

Prepared by and return to:

Rob Stewart
Sky Title, LLC dba Lake City Title
426 SW Commerce Drive #145
Lake City, FL 32025
(386) 758-1880
File No 2023-6945CW

Parcel Identification No 1-5S-16-03406-106

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WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 19 day of May, 2023 between **Scott A. Nickelson, a Married Man**, whose post office address is **439 SW Callaway Drive, Lake City, FL 32024**, of the County of Columbia, State of Florida, Grantor, to **Isaac Hart and Marlene Hart, Husband and Wife**, whose post office address is **570 SW Mandiba Drive, Lake City, FL 32024**, of the County of Columbia, State of Florida, Grantees:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

A portion of Lot 6, Rose Creek Plantation, Phase 1, a Subdivision according to the plat thereof recorded in Plat Book 7, Pages 19 and 20 of the public Records of Columbia County, Florida described as follows:

Begin at the Northwest Corner of said Lot 6 and run thence S 02 degrees 24' 09" West along the West line of Lot 6, 690.10 feet to the North right of way of SW Governors Glen; thence N 46 degrees 37' 58" East 252.92 feet to a point of curve, said curve being concave to the Northwest having a radius of 50.00 feet and an included angle of 43 degrees 20' 30"; thence run Northeasterly along the arc of said curve an arc distance of 37.82 feet; thence N 09 degrees 43' 28" W, 490.61 feet to a point on the north line of Said Lot 6; thence S 89 degrees 29' 59" W, 145.51 feet to the Point of beginning.

Said property is not the homestead of the Grantor under the laws and constitution of the State of Florida in that neither Grantor nor any member of the household of Grantor reside thereon.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


Subject to taxes for 2023 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenants with the Grantees that the Grantor is lawfully seized of said land in fee simple, that Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

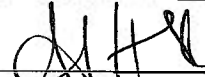
In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

*Signed, sealed and delivered
in our presence:*



WITNESS

PRINT NAME: Robert Stewart



WITNESS


PRINT NAME: Amber H Suh



Scott A. Nickelson

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of ☒ physical presence or () online notarization this 19 day of May, 2023, Scott A. Nickelson, who is/are personally known to me or has/have produced FL ID as identification.



Signature of Notary Public

