

DATE 07/18/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026031

APPLICANT DAVID ROYAL PHONE 752-7578
ADDRESS 212 SE HICKORY DRIVE LAKE CITY FL 32025
OWNER TYSON JOHNSON PHONE 755-0310
ADDRESS 1198 NW SCENIC LAKE DRIVE LAKE CITY FL 32055
CONTRACTOR O'NEAL CONSTRUCTION PHONE 752-7578
LOCATION OF PROPERTY 90W, TO LAKE JEFFERY RD, TL ON SCENIC LAKE DRIVE, 1/4 MILE ON RIGHT
TYPE DEVELOPMENT ADDITION TO SFD ESTIMATED COST OF CONSTRUCTION 15000.00
HEATED FLOOR AREA 300.00 TOTAL AREA 300.00 HEIGHT 18.00 STORIES 1
FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 22-3S-16-02268-233 SUBDIVISION WOODBOROUGH
LOT 33 BLOCK PHASE 1 UNIT TOTAL ACRES 0.61

Culvert Permit No. Culvert Waiver Contractor's License Number CBC057550
EXISTING 07-0567-N BK JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: PLAT REQUIRES MINIMUM FLOOR ELEVATION @ 139.2FT, ELEVATION
ELEVATION CONFIRMATION LETTER REQUIRED

Check # or Cash 14398

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 75.00 CERTIFICATION FEE \$ 1.50 SURCHARGE FEE \$ 1.50
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 153.00
INSPECTORS OFFICE L. Hook CLERKS OFFICE CH

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

ck# 14398

For Office Use Only Application # 0707-17 Date Received 7/6/07 By CH Permit # 26031

Application Approved by - Zoning Official OSK Date 12.07.07 Plans Examiner OKJTH Date 7-9-07

Flood Zone X Development Permit N/A Zoning RSF-2 Land Use Plan Map Category Res. Low Dens

Comments Letter of Authorization Given (in file) Plat Requires Minimum Habitable Floor at 139.2 St.

☒ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☒ State Road Info ☐ Parent Parcel # ☐ Development Permit

Name Authorized Person Signing Permit DAVID ROYAL Cell 365-2391 Fax 755-0240 Phone 386-752-7578

Address _____

Owners Name TYSON JOHNSON Phone _____

911 Address 1198 NW SCENIC DRIVE LAKE CITY, FL

Contractors Name O'NEAL CONTRACTING, INC. Phone 386-752-7578

Address 212 SE HICKORY DRIVE LAKE CITY, FL 32025

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address NICHOLAS GEISLER, 1758 NW BROWN RD. LAKE CITY, FL 32055

Mortgage Lenders Name & Address _____

Circle the correct power company FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 32-3S-16-02431-207 22-3S-16-02268-233 Estimated Cost of Construction 175,000.00

Subdivision Name WEST PACES SUBDIVISION Woodborough Lot 33 Block _____ Unit _____ Phase 1

Driving Directions TAKE NW LAKE JEFFREY RD. TO WOODBOUROUGH SUBDIVISION. TURN ON NW SCENIC LAKE DRIVE, AROUND LAKE JEFFREY HOUSE, ON THE LEFT.

Type of Construction FRAME Addition to SFD Number of Existing Dwellings on Property 1

Total Acreage 0.63 5.37 Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Dr

Actual Distance of Structure from Property Lines - Front 75' Side 22' Side _____ Rear 110'

Total Building Height _____ Number of Stories 1 Heated Floor Area 300 Roof Pitch 6'12"

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
this 5th day of July 20 07.

Personally known ☒ or Produced Identification _____

Contractor Signature
Contractors License Number CBC 057550
Competency Card Number _____
NOTARY STAMP/SEAL Gindy Edge

Commission # DD30837
Expires July 20, 2008
Bonded Troy Fain - Insurance, Inc. 800-385-
Notary Signature (Revised Sept. 2001)



O'NEAL CONTRACTING, INC.

P.O. BOX 3505
818 HICKORY LANE
LAKE CITY, FLORIDA 32056

(386) 752-7578
FAX (386) 755-0240

June 29, 2007

I **John W. O'Neal**, do hereby authorize **Dave Royal** to be my representative and act on the behalf of **O'Neal Contracting, Inc.** in all aspects of applying for a building permit in **Columbia County**.

If you have any questions, please call me at (386) 752-7578.

Sincerely,

John W. O'Neal
Vice President

State of **FL**
County of **Columbia**

Sworn to and subscribed before me this 29th day of **June, 2007** by **John W. O'Neal** who is personally known to me.

Notary Public



Cindy Edge
Commission # **DD308375**
Expires **July 20, 2008**

Bonded Tray Pair - Insurance, Inc. 800-385-7019

Commission expires **July 20, 2008**
Commission No. **DD308375**

10.50
2212.00
2222.50

0867 PG2012

98-16948

OFFICIAL RECORDS

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL.

1998 OCT 21 AM 10:09

Documentary Stamp
Intangible Tax
\$2212.00
J. DeWitt Case
Clerk of Court
AG.

THIS INSTRUMENT PREPARED BY:
ROBERT A. STERN, P.A.
537 NORTHEAST 1ST STREET, SUITE 5
GAINESVILLE, FLORIDA 32601

WARRANTY DEED

THIS INDENTURE, made this 13th day of October, 1998, BETWEEN

MARK A. OWEN and MARILYN OWEN, husband and wife,

whose post office address is: Route 8, Box 833, Lake City, Florida 32055
of the County of Columbia, State of Florida, grantor, and

PARKS TYSON JOHNSON and KATHLEEN C. JOHNSON, husband and wife

whose post office address is: 833 Scenic Lake Drive, Lake City, Florida 32055
County of Columbia, State of Florida, grantee.

That said grantor, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 33, WOODBOROUGH PHASE I, a Subdivision according to the plat thereof recorded in
Plat Book 5, Pages 114-114A of the Public Records of Columbia County, Florida.

Tax Parcel No. R02268-233

(Grantee's Tax I.D. No. (PTJ) & (KCJ))

SUBJECT to restrictions, easements and limitations of record, if any, provided that this shall not serve to reimpose same, zoning ordinances, and taxes for the current year and subsequent years.

Said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever.

"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal the day and year first above written.

Maria E. Wilson

Witness as to Mark A. Owen

MARIA E. WILSON

Name Printed or Typed

LORINUA M. MONITA

Witness as to Mark A. Owen

LORINUA M. MONITA

Name Printed or Typed

Maria E. Wilson

Witness as to Marilyn Owen

MARIA E. WILSON

Name Printed or Typed

LORINUA M. MONITA

Witness as to Marilyn Owen

LORINUA M. MONITA

Name Printed or Typed

Mark A. Owen

MARK A. OWEN

Marilyn Owen

MARILYN OWEN

6K 0867 PG2013

OFFICIAL RECORDS

STATE OF TEXAS
COUNTY OF BEXAR

The foregoing instrument was acknowledged before me on this 3 day of October, 1998, by MARK A. OWEN, who is personally known to me or who has produced Florida Driver's License as identification.

Nelda Stade
Notary Public, State of TEXAS
Name Printed, Typed or Stamped:

Serial No.

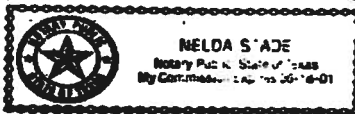


STATE OF TEXAS
COUNTY OF BEXAR

The foregoing instrument was acknowledged before me on this 3 day of October, 1998, by MARILYN OWEN, who is personally known to me or who has produced Texas Driver's License as identification.

Nelda Stade
Notary Public, State of TEXAS
Name Printed, Typed or Stamped:

Serial No.



Columbia County Property Appraiser

DB Last Updated: 5/11/2007

2007 Proposed Values

Parcel: 22-3S-16-02268-233 HX

Tax Record

Property Card

Interactive GIS Map

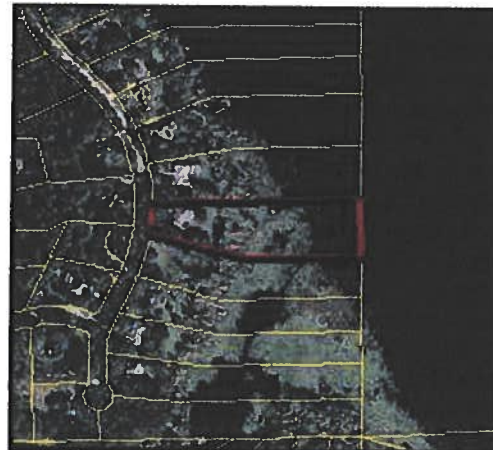
Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	JOHNSON PARKS T & KATHLEEN C		
Site Address	SCENIC LAKE		
Mailing Address	1198 NW SCENIC LAKE DR LAKE CITY, FL 32055		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	22316.01	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.631 ACRES		
Description	LOT 33 WOODBOROUGH PHASE 1 ORB 678-580, 794-1555, 867-2012,		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$110,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$208,277.00
XFOB Value	cnt: (7)	\$27,095.00
Total Appraised Value		\$345,372.00

Just Value	\$345,372.00
Class Value	\$0.00
Assessed Value	\$300,271.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$275,271.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
10/13/1998	867/2012	WD	I	Q		\$316,000.00
8/19/1994	794/1555	WD	V	U	12	\$64,900.00
3/10/1989	678/580	WD	V	Q		\$40,000.00

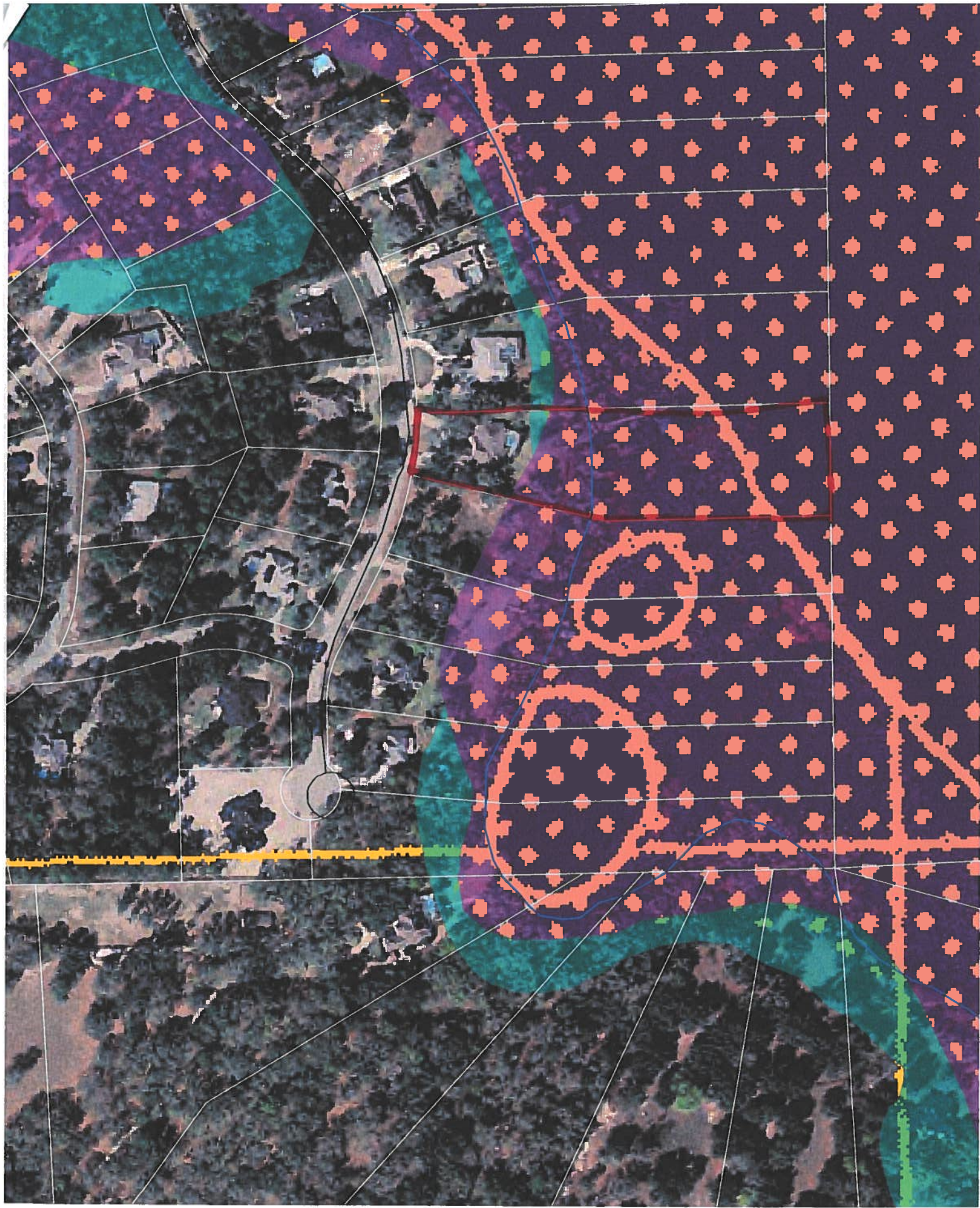
Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	EXCEPT SFR (000900)	1995	Above Avg. (10)	3181	4153	\$208,277.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	1995	\$1,600.00	1.000	0 x 0 x 0	(.00)
0166	CONC,PAVMT	1995	\$5,891.00	3927.000	0 x 0 x 0	(.00)
0080	DECKING	1995	\$1,700.00	680.000	0 x 0 x 0	(.00)
0280	POOL R/CON	1995	\$8,294.00	512.000	32 x 16 x 0	(.00)
0282	POOL ENCL	1995	\$7,225.00	850.000	0 x 0 x 0	(.00)

Land Breakdown



NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Tax Parcel ID Number 22-3S-16-02268-233

Permit Number 000026031

1. Description of property: (legal description of the property and street address or 911 address)

LOT 33 WOODBOROUGH PHASE 1 ORB 678-580, 794-1555, 867-2012. 1198 NW SCENIC LAKE DRIVE,
LAKE CITY, FL 32055

Inst: 200712016523 Date: 7/24/2007 Time: 12:44 PM

KL DC, P. DeWitt Cason, Columbia County Page 1 of 1

2. General description of improvement: ADDITION TO SED

3. Owner Name & Address TYSON JOHNSON, 1198 NW SCENIC LAKE DRIVE, LAKE CITY, FL 32055

Interest In Property 100%

4. Name & Address of Fee Simple Owner (if other than owner): N/A

5. Contractor Name O'NEAL CONTRACTING, INC. Phone Number 386-752-7578

Address P.O. BOX 3505, LAKE CITY, FL 32056

6. Surety Holders Name N/A

Phone Number _____

Address _____

Amount of Bond _____

7. Lender Name N/A

Phone Number _____

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name N/A

Phone Number _____

Address _____

9. In addition to himself/herself the owner designates N/A of

_____ to receive a copy of the Lien Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____

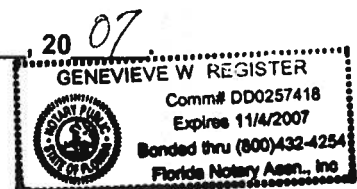
THE OWNER MUST SIGN THE NOTICE OF COMMENCEMENT AND NO ONE ELSE MAY BE PERMITTED TO SIGN IN HIS/HER STEAD.

Tyson Johnson
Signature of Owner

Sworn to (or affirmed) and subscribed before day of July 24

Genevieve W. Register
Signature of Notary

NOTARY STAMP/SEAL



NOTE: 1. Building Fill 2. Trench Backfill 3. Base Course 4. Subbase/Stabilized Subgrade 5. Embankment 6. Subgrade/Natural Soil 7. Other



Donald F. Lee & Associates, Inc.
Surveyors & Engineers

2603/

140 NW Ridgewood Avenue
Lake City, Florida 32055
(386) 755-6166
Fax (386) 755-6167
donald@dfla.com

Tuesday, September 18, 2007

FROM: Tim Delbene, P.L.S.

TO: Columbia County Building & Zoning Dept.

CC: O'Neal Construction

RE: Floor Elevation Check – Lot 33 – Woodborough Phase 1

We have obtained elevations on the proposed floor (stem wall) of a house addition under construction on the above referenced Lot. The elevations are based on Local Benchmark Datum. The results are as follows:

Floor Elevation (stemwall): 145.2'

The minimum required floor elevation for this Lot is 139.2', as shown on the record subdivision plat of Woodborough Phase 1.

SIGNED:

Timothy A. Delbene, P.L.S.
Florida Reg. Cert. No. 5594

DATE: 9/18/2007.



'TYSON JOHNSON ADDITION' **COLUMBIA COUNTY BUILDING DEPARTMENT**

Revised 10-01-05

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ——— 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ——— 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.</p> <p>Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.</p> <p><u>Site Plan including:</u></p> <ol style="list-style-type: none"> a) Dimensions of lot b) Dimensions of building set backs c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements. d) Provide a full legal description of property. <p><u>Wind-load Engineering Summary, calculations and any details required</u></p> <p>Plans or specifications must state compliance with FBC Section 1609.</p> <p>The following information must be shown as per section 1603.1.4 FBC</p> <ol style="list-style-type: none"> a. Basic wind speed (3-second gust), miles per hour (km/hr). b. Wind importance factor, I_w, and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7. c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated. d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient. e. Components and Cladding. The design wind pressures in terms of psf (kN/m^2) to be used for the design of exterior component and cladding materials not specifiically designed by the registered design professional. <p><u>Elevations including:</u></p> <ol style="list-style-type: none"> a) All sides b) Roof pitch c) Overhang dimensions and detail with attic ventilation
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- d) Location, size and height above roof of chimneys.
- e) Location and size of skylights
- f) Building height
- e) Number of stories

Floor Plan including:

- a) Rooms labeled and dimensioned.
- b) Shear walls identified.
- c) Show product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 (see attach forms).
- d) Show safety glazing of glass, where required by code.
- e) Identify egress windows in bedrooms, and size.
- f) Fireplace (gas vented), (gas non-vented) or wood burning with hearth, (Please circle applicable type).
- g) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails.
- h) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

- a) Location of all load-bearing wall with required footings indicated as standard or monolithic and dimensions and reinforcing.
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling
- d) Location of any vertical steel.

Roof System:

- a) Truss package including:
 - 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
 - 2. Roof assembly (FBC 106.1.1.2)Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- b) Conventional Framing Layout including:
 - 1. Rafter size, species and spacing
 - 2. Attachment to wall and uplift
 - 3. Ridge beam sized and valley framing and support details
 - 4. Roof assembly (FBC 106.1.1.2)Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

Wall Sections including:

- a) Masonry wall
 - 1. All materials making up wall
 - 2. Block size and mortar type with size and spacing of reinforcement
 - 3. Lintel, tie-beam sizes and reinforcement
 - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation shall be designed by a Windload engineer using the engineered roof truss plans.
 - 6. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
 - 7. Fire resistant construction (if required)
 - 8. Fireproofing requirements
 - 9. Shoe type of termite treatment (termiticide or alternative method)
 - 10. Slab on grade
 - a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
 - 11. Indicate where pressure treated wood will be placed
 - 12. Provide insulation R value for the following:

- a. Attic space
- b. Exterior wall cavity
- c. Crawl space (if applicable)

b) Wood frame wall

- ✓1. All materials making up wall
- ✓2. Size and species of studs
- ✓3. Sheathing size, type and nailing schedule
- ✓4. Headers sized
- ✓5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
- ✓6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers) shall be designed by a Windload engineer using the engineered roof truss plans.
- ✓7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- 8. Fire resistant construction (if applicable)
- ✓9. Fireproofing requirements
- ✓10. Show type of termite treatment (termicide or alternative method)
- ✓11. Slab on grade
 - ✓ a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
- ✓12. Indicate where pressure treated wood will be placed
- 13. Provide insulation R value for the following:
 - ✓ a. Attic space
 - ✓ b. Exterior wall cavity
 - c. Crawl space (if applicable)

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms
- h) Exhaust fans in bathroom

HVAC information

- a) Energy Calculations (dimensions shall match plans)
- b) Manual J sizing equipment or equivalent computation
- c) Gas System Type (LP or Natural) Location and BTU demand of equipment

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK



**NICHOLAS
PAUL
GEISLER
ARCHITECT**
N.C.A.R.B. Certified

1758 NW Brown Rd.
Lake City, FL 32055
386/755-6608

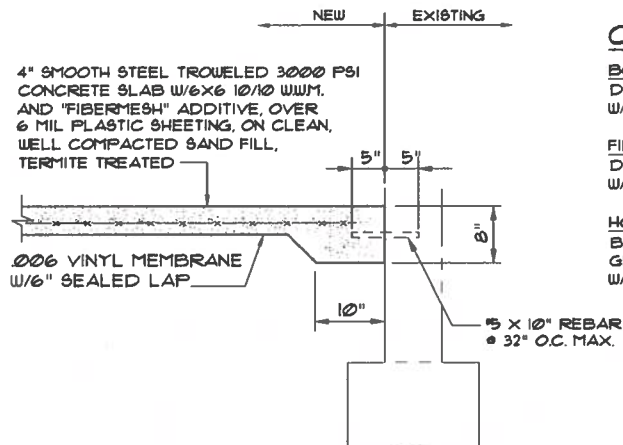
29 JUNE 2007

BUILDING OFFICIAL
COLUMBIA COUNTY BUILDING DEPARTMENT
LAKE CITY, FLORIDA

RE: TYSON JOHNSON RESIDENCE
ONEAL CONSTRUCTION
PERMIT Nr.: _____

DEAR SIR:

PLEASE BE ADVISED THAT THE FOLLOWING REVISIONS HAVE BEEN MADE
TO THE ABOVE REFERENCED PROJECT:



CONNECTION NOTES

BOND BEAM

DRILL • EPOXY 5 BARS INTO BOND BEAM
W/ MINIMUM 5" EMBEDMENT • 32" O.C.

FILLED CELL

DRILL • EPOXY 5 BARS INTO FILLED CELLS
W/ MINIMUM 5" EMBEDMENT • 32" O.C.

HOLLOW CELL

BREAK-OUT EXISTING HOLLOW BLOCK AND
GROUT IN NEW 5 BARS INTO FILLED CELLS
W/ MINIMUM 5" EMBEDMENT • 32" O.C.

TYP. JOINT CONNECTION

SHOULD YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO
CALL FOR ANY ASSISTANCE.

YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

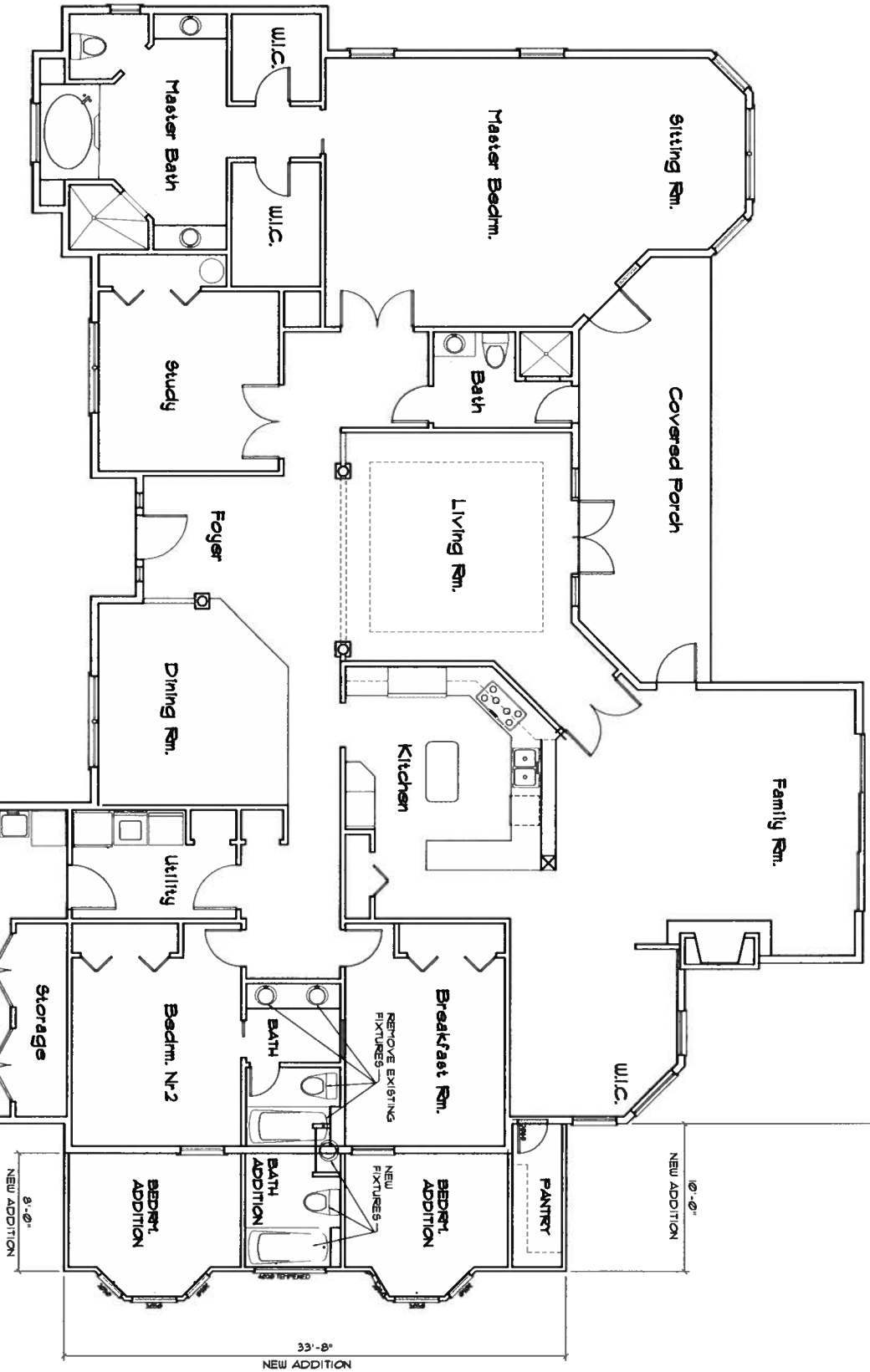
Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS	MASONITE	WOOD EDGE, STEEL DOOR	FL 5465
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	JORDAN	SINGLE HUNG VINYL	FL 1378
B. HORIZONTAL SLIDER		HORIZONTAL SLIDER	FL 1384
C. CASEMENT		CASEMENT VINYL	FL 2949
D. FIXED		FIXED VINYL	FL 1385
E. MULLION		MULLION VINYL	FL 2685
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES	ELK	ARCHITECTURAL SHINGLES	FL 728
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

APPLICANT SIGNATURE

DATE

EXISTING RESIDENCE




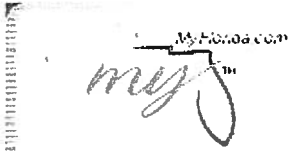
EXISTING RESIDENCE: 3205 S.F. LIVING
NEW ADDITION: 300 S.F.

FLOOR PLAN

RESIDENCE OF:
Tyson & Kathy Johnson
1199 NW SCENIC LAKE DRIVE
LAKE CITY, FL 32055

Quote

	Sold To: ONEAL ROOFING	<table style="width: 100%;"> <tr> <td style="width: 50%;"> JobNo. L244579 P.T. Sales No </td> <td style="width: 50%;"> Ship Date Quote 6/29/2007 Account PO </td> </tr> </table>		JobNo. L244579 P.T. Sales No	Ship Date Quote 6/29/2007 Account PO										
JobNo. L244579 P.T. Sales No	Ship Date Quote 6/29/2007 Account PO														
Plant: Lake City Truss 2525 E Duval Street Lake City, FL 386 755-6894	SubDvsn: Johnson Addition Lot: - Model/Elev Custom Options	Req'd Engineering	Req'd Layouts												
Sales Rep Robert Daniel Sales Area Dist Center Designer avm	Directions	<table style="width: 100%;"> <tr> <td style="width: 33%;">Job Contacts</td> <td style="width: 33%;">Site</td> <td style="width: 33%;">Office</td> </tr> <tr> <td>Name</td> <td></td> <td></td> </tr> <tr> <td>Phone</td> <td></td> <td></td> </tr> <tr> <td>Fax</td> <td></td> <td></td> </tr> </table>		Job Contacts	Site	Office	Name			Phone			Fax		
Job Contacts	Site	Office													
Name															
Phone															
Fax															
Accepted By Seller By: _____ Title: _____ Date Of Acceptance: _____	Accepted By Buyer Purchaser: _____ By: _____ Title: _____ Address: _____ _____ Phone: _____ Date: _____		<table style="width: 100%;"> <tr> <td style="width: 60%;">Truss Pkg:</td> <td style="width: 40%; text-align: right;">\$700.00</td> </tr> <tr> <td>Tax:</td> <td style="text-align: right;">\$0.00</td> </tr> <tr> <td>Shipping:</td> <td style="text-align: right;">\$0.00</td> </tr> <tr> <td>Total Price:</td> <td style="text-align: right;">\$0.00</td> </tr> </table>	Truss Pkg:	\$700.00	Tax:	\$0.00	Shipping:	\$0.00	Total Price:	\$0.00				
Truss Pkg:	\$700.00														
Tax:	\$0.00														
Shipping:	\$0.00														
Total Price:	\$0.00														
<ol style="list-style-type: none"> 1. All valleys to be conventionally framed. 2. Price based on premise that plans are structurally sound. 3. Bracing material to be supplied by contractor. 4. Builders FirstSource will not be liable for back charges unless approved by representative before the work creating any charge is performed. 5. Builders FirstSource reserves the right to adjust price as deemed necessary after 30 days from date of estimate. Price is not to be assumed as valid if plan is repeated at a later date. New quote must be requested for advance knowledge of price unless other written contract is agreed upon for specific plan to be repeatedly fabricated at same price during specified time period. 6. Bid is null and void if final plans deviate from original. Any changes to engineering is subject for rebid. 7. Some walls may need to be made load-bearing, to be determined when truss details are engineered. 8. Jobs canceled or in house longer than 90 days are subject to a minimum of a 10% engineering fee. 9. Sales tax is not included. 															



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4:43:31 PM 12/7/2006

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- [View Continuing Ed](#)



[Term Glossary](#)



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Licensee Details

Licensee Information

Name: **O'NEAL, JOHN WINSTON (Primary Name)**
O'NEAL CONTRACTING INC (DBA Name)
 Main Address: **PO BOX 2166**
LAKE CITY Florida 32056
 County: **COLUMBIA**

License Mailing:

LicenseLocation: **818 HICKORY LANE**
LAKE CITY FL 32025
 County: **COLUMBIA**

License Information

License Type: **Certified Building Contractor**
 Rank: **Cert Building**
 License Number: **CBC057550**
 Status: **Current,Active**
 Licensure Date: **02/22/1996**
 Expires: **08/31/2008**

Special Qualifications Qualification Effective

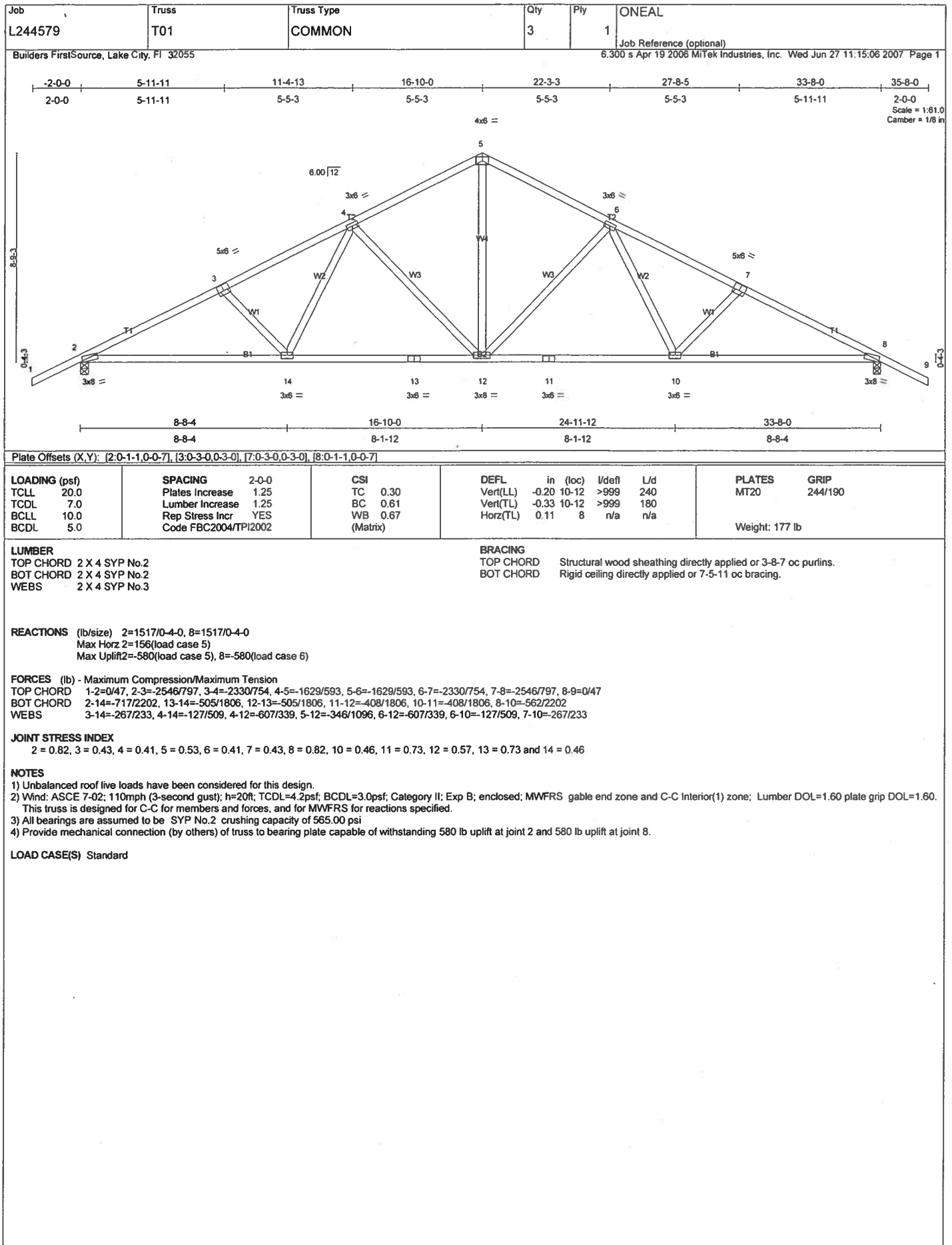
Bldg Code Core Course Credit

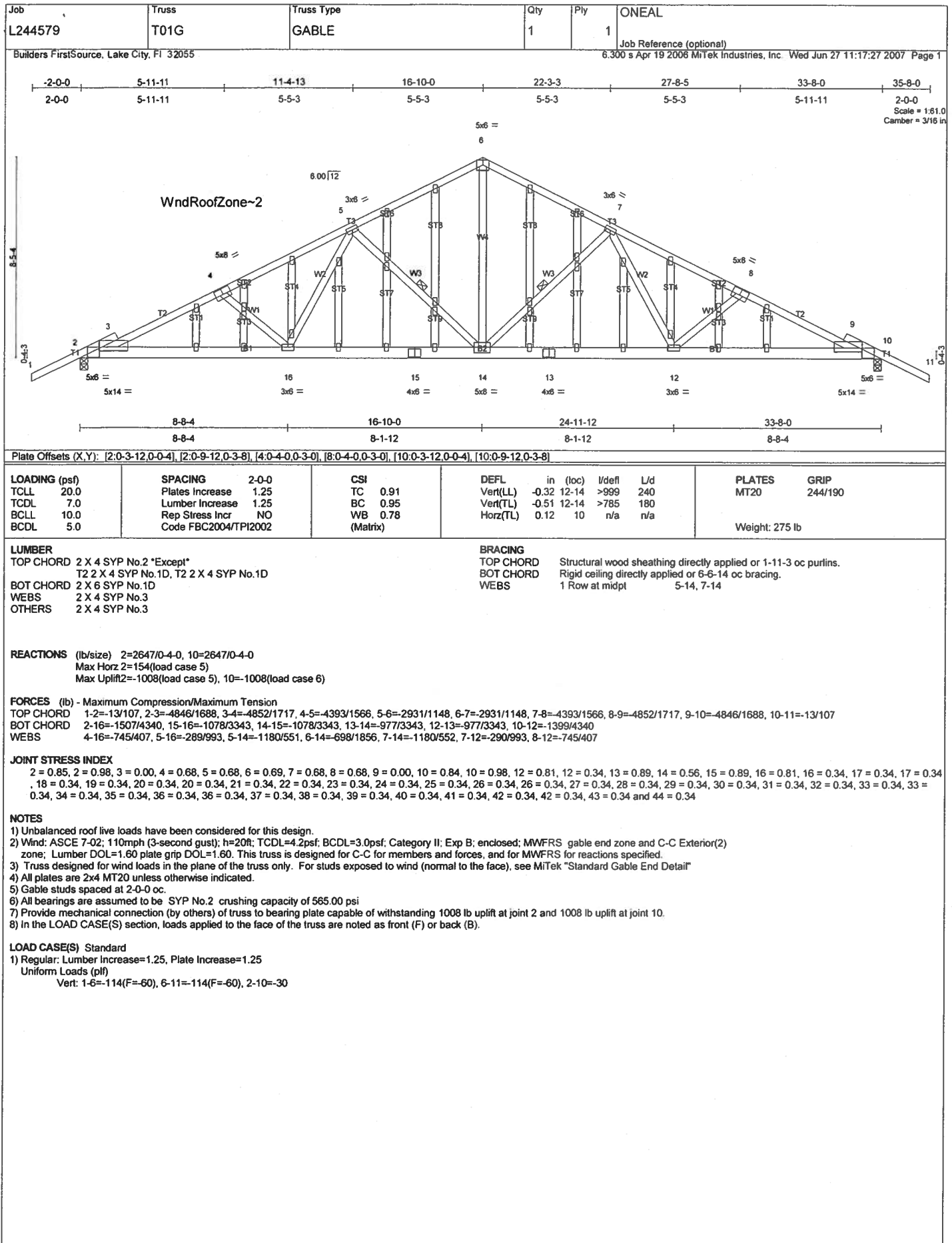
Qualified Business License Required 02/20/2004

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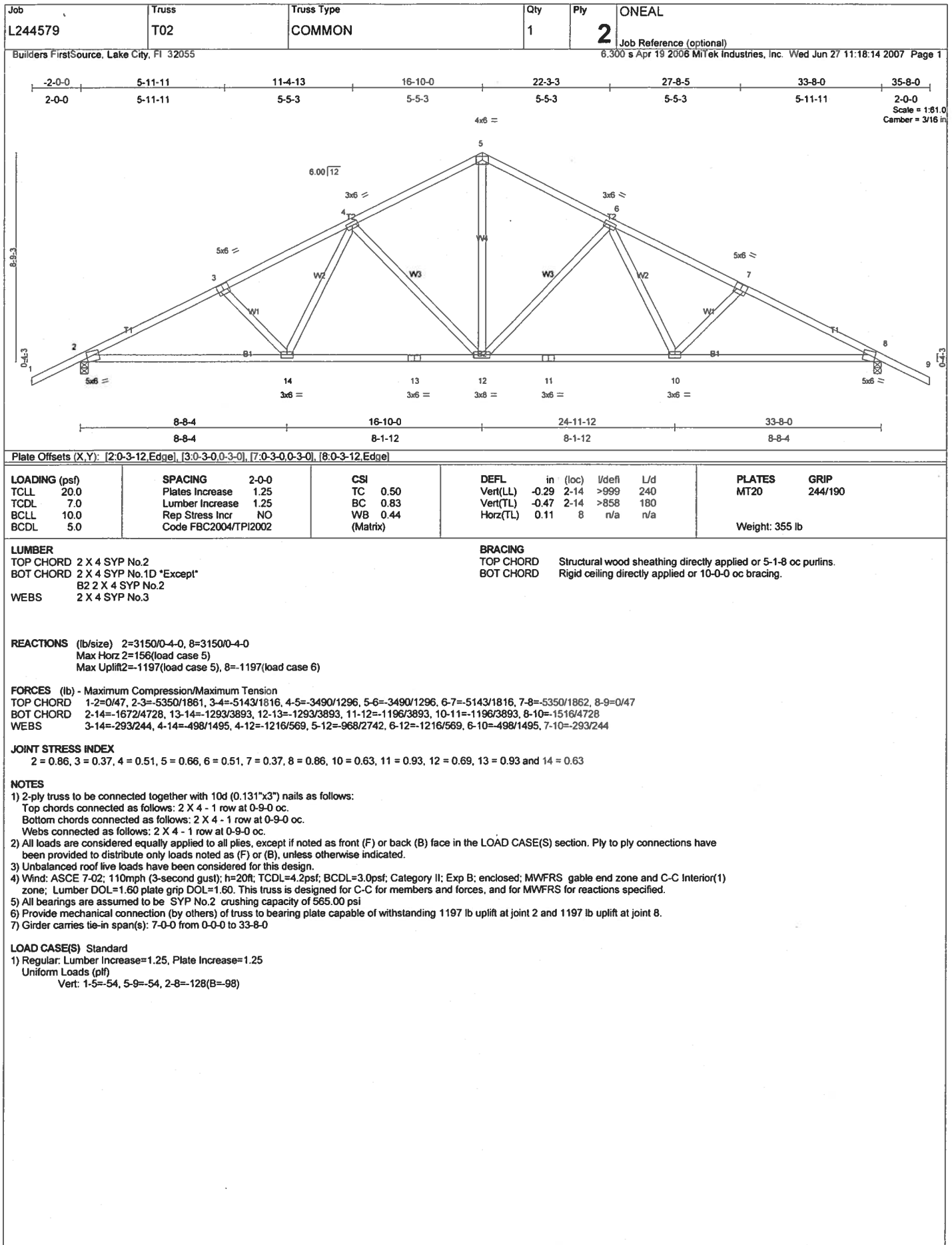
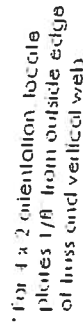
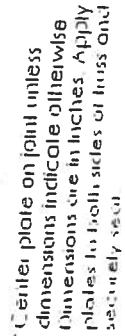


PLATE LOCATION AND ORIENTATION



* This symbol indicates the required direction of slots in connector plates



the first dimension is the width perpendicular to slats. Second dimension is the length parallel to slats

Indicates location of required continuous lateral bracing

Indicates location of joints at which bearings supports occur

Numbering System

JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRISS STARTING AT THE LOWEST JOINT FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

CONNECTOR PLATE CODE APPROVALS

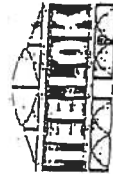
UOCA 96-31.96.67

ICBC 39017.4922

9667 9432A

VISC/CNIR 960022.W 970034.11

IER
Sól



Title, Engineering Reference Sheet: ME-7473

General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

1. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties
2. Cut members to bear tightly against each other
3. Place plates on each face of truss at each joint and embed fully. Avoid knots and voids at joint locations
4. Unless otherwise noted, locate chord splices at 1/4 panel length (1.5' from adjacent joint)
5. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication
6. Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
7. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to Camber for dead load deflection.
8. Plate type, size and location dimensions shown indicate minimum plating requirements
9. Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified
10. Top chords must be sheathed or pultrus provided at spacing shown on design.
11. Bottom chords require lateral bracing at 10 ft spacing, or less. If no ceiling is installed, unless otherwise noted
12. Anchorage and / or load transferring connections to trusses are the responsibility of others unless shown
13. Do not overload roof or floor trusses with loads of construction materials.
14. Do not cut or alter truss member or plate without prior approval of a professional engineer.
15. Care should be exercised in handling, erection and installation of trusses

BEARING HEIGHT SCHEDULE

910-6

OVERHANG
2'-0"

ROOF PITCH(S)

6/12

NOTES:

1) REFER TO HIB 91 RECOMMENDATIONS FOR HANDLING INSTALLATION AND TEMPORARY BRACING. REFER TO ENGINEERED DRAWINGS FOR PERMANENT BRACING REQUIRED.

2.) ALL TRUSSES (INCLUDING TRUSSES UNDER VALLEY FRAMING) MUST BE COMPLETELY DECKED OR REFER TO DETAIL V05 FOR ALTERNATE BRACING REQUIREMENTS.

3.) ALL VALLEYS ARE TO BE CONVENTIONALLY
FRAMED BY BUILDER.

4.) ALL TRUSSES ARE DESIGNED FOR 2' O.C. MAXIMUM SPACING, UNLESS OTHERWISE NOTED.

5.) ALL WALLS SHOWN ON PLACEMENT PLAN ARE CONSIDERED TO BE LOAD BEARING, UNLESS OTHERWISE NOTED.

6.) 5Y42 TRUSSES MUST BE INSTALLED WITH THE TOP BEING UP.

7.) ALL ROOF TRUSS HANGERS TO BE SIMPSON
HKS26 UNLESS OTHERWISE NOTED. ALL
FLOOR TRUSS HANGERS TO BE SIMPSON
THH422 UNLESS OTHERWISE NOTED.

8.) BEAM/HEADER/LINTEL (HDR) TO BE FURNISHED BY BUILDER.

SHOP DRAWING APPROVAL

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND JOISTS. ALL PREVIOUS ARCHITECTURAL OR OTHER TYPINGS, REVISED, REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

Requested Delivery Date : _____

Approved by: _____ Date: _____



PHONE: 904-437-3349 FAX: 904-437-3994

PHONE: 904-772-6100 FAX: 904-772-1973

PHONE: 904-755-6894 FAX: 904-755-7973

PHONE: 407-322-0059 FAX: 407-322-5553

BUILDER:

LEGAL ADDRESS:

MODEL: _____ REVISION: _____

CODE: 00100M	SCALE: NIS
--------------	------------

MONDRAGON

PROJECT INFORMATION / NOTES:

DESIGN VALUE/LOADS & CODES
WIND DESIGN SPEED: 10 MPH (WLEB6 NOTED OTHERWISE)

SOIL DESIGN STATEMENT:
FOOTING DESIGN IS BASED UPON WLEB6P SOIL BEARING PRESSURE PROVIDED BY CLIENT AND/OR WELL OR OTHER OTHER SOIL CAPACITY. ALL CLAY, SAND, SILT, OR GRAVEL SOILS OR OTHER UNDESIRABLE SOILS SHALL BE REMOVED FOR FOUNDATION INSTALLATION.

LIVE LOADS: 1st FLOOR: 40PSF, 2nd FLOOR: 40PSF, ROOF: AS DETERMINED BY STATE FACTORS APPLIED TO THE WIND FORCE GENERATED BY THE DESIGN WIND SPEED.

BUILDING CODE: 2004 FLORIDA BUILDING CODE

ELECTRICAL CODE: NATIONAL ELECTRICAL CODE - LATEST EDITION
PLUMBING: INTERNATIONAL - LATEST

CONSTRUCTION DOCUMENTS

THE CLIENT IS RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS OF ALL AGENCIES AND TO THE APPLICABLE BUILDING AUTHORITY FOR THE BALANCE OF CONSTRUCTION PERMITS. THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK OR FABRICATION OF ANY MATERIALS.

DO NOT SCALE OFF THESE PLANS

APPLE DIMENSIONS ARE SHOWN ON THE PLANS TO LOCATE ALL ITEMS. APPLE DIMENSIONS MAY BE USED TO DETERMINE THE LOCATION OF THOSE ITEMS NOT DIMENSIONED.

CHANGES TO FINAL PLAN SETS

PLEASE DO NOT MAKE ANY STRUCTURAL CHANGES TO THESE PLANS WITHOUT CONSULTING WITH THE ARCHITECT. THE OWNER SHALL ASSUME ANY AND ALL LIABILITY FOR STRUCTURAL DAMAGE RESULTING FROM CHANGES MADE TO THE PLANS OR BY SUBSTITUTION OF MATERIALS DIFFERENT FROM SPECIFICATION ON THE PLANS.

ORGANIC ARSENICAL PRESERVE TREATED WOOD

NOTE: FINISH MATERIALS SPECIFIED FOR THE CONSTRUCTION OF YOUR PROJECT SUCH AS SILL OR EXTERIOR FINISHING ARE PRESERVE TREATED. EACH PIECE IS CLEARLY MARKED FOR EASY IDENTIFICATION AND IS USUALLY GREENISH IN COLOR.

THIS WOOD HAS BEEN PRESERVED BY PRESERVE-TREATMENT WITH AN EPA-REGISTERED PESTICIDE CONTAINING ORGANIC ARSENIC TO PROTECT IT FROM INSECT ATTACK AND DECAY. EXPOSURE TO TREATED WOOD MAY PRESENT CERTAIN HAZARDS. THEREFORE, PRECAUTIONS SHOULD BE TAKEN BOTH WHEN HANDLING THE TREATED WOOD AND IN DETERMINING WHERE TO USE OR DISPOSE OF THE TREATED WOOD.

FOR FURTHER INFORMATION ON THE USE OF AND DISPOSAL OF ORGANIC ARSENIC PRESERVE-TREATED WOOD, PLEASE REFER TO THE EPA MATERIAL SAFETY SHEET DEALING WITH THIS PRODUCT.

PROJECT DRAWING LIST

B1	SITE PLAN
A1	GENERAL NOTES
A2	FLOOR PLAN & EXTERIOR ELEVATIONS
A3	FOUNDATION PLAN & DETAIL
A4	TYPICAL WALL SECTION & FRAMING DETAIL
A5	ROOF FRAMING PLAN & DETAIL

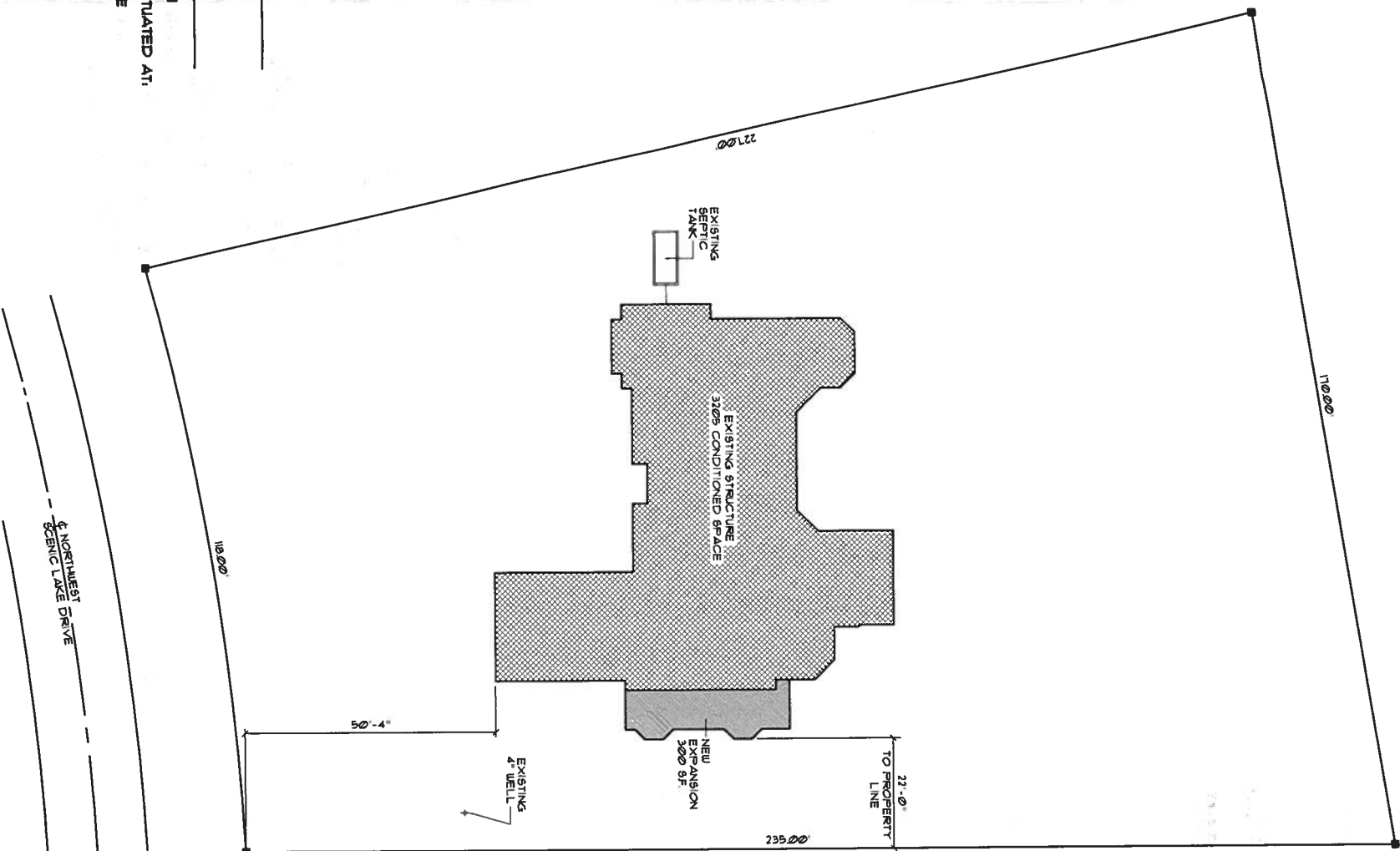


Site PLAN

SCALE: 1" = 15.0'

LEGAL DESCRIPTION:

PARCEL ID. NO. 33-36-16-02431-1071
LOT 71 WEST PACES SUBDIVISION, SITUATED AT:
1198 NORTHWEST SCENIC LAKE DRIVE
LAKE CITY, FLORIDA
COLUMBIA COUNTY, FLORIDA



Renovation & Expansion to the Residence of:

Tyson & Kathleen Johnson

1198 Northwest Scenic Lake Drive - Lake City, Florida



ARCHITECTURAL DRAFTING & DESIGN, INC.
Lake City, FL 32055 - 386.752.4070



NOTICE OF INSPECTION AND/OR TREATMENT

26031

Date of Inspection

9/12/07

Date of Treatment

Date of Spot Treatment

Terminator

Pesticide Used

Subterranean Termites

Wood-Destroying Organisms Treated

Notice

It is a violation of Florida State Law (Chap. 482.226) for anyone other than the property owner to remove this notice.

Address:

Pestmaster Services of Lake City

879 S.W. Arlington Blvd., Suite 106 • Lake City, FL 32025