

DATE 09/11/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026223

APPLICANT KATHLEEN MASSIMO PHONE 758-6718
ADDRESS 4845 W HIGHWAY 90 LAKE CITY FL 32055
OWNER WAYNE WOOD PHONE 755-1543
ADDRESS 439 SW GREENRIDGE LANE LAKE CITY FL 32025
CONTRACTOR FRANCIS ROBSON PHONE 758-6718
LOCATION OF PROPERTY 47S, TL ON GREEN RIDGE LANE, LAST ON LEFT

TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 9044.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-1 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO.

PARCEL ID 18-4S-17-08477-111 SUBDIVISION GREENRIDGE EST
LOT 11 BLOCK PHASE UNIT TOTAL ACRES

SCC1305672
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X07-348 BK JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE

Check # or Cash 1575

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 50.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 50.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 0709-04 Date Received 9/4/07 By CH Permit # 26223
 Application Approved by - Zoning Official afw Date 9/5/07 Plans Examiner OK JTH Date 9-5-07
 Flood Zone N/A Development Permit N/A Zoning RSF-1 Land Use Plan Map Category RULD

Comments _____

☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permi

Fax _____

Name Authorized Person Signing Permit Frank Robson Phone 386 758 6718

Address 4845 W Hwy 90 Lake City FL 32055

Owners Name Wayne Wood Phone 386 755-1543

911 Address 439 SW Greenridge Lane

Contractors Name Pools Plus North Central Inc. Phone 386 758 6718

Address 4845 W Hwy 90 Lake City FL 32055

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address _____

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 18-45-17-08497-111 HX Estimated Cost of Construction \$9044.00

Subdivision Name Greenridge Estates North Lot 11 Block _____ Unit _____ Phase _____

Driving Directions 47 South, @ SW Greenridge LN then
left on the left.

Type of Construction Pool + Enclosure Number of Existing Dwellings on Property _____

Total Acreage _____ Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Driv

Actual Distance of Structure from Property Lines - Front 125' Side 55' Side 102' Rear 46'

Total Building Height _____ Number of Stories _____ Heated Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Wayne Wood
 Owner/Builder or Authorized Person by Notarized Letter
Francis Robson

STATE OF FLORIDA
 COUNTY OF COLUMBIA



Commission # DD506674
 Expires: JAN. 12, 2010
 Bonded Thru Atlantic Bonding Co., Inc.

Sworn to (or affirmed) and subscribed before me

this _____ day of _____ 20____.

Personally known _____ or Produced Identification _____

[Signature]
 Contractor Signature
 Contractors License Number CPC1457492
 Competency Card Number _____
 NOTARY STAMP/SEAL

[Signature]

Notary Signature



FRANCIS THOMAS
 Notary Public, State of Florida
 My Comm. Expires Feb. 14, 2010

(Revised Sept. 2006)

AC# 3241562

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L07053100092

DATE	BATCH NUMBER	LICENSE NBR
05/31/2007	060690893	CPC1457492

The RESIDENTIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

ROBSON, FRANCIS PATRICK
POOLS PLUS NORTH CENTRAL INC
891 PARSONS CIRCLE SE
PALM BAY FL 32909

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC# 3243650

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L07053102171

DATE	BATCH NUMBER	LICENSE NBR
05/31/2007	060724539	SCG13056762

The SPECIALTY STRUCTURE CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

ROBSON, FRANCIS PATRICK
POOLS PLUS NORTH CENTRAL INC
891 PARSONS CIRCLE SE
PALM BAY FL 32909

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-07

COLUMBIA COUNTY BUSINESS TAX RECEIPT
RONNIE BRANNON, TAX COLLECTOR

RECEIPT EXPIRES 09/30/2007

RECEIPT NUMBER:
7002011

MACHINES ROOMS SEATS EMPLOYEES

1

BUSINESS TYPE: 000113

SWIMMING POOL CONTRACT/CLASS A
POOL CONSTRUCTION

SUPPLEMENTAL
RENEWAL
X NEW RECEIPT 9.00
TRANSFER

POOLS PLUS NORTH CENTRAL INC
FRANK ROBSON
4845 US HWY 90 W
LAKE CITY, FL 32055-0000

DATE 2304966.0001 of 0001
06/11/2007
Oper JZM
Till 023
Paid 9.00
RONNIE BRANNON TAX C

PENALTY 0.00
TOTAL 9.00

LOCATION 4845 US HWY 90 W
ADDRESS LAKE CITY FL 32055-0000

Frank Robson

SIGN AND RETURN WITH PAYMENT

I SWEAR THAT THIS APPLICATION FOR RECEIPT IS MADE FOR THE BUSINESS OR
PROFESSION INDICATED HEREON AND IS TRUE AND CORRECT.

THE APPLICATION MUST COMPLY WITH STATE AND LOCAL ORDINANCE INCLUDING ZONING.

0000000900 0000000900 0000000000003611 1001 5

Columbia County Property Appraiser

DB Last Updated: 8/2/2007

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

New Super Homestead Taxable Value Calculator

Print

Parcel: 18-4S-17-08477-111 HX

Owner & Property Info

Owner's Name	WOOD WAYNE A & LORETTA J		
Site Address	GREENRIDGE		
Mailing Address	439 SW GREENRIDGE LN LAKE CITY, FL 32025		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	18417.03	Tax District	2
UD Codes	MKTA06	Market Area	06
Total Land Area	0.000 ACRES		
Description	COMM SE COR OF SEC, RUN N 1417.87 FT, W 577 FT, N 1198.5 FT FOR POB, RUN W 64 FT, N 30 FT, W 136 FT, N 240 FT, E 200 FT, S 270 FT TO POB, EX RD R/W (AKA LOT 11 GREENRIDGE ESTATES NIRTH UNREC) ORB 558-108, 558-109, 654-757 RD R/W.		

<< Prev Search Result: 66 of 137 Next >>

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$25,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$116,877.00
XFOB Value	cnt: (7)	\$6,272.00
Total Appraised Value		\$148,149.00

Just Value	\$148,149.00
Class Value	\$0.00
Assessed Value	\$104,238.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$79,238.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
2/1/1985	558/108	WD	I	Q		\$85,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1980	Common BRK (19)	2702	3391	\$116,877.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0190	FPLC PF	0	\$1,600.00	1.000	0 x 0 x 0	(.00)
0258	PATIO	0	\$400.00	1.000	0 x 0 x 0	(.00)
0294	SHED WOOD/	0	\$1,000.00	1.000	0 x 0 x 0	(.00)
0294	SHED WOOD/	0	\$600.00	1.000	0 x 0 x 0	(.00)
0260	PAVEMENT-A	0	\$1,272.00	1.000	40 x 53 x 0	(.00)

AC# 3241562

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L07053100092

DATE	BATCH NUMBER	LICENSE NBR
05/31/2007	060690893	CPC1457492

The RESIDENTIAL POOL/SPA CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2008

ROBSON, FRANCIS PATRICK
POOLS PLUS NORTH CENTRAL INC
891 PARSONS CIRCLE SE
PALM BAY FL 32909

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

AC# 3243650

STATE OF FLORIDA

DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

SEQ# L07053102171

DATE	BATCH NUMBER	LICENSE NBR
05/31/2007	060724539	SCC13056762

The SPECIALTY STRUCTURE CONTRACTOR
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POOLS PLUS NORTH CENTRAL INC
891 PARSONS CIRCLE SE
PALM BAY FL 32909

CHARLIE CRIST
GOVERNOR

HOLLY BENSON
SECRETARY

DISPLAY AS REQUIRED BY LAW

2006-07

COLUMBIA COUNTY BUSINESS TAX RECEIPT
RONNIE BRANNON, TAX COLLECTOR

RECEIPT EXPIRES 09/30/2007

RECEIPT NUMBER:
7002011

MACHINES

ROOMS

SEATS

EMPLOYEES

1

BUSINESS TYPE: 000113

SWIMMING POOL CONTRACT/CLASS A
POOL CONSTRUCTION

SUPPLEMENTAL
RENEWAL
X NEW RECEIPT
TRANSFER

9.00

POOLS PLUS NORTH CENTRAL INC
FRANK ROBSON
4845 US HWY 90 W
LAKE CITY, FL 32055-0000

RONNIE BRANNON TAX C
2304966.0001 of 0001
DATE 06/11/2007
Oper J2H
Till 023
Paid 9.00

PENALTY 0.00
TOTAL 9.00

LOCATION 4845 US HWY 90 W
ADDRESS LAKE CITY FL 32055-0000

X

SIGN AND RETURN WITH PAYMENT

I SWEAR THAT THIS APPLICATION FOR RECEIPT IS MADE FOR THE BUSINESS OR
PROFESSION INDICATED HEREON AND IS TRUE AND CORRECT.

THE APPLICATION MUST COMPLY WITH STATE AND LOCAL ORDINANCE INCLUDING ZONING.

0000000900 0000000900 00000000000003611 1001 5

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Tax Parcel ID Number 18-45-17-08477-111 HX

Permit Number _____

1. Description of property: (legal description of the property and street address or 911 address)

COMM SE COR OF SEC, RUN N 1417.87 FT, W 577 FT, N 1198.5 FT FOR POB, RUN W 64 FT, N 30 FT, W 136 FT, N 240 FT, E 200 FT, S 270 FT TO POB, EX RD R/W (AKA LOT 11 GREENRIDGE ESTATES NIRTH UNREC) ORB 558-108, 558-109, 654-757 RD R/W.

NT OUT

2. General description of improvement: In ground swimming pool with Enclosure

3. Owner Name & Address Wayne Wood 439 SW Greenridge Ln Lake City FL 32025

Interest in Property owner

4. Name & Address of Fee Simple Owner (if other than owner): _____

5. Contractor Name Pais Plus North Central Inc. Phone Number 386 758 6718

Address 4845 W Hwy 90 Lake City FL 32025

6. Surety Holders Name _____ Phone Number _____

Address _____

Amount of Bond _____ Inst: 200712020023 Date: 9/4/2007 Time: 3:04 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 1

7. Lender Name _____ Phone Number _____

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name _____ Phone Number _____

Address _____

9. In addition to himself/herself the owner designates _____ of _____ to receive a copy of the Lien Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____

THE OWNER MUST SIGN THE NOTICE OF COMMENCEMENT AND NO ONE ELSE MAY BE PERMITTED TO SIGN IN HIS/HER STEAD.

Wayne Wood
Signature of Owner

Sworn to (or affirmed) and subscribed before day of September 4th, 2007.

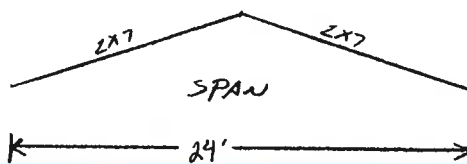
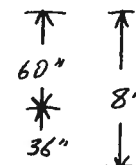
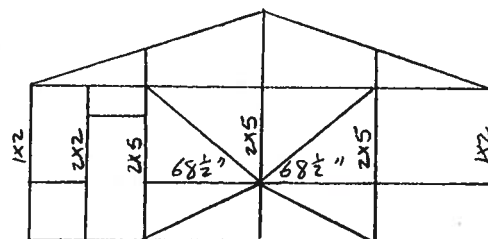
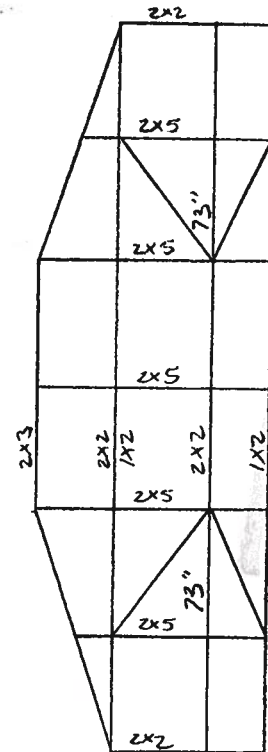
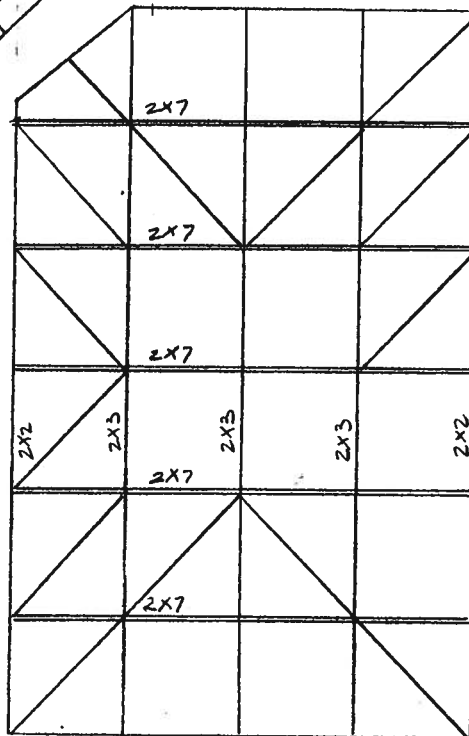
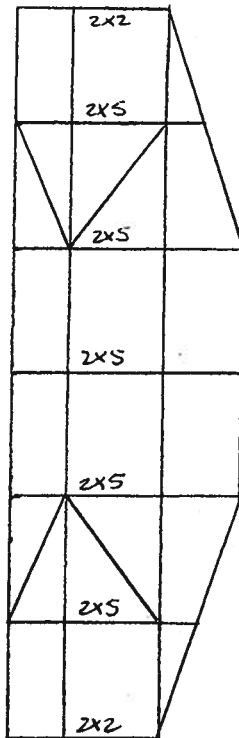
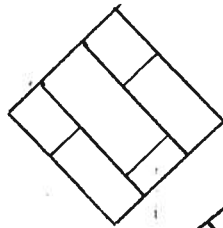
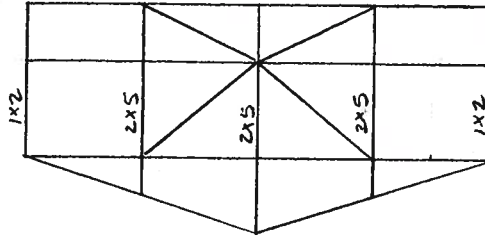
[Signature]
Signature of Notary

NOTARY STAMP/SEAL

NOTARY PUBLIC-STATE OF FLORIDA
Francis Robson
Commission # DD506674
Expires: JAN. 12, 2010
Bonded Thru Atlantic Bonding Co., Inc.

FILE COPY

WAYNE WOOD
439 S.W. GREENRIDGE LN.
LAKE CITY, FL.
32025



Lawrence E. Bennett, P.E.
P.O. Box 214368
South Daytona, FL 32121

January 01, 2007

TO ALL BUILDING DEPARTMENTS

Re: Master File Engineering
"ALUMINUM STRUCTURES DESIGN MANUAL"
2004 Florida Building Code with 2006 Supplements

Dear Building Official/Plans Examiner:

This is to certify that the following contractor/company is hereby authorized to use my "ALUMINUM STRUCTURES DESIGN MANUAL" during the year 2007.

Our authorization is on a January to January basis regardless of the edition of the manual. This authorization also applies to contractor master file drawings, "ONE PERMIT ONLY" drawings or any "site specific" drawings that I may furnish the contractor.

The following contractor/company is hereby added to my 2007 MASTERFILE LIST:

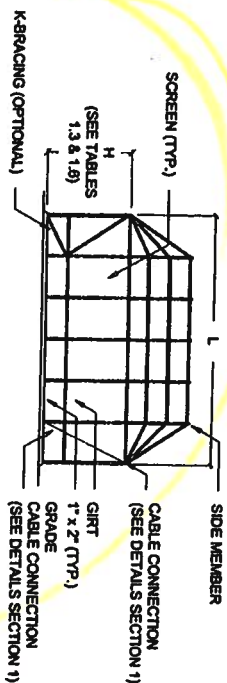
Francis P Robson
Pools Plus North Central, Inc.
4845 W. U.S. Hwy 90
Lake City, FL 32056
SCC13036762

Should you have any questions please contact me at our convenience.
Sincerely,

Lawrence E. Bennett, P.E. #16644

SECTION 1

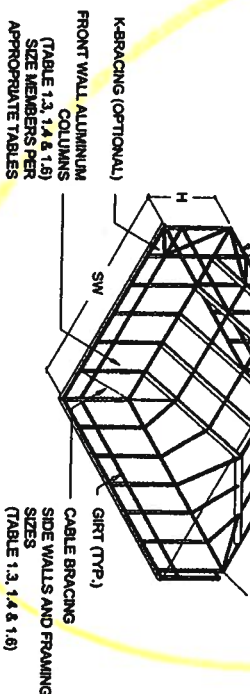
SCREENED ENCLOSURES



TYPICAL MODIFIED HIP ROOF - FRONT WALL ELEVATION

SCALE: N.T.S.

EXISTING STRUCTURE
ALUMINUM BEAMS
(TABLE 1.1 OR 1.9.1)
DIAGONAL ROOF BRACING
(SEE SCHEMATIC SECTION 1)



TYPICAL MODIFIED HIP ROOF - ISOMETRIC

SCALE: N.T.S.

Lawrence E. Bennett, P.E. FL # 16644

CIVIL & STRUCTURAL ENGINEERING

P.O. Box 214368, South Daytona, FL 32121

Telephone: (386) 795-4774 Fax: (386) 795-0088

Email: law@lbenett.com

PLATE

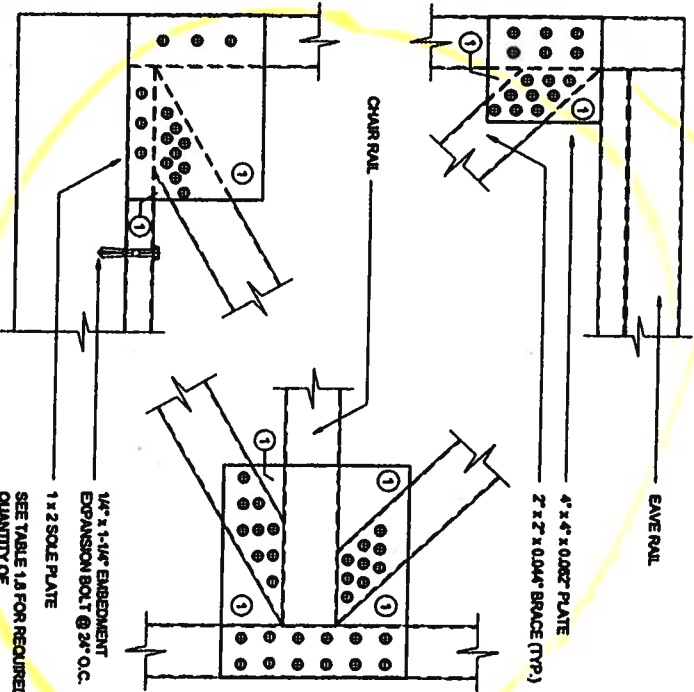
1-6

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SCREENED ENCLOSURES

SECTION 1



- NOTES:
1. Can item plus this area.
 2. Alternate connections use 1/4" bar cut to fit connections.

K-BRACING CONNECTION DETAILS

SCALE: 3" = 1'-0"

SEE TABLE 1.3 FOR REQUIRED QUANTITY OF #10 x 3/4" S.M.S.

Lawrence E. Bennett, P.E. FL # 16644
CIVIL & STRUCTURAL ENGINEERING
P.O. Box 710000, South Daytona, FL 32127
Telephone: (321) 797-4778 Fax: (321) 797-4888
Email: lbennett@lbe.com

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1-95

SCREENED ENCLOSURES

SECTION 1

Table 1.7

Minimum Size Screen Enclosure Knee Braces and Anchoring Required
Aluminum sizes 1/4"

Brace Length*	Screening System	Anchoring System
0' - 2'-0"	2" x 2" x 0.004"	2" x 2" x 0.004" (Weld) (3) #10 x 1/2" end bar of channel
2'-0" - 2'-6"	2" x 2" x 0.004"	2" x 2" x 0.004" (Weld) (3) #10 x 1/2" end bar of channel
2'-6" - 3'-0"	2" x 2" x 0.004"	2" x 2" x 0.004" (Weld) (3) #10 x 1/2" end bar of channel
3'-0" - 3'-6"	2" x 2" x 0.004"	2" x 2" x 0.004" (Weld) (3) #10 x 1/2" end bar of channel
3'-6" - 4'-0"	2" x 2" x 0.004"	2" x 2" x 0.004" (Weld) (3) #10 x 1/2" end bar of channel

- * Knee brace length shall be the horizontal and vertical length @ a 45° angle from the center of the member to the base of the beam or rafter.
1. For required knee brace length greater than 4'-0" contact engineer for specifications and details.
 2. Channel beam detail shown on page 1-40 shall be used for transition wall to host structure attachment when knee brace length exceeds 6'-0".

Table 1.8

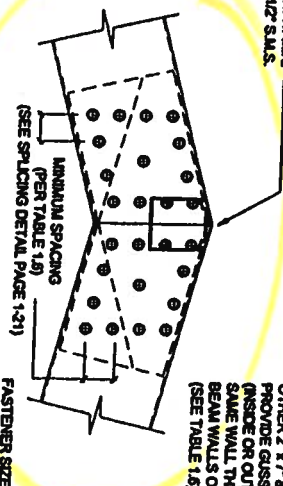
K-Bracing Fastening Schedule

Maximum Wall Width - a	Corner Post 1 Top	Diagonal FR Per End	Intermediate Post @ Chair Rail	Corner Post 2 Bottom	Plate to Sole Plate
2'-0" - 2'-6"	2	2	4	2	2
2'-6" - 3'-0"	2	2	4	2	2
3'-0" - 3'-6"	2	2	4	2	2
3'-6" - 4'-0"	2	2	4	2	2
4'-0" - 4'-6"	2	2	4	2	2
4'-6" - 5'-0"	2	2	4	2	2
5'-0" - 5'-6"	2	2	4	2	2
5'-6" - 6'-0"	2	2	4	2	2
6'-0" - 6'-6"	2	2	4	2	2
6'-6" - 7'-0"	2	2	4	2	2
7'-0" - 7'-6"	2	2	4	2	2
7'-6" - 8'-0"	2	2	4	2	2
8'-0" - 8'-6"	2	2	4	2	2
8'-6" - 9'-0"	2	2	4	2	2
9'-0" - 9'-6"	2	2	4	2	2
9'-6" - 10'-0"	2	2	4	2	2
10'-0" - 10'-6"	2	2	4	2	2
10'-6" - 11'-0"	2	2	4	2	2
11'-0" - 11'-6"	2	2	4	2	2
11'-6" - 12'-0"	2	2	4	2	2
12'-0" - 12'-6"	2	2	4	2	2
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13'-0" - 13'-6"	2	2	4	2	2
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15'-6" - 16'-0"	2	2	4	2	2
16'-0" - 16'-6"	2	2	4	2	2
16'-6" - 17'-0"	2	2	4	2	2
17'-0" - 17'-6"	2	2	4	2	2
17'-6" - 18'-0"	2	2	4	2	2
18'-0" - 18'-6"	2	2	4	2	2
18'-6" - 19'-0"	2	2	4	2	2
19'-0" - 19'-6"	2	2	4	2	2
19'-6" - 20'-0"	2	2	4	2	2
20'-0" - 20'-6"	2	2	4	2	2
20'-6" - 21'-0"	2	2	4	2	2
21'-0" - 21'-6"	2	2	4	2	2
21'-6" - 22'-0"	2	2	4	2	2
22'-0" - 22'-6"	2	2	4	2	2
22'-6" - 23'-0"	2	2	4	2	2
23'-0" - 23'-6"	2	2	4	2	2
23'-6" - 24'-0"	2	2	4	2	2
24'-0" - 24'-6"	2	2	4	2	2
24'-6" - 25'-0"	2	2	4	2	2
25'-0" - 25'-6"	2	2	4	2	2
25'-6" - 26'-0"	2	2	4	2	2
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26'-6" - 27'-0"	2	2	4	2	2
27'-0" - 27'-6"	2	2	4	2	2
27'-6" - 28'-0"	2	2	4	2	2
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110'-6" - 111'-0"	2	2	4	2	2
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113'-6" - 114'-0"	2	2	4	2	2
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115'-0" - 115'-6"	2	2	4	2	2
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116'-6" - 117'-0"	2	2	4	2	2
117'-0" - 117'-6"	2	2	4	2	2
117'-6" - 118'-0"	2	2	4	2	2
118'-0" - 118'-6"	2	2	4	2	2
118'-6" - 119'-0"	2	2	4	2	2
119'-0" - 119'-6"	2	2	4	2	2
119'-6" - 120'-0"	2	2	4	2	2
120'-0" - 120'-6"	2	2	4	2	2
120'-6" - 121'-0"	2	2	4	2	2
121'-0" - 121'-6"	2	2	4	2	2
121'-6" - 122'-0"	2	2	4	2	2
122'-0" - 122'-6"	2	2	4	2	2
122'-6" - 123'-0"	2	2	4	2	2
123'-0" - 123'-6"	2	2	4	2	2
123'-6" - 124'-0"	2	2	4	2	2
124'-0" - 124'-6"	2	2	4	2	

SECTION 1

SCREENED ENCLOSURES

2" x 2" PURLINS ATTACHED
TO BEAM WITHIN
(3) 8" x 1-1/2" S.M.S.

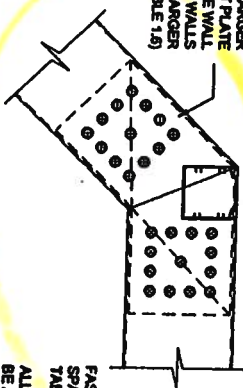


CUT 2" x 4", 2" x 5", OR 2" x 6"
BEAMS TO SLIDE OVER EACH
OTHER 2" x 7" & LARGER
PROVIDE GUSSET PLATE
(INSIDE OR OUTSIDE BEAM)
SAME WALL THICKNESS AS
BEAM WALLS OR LARGER
(SEE TABLE 1A)

ALTERNATE SIDE PLATE CONNECTION DETAIL GUSSET PLATE MOUNTED INTERNALLY

SCALE: 3" = 1'-0"

CUT 2" x 4", 2" x 5", OR 2" x 6"
BEAMS TO SLIDE OVER EACH
OTHER 2" x 7" & LARGER
PROVIDE GUSSET PLATE
(INSIDE BEAM) SAME WALL
THICKNESS AS BEAM WALLS
OR LARGER
(SEE TABLE 1A)



ALL GUSSET PLATES SHALL
BE A MINIMUM OF 5082 H-42
ALLOY OR HAVE AN ULTIMATE
YIELD STRENGTH OF 30 KSI

ALTERNATE SIDE PLATE CONNECTION DETAIL - MANSARD ROOF GUSSET PLATE MOUNTED INTERNALLY

SCALE: 3" = 1'-0"

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1-20

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SECTION 1

SCREENED ENCLOSURES

General Notes and Specifications:

1) The following shall apply to the installation of cables as additional bracing to DIAGONAL bracing for pool enclosures:

a) FRONT WALL CABLES - 7 x 19 STAINLESS STEEL.

CABLE DIAMETER	TOTAL ALLOWABLE WALL AREA *
3/16"	233 Sq. Ft. / PAIR OF CABLES
1/8"	445 Sq. Ft. / PAIR OF CABLES

* TOTAL WALL AREA = 100% OF FRONT WALL + 50% OF ONE SIDE WALL

EXAMPLE: FRONT WALL AREA @ 100% (8' x 32') = 256 Sq. Ft.
SIDE WALL AREA @ 50% (8' x 28') = 80 Sq. Ft.
TOTAL WALL AREA = 336 Sq. Ft.

233 Sq. Ft. x 2 sets = 466 Sq. Ft. > 336 Sq. Ft.; thus two sets of 3/16" cables is required.

b) SIDE WALL CABLES - 7 x 19 STAINLESS STEEL.

CABLE DIAMETER	SIDE WALL CABLE **
3/16"	ONE PER 233 Sq. Ft. OF WALL
1/8"	ONE PER 445 Sq. Ft. OF WALL

** SIDE WALL CABLES ARE NOT REQUIRED FOR SIDE WALLS LESS THAN 233 Sq. Ft.

c) To calculate the required pair of cables for free standing pool enclosures use 100% of each wall area & 50% of the area of one adjacent wall.

NOTES:

1. Where wall height is such that a girt is required between the top or eave rail and the chisel rail, (i.e. a mid-rail girt), then the front wall shall have two cable pairs and they shall be attached to the top rail and the mid-rail rail. If more than one additional girt is required between the top or eave rail and the chisel rail, then there shall be an additional front wall cable pair at that girt also.
2. Side walls do not require cables until the side wall area is greater than 233 Sq. Ft. The side wall cable may be attached at the mid-rail girt or the top rail.
3. Standard rounding off rules apply, i.e. if the number of cables calculated is less than 2.5 pairs use two cables; if the number of cables calculated is 2.5 pairs or greater use 3 pairs of cables.
4. Additional roof bracing is required for all side walls larger than 4 panels. Number of panels shall be even and position shall be alternating.

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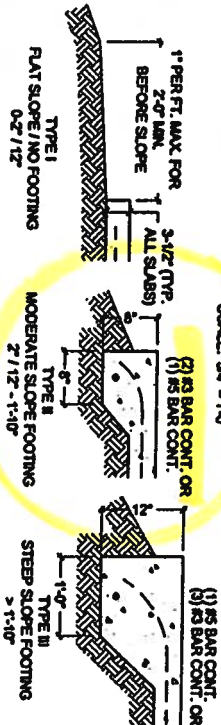
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SECTION 1

**ALUMINUM FRAME SCREEN
WALL**

(2) #30 BARS OR (1)
 #50 BAR W/ 2-1/2" COVER
 (TYP)

SCALE: 3/4" = 1'-0"



1. The foundations types are based on a minimum soil bearing pressure of 1,500 PSF. Bearing capacity of soil shall be verified prior to placing slabs by field soil test (soil penetrometer) or a soil testing lab.
2. The slab / foundation shall be cleared of debris, roots and compacted prior to placement of concrete.
3. No footing is required except when addressing erosion until the slab which in the direction of the primary beams exceeds the span per table on page 1-63; then a Type II slab is required under the load bearing wall, only unless the side wall exceeds 16" in height or the enclosure is in a "C" exposure category in which case a Type III footing is required.
4. Alternate slabs and footings shall be minimum 2,500 psi concrete with 8 x 8 - 10 x 10 welded wire mesh or crack control fiber mesh: Fibermesh® Mesh, "Inferno"® 43™ (Formerly Fibermesh Ltd) per manufacturer's application may be used in lieu of wire mesh. All slabs / footings shall be allowed to cure for 7 days before testing criteria.
5. If fiscal codes require a minimum footing use Type II footing or footing section required by local code. Local codes govern.

SCALE: 3/4" = 1'-0"

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1-71

SCREENED ENCLOSURES

Table 1.6A **Moment Connection**
Minimum Upright Stems and Number of Screws for
Connection of Roof Beams To Wall Uprights or Beam Splying

Boundary-light or Post	Uplight or Penetration	Suburban Paving, Soil & Kerosene Burns Sites	Notes	Suburban Number of Scans			Scans Spacing
				88.5°	91.8°	91.3°	
2 x 1 S&B	2 x 4 S&B	2 x 2 x 1.044°	Measured	8	8	4	80
2 x 8 S&B	2 x 4 S&B	2 x 2 x 1.044°	Measured	8	8	4	88
2 x 8 S&B	2 x 4 S&B	2 x 2 x 1.044°	Measured	14	8	8	910
2 x 1 S&B	2 x 8 S&B	2 x 2 x 1.044°	Measured	14	12	10	912
2 x 8 S&B	2 x 8 S&B	2 x 2 x 1.044°	Measured	16	14	12	914
2 x 8 S&B	2 x 8 S&B	2 x 2 x 1.045°	Measured	18	16	14	914
2 x 8 S&B	2 x 8 S&B	2 x 2 x 1.045°	Measured	20	18	16	914
2 x 10 S&B	2 x 8 S&B	2 x 2 x 1.045°	Measured	20	18	16	914

[illegible]

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1-316
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SECTION 1

ROCKING SPONSOR for Primary Screen Roof Frame Members

Powerline Spans for Primary Screen Roof Frame Members
 Abutment Abey 1003 T-4
 for Avenue in Wetland Zone 100 to 120 M.P.M., Easements "g" and Landmarks Below 30° 30' 40" North (Jacksonville, FL)
 Uniform Land = 0.6637' (Total Land of 1000' runs on Avenue 1000')

[illegible]

- [illegible]

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SECTION 1

Table 12.120 Allowable Spans for Secondary Screen Roof Frame Members

For Wind Zones 1 to 120 M.P.H., exposure "F", and Leeward Slope 20°-30° (North) (Jacksonville, FL) Uniform Load = 6.77 psf. Critical Load of 300 ksf over (7) bays. It is also considered A Section Fastened To Beams With Clips.

[illegible]

- [illegible]

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BOUNDARY SURVEY
OF
LOT 11, GREENRIDGE ESTATES NORTH,
AN UNRECORDED SUBDIVISION IN SECTION 18, T4-S, R17-E
COLUMBIA COUNTY, FLORIDA

DESCRIPTION

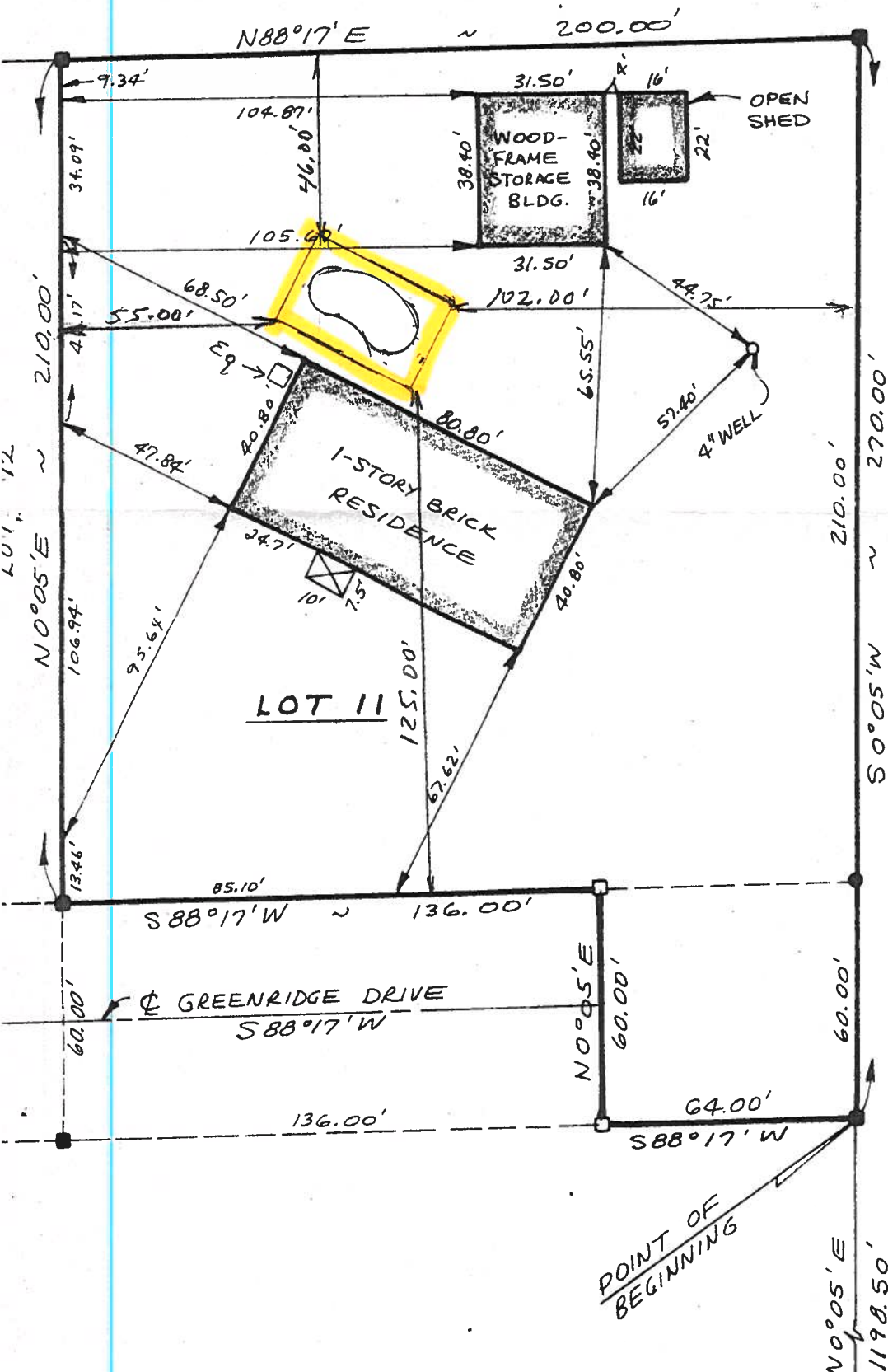
Commence at the Southeast corner of Section 18, Township 4 South, Range 17 East, Columbia County, Florida and run thence N1°09' W along the East line of said Section 18, 1417.87 feet, thence S 88°30' W, 577.00 feet, thence N 0°05' E, 1198.50 feet to the POINT OF BEGINNING, thence S 88°17' W, 64.00 feet, thence N 0°05' E, 60.00 feet, thence S 88°17' W, 136.00 feet, thence N 0°05' E, 210.00 feet, thence N 88°17' E, 200.00 feet, thence S 0°05' W, 210.00 feet to the POINT OF BEGINNING. Also known as Lot 11, GREENRIDGE ESTATES, an unrecorded Subdivision. Containing 1.05 acres, more or less. Note: this description is a correction of that certain description recorded in ORB 558, pages 108 and 109 of the Public Records of Columbia County, Florida

SURVEYOR'S CERTIFICATE

I hereby certify to all parties interested in title to premises surveyed that plat hereon shown is a true and correct plat of survey made under my direction of the hereon described lands and meets the requirements for the Minimum Technical Standards for Land Surveying, Chapter 21HH-6, Florida Administrative Code.

I further certify that the buildings are located as shown and that there are no encroachments.

Signed W.C. Hale
W.C. Hale, Land Surveyor
Florida Certificate No. 1519
Date 10-3-85



LEGEND

- 4" x 4" CONC. MON. FOUND
- 4" DIAM. CONC. MON. FOUND
- 4" x 4" CONC. MON. SET

FOR: WAYNE WOOD

SURVEYOR'S NOTE

BEARINGS PROJECTED FROM PREVIOUS SURVEY OF PROPERTY BY CORBETT HORNE, PLAT DATED 11-6-79.

SE CORNER, SEC. 18, T4-S, R17-E

W. C. HALE & ASSOC., INC.
SURVEYORS
P. O. BOX 1141, LAKE CITY, FLA. 32056
(904) 752-5640

JOB NO: 3435	DATE: 9-30-85
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