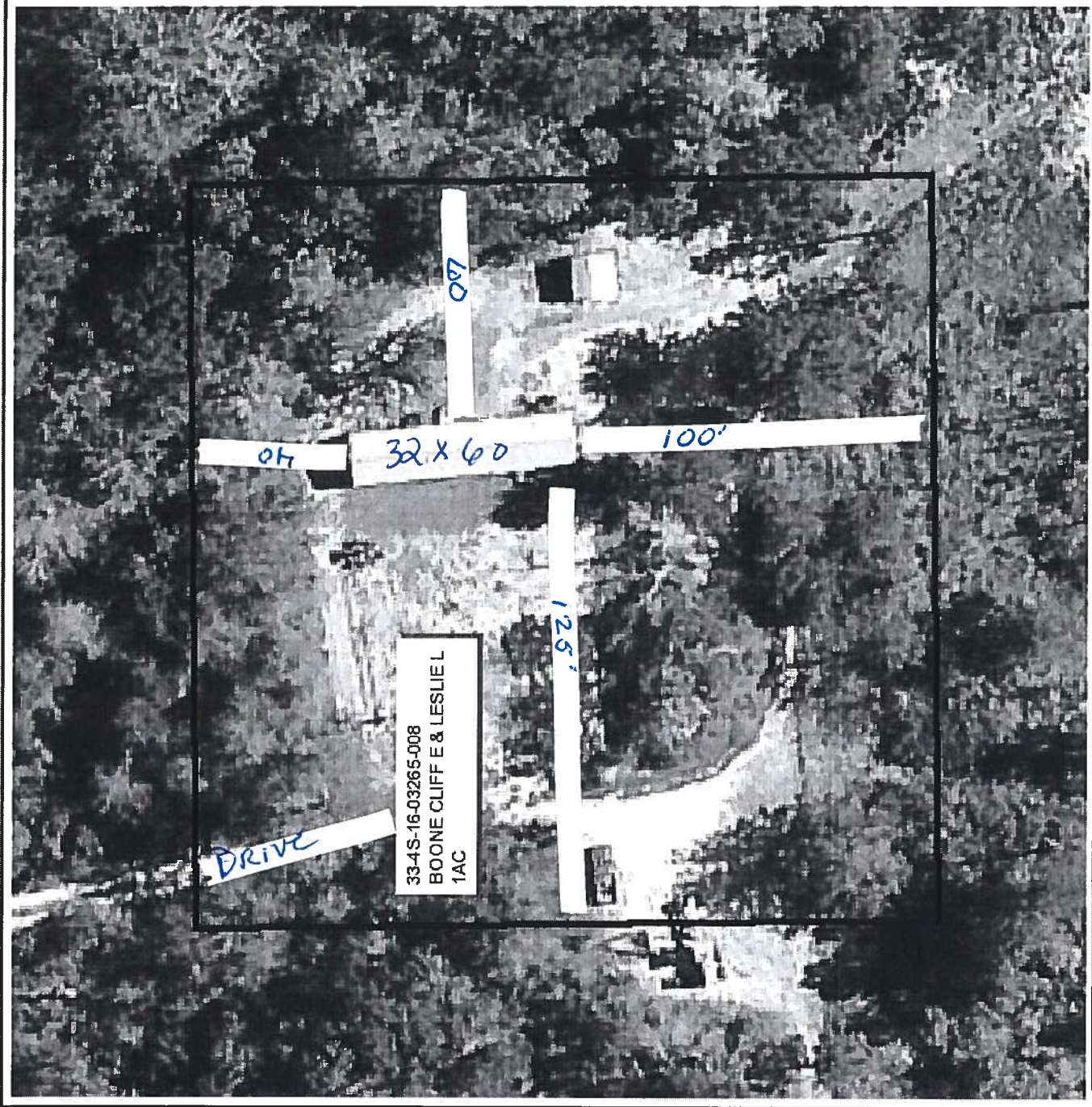
**SECTION 33:** That part of the NW 1/4 of the NE 1/4 of Section 33, Township 4 South, Range 16 East, Columbia County, Florida being more particularly described as follows:

Commence at the NW corner of said NW 1/4 of NE 1/4, and run North 89° 12' 39" East along the North line of said Section 33, 602.13 feet, thence South 00° 47' 21" East, 137.22 feet to the Point of Beginning, thence continue South 00° 47' 21" East 209.00 feet, thence North 89° 12' 39" East parallel to said North line, 209.00 feet, thence North 00° 47' 21" East 209.00 feet, thence South 89° 12' 39" West, parallel to said North line 209.00 feet to the Point of Beginning, **IN COLUMBIA COUNTY, FLORIDA.**

**TOGETHER WITH:** a 30 foot Ingress and Egress Easement being 30 feet to the Right of the following described line: Commence at the NW corner of said NW 1/4 of NE 1/4 and run North 89° 12' 39" East along the North line of said Section 33, 781.13 feet to the Point of Beginning, of said line, thence continue North 89° 12' 39" East, 258.22 feet to the termination point of said line, side lines of said Easement to extend or shorten at lot lines.

**ALSO, TOGETHER WITH:** a 30 foot Ingress and Egress Easement being 30 feet to the left of the following described line, Commence at the NW corner of said NW 1/4 of NE 1/4, and run North 89° 12' 39" East along the North line of said Section 33, 781.13 feet to the Point of Beginning of said line, thence South 00° 47' 21" East 137.22 feet to the termination point of said line, side lines of said Easement to extend or shorten at lot lines.

**ALSO TOGETHER WITH:** a 30 foot Ingress and Egress Easement being 30 feet to the left of the following described line: Commence at the NW corner of said NW 1/4 of NE 1/4, and run North 89° 12' 39" East, along the North line of said Section 33, 1039.35 feet to the Point of Beginning of said line, thence continue North 89° 12' 39" East, 1630.00 feet to the NE corner of said Section 33 and to the Termination Point of said line, **LESS AND EXCEPT** Right of way for SW King Street and SW Mauldin Avenue.



**Columbia County Property Appraiser**

Jeff Hampton - Lake City, Florida 32055 | 386-758-1083



## MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1807-67 CONTRACTOR William E. Lyons PHONE \_\_\_\_\_

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is REQUIRED that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

*Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.*

ELECTRICAL	Print Name <u>Cliff Boone Homeowner</u> License #: _____ Qualifier Form Attached <input type="checkbox"/>	Signature _____ Phone #: <u>984-0468</u>
MECHANICAL/ A/C _____	Print Name <u>Cliff Boone Homeowner</u> License #: _____ Qualifier Form Attached <input type="checkbox"/>	Signature _____ Phone #: <u>984-0468</u>

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 18-06621  
DATE PAID: 7/20/18  
FEE PAID: 60.00  
RECEIPT #: 1356121

## APPLICATION FOR:

☐ New System ☐ Existing System ☐ Holding Tank ☐ Innovative  
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: CLIM BooneAGENT: Bo RoyalsTELEPHONE: 954-6737MAILING ADDRESS: 4068 U.S. Hwy 90 West Lake City, FL 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

## PROPERTY INFORMATION

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_ PLATTED: \_\_\_\_\_

PROPERTY ID #: 33-45-16-03265002 ZONING: \_\_\_\_\_ I/M OR EQUIVALENT: ☒ Y ☐ NPROPERTY SIZE: 1 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐  $\leq 2000$  GPD ☐  $> 2000$  GPDIS SEWER AVAILABLE AS PER 381.0065, FS? ☒ Y ☐ N DISTANCE TO SEWER: 5 FTPROPERTY ADDRESS: 420 SW Ocean Pl. Lake City, FL 32024DIRECTIONS TO PROPERTY: 475 to King Rd TR go to sharp left curve  
At curve stay straight on Ocean Pl go to end.

## BUILDING INFORMATION

☒ RESIDENTIAL☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Mobile Home</u>	<u>2</u>	<u>1800</u>	
2				
3				
4				

☐ Floor/Equipment Drains ☐ Other (Specify) \_\_\_\_\_SIGNATURE: [Signature]DATE: 7/19/2018



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

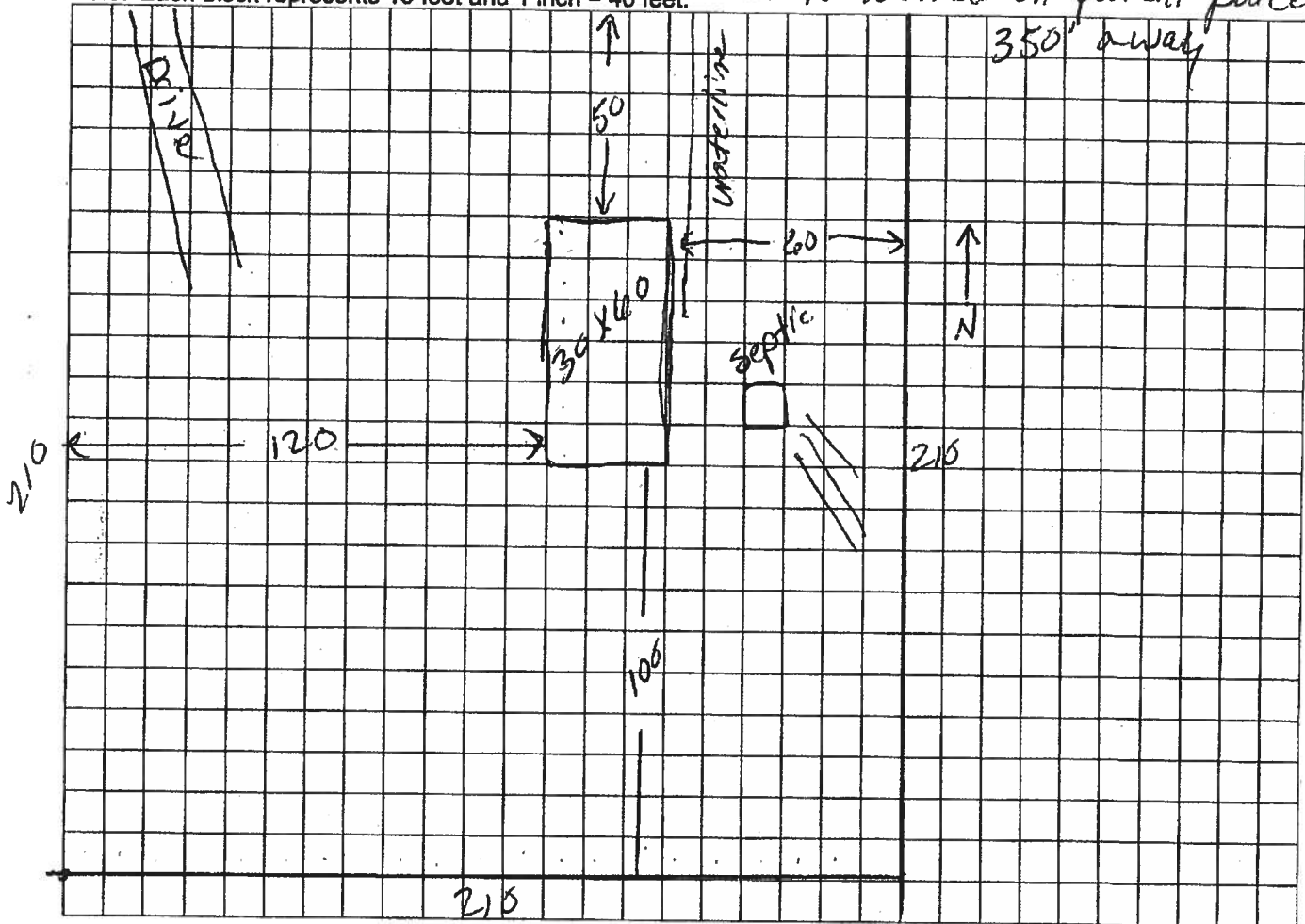
Permit Application Number 18-06604

----- PART II - SITEPLAN -----

210

Scale: Each block represents 10 feet and 1 inch = 40 feet.

Well is located on parent parcel



**Notes:**

Site Plan submitted by: W. Wells 7/19/2018

Plan Approved ✓

**Not Approved**

Date 6/27/18

By Sarah Ann ES Columbia County Health Department

**ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT**