

App# 43691

ele# 1542

Columbia County New Building Permit Application

For Office Use Only Application # 1909-17 Date Received 9-6-19 By LH Permit # 38685
 Zoning Official 7.C./LH Date 9-17-19 Flood Zone X Land Use RLD Zoning RSF/MH-2
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner 7C Date 9-17-19
 Comments Non Habitable Storage Bldg. Fr 25' Sides 10' Rec 15' No comp file
☒ INOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Well letter ☐ 911 Sheet ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☒ Owner Builder Disclosure Statement ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. 19-0696 OR City Water ☐ Fax _____

• Applicant (Who will sign/pickup the permit) David Hamilton Phone 386-365-4693
 Address 124 NW Cobblestone ter. Lake City, FL 32055

• Owners Name David Hamilton Phone 386-365-4693
 911 Address 124 NW Cobblestone ter. Lake City, FL 32055

• Contractors Name David Hamilton Phone 386-365-4693
 Address 124 NW Cobblestone Terr. Lake City FL 32055

Contractor Email lclaham@gmail.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

• Architect/Engineer Name & Address Moore And Associates 1009 E Avenue, North Augusta, SC 29841

Mortgage Lenders Name & Address _____

Circle the correct power company ☒ FL Power & Light ☐ Clay Elec. ☐ Suwannee Valley Elec. ☐ Duke Energy

Property ID Number 27-35-16-02315-118 1X 1+3 Estimated Construction Cost 6000.00

Subdivision Name Windsor Court Lot 18 Block _____ Unit _____ Phase 1

Driving Directions from a Major Road North on Turner rd off Hwy 90. 1 mile make right on Kensington Ln. First left is Cobblestone ter 1st house on left.

Construction of Carport Commercial OR ☒ Residential

Proposed Use/Occupancy Storage Number of Existing Dwellings on Property 1

Is the Building Fire Sprinkled? NO If Yes, blueprints included _____ Or Explain _____

Circle Proposed ☐ Culvert Permit or ☐ Culvert Waiver or ☐ D.O.T. Permit or ☒ Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 38ft Side 30ft Side 25ft Rear _____

Number of Stories _____ Heated Floor Area N/A Total Floor Area 660 Acreage .5

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) Driveway is Paved Carport is being attached to existing concrete - no new concrete

LH - Spoke to David 9/17/19 rd/-spoke w/ Hamilton - need EH & NOC

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

David Hamilton

Print Owners Name

David Hamilton

Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Contractor's Signature

Contractor's License Number

Columbia County

Competency Card Number

Affirmed under penalty of perjury to by the Contractor and subscribed before me this ____ day of _____ 20__.

Personally known ☐ or Produced Identification _____

SEAL:

State of Florida Notary Signature (For the Contractor)

Columbia County Property Appraiser

Jeff Hampton

2019 Preliminary Certified Values

updated: 8/14/2019

Parcel: << 27-3S-16-02315-118 >>

Aerial Viewer

Pictometry

Google Maps

Owner & Property Info

Result: 2 of 24

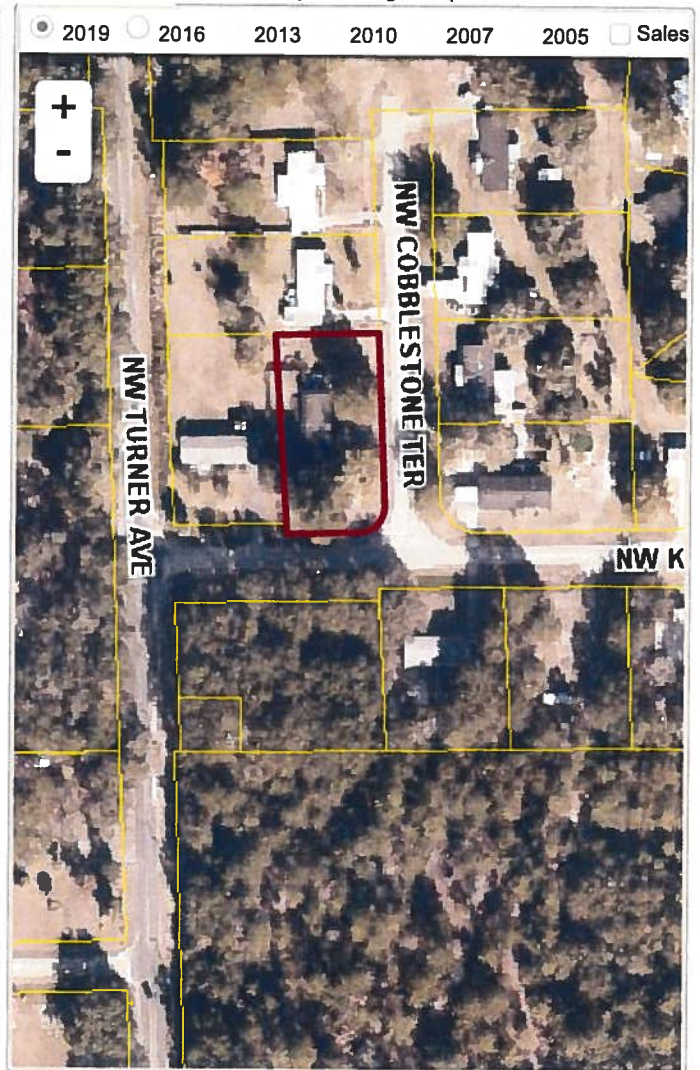
Owner	HAMILTON DAVID H 124 NW COBBLESTONE TER LAKE CITY, FL 32055		
Site	124 COBBLESTONE TER, LAKE CITY		
Description*	LOT 18 WINDSOR COURT S/D PHASE 1. WD 890-1775, QC 1335-643,		
Area	0.5 AC	S/T/R	27-3S-16E
Use Code**	MOBILE HOM (000200)	Tax District	2

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (2)	\$13,692	Mkt Land (2)	\$14,942
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$37,031	Building (1)	\$41,280
XFOB (3)	\$3,700	XFOB (3)	\$3,700
Just	\$54,423	Just	\$59,922
Class	\$0	Class	\$0
Appraised	\$54,423	Appraised	\$59,922
SOH Cap [?]	\$0	SOH Cap [?]	\$4,465
Assessed	\$54,423	Assessed	\$55,457
Exempt	HX H3 \$29,423	Exempt	HX H3 \$30,457
Total Taxable	county:\$25,000 city:\$25,000 other:\$25,000 school:\$29,423	Total Taxable	county:\$25,000 city:\$25,000 other:\$25,000 school:\$30,457

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
4/5/2017	\$100	1335/0643	QC	I	U	11
10/25/1999	\$16,500	890/1775	WD	V	Q	

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SFR MANUF (000200)	1999	1872	2280	\$41,280

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	1999	\$1,200.00	1.000	0 x 0 x 0	(000.00)
0166	CONC,PAVMT	1999	\$500.00	1.000	0 x 0 x 0	(000.00)
0169	FENCE/WOOD	2014	\$2,000.00	1.000	0 x 0 x 0	(000.00)

▼ Land Breakdown

Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
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Legend

2018Aerials



Parcels

Roads

Roads

others

Dirt

Interstate

Main

Other

Paved

Private

SectionTownshipAndRange

SRWMD Wetlands

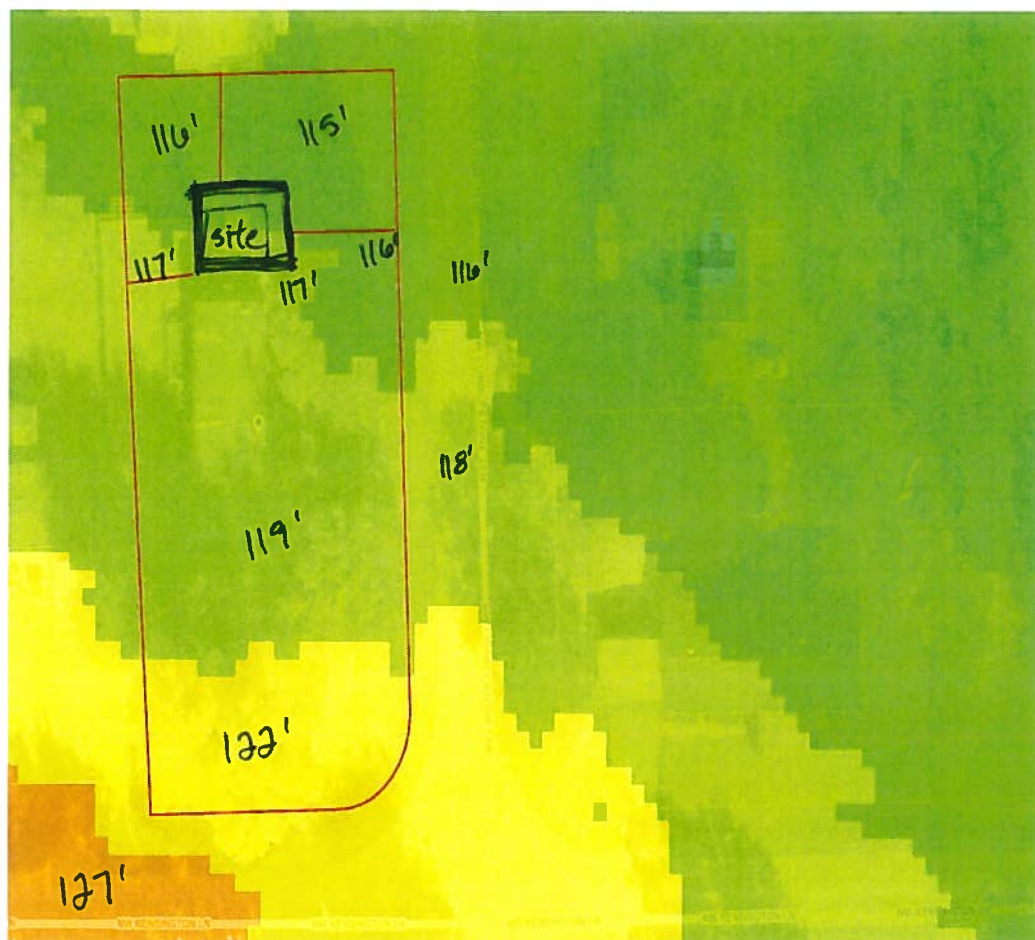


LidarElevations



Columbia County, FLA - Building & Zoning Property Map

Printed: Mon Sep 09 2019 10:38:59 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 27-3S-16-02315-118

Owner: HAMILTON DAVID H

Subdivision: WINDSOR COURT PHASE 1

Lot:

Acres: 0.495836377

Deed Acres:

District: District 3 Bucky Nash

Future Land Uses: Residential - Low

Flood Zones:

Official Zoning Atlas: RSF/MH-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.



Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 27-3S-16-02315-118 HX H3 | MOBILE HOM (000200) | 0.5 AC
 LOT 18 WINDSOR COURT S/D PHASE 1. WD 890-1775, QC 1335-643,

HAMILTON DAVID H

Owner: 124 NW COBBLESTONE TER
 LAKE CITY, FL 32055

Site: 124 COBBLESTONE TER, LAKE
 CITY

Sales Info: 4/5/2017 \$100 I (U)
 10/25/1999 \$16,500 V (Q)

2019 Preliminary Certified

Mkt Lnd	\$14,942	Appraised	\$59,922
Ag Lnd	\$0	Assessed	\$55,457
Bldg	\$41,280	Exempt	\$30,457
XFOB	\$3,700		
Just	\$59,922	Total Taxable	county:\$25,000 city:\$25,000 other:\$25,000 school:\$30,457

NOTES:



Columbia County, FL

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

GrizzlyLogic.com

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # _____ JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	<u>Need</u> <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0696
DATE PAID: 9/13/19
FEE PAID: 600.00
RECEIPT #: 1432442

APPLICATION FOR:

☐ New System ☐ Existing System ☐ Holding Tank ☐ Innovative
☐ Repair ☐ Abandonment ☐ Temporary ☐

APPLICANT: David Hamilton

AGENT: _____

TELEPHONE: 386-365-4693MAILING ADDRESS: 124 NW Cobblestone ter. Lake City, FL 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 18 BLOCK: _____ SUBDIVISION: Windsor Court PLATTED: 11/7/1999

PROPERTY ID #: 27-35-16-02315-118 ZONING: Res. I/M OR EQUIVALENT: ☐ Y ☒ N

PROPERTY SIZE: 0.5 ACRES WATER SUPPLY: ☒ PRIVATE PUBLIC ☐ ≤ 2000 GPD ☐ > 2000 GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? ☐ Y ☒ N DISTANCE TO SEWER: _____ FT

PROPERTY ADDRESS: 124 NW Cobblestone ter. Lake City, FL 32055

DIRECTIONS TO PROPERTY: From Hwy 90 go North on Turner Ave 1 mile, Turn right on Kensington Dr, then left on Cobblestone. First House on left.

BUILDING INFORMATION

☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SFR	3	660	Carport
2				
3				
4				Orig. 3BR

☐ Floor/Equipment Drains ☐ Other (Specify) _____

SIGNATURE: David HamiltonDATE: 9/13/19

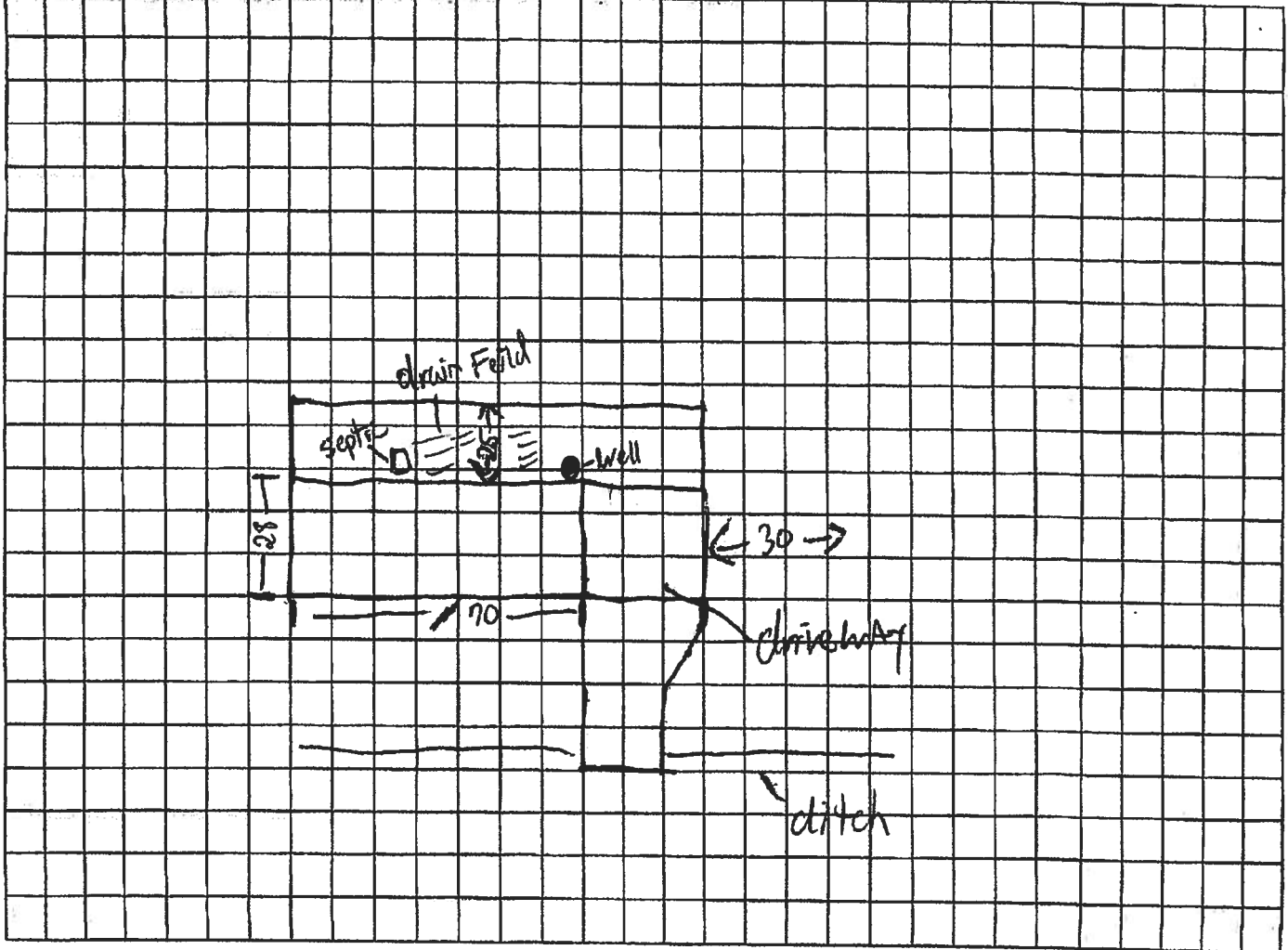
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

19-0696

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

See Attached siteplan photo

Site Plan submitted by:

David Thru

TITLE

DATE:

9/13/19

Plan Approved

P

Not Approved

Date 9/25/19

By

Colutin

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

NOTICE OF COMMENCEMENT

1909-17
Tax Parcel Identification Number:

27-35-16-02315-118

Clerk's Office Stamp

Inst: 201912021386 Date: 09/13/2019 Time: 8:39AM
Page 1 of 1 B: 1394 P: 1227, P. DeWitt Cason, Clerk of Court
Columbia County, By: BD
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT

1. Description of property (legal description) Lot 18 Linniston Court phase 1.
a) Street (job) Address: 124 NW Cobblestone Ter.
2. General description of improvements: Carpent with 10 feet enclosure
3. Owner Information or Lessee information (if the Lessee contracted for the improvements)
a) Name and address: David Hamilton 124 NW Cobblestone Ter.
b) Name and address of fee simple titleholder (if other than owner)
c) Interest in property Owner
4. Contractor Information
a) Name and address: David Hamilton 124 NW Cobblestone Ter.
b) Telephone No.: 386-365-4693
5. Surety Information (if applicable, a copy of the payment bond is attached)
a) Name and address:
b) Amount of Bond:
c) Telephone No.:
6. Lender:
a) Name and address:
b) Phone No.:
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7, Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name _____ OF _____
b) Telephone No. _____
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10 David Hamilton
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
David Hamilton
Printed Name and Signatory's Title/Office

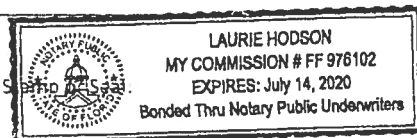
The foregoing instrument was acknowledged before me, a Florida Notary, this 6 day of September 20 19 by:
David Hamilton as owner for self
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known _____ OR Produced Identification ☒ Type FLU

Notary Signature

[Signature]

Notary Seal





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21

Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

OWNER BUILDER DISCLOSURE STATEMENT

Florida Statutes Chapter 489.103:

1. I understand that state law requires construction to be done by a licensed contractor and have applied for an owner-builder permit under an exemption from the law. The exemption specifies that I, as the owner of the property listed, may act as my own contractor with certain restrictions even though I do not have a license.
2. I understand that building permits are not required to be signed by a property owner unless he or she is responsible for the construction and is not hiring a licensed contractor to assume responsibility.
3. I understand that, as an owner-builder, I am the responsible party of record on a permit. I understand that I may protect myself from potential financial risk by hiring a licensed contractor and having the permit filed in his or her name instead of my own name. I also understand that a contractor is required by law to be licensed in Florida and to list his or her license numbers on permits and contracts.
4. I understand that I may build or improve a one-family or two-family residence or a farm outbuilding. I may also build or improve a commercial building if the costs do not exceed \$75,000. The building or residence must be for my own use or occupancy. It may not be built or substantially improved for sale or lease, unless I am completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If a building or residence that I have built or substantially improved myself is sold or leased within 1 year after the construction is complete, the law will presume that I built or substantially improved it for sale or lease, which violates the exemption.
5. I understand that, as the owner-builder, I must provide direct, onsite supervision of the construction.
6. I understand that I may not hire an unlicensed person to act as my contractor or to supervise persons working on my building or residence. It is my responsibility to ensure that the persons whom I employ have the licenses required by law and by county or municipal ordinance.

7. I understand that it is a frequent practice of unlicensed persons to have the property owner obtain an owner-builder permit that erroneously implies that the property owner is providing his or her own labor and materials. I, as an owner-builder, may be held liable and subjected to serious financial risk for any injuries sustained by an unlicensed person or his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an owner-builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

8. I understand that I may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on my building who is not licensed must work under my direct supervision and must be employed by me, which means that I must comply with laws requiring the withholding of federal income tax and social security contributions under the Federal Insurance Contributions Act (FICA) and must provide workers' compensation for the employee. I understand that my failure to follow these laws may subject me to serious financial risk.

9. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern owner-builders as well as employers. I also understand that the construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

10. I understand that I may obtain more information regarding my obligations as an employer from the Internal Revenue Service, the United States Small Business Administration, the Florida Department of Financial Services, and the Florida Department of Revenue. I also understand that I may contact the Florida Construction Industry Licensing Board at **850-487-1395** or **<http://www.myfloridalicense.com/>** for more information about licensed contractors.

11. I am aware of, and consent to, an owner-builder building permit applied for in my name and understand that I am the party legally and financially responsible for the proposed construction activity at the following address:

(Write in the address of jobsite property)

12. I agree to notify Columbia County Building Department immediately of any additions, deletions, or changes to any of the information that I have provided on this disclosure. Licensed contractors are regulated by laws designed to protect the public. If you contract with a person who does not have a license, the Construction Industry Licensing Board and Department of Business and Professional Regulation may be unable to assist you with any financial loss that you sustain as a result of a complaint. Your only remedy against an unlicensed contractor may be in civil court. It is also important for you to understand that, if an unlicensed contractor or employee of an individual or firm is injured while working on your property, you may be held liable for damages. If you obtain an owner-builder permit and wish to hire a licensed contractor, you will be responsible for verifying whether the contractor is properly licensed and the status of the contractor's workers' compensation coverage.

Florida Statutes Chapter 489.503:

State law requires electrical contracting to be done by licensed electrical contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own electrical contractor even though you do not have a license. You may install electrical wiring for a farm outbuilding or a single-family or duplex residence. You may install electrical wiring in a commercial building the aggregate construction costs of which are under \$75,000. The home or building must be for your own use and occupancy. It may not be built for sale or lease, unless you are completing the requirements of a building permit where the contractor listed on the permit substantially completed the project. If you sell or lease more than one building you have wired yourself within 1 year after the construction is complete, the law will presume that you built it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person as your electrical contractor. Your construction shall be done according to building codes and zoning regulations. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances.

An owner of property completing the requirements of a building permit, where the contractor listed on the permit substantially completed the project as determined by the local permitting agency, for a one-family or two family residence, townhome, accessory structure of a one-family or two-family residence or townhome or individual residential condominium unit or cooperative unit. Prior to the owner qualifying for the exemption, the owner must receive approval from the local permitting agency, and the local permitting agency must determine that the contractor substantially completed the project. An owner who qualifies for the exemption under this paragraph is not required to occupy the dwelling or unit for at least 1 year after the completion of the project.

Before a building permit shall be issued, this notarized disclosure statement must be completed and signed by the property owner and returned to the local permitting agency responsible for issuing the permit.

TYPE OF CONSTRUCTION

☐ *Single Family Dwelling* ☐ *Two-Family Residence* ☐ *Farm Outbuilding*

☐ *Addition, Alteration, Modification or other Improvement* ☐ *Electrical*

☐ *Other* _____

☐ *Contractor substantially completed project, of a* _____

☐ *Commercial, Cost of Construction* _____ *for construction of* _____

I David Hamilton, have been advised of the above disclosure
(Print Property Owners Name)

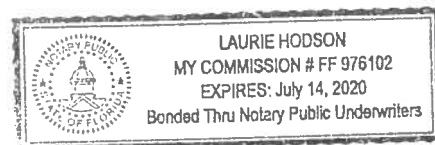
statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes allowing this exception for the construction permitted by Columbia County Building Permit.

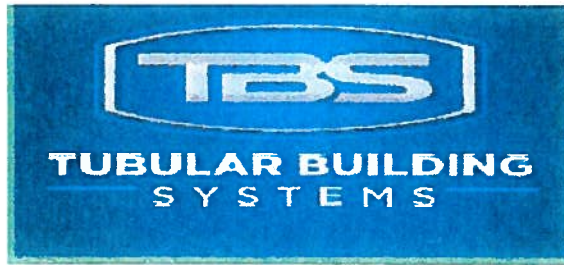
Signature: David Hamilton Date: 9/6/19
(Signature of property owner)

NOTARY OF OWNER BUILDER SIGNATURE

The above signer is personally known to me or produced identification FLDL

Notary Signature [Signature] Date 9-6-19 (Seal)





STRUCTURAL DESIGN

PARTIALLY ENCLOSED (UTILITY) BUILDING EXPOSURE B

MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME AND BOW FRAME

18 December 2017

Revision 1

M&A Project No. 16154S/17300S

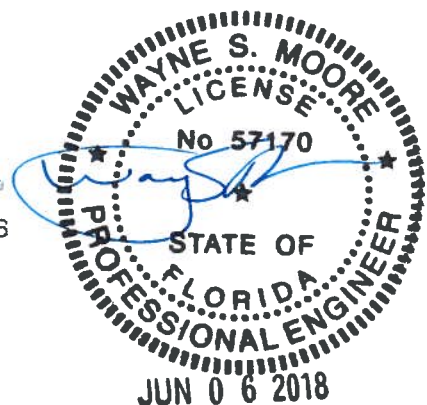
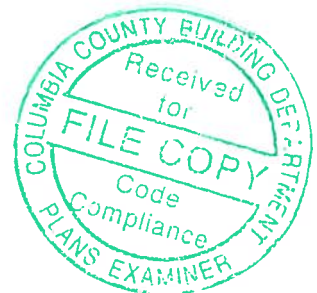
Prepared for:

Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025

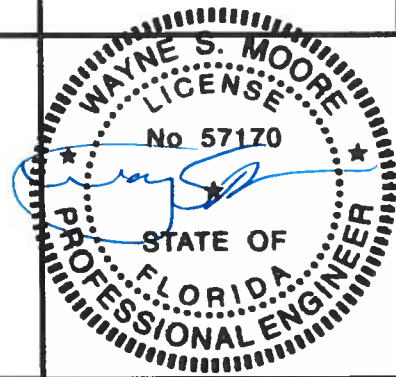
Prepared by:

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JUN 06 2018



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TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED
(UTILITY) BUILDING EXP. B
PE SEAL COVER SHEET

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PROJECT MGR: VSM
CLIENT: TBS

DATE: 12-18-17
SHT. 1

SCALE: NTS
DWG. NO: SK-2

JOB NO:
16154S/17300S
REV: 1

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**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B**

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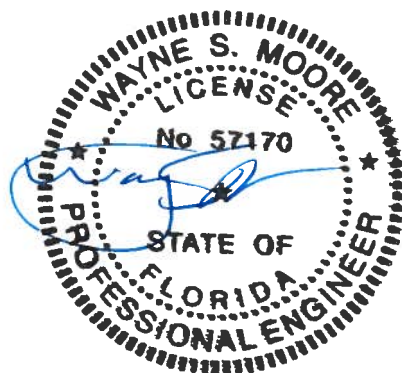
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INSTALLATION NOTES AND SPECIFICATIONS

- 1 DESIGN IS FOR A MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT PARTIALLY ENCLOSED STRUCTURES.
- 2 DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC.
- 3 DESIGN LOADS ARE AS FOLLOWS
 - A) DEAD LOAD = 15 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 10 PSF
- 4 LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH) MAXIMUM RAFTER/POST AND END POST SPACING = 50 FEET
- 5 HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH) MAXIMUM RAFTER/POST AND END POST SPACING = 40 FEET
- 6 LOW HAZARD RISK CATEGORY I (WIND).
- 7 WIND EXPOSURE CATEGORY B.
- 8 SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (UNLESS OTHERWISE NOTED)
- 9 AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" OR END = 6", (MAX)
- 10 FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3/12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
- 11 GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES
- 12 GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS MAY BE USED FOR LOW (< 108 MPH NOMINAL) WIND SPEEDS ONLY. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
- 13 OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND MUST BE USED FOR HIGH WIND SPEEDS.
- 14 WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 SOIL SITE CLASS = D
 RISK CATEGORY I/II/III
 R = 3.25 I_e = 1.0
 S_{DS} = 1.522 V = C_SW
 S_{D1} = 0.839



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TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

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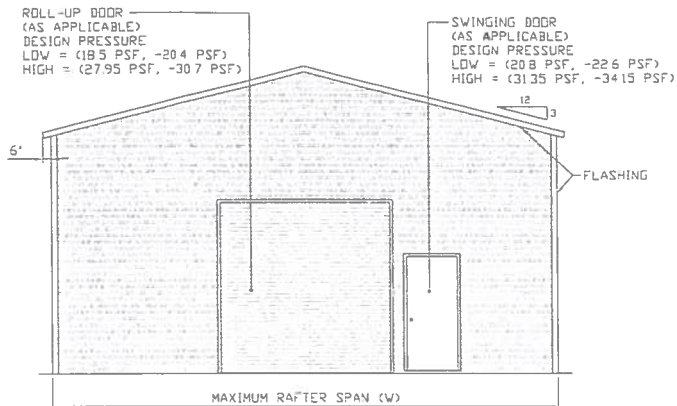
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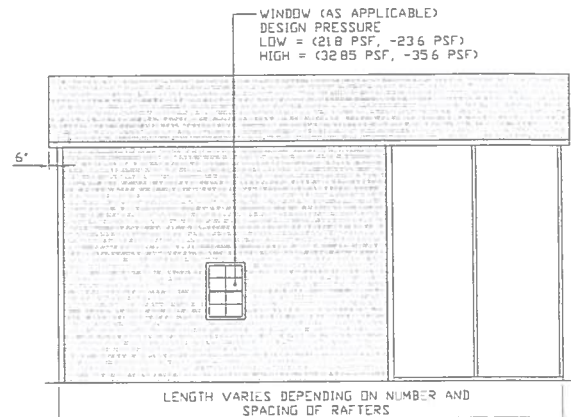
**JOB NO:
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BOX EAVE FRAME RAFTER ENCLOSED BUILDING

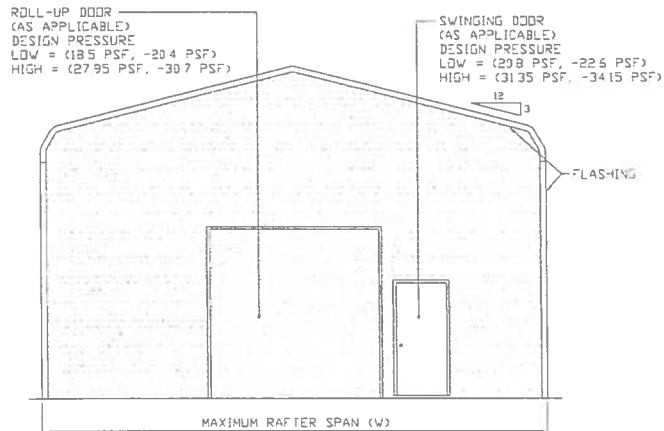


TYPICAL END ELEVATION-HORIZONTAL ROOF
SCALE: NTS

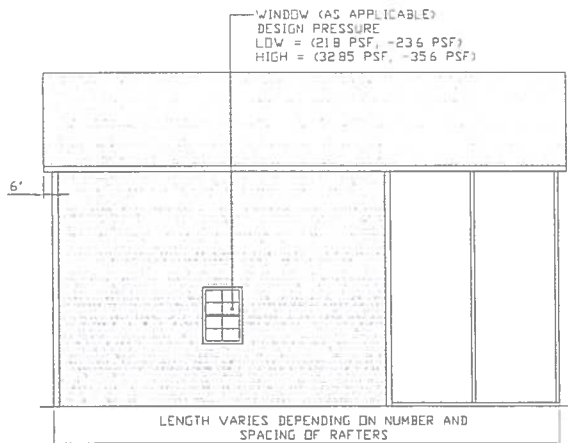


TYPICAL SIDE ELEVATION-HORIZONTAL ROOF
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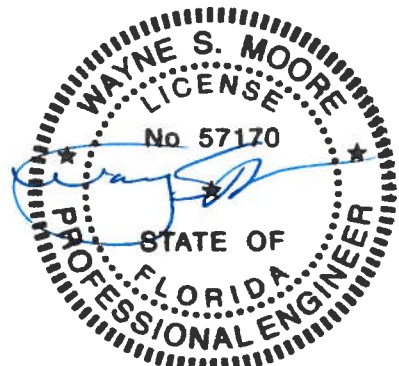
BOW FRAME RAFTER ENCLOSED BUILDING



TYPICAL END ELEVATION
SCALE: NTS



TYPICAL SIDE ELEVATION
SCALE: NTS



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SHT. 4

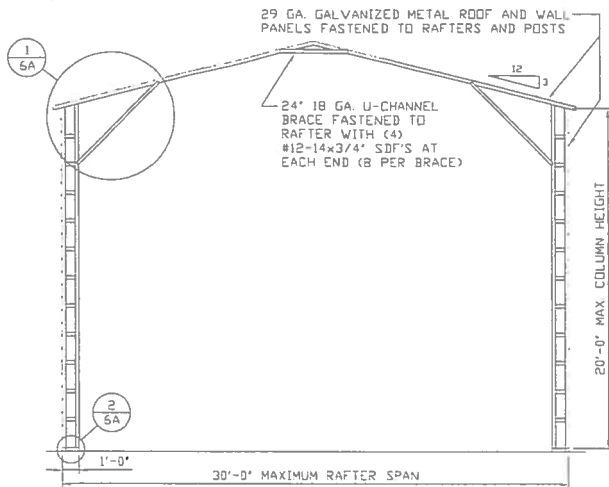
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JOB NO:
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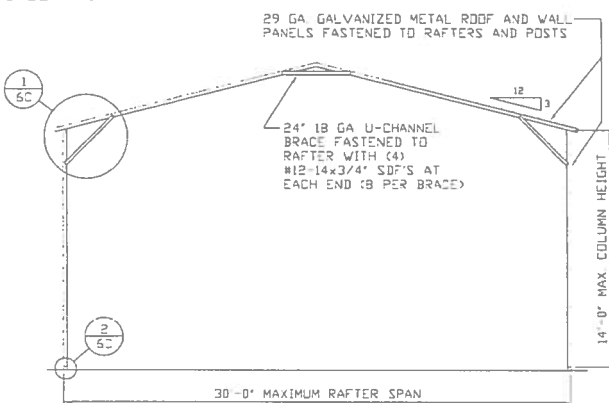
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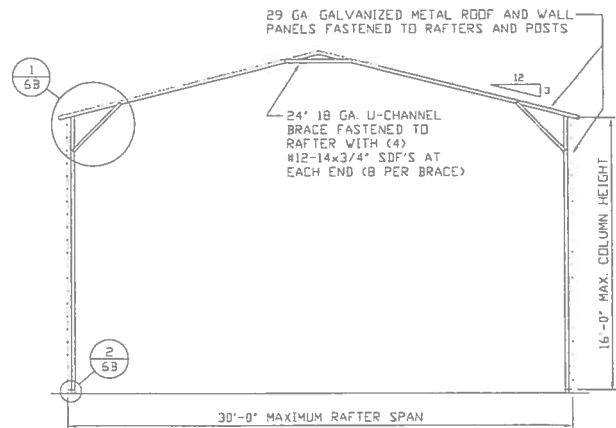
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



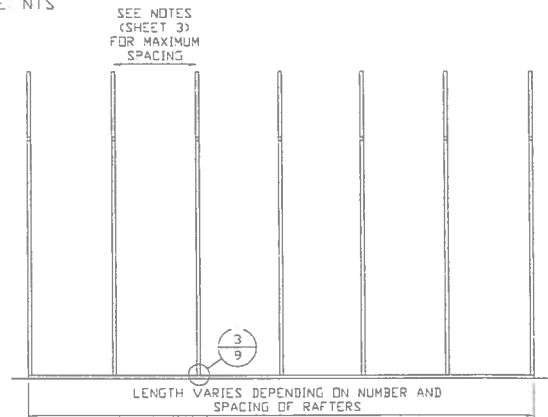
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS



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BUILDING EXP. B**

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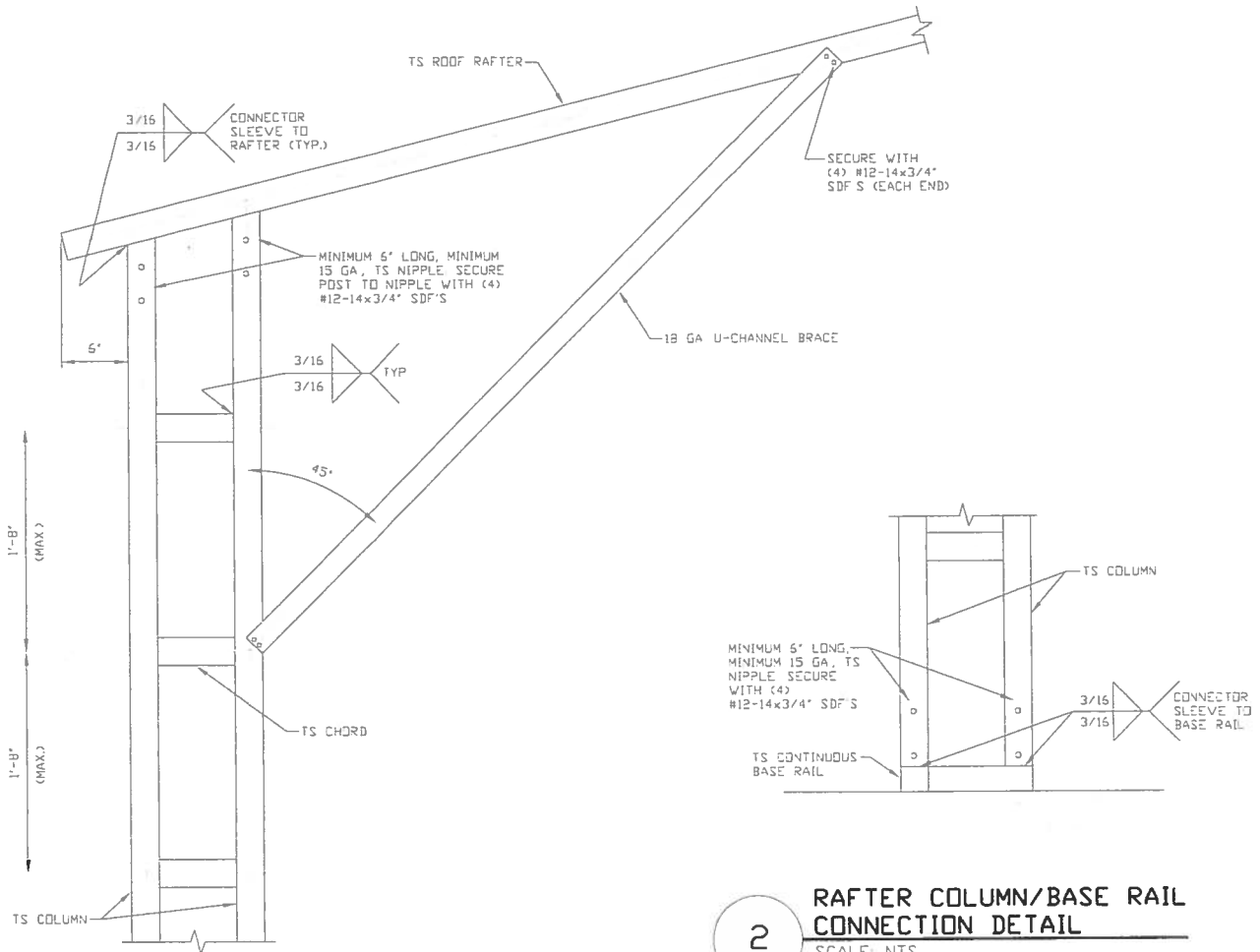
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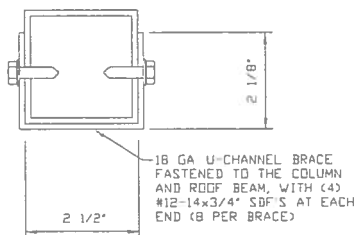
RAFTER COLUMN/BASE RAIL CONNECTION DETAIL

SCALE: NTS

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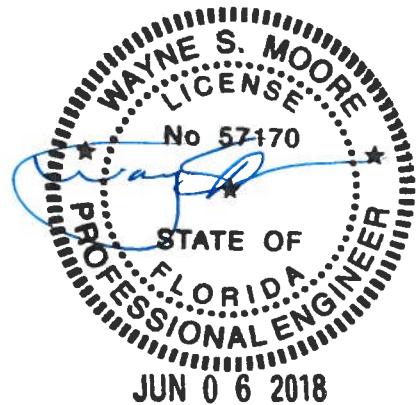
BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 16'-0" < TO ≤ 20'-0"

SCALE: NTS



BRACE SECTION

SCALE: NTS



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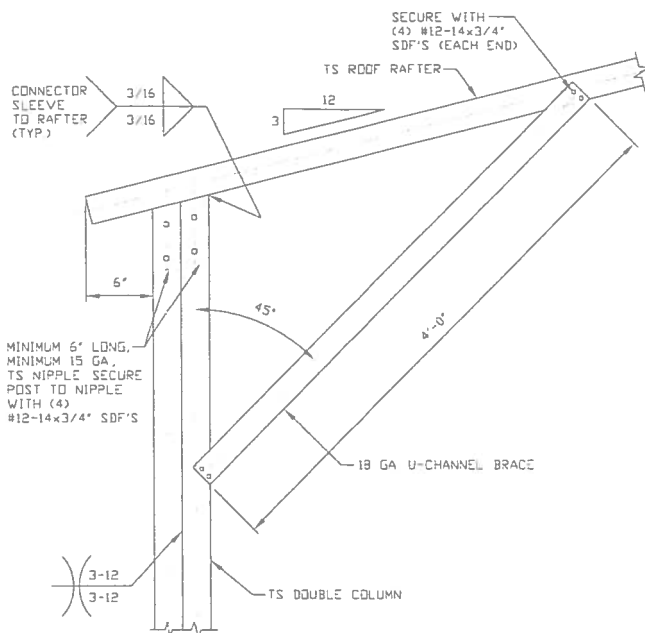
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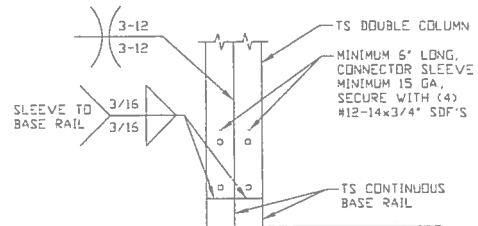
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16154S/17300S

REV: 1

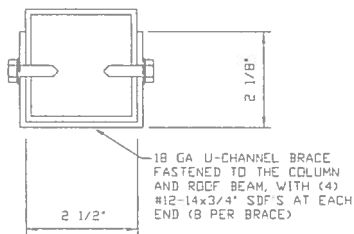
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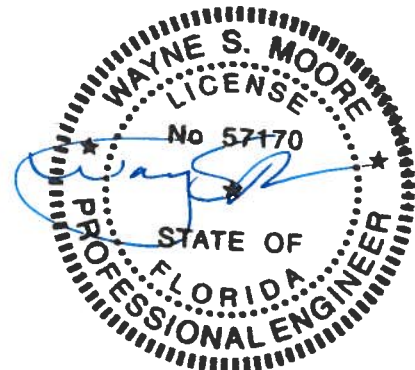
1 BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"
SCALE: NTS



2 RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL
SCALE: NTS



BRACE SECTION
SCALE: NTS



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**TUBULAR BUILDING SYSTEMS
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BUILDING EXP. B**

DATE: 12-18-17

SHT. 6B

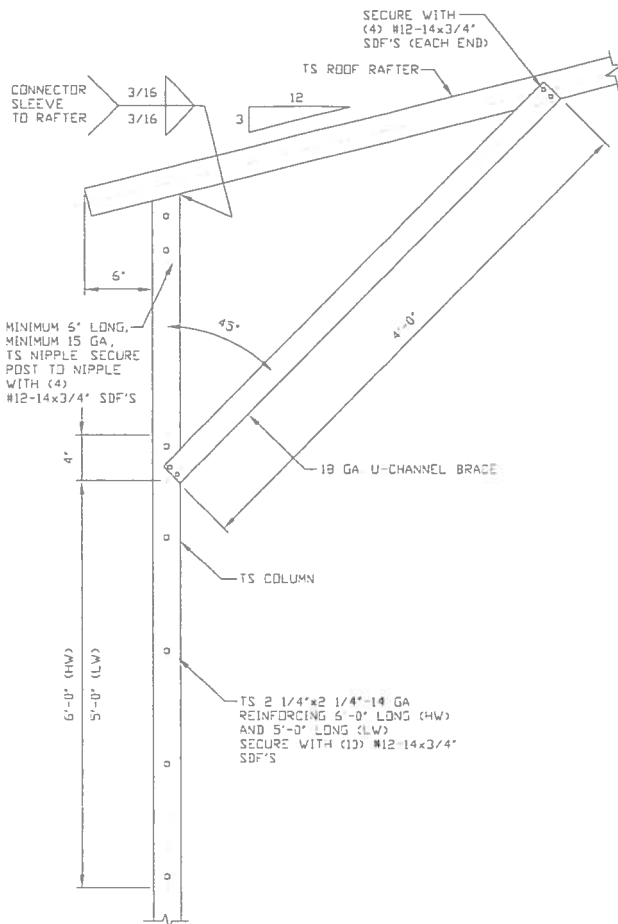
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DWG. NO: SK-2

**JOB NO:
16154S/17300S**

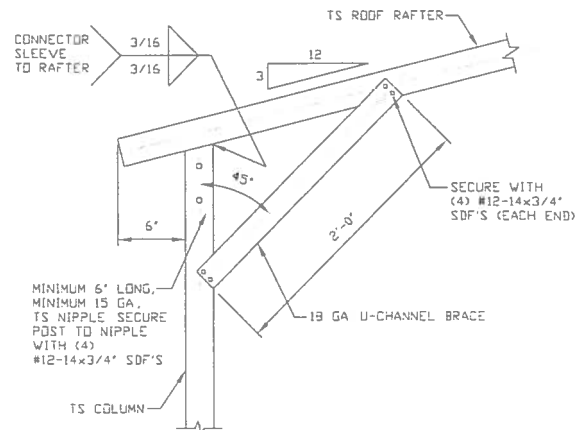
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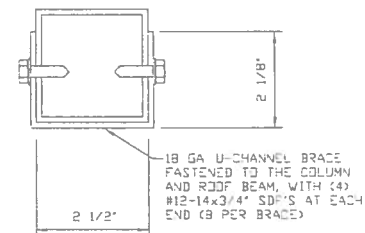
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BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS 10'-0" < TO ≤ 14'-0" SCALE: NTS

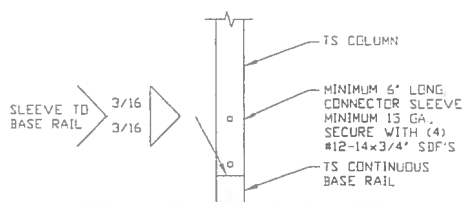


1B

BOX EAVE RAFTER COLUMN CONNECTION DETAIL FOR HEIGHTS ≤ 10'-0" SCALE: NTS



BRACE SECTION SCALE: NTS



2

RAFTER COLUMN/BASE RAIL CONNECTION DETAIL SCALE: NTS



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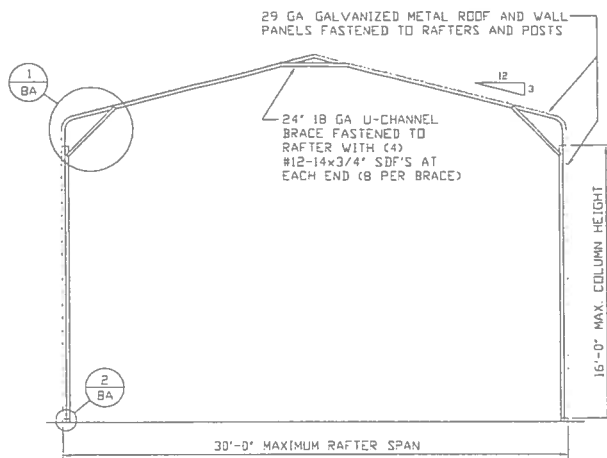
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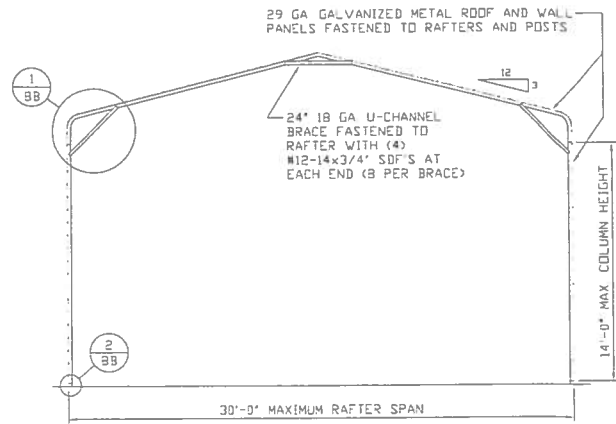
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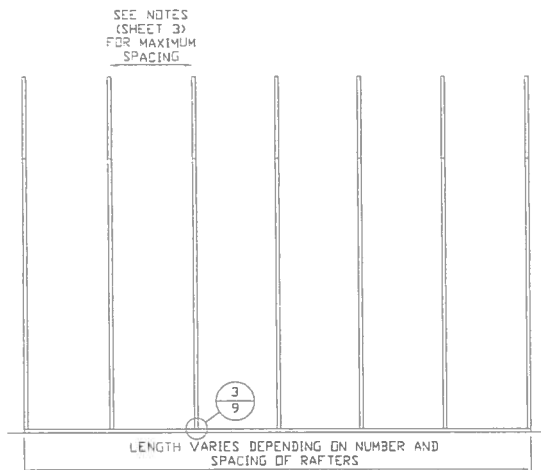
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



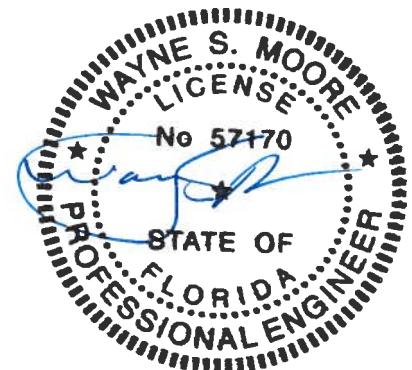
TYPICAL RAFTER/COLUMN END FRAME SECTION

SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION

SCALE: NTS



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SHT. 7

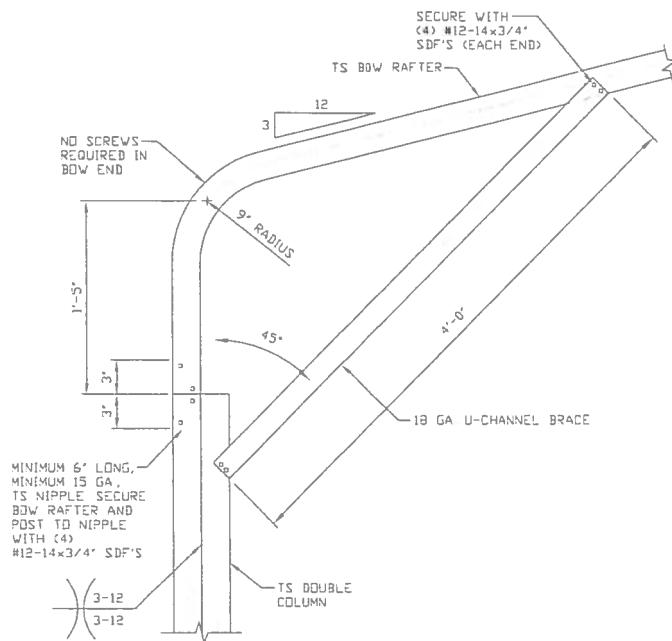
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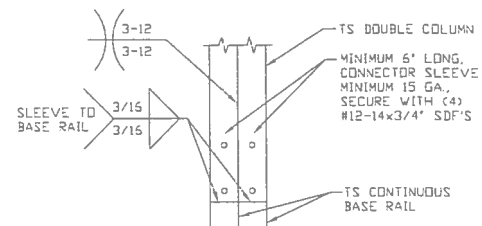
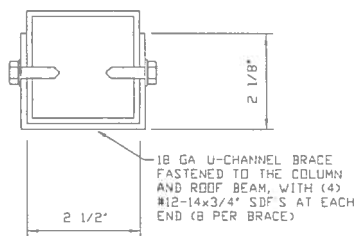
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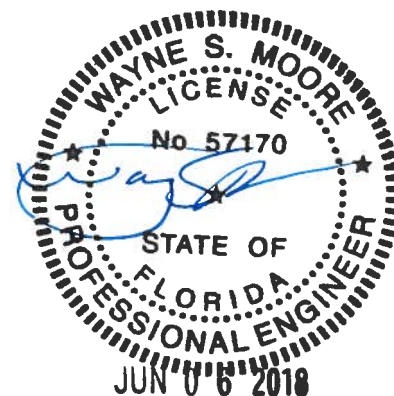
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**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 14'-0" < TO ≤ 16'-0"**
SCALE: NTS



2
**RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS

BRACE SECTION
SCALE: NTS



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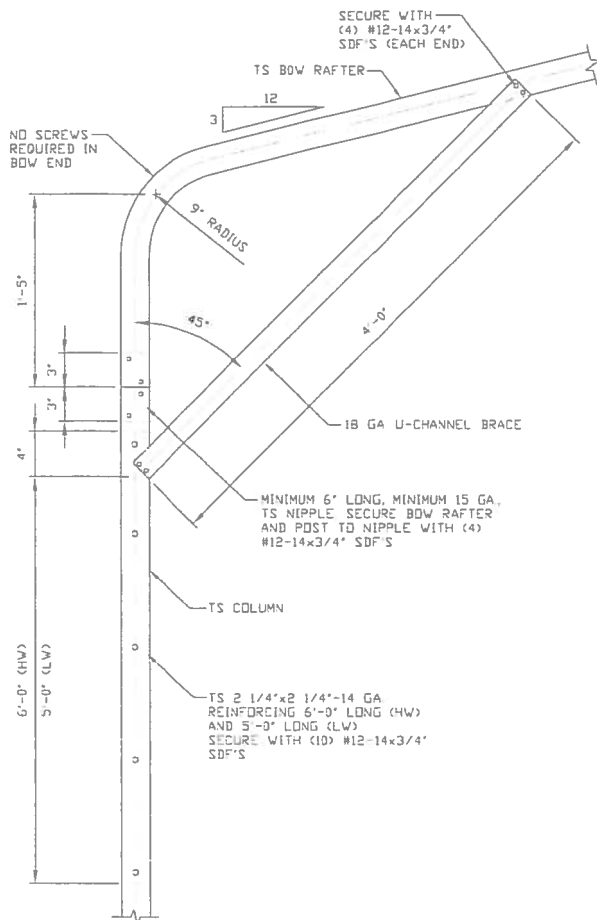
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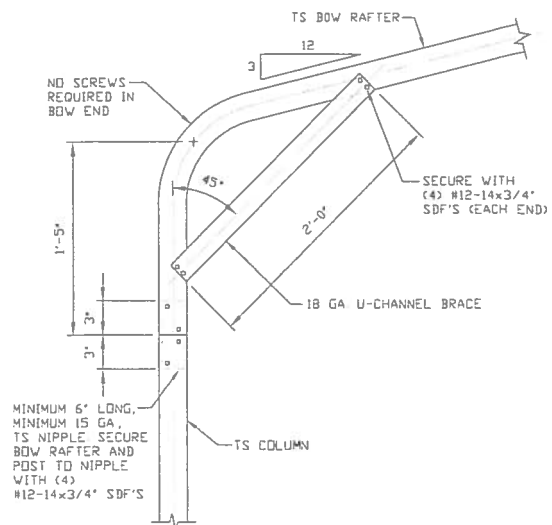
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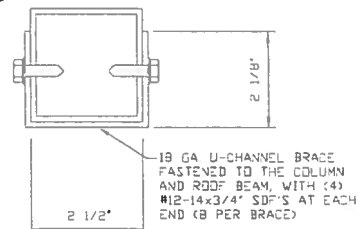
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**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS 10'-0" < TO ≤ 14'-0"**
SCALE: NTS

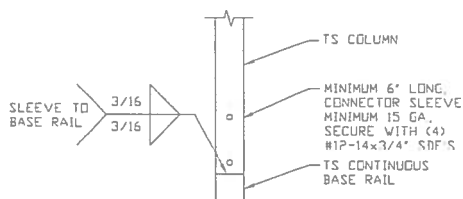


1B

**BOX EAVE RAFTER COLUMN
CONNECTION DETAIL
FOR HEIGHTS ≤ 10'-0"**
SCALE: NTS



BRACE SECTION
SCALE: NTS



2

**RAFTER COLUMN/BASE RAIL
CONNECTION DETAIL**
SCALE: NTS



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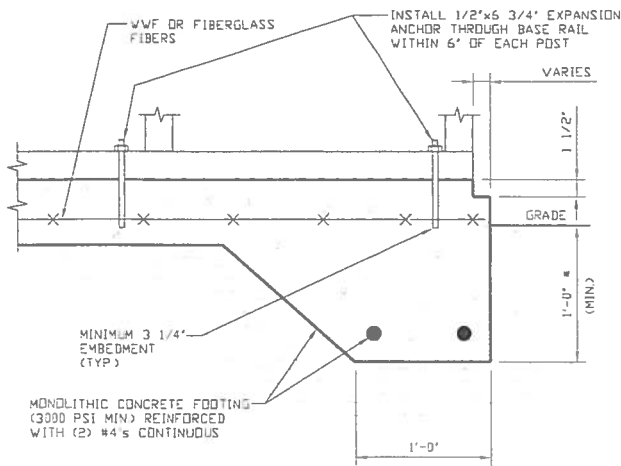
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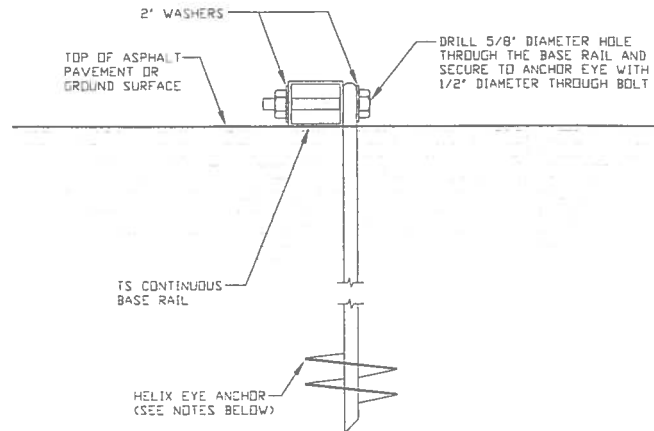
BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 4")
* COORDINATE WITH LOCAL CODES/ORD



3B

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 2 FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6" HELICES WITH MINIMUM 50 INCH EMBEDMENT.
- 5 FOR VERY LOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8" HELICES WITH MINIMUM 60 INCH EMBEDMENT.



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

DATE: 12-18-17

SHT. 9A

SCALE: NTS

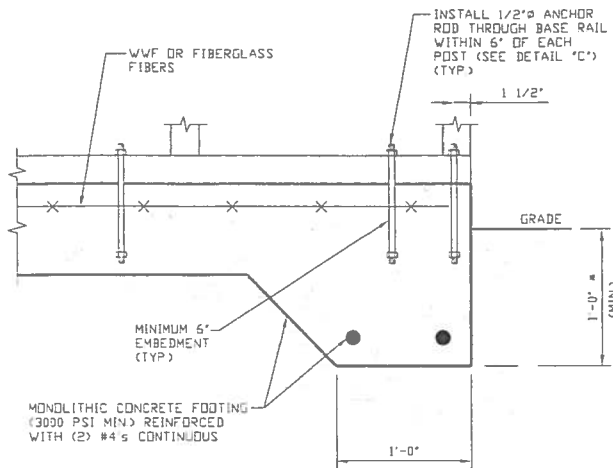
DWG. NO: SK-2

**JOB NO:
16154S/17300S**

REV: 1

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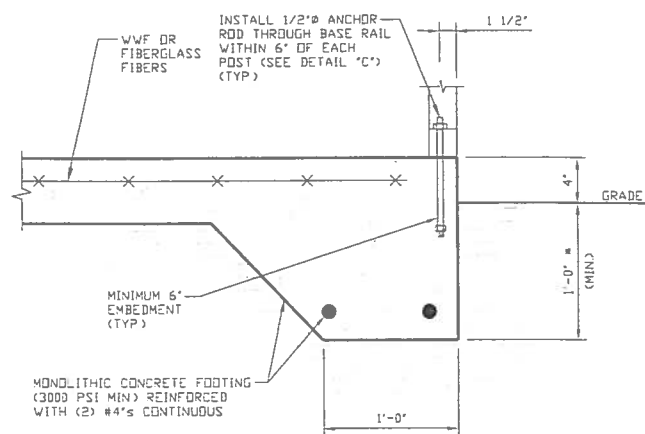
OPTIONAL FOUNDATION ANCHORAGE FOR LOW & HIGH WIND SPEED



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")
* COORDINATE WITH LOCAL CODES/ORD



3B

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")
* COORDINATE WITH LOCAL CODES/ORD

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

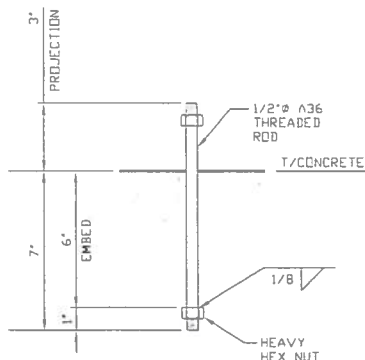
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



3C

ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



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PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0" x 20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

DATE: 12-18-17

SHT. 9B

SCALE: NTS

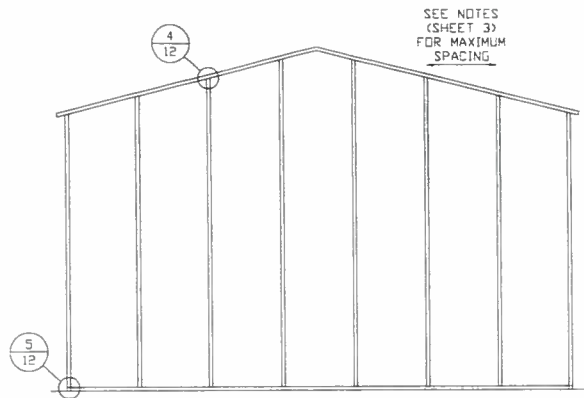
DWG. NO: SK-2

JOB NO:
16154S/17300S

REV: 1

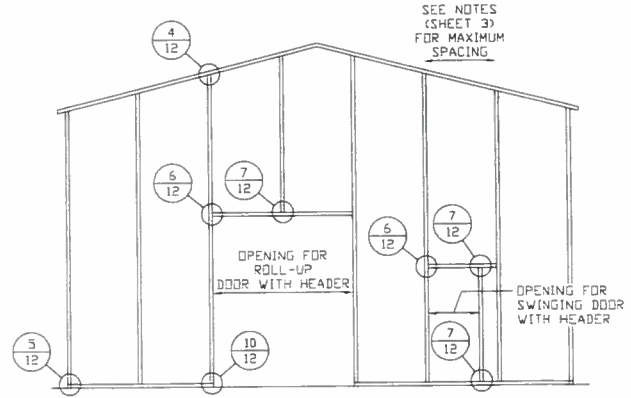
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



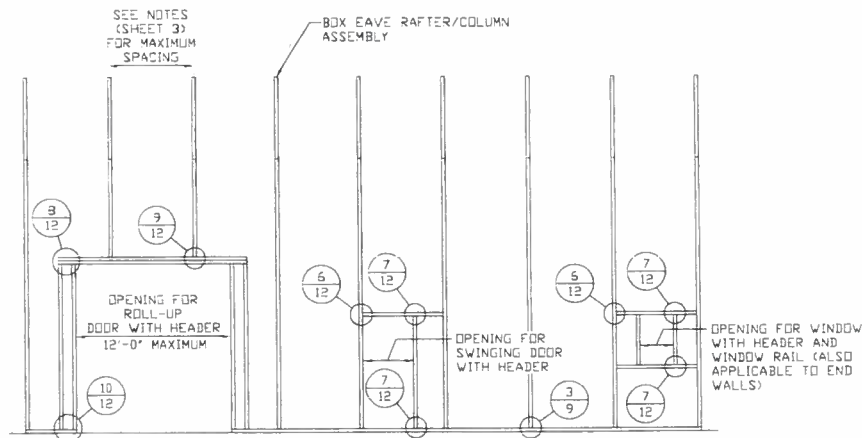
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



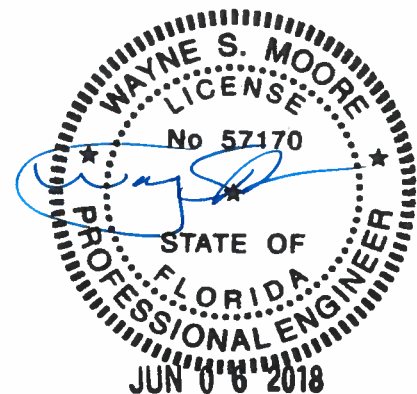
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B**

DATE: 12-18-17

SHT. 10

SCALE: NTS

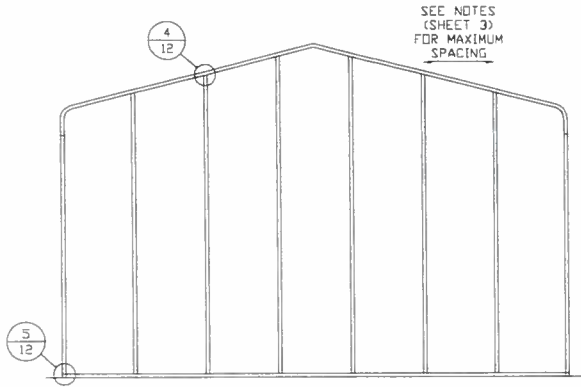
DWG. NO: SK-2

**JOB NO:
16154S/17300S**

REV: 1

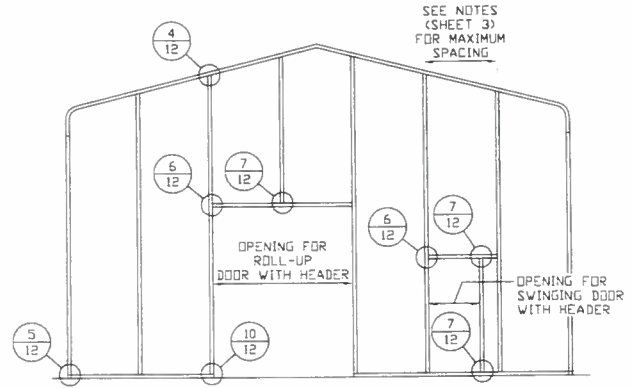
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BOW RAFTER END WALL AND SIDE WALL OPENINGS



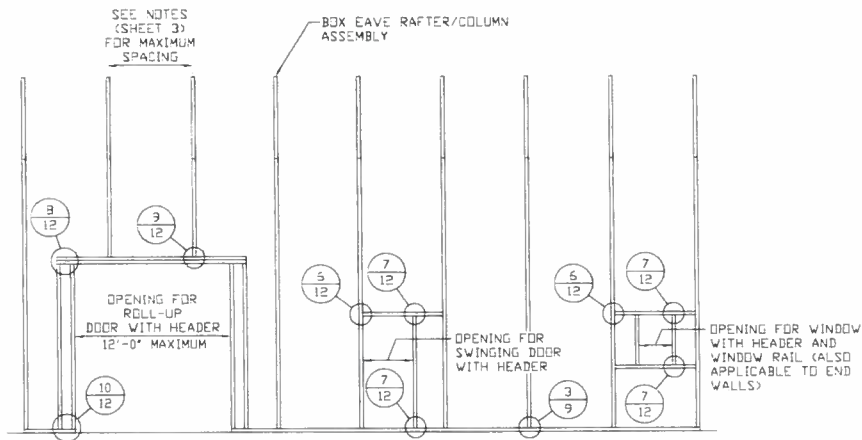
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



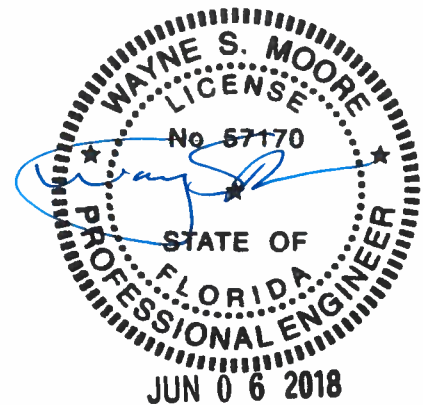
**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER SIDE
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

DATE: 12-18-17

SHT. 11

SCALE: NTS

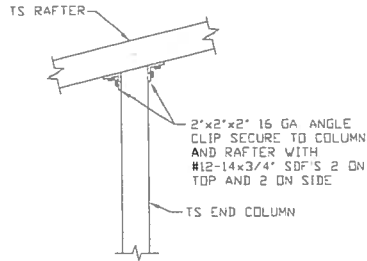
DWG. NO: SK-2

**JOB NO:
16154S/17300S**

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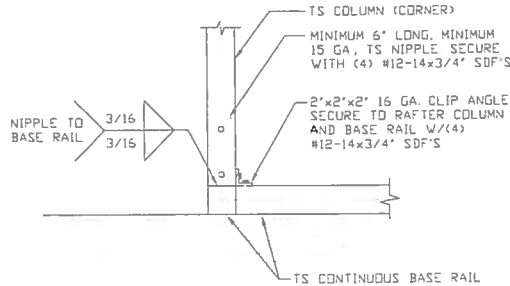
BOW AND BOX EAVE RAFTER WALL OPENING DETAILS



4

**END COLUMN/RAFTER
CONNECTION DETAIL**

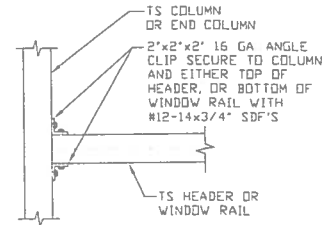
SCALE: NTS



5

**END COLUMN/BASE RAIL
CONNECTION DETAIL**

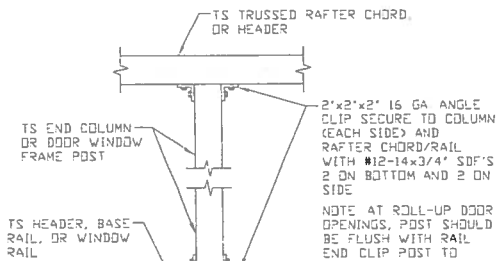
SCALE: NTS



6

**HEADER OR WINDOW
RAIL TO COLUMN
CONNECTION DETAIL**

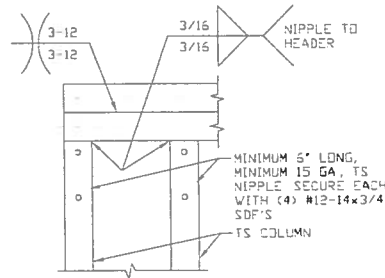
SCALE: NTS



7

**COLUMN TO HEADER,
BASE RAIL, OR
WINDOW RAIL
CONNECTION DETAIL**

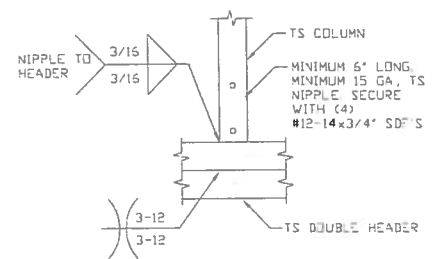
SCALE: NTS



8

**DOUBLE HEADER/COLUMN
CONNECTION DETAIL**

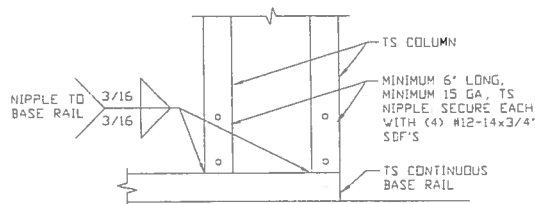
SCALE: NTS



9

**COLUMN/DOUBLE HEADER
CONNECTION DETAIL**

SCALE: NTS



10

**COLUMN/BASE RAIL
CONNECTION DETAIL**

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: VSH

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

DATE: 12-18-17

SHT. 12

SCALE: NTS

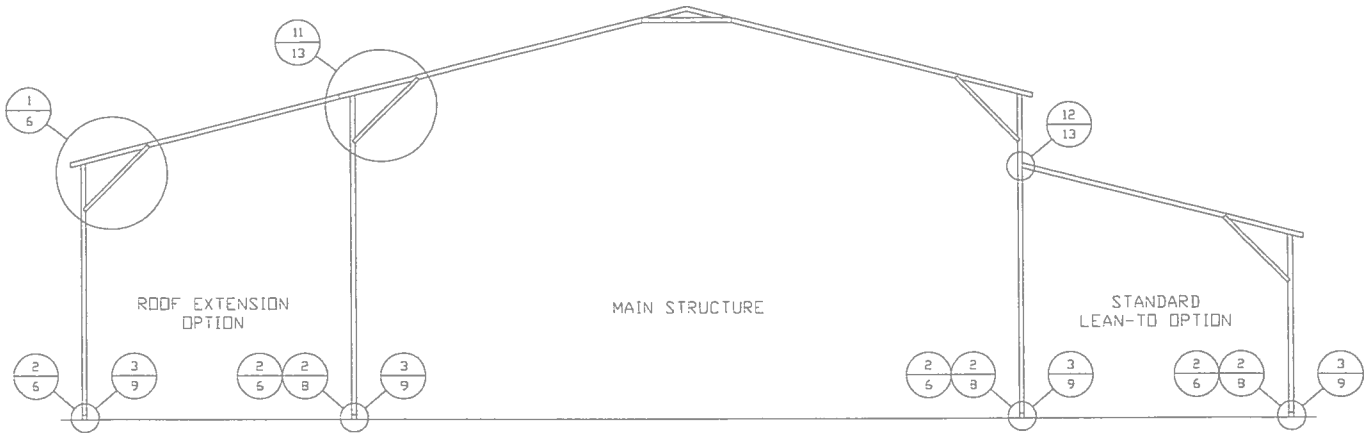
DWG. NO: SK-2

JOB NO:
16154S/17300S

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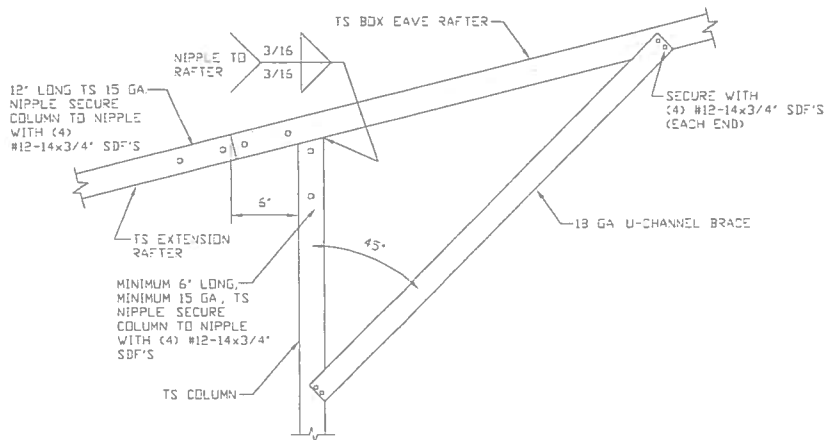
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

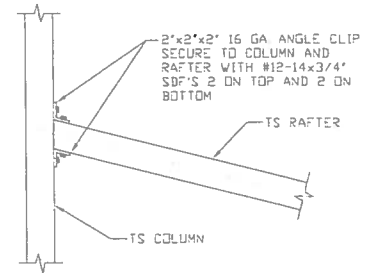
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 15'-0"



11

SIDE EXTENSION RAFTER/COLUMN DETAIL

SCALE: NTS

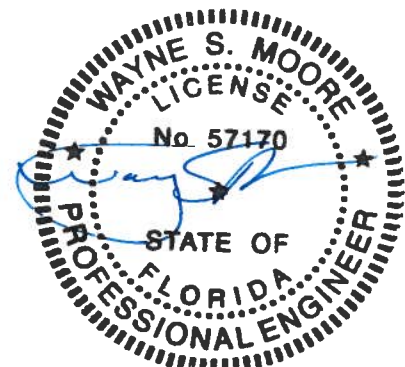


12

LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL

SCALE: NTS

JUN 06 2018



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDM

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

DATE: 12-18-17

SHT. 13

SCALE: NTS

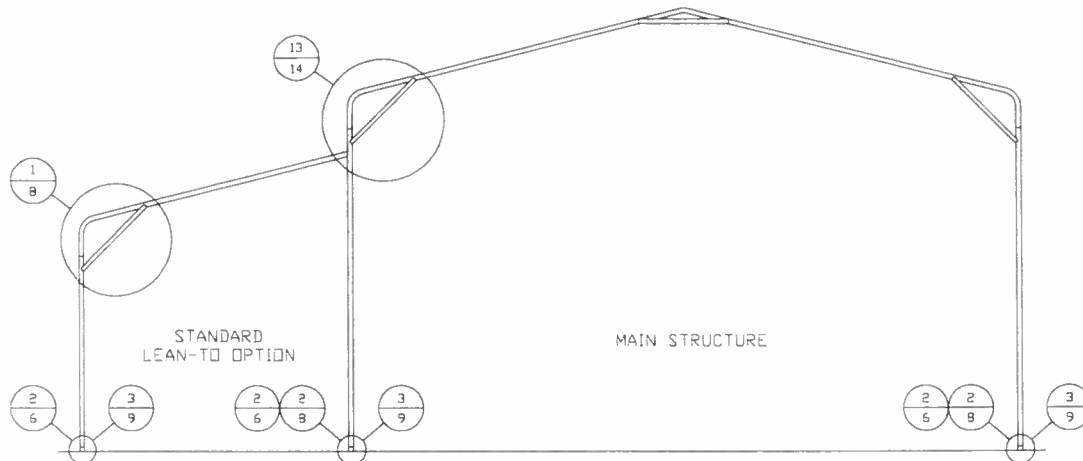
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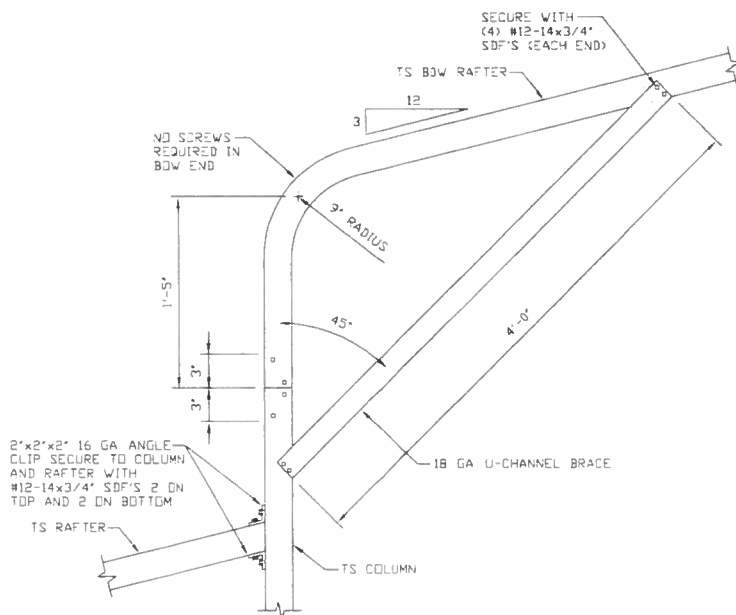
BOW RAFTER LEAN-TO OPTIONS



TYPICAL BOW RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS

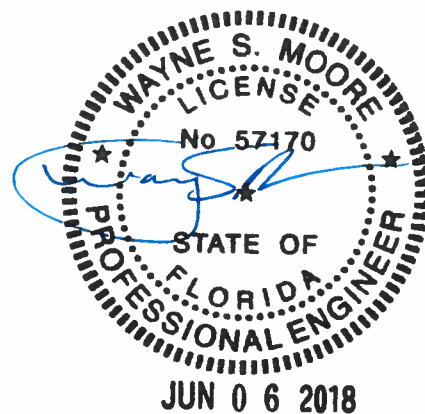
MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 15'-0"



13

SIDE EXTENSION RAFTER/COLUMN DETAIL

SCALE: NTS



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B

DATE: 12-18-17

SHT. 14

SCALE: NTS

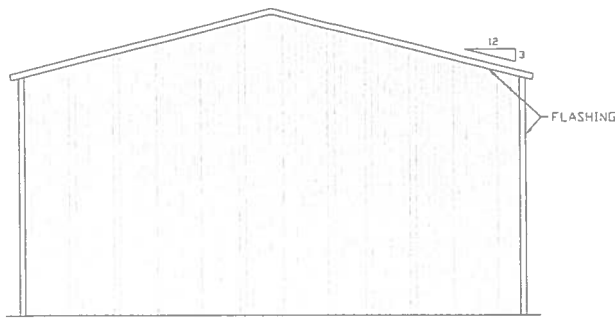
DWG. NO: SK-2

JOB NO:
16154S/17300S

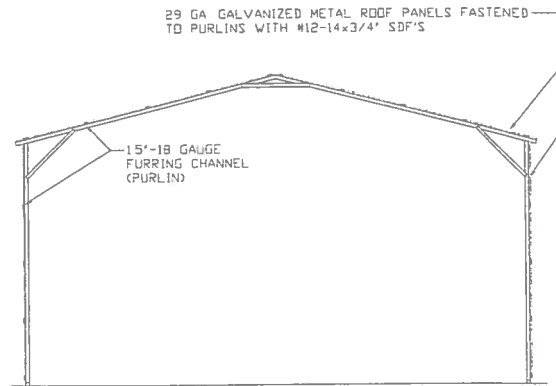
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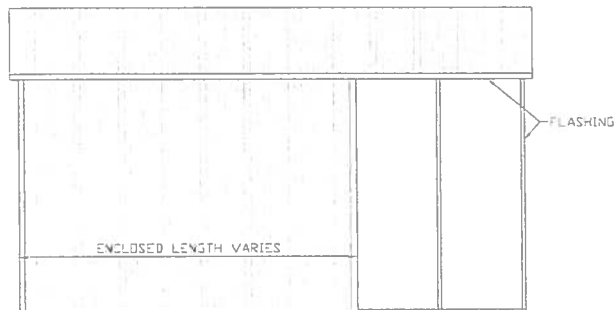
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



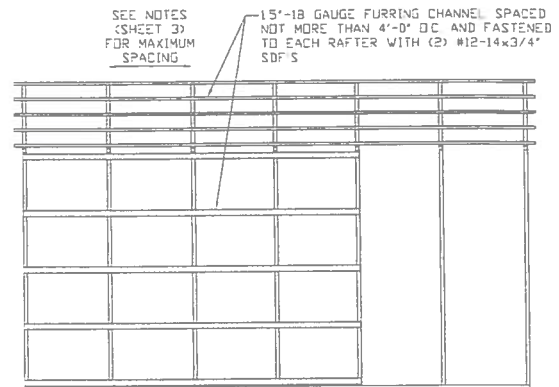
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



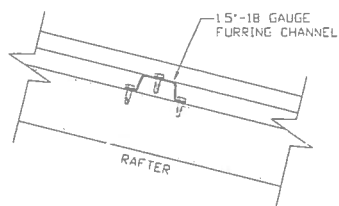
**TYPICAL SECTION VERTICAL
ROOF/SIDING OPTION**
SCALE: NTS



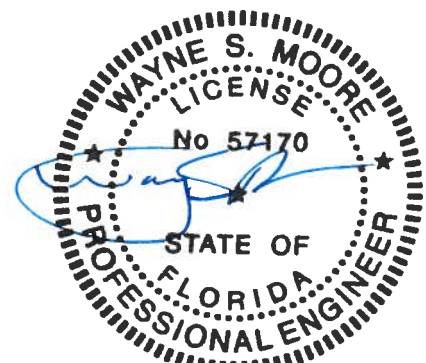
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



**TYPICAL FRAMING SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



ROOF PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS



JUN 06 2018

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B**

DATE: 12-18-17

SHT. 15

SCALE: NTS

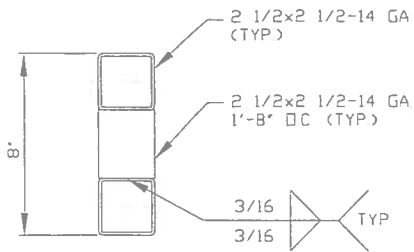
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**JOB NO:
16154S/17300S**

REV: 1

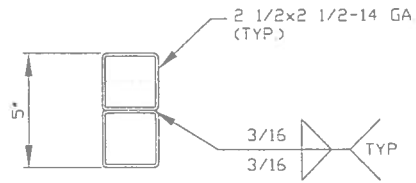
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OPTIONAL DOOR HEADER



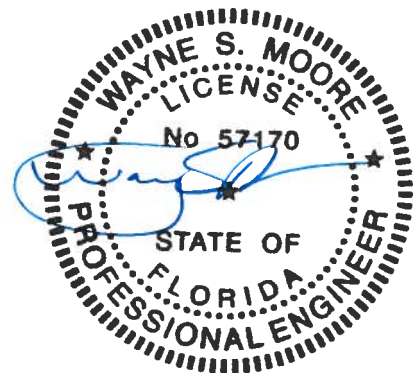
**HEADER DETAIL FOR DOOR
OPENINGS 12'-0" < LENGTH ≤ 15'-0"**

SCALE: NTS



**HEADER DETAIL FOR DOOR
OPENINGS LENGTH ≤ 12'-0"**

SCALE: NTS



JUN 06 2018

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: LT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
30'-0"x20'-0" PARTIALLY ENCLOSED (UTILITY)
BUILDING EXP. B**

DATE: 12-18-17

SHT. 16

SCALE: NTS

DWG. NO: SK-2

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Florida Product Approval Codes

Walk-In Door:

Elixir Door & Metal Company blank (no window): 17996.5

EXP 9/14/2020

Window:

Kinro 993.7 EXP 10/19/21

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

EXP 07/20/2020

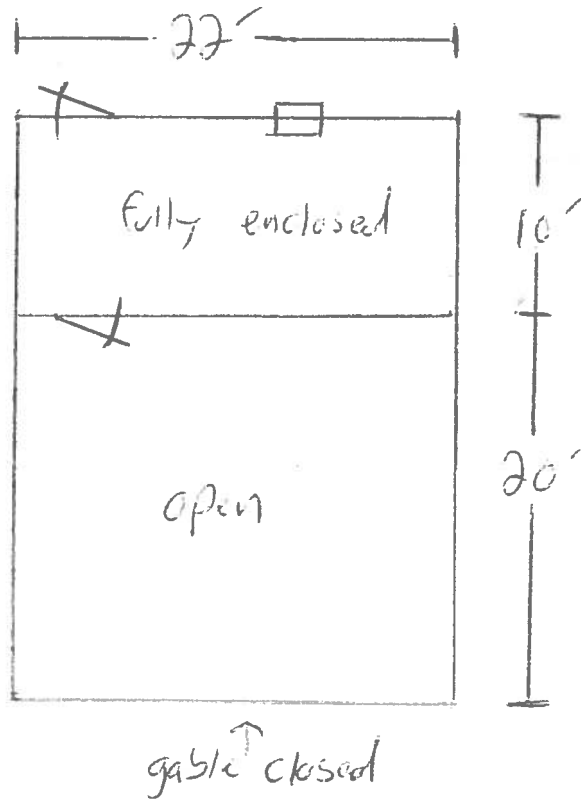
Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions or concerns, please contact Donald Little at
386-961-0006 or at tubularbuildingsystems@gmail.com.

Customer Name Davis Hamilton Date 8-10-19
 Dealer Name Pro Built Steel Buildings Location _____



Sketch Legend

Window



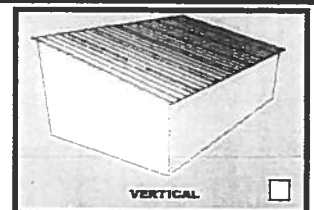
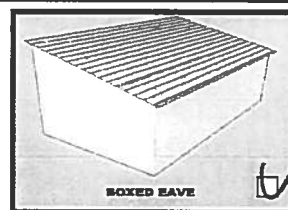
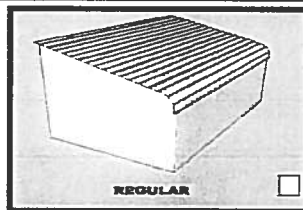
Garage Door



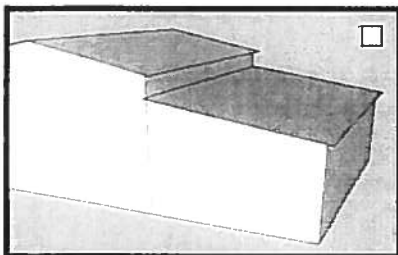
Walk-in Door



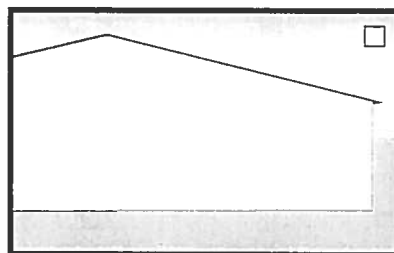
Roof Type
Check One



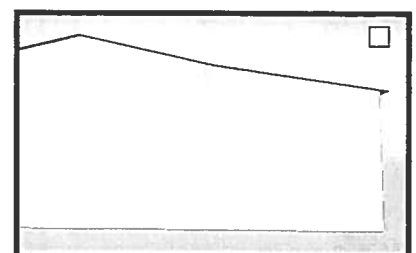
Lean-To Type
Check One



Drop Down Style
Requires 3' Height Difference



Continuous Style "A"
Requires 3' Height Difference



Continuous Style "B"
Requires 2' Height Difference