

①

ck 13462

Columbia County New Building Permit Application

For Office Use Only Application # 44110 Date Received 12/2 By mg Permit # 39056
Zoning Official LW/LH Date 12-3-19 Flood Zone X Land Use Ag Zoning A-3
FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner 7.C. Date 12-11-19

Comments _____
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☒ Well letter ☒ 911 Sheet ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☒ **Owner Builder Disclosure Statement** ☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form

Septic Permit No. X19-107 OR City Water _____ Fax (386) 719-9899
Applicant (Who will sign/pickup the permit) Matthew A. Erking Phone (386) 754-5555
Address 248 SE Nassau St., Lake City, FL 32025
Owners Name Matthew A. SR and Kelly G. Erking Phone (386) 754-5555
911 Address 222 SW Jewel Court, Fort White, FL 32038
Contractors Name Erking, (MATTHEW) Phone (386) 754-5555
Address 248 SE Nassau St. Lake City, FL 32025
Contractor Email info@erkinghomes.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____
Bonding Co. Name & Address _____
Architect/Engineer Name & Address Wayne Moore, Inc.
Mortgage Lenders Name & Address None / 1009 East Avenue North, August 2 SC, 29841

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy
Property ID Number 07-65-16-03787-001 Estimated Construction Cost \$40K

Subdivision Name Herlong Junction Lot 1 Block _____ Unit _____ Phase _____
Driving Directions from a Major Road 47 S. to Herlong Street, Turn Right, Go to end and bare Left onto SW Treasure Lane 400', Turn Left onto SW Jewel Court to the end.

Construction of Metal Building on Slab _____ Commercial OR ☒ Residential
Proposed Use/Occupancy Storage Number of Existing Dwellings on Property 0
Is the Building Fire Sprinkled? _____ If Yes, blueprints included _____ Or Explain _____

Circle Proposed - Culvert Permit or Culvert Waiver or D.O.T. Permit or Private Drive Have an Existing Drive

Actual Distance of Structure from Property Lines - Front 290'± Side 448'± Side 175'± Rear 313'±
Number of Stories 1 Heated Floor Area None Total Floor Area 2000^{sq} Acreage 10

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)
12/10 - Emailed - know whats pending SC Sent email 12.17.19

Columbia County Building Permit Application

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and/or fines.

Matthew & Kelly Eskinger
Print Owners Name

[Signature]
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

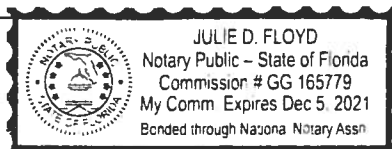
✓ Contractor's License Number CRC 1330825
Columbia County
Competency Card Number 154

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 2nd day of December 20 19.

Personally known ☒ or Produced Identification ☐

[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:



SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 44116 JOB NAME ERICINGER, MATTHEW

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/>	Print Name <u>Man Matthews</u> Signature <u>[Signature]</u>	Need Lic Liab W/C EX DE
CC# <u>76</u>	Company Name: <u>Matthews Electr.</u> License #: <u>EC 13005959</u> Phone #: <u>386-344-2029</u>	
MECHANICAL/A/C <input checked="" type="checkbox"/>	Print Name <u>Richard C. Register</u> Signature <u>[Signature]</u>	Need Lic Liab W/C EX DE
CC# <u>1052</u>	Company Name: <u>Registered Heating & A.C.</u> License #: <u>CAC041267</u> Phone #: <u>904-387-2802</u>	
PLUMBING/GAS <input checked="" type="checkbox"/>	Print Name <u>Colby Bours</u> Signature <u>[Signature]</u>	Need Lic Liab W/C EX DE
CC# <u>715</u>	Company Name: <u>Colby Bours Plumbing</u> License #: <u>CFC 1427145</u> Phone #: <u>786-623-0509</u>	
ROOFING <input checked="" type="checkbox"/>	Print Name <u>Wallace Power</u> Signature <u>[Signature]</u>	Need Lic Liab W/C EX DE
CC# <u>1034</u>	Company Name: <u>Power & Sons Roofing Inc</u> License #: <u>EC 13005959</u> Phone #: <u>386-209-5198</u>	
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____	Need Lic Liab W/C EX DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____	Need Lic Liab W/C EX DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____	Need Lic Liab W/C EX DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____	Need Lic Liab W/C EX DE
CC# _____	Company Name: _____ License #: _____ Phone #: _____	

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ELECTRICAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
MECHANICAL/A/C <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
PLUMBING/GAS <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
ROOFING <input checked="" type="checkbox"/>	Print Name <u>Donald Little</u> Signature <u>[Signature]</u> Company Name: <u>Don Little Construction & Roofing</u> CC# <u>1712</u> License #: <u>CCC 1330420</u> Phone #: <u>386-961-0006</u>	Need - Lic - Liab - W/C - EX - DE
SHEET METAL <input checked="" type="checkbox"/>	Print Name <u>Donald Little</u> Signature <u>[Signature]</u> Company Name: <u>Tubular Building Systems, LLC.</u> CC# <u>2030</u> License #: <u>CBC 1262211</u> Phone #: <u>386-961-0006</u>	Need - Lic - Liab - W/C - EX - DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ CC# _____ License #: _____ Phone #: _____	Need - Lic - Liab - W/C - EX - DE

Ref: F.S. 440.103; ORD. 2016-30

Columbia County Property Appraiser

Jeff Hampton

Parcel: << 07-6S-16-03787-007 >>

Owner & Property Info

Result: 3 of 6

Owner

ERKINGER MATTHEW A SR &
KELLY G ERKINGER
249 SE SAINT JOHNS STE
LAKE CITY, FL 32025

Site

(AKA PRCL #7 HERLONG JUNCTION UNREC DESC AS): COMM AT
NE COR SEC. RUN W 645.53 FT, S 663.97 FT FOR POB RUN W
664.68 FT, S 659.03 FT, E 664.86 FT, N 653.97 FT TO POB. WD 1212-
156, WD 1354-1774 WD 1356-2111.

Area

10 AC

S/T/R

07-6S-16

Use Code**

VACANT (000000)

Tax District

3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$44,500	Mkt Land (1)	\$44,500
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (0)	\$0	Building (0)	\$0
XFOB (0)	\$0	XFOB (0)	\$0
Just	\$44,500	Just	\$44,500
Class	\$0	Class	\$0
Appraised	\$44,500	Appraised	\$44,500
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$44,500	Assessed	\$44,500
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$44,500 city:\$44,500 other:\$44,500 school:\$44,500	Total Taxable	county:\$44,500 city:\$44,500 other:\$44,500 school:\$44,500

Sales History

Aerial Viewer Pictometry Google Maps



2020 Working Values
updated: 11/27/2019

5

12
CLYATT WELL DRILLING, INC.

(Established in 1971)

Post Office Box 180

Worthington Springs, Florida 32697

*Phone (386)496-2488 *** FAX (386)496-4640*

WELL DESCRIPTION

<i>DESCRIPTION DATE</i>
6/14/2017

<i>CUSTOMER NAME AND ADDRESS</i>	<i>DESCRIPTION OF WORK</i>
Erkinger Construction Group 248 SE Nassau Street Lake City, Fl 32025	

<i>DESCRIPTION</i>
Feet 4" Well 1 HP Submersible Pump Feet 1-1/4" Drop Pipe Feet 14/3 Submersible Pump Wire 81 Gallon Pressure Tank 4 X 1-1/4 Well Seal Pressure Relief Valve Controls and Fittings Sales Tax @ 7%

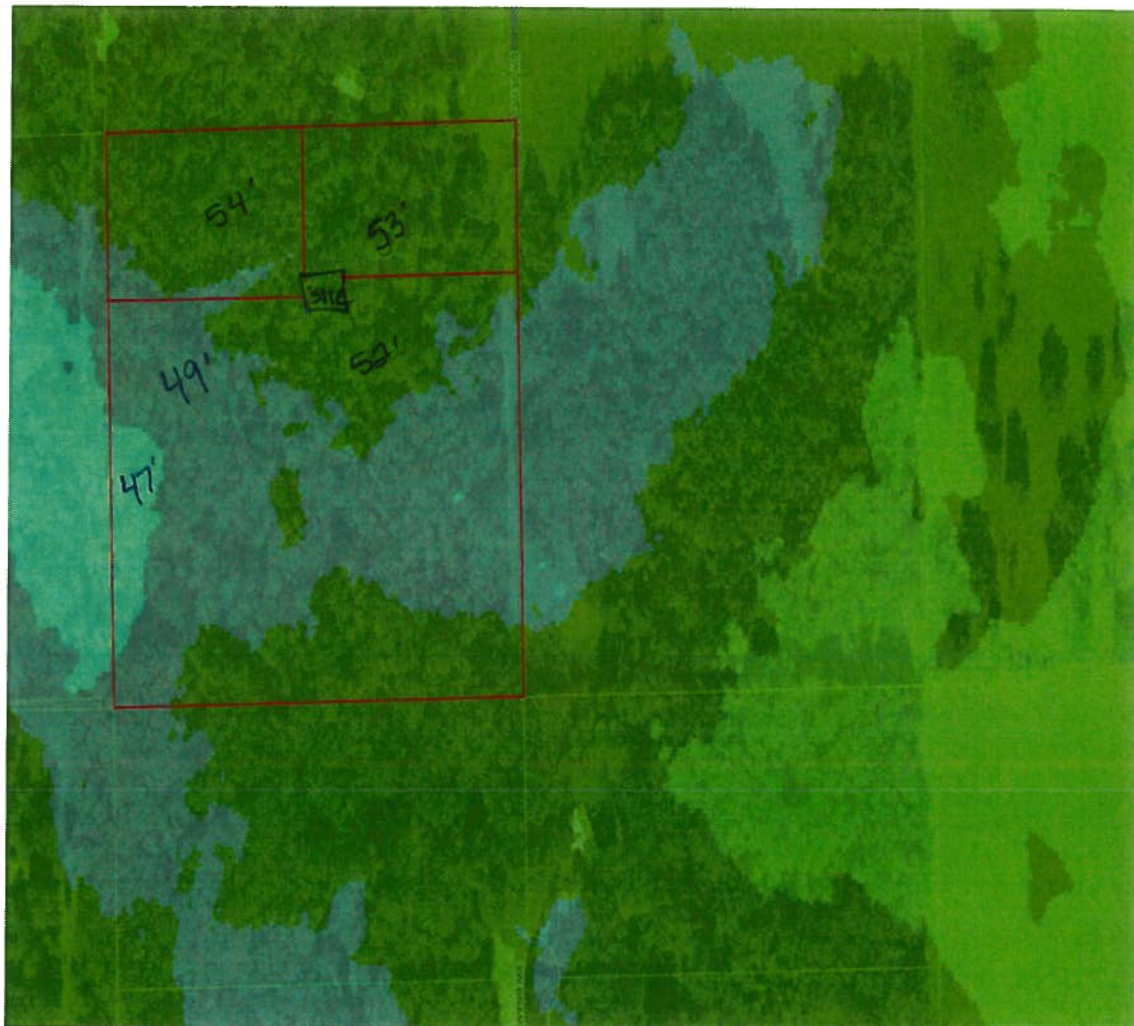
The above description is provided to give a brief description of the water well to be constructed by Clyatt Well Drilling, Inc.

Legend

- Parcels
- Roads
 - others
 - Dirt
 - Interstate
 - Main
 - Other
 - Paved
 - Private
- SRWMD Wetlands
- 2018Aerials
- LidarElevations

Columbia County, FLA - Building & Zoning Property Map

Printed: Tue Dec 03 2019 09:51:03 GMT-0500 (Eastern Standard Time)



Parcel Information

Parcel No: 07-6S-16-03787-007

Owner: ERKINGER MATTHEW A SR &

Subdivision: HERLONG JUNCTION UNR

Lot: 7

Acres: 9.913628

Deed Acres: 10 Ac

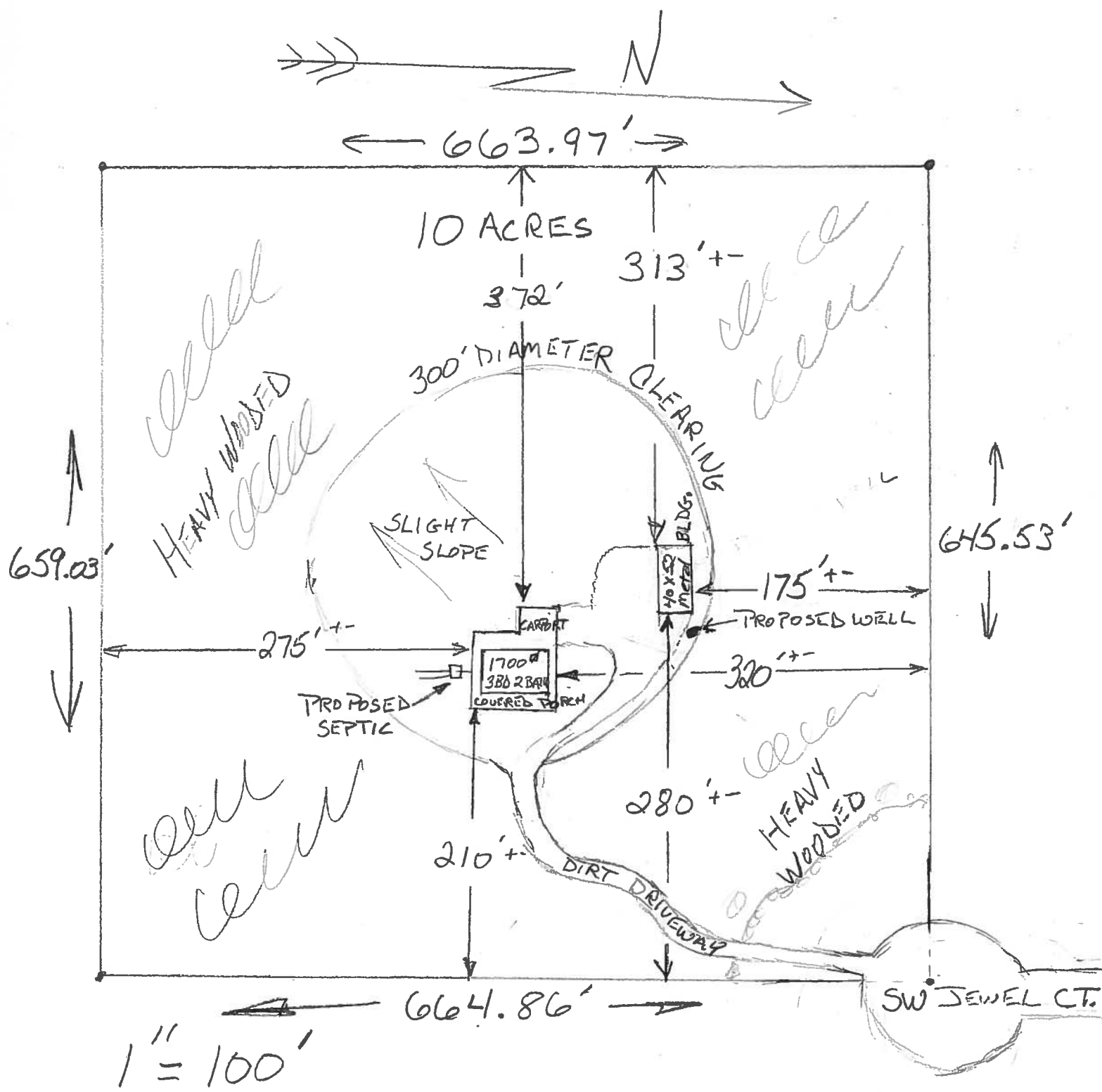
District: District 2 Rocky Ford

Future Land Uses: Agriculture - 3

Flood Zones:

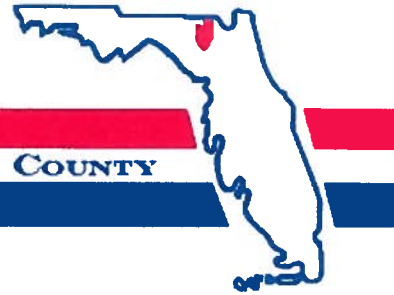
Official Zoning Atlas: A-3

⑧ PLOT PLAN: MATTHEW & KELLY ERKINGER
PARCEL # 07-65-16-03787-007
LOT # 7 HERLONG JUNCTION



(9)

District No. 1 - Ronald Williams
District No. 2 - Rocky Ford
District No. 3 - Bucky Nash
District No. 4 - Toby Witt
District No. 5 - Tim Murphy



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Address Assignment and Maintenance Document

To maintain the county wide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for addressing and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Services Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County

Date/Time Issued: **11/25/2019 9:02:12 PM**

Address: **222 SW JEWEL Ct**

City: **FORT WHITE**

State: **FL**

Zip Code **32038**

Parcel ID **03787-007**

REMARKS: Address Verification.

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION AND ACCESS INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION AND/OR ACCESS INFORMATION BE FOUND TO BE IN ERROR OR CHANGED, THIS ADDRESS IS SUBJECT TO CHANGE.

Address Issued By: **Signed:/ Matt Crews**

Columbia County GIS/911 Addressing Coordinator

**COLUMBIA COUNTY
911 ADDRESSING / GIS DEPARTMENT**

263 NW Lake City Ave., Lake City, FL 32055 Telephone: (386) 758-1125
Email: gis@columbiacountyfla.com

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number: _____

Clerk's Office Stamp

Inst: 201912027958 Date: 12/02/2019 Time: 2:15PM
Page 1 of 1 B: 1400 P: 401, P. DeWitt Cason, Clerk of Court Colm
County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): Lot #7 Herlong Junction
a) Street (job) Address: 222 SW Jewel Court Fort White, FL 32038
2. General description of improvements: Metal Building
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: Matthew A. Sr and Kelly G. Erkinger 249 SE St. Johns St.
b) Name and address of fee simple titleholder (if other than owner) Lake City, FL 32025
c) Interest in property _____
4. Contractor Information
a) Name and address: Erkinger Construction Group 248 SE Nassau St.
b) Telephone No.: (386) 754-5555 Lake City, FL 32025
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address: _____
b) Amount of Bond: _____
c) Telephone No.: _____
6. Lender
a) Name and address: _____
b) Phone No.: _____
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address: Matthew A. Erkinger 248 SE Nassau St.
b) Telephone No.: (386) 754-5555 Lake City, FL 32025
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: _____ OF _____
b) Telephone No.: _____
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. [Signature]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Pres.
Printed Name and Signatory's Title/Office

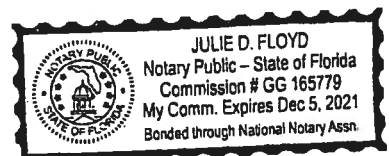
The foregoing instrument was acknowledged before me, a Florida Notary, this 2nd day of December, 20 19, by:
Matthew Erkinger as Owner for _____
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

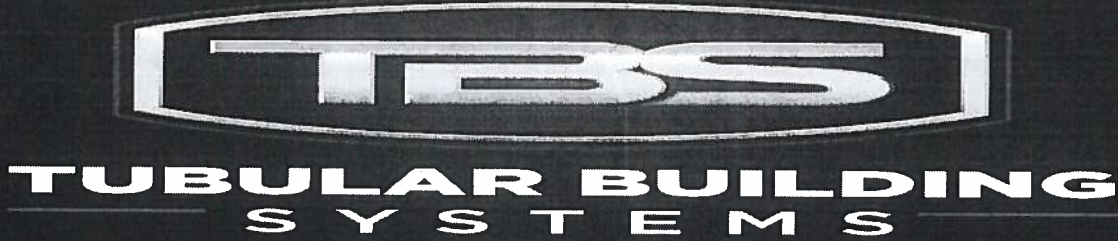
Personally Known ☒ OR Produced Identification ☐ Type _____

Notary Signature

[Signature]

Notary Stamp or Seal:





Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 3652: 14425.1

EXP 12/31/2019

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

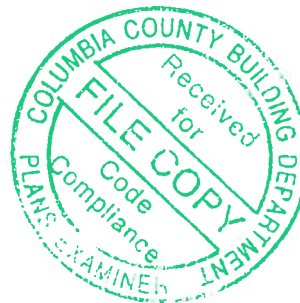
EXP 07/20/2020

Wall Panel:

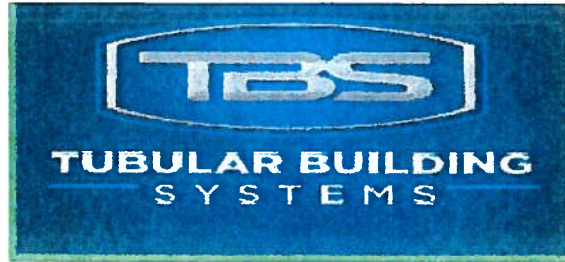
Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions on concern, please contact Donald Little at
386-961-0006 or at tubularbuildingsystems@gmail.com.



10, 14, 15



STRUCTURAL DESIGN

ENCLOSED BUILDING

EXPOSURE B

**MAXIMUM 40'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

18 December 2017

Revision 4

M&A Project No. 16022S/16072S/16073S/17301S

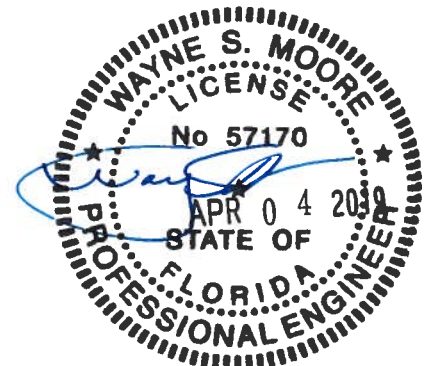
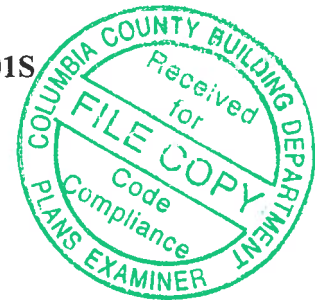
Prepared for:

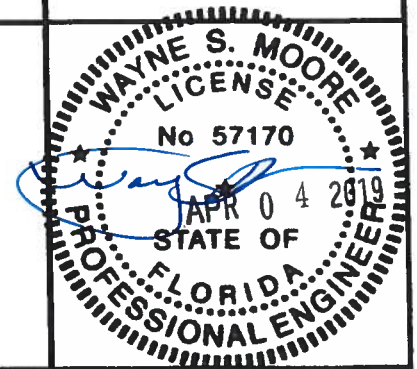
**Tubular Building Systems, LLC
631 SE Industrial Circle
Lake City, Florida 32025**

Prepared by:

**Moore and Associates Engineering and Consulting, Inc.
1009 East Avenue
North Augusta, SC 29841**

**401 S. Main Street, Suite 200
Mount Airy, NC 27030**

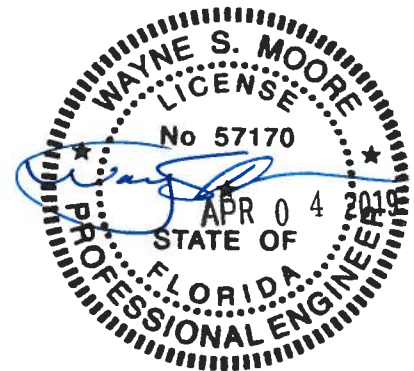




MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.	DRAWN BY: JRS	TUBULAR BUILDING SYSTEMS		
	CHECKED BY: PDH	PE COVER SHEET		
<small>THIS DOCUMENT IS THE PROPERTY OF MOORE AND ASSOCIATES, INC. THE UNAUTHORIZED REPRODUCTION, COPYING, OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.</small>	PROJECT MGR: WSM	DATE: 12-18-17	SCALE: NTS	JOB NO: 16022S
	CLIENT: TBS	SHT. 1	DWG. NO: SK-2	REV: 4
	<small>40'-0"x20'-0" ENCLOSED BUILDING EXP. B</small>			

DRAWING INDEX

SHEET 1	PE SEAL COVER SHEET
SHEET 2	DRAWING INDEX
SHEET 3	INSTALLATION NOTES AND SPECIFICATIONS
SHEET 4	TYPICAL SIDE AND END ELEVATIONS
SHEET 5	TYPICAL RAFTER/POST FRAME AND SIDE FRAMING SECTION
SHEET 5A	TYPICAL RAFTER/POST FRAME AND SIDE FRAMING SECTION
SHEET 6	TYPICAL RAFTER/POST CONNECTION DETAILS
SHEET 6A	TYPICAL RAFTER/POST CONNECTION DETAILS
SHEET 7A	BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED
SHEET 7B	OPTIONAL FOUNDATION ANCHORAGE FOR LOW AND HIGH WIND SPEED
SHEET 8	BOX EAVE RAFTER END WALL AND WALL OPENINGS
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SHEET 12	BOX EAVE RAFTER LEAN-TO OPTIONS
SHEET 12A	BOX EAVE RAFTER LEAN-TO OPTIONS AND DETAILS
SHEET 13	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
SHEET 14	BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION
SHEET 15	OPTIONAL HEADER



**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: JRS

CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

SHT. 2

DWG. NO: SK-2

**JOB NO: 17301S
16022S**

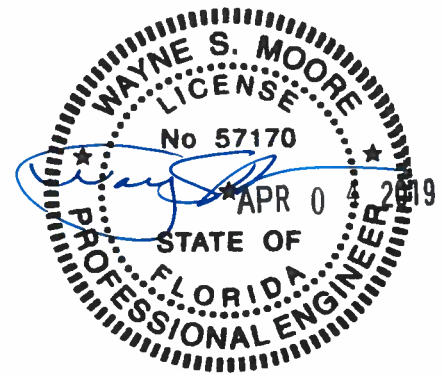
REV: 4

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INSTALLATION NOTES AND SPECIFICATIONS

1. DESIGN IS FOR A MAXIMUM 40'-0" WIDE x 20'-0" EAVE HEIGHT STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2014 FLORIDA BUILDING CODE (FBC) 5TH EDITION, 2017 FBC 6TH EDITION, 2012 INTERNATIONAL BUILDING CODE (IBC), AND 2015 IBC (U.N.D.).
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 10 PSF
4. LOW ULTIMATE WIND SPEED 105 TO 140 MPH (NOMINAL WIND SPEED 81 TO 108 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 5.0 FEET.
5. HIGH ULTIMATE WIND SPEED 141 TO 170 MPH (NOMINAL WIND SPEED 109 TO 132 MPH): MAXIMUM RAFTER/POST AND END POST SPACING = 4.0 FEET.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS. FOR VERTICAL PANELS, 29 GAUGE METAL PANELS SHALL BE FASTENED TO 18 GAUGE HAT CHANNELS (U.N.D.).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR PURLINS, AND POSTS, INTERIOR = 9" AND END = 6", (MAX).
10. FASTENERS CONSIST OF #12-14x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS CONSISTING OF #4 REBAR W/ WELDED NUT x 30" LONG MAY BE USED FOR LOW WIND SPEEDS ONLY.
12. GROUND ANCHORS (SOIL NAILS) CONSIST OF #4 REBAR W/ WELDED NUT x 30" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED. SOIL NAILS ARE NOT ALLOWED FOR HIGH WIND APPLICATION.
13. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6" OF EACH RAFTER COLUMN ALONG SIDES AND ENDS.
14. OPTIONAL BASE RAIL ANCHORAGE MAY BE USED FOR LOW AND AND MUST BE USED FOR HIGH WIND SPEEDS.
15. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:

SOIL SITE CLASS = D
 RISK CATEGORY I/II/III
 R = 3.25 I_E = 1.0
 S_{DS} = 1.522 V = C_sW
 S_{D1} = 0.839



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DRAWN BY: JRS

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SCALE: NTS

SHT. 3

DWG. NO: SK-2

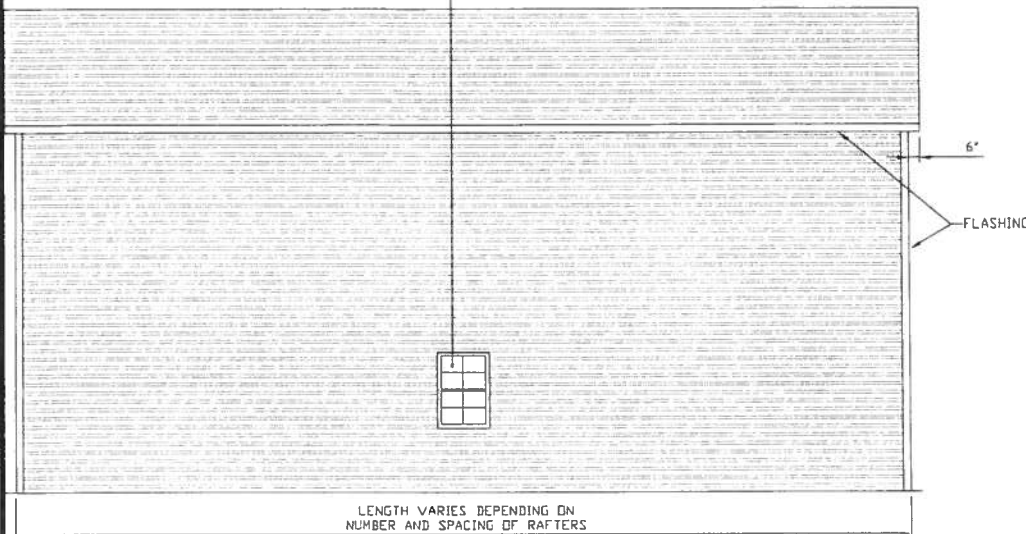
**JOB NO: 17301S
16022S**

REV: 4

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BOX EAVE FRAME RAFTER ENCLOSED BUILDING

WINDOW (AS APPLICABLE)
DESIGN PRESSURE
LOW = (218 PSF, -23.6 PSF)
HIGH = (3265 PSF, -35.6 PSF)

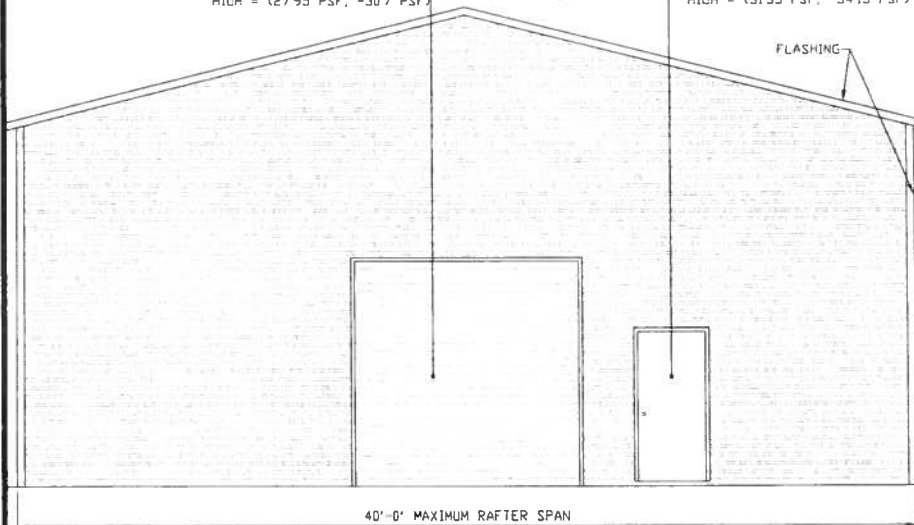


TYPICAL SIDE ELEVATION-HORIZONTAL ROOF

SCALE: 1/8" = 1'-0"

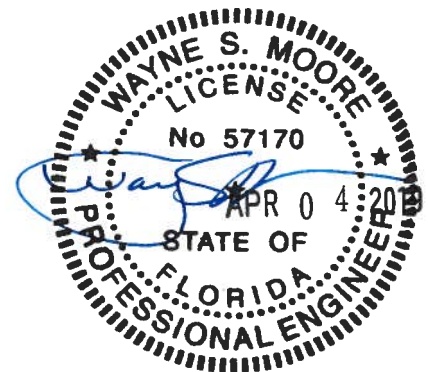
ROLL-UP DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (18.5 PSF, -20.4 PSF)
HIGH = (27.95 PSF, -30.7 PSF)

SWINGING DOOR
(AS APPLICABLE)
DESIGN PRESSURE
LOW = (20.8 PSF, -22.6 PSF)
HIGH = (31.35 PSF, -34.15 PSF)



TYPICAL END ELEVATION-HORIZONTAL ROOF

SCALE: 1/8" = 1'-0"



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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 4

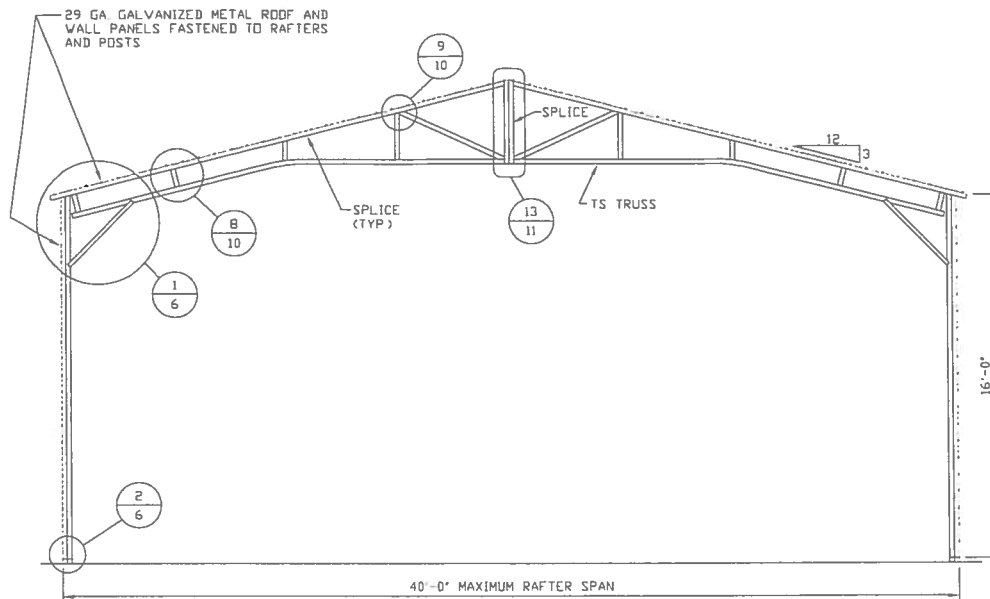
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DWG. NO: SK-2

JOB NO: 16022S

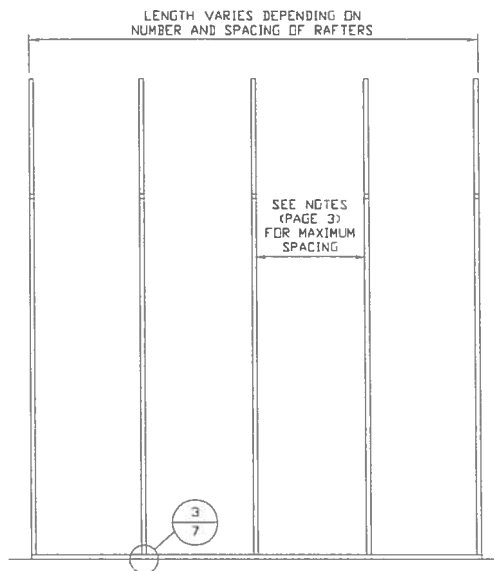
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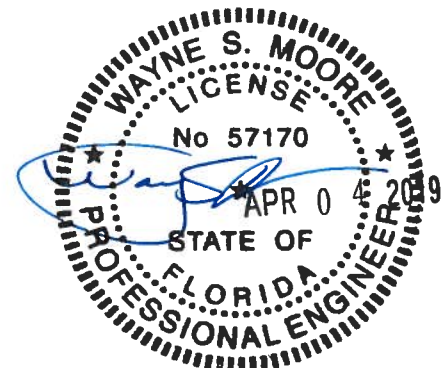
TYPICAL RAFTER/POST FRAME SECTION

SCALE: 1/8" = 1'-0"



TYPICAL RAFTER/POST SIDE FRAMING SECTION

SCALE: 1/8" = 1'-0"



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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 5

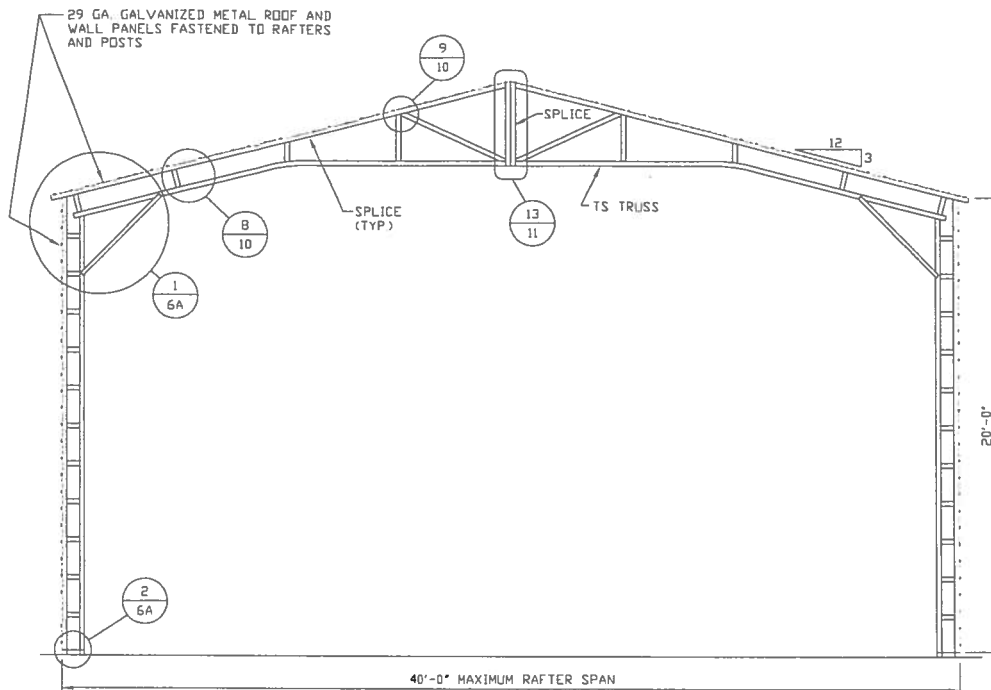
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DWG. NO: SK-2

JOB NO: 16022S
17301S

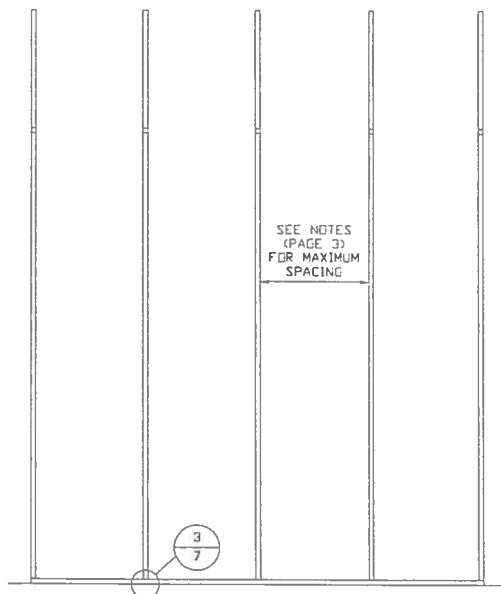
REV: 4

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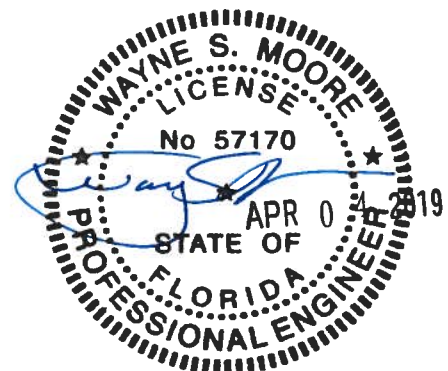
TYPICAL RAFTER/POST FRAME SECTION

SCALE: 1/8" = 1'-0"



TYPICAL RAFTER/POST SIDE FRAMING SECTION

SCALE: 1/8" = 1'-0"



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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 5A

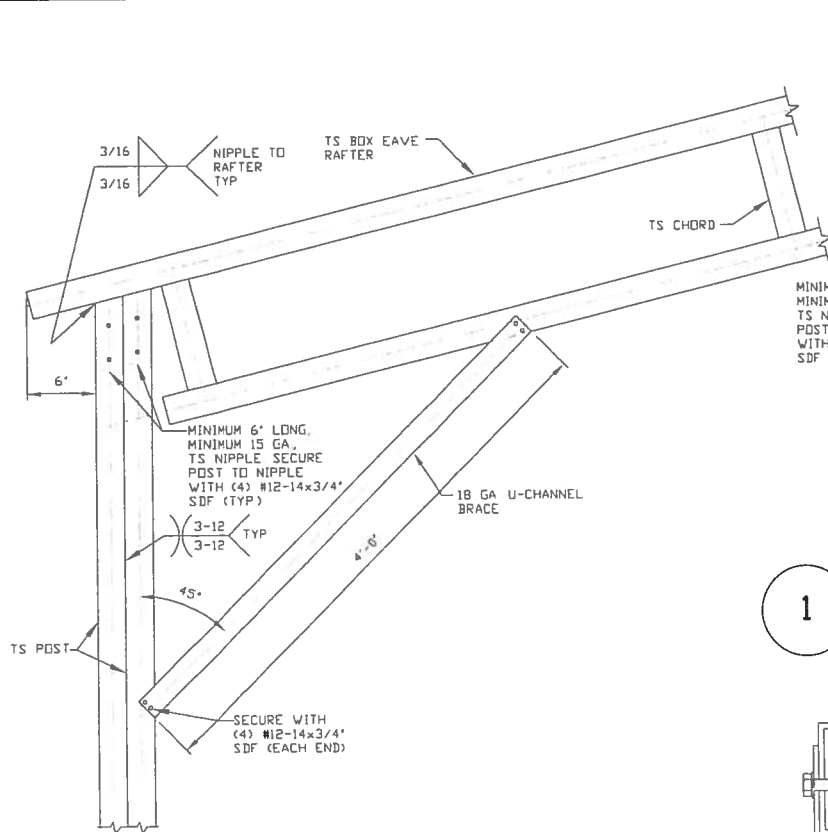
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DWG. NO: SK-2

JOB NO: 17301S
16022S

REV: 4

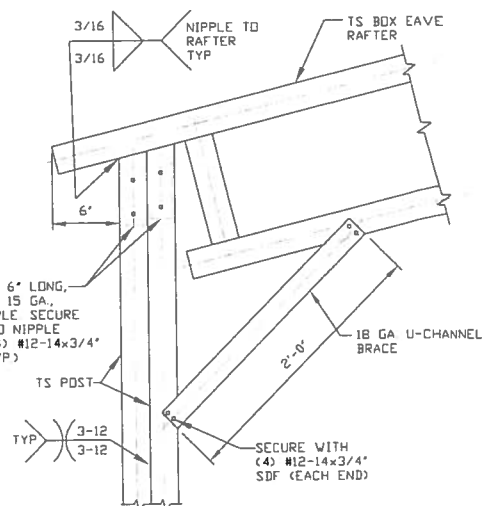
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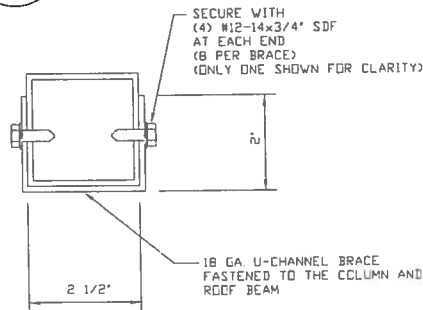
BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL FOR HEIGHTS 10'-0" ≤ 16'-0"

1

SCALE: NTS

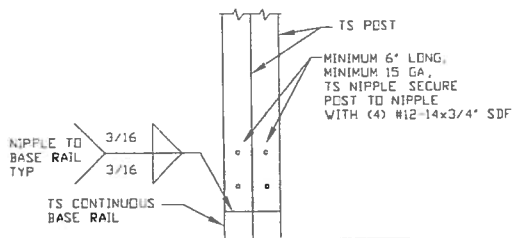


BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL FOR HEIGHTS ≤ 10'-0"



BRACE SECTION

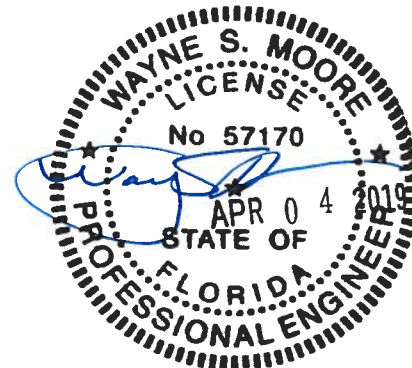
SCALE: NTS



2

POST/BASE RAIL CONNECTION DETAIL

SCALE: NTS



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CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 6

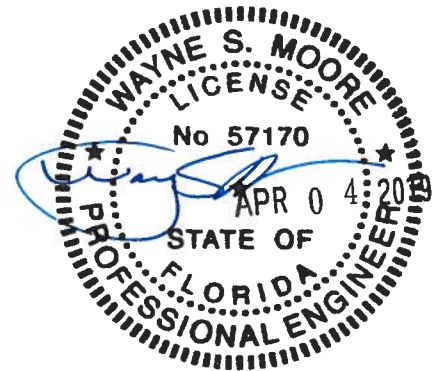
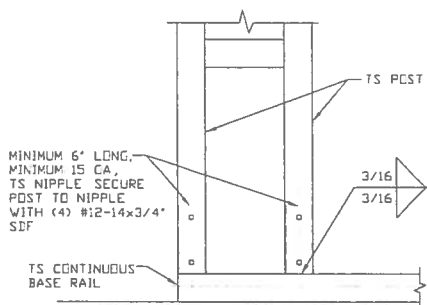
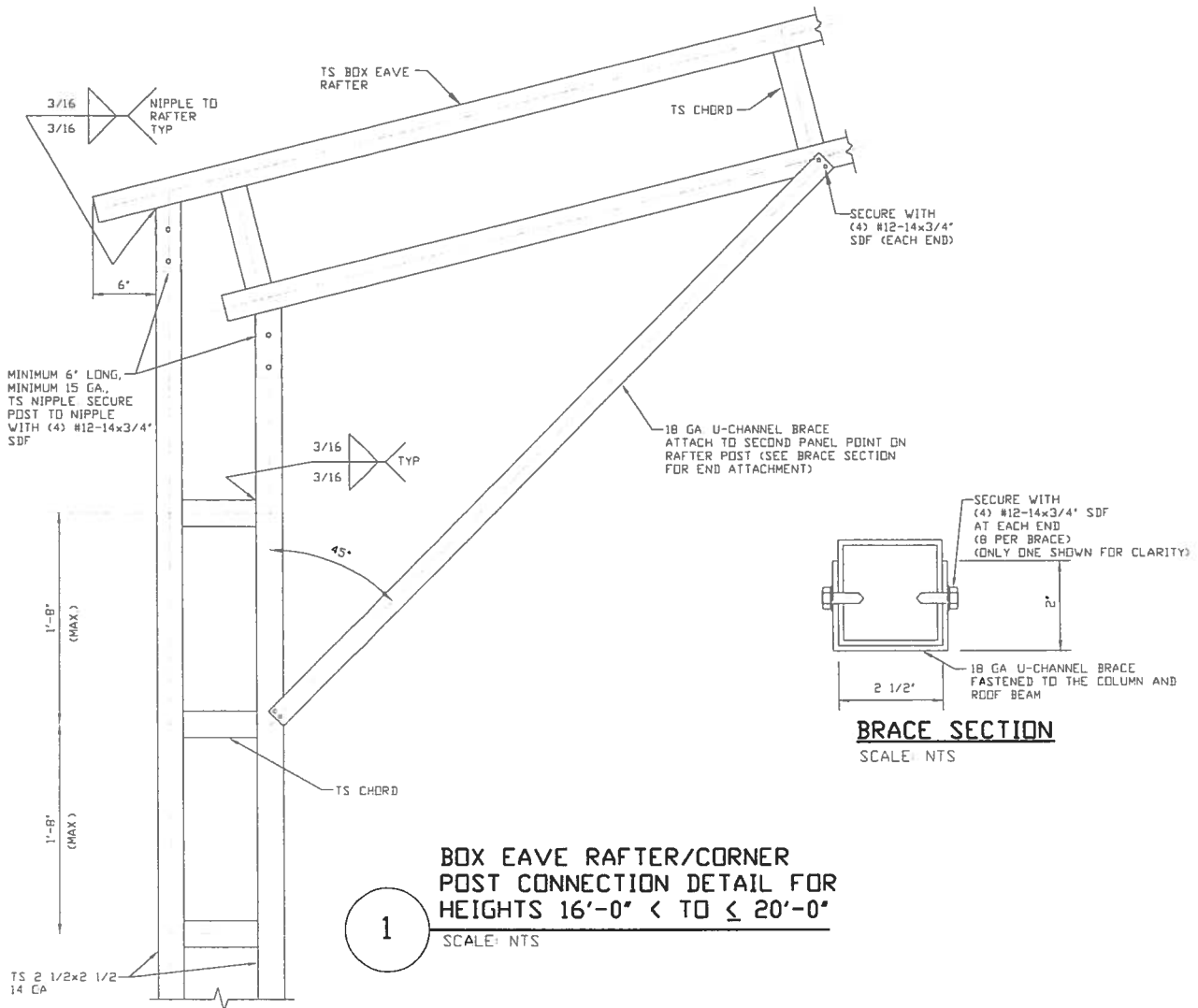
SCALE: NTS

DWG. NO: SK-2

JOB NO: 17301S

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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 6A

SCALE: NTS

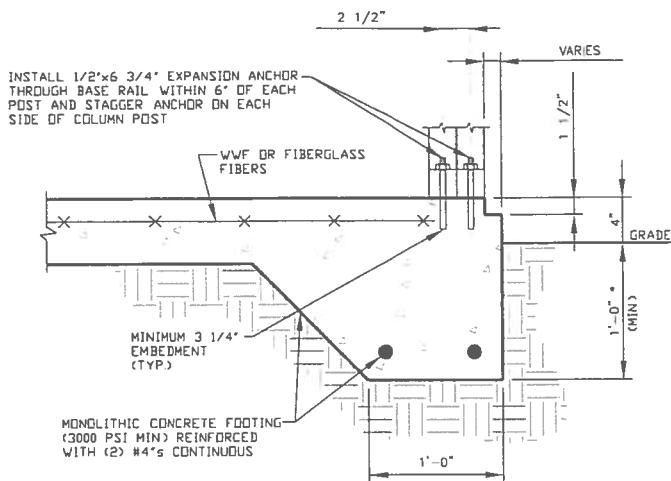
DWG. NO: SK-2

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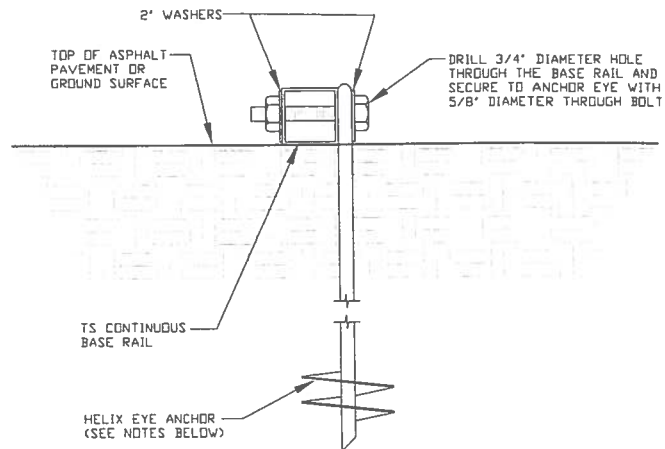
BASE RAIL ANCHORAGE OPTIONS FOR LOW AND HIGH WIND SPEED



3A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS
(MINIMUM ANCHOR EDGE DISTANCE IS 4")
* COORDINATE WITH LOCAL CODES/ORD



3B

GROUND BASE HELIX ANCHORAGE

SCALE: NTS (CAN BE USED FOR ASPHALT)

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318:
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

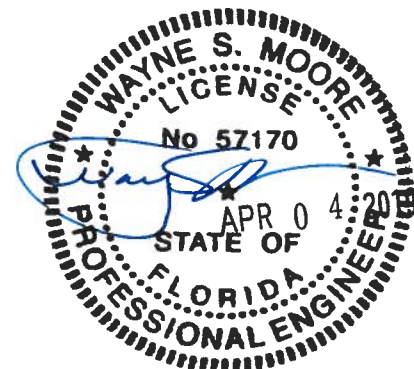
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT

HELIX ANCHOR NOTES:

- 1 FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT.
- 2 FOR CORAL USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT.
- 3 FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS AND CLAYS USE MINIMUM (2) 4' HELICES WITH MINIMUM 30 INCH EMBEDMENT.
- 4 FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL USE MINIMUM (2) 6' HELICES WITH MINIMUM 50 INCH EMBEDMENT.
- 5 FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL USE MINIMUM (2) 8' HELICES WITH MINIMUM 60 INCH EMBEDMENT.



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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 7A

SCALE: NTS

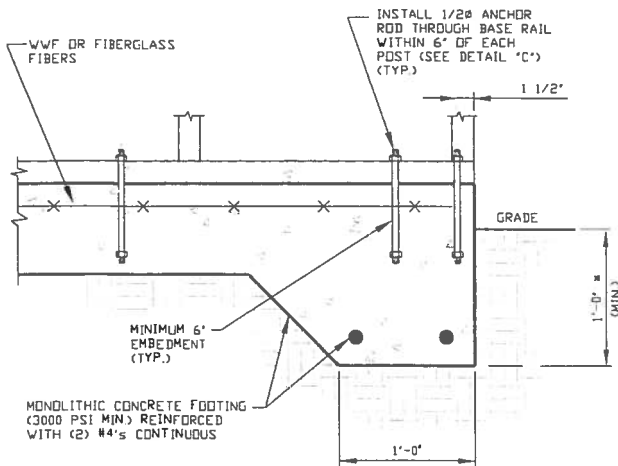
DWG. NO: SK-2

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OPTIONAL FOUNDATION ANCHORAGE FOR LOW AND HIGH WIND SPEED



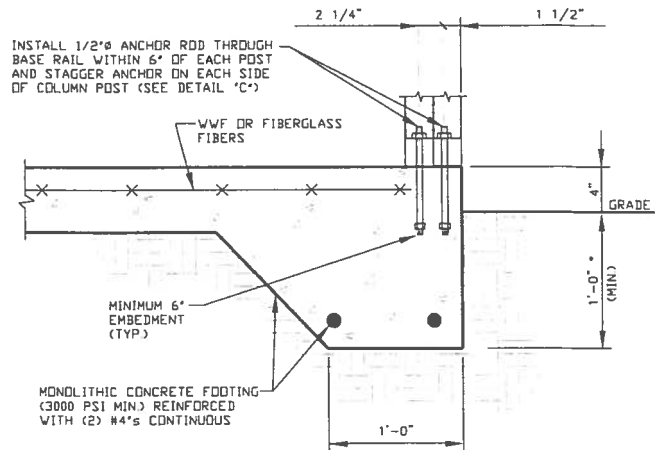
1A

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

* COORDINATE WITH LOCAL CODES/ORD



1B

CONCRETE MONOLITHIC SLAB BASE RAIL ANCHORAGE

SCALE: NTS

(MINIMUM ANCHOR EDGE DISTANCE IS 1 1/2")

* COORDINATE WITH LOCAL CODES/ORD

GENERAL NOTES

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

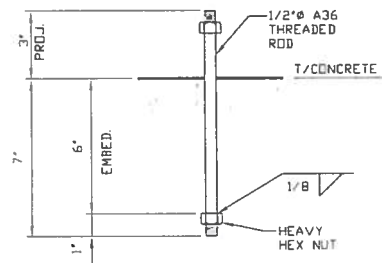
FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318
3 INCHES IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2 INCHES ELSEWHERE

REINFORCING STEEL:

THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

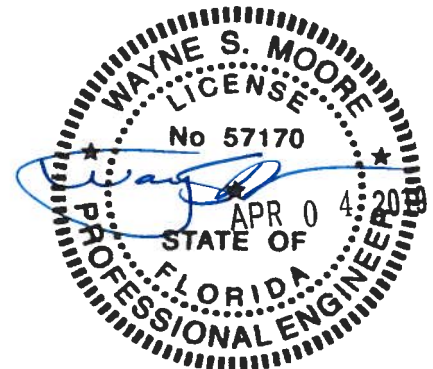
- 1 REINFORCEMENT IS BENT COLD
- 2 THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS
- 3 REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT



1C

ANCHOR ROD THROUGH BASE RAIL DETAIL

SCALE: NTS



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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 7B

SCALE: NTS

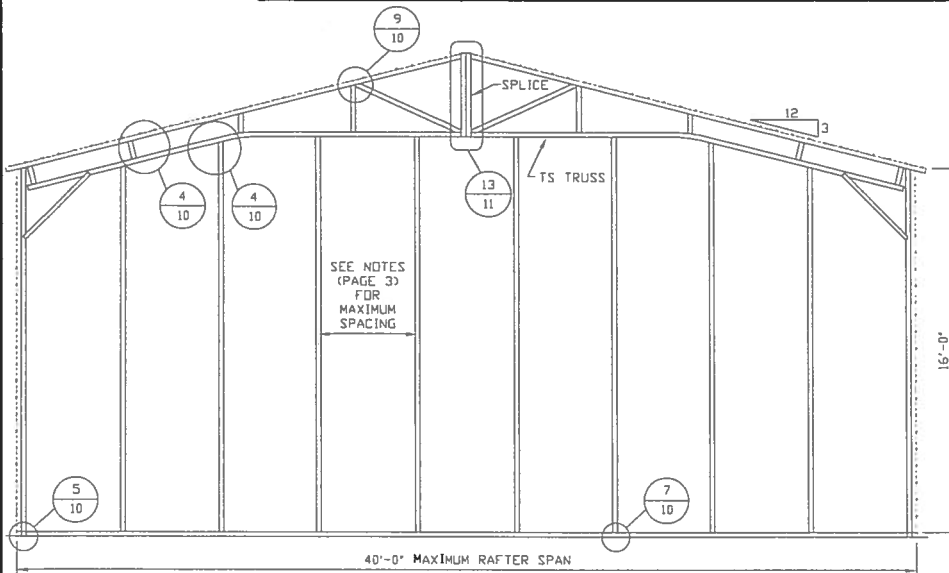
DWG. NO: SK-2

JOB NO: 17301S
16022S

REV: 4

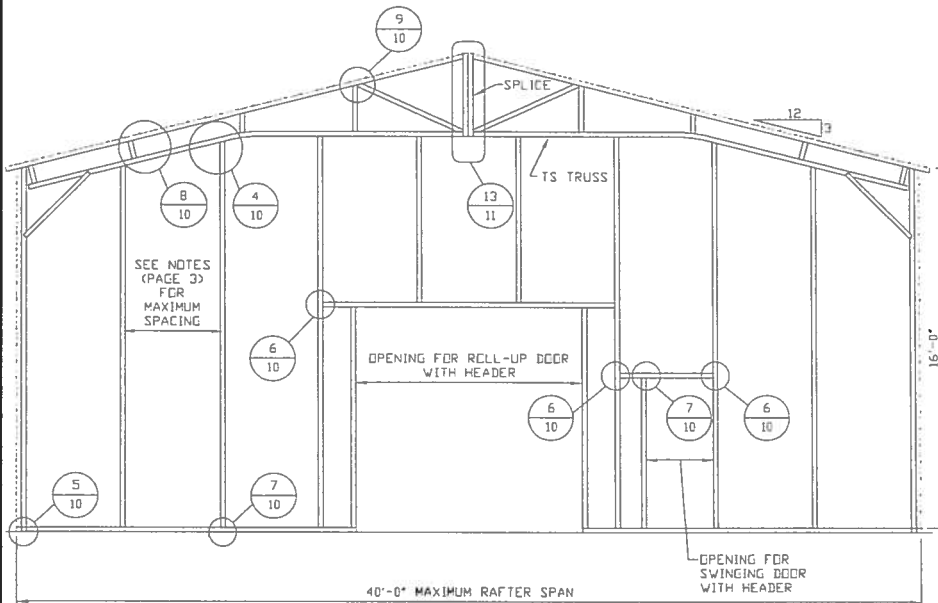
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BOX EAVE RAFTER END WALL AND WALL OPENINGS



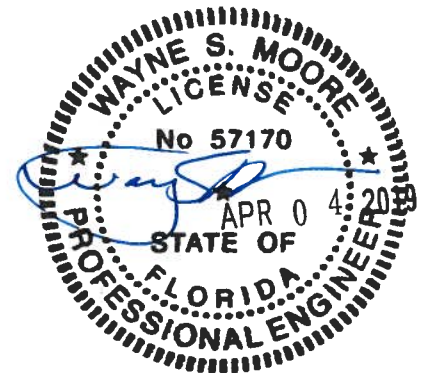
TYPICAL BOX EAVE RAFTER END WALL FRAMING SECTION

SCALE: 1/8" = 1'-0"



TYPICAL BOX EAVE RAFTER END WALL OPENINGS FRAMING SECTION

SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 8

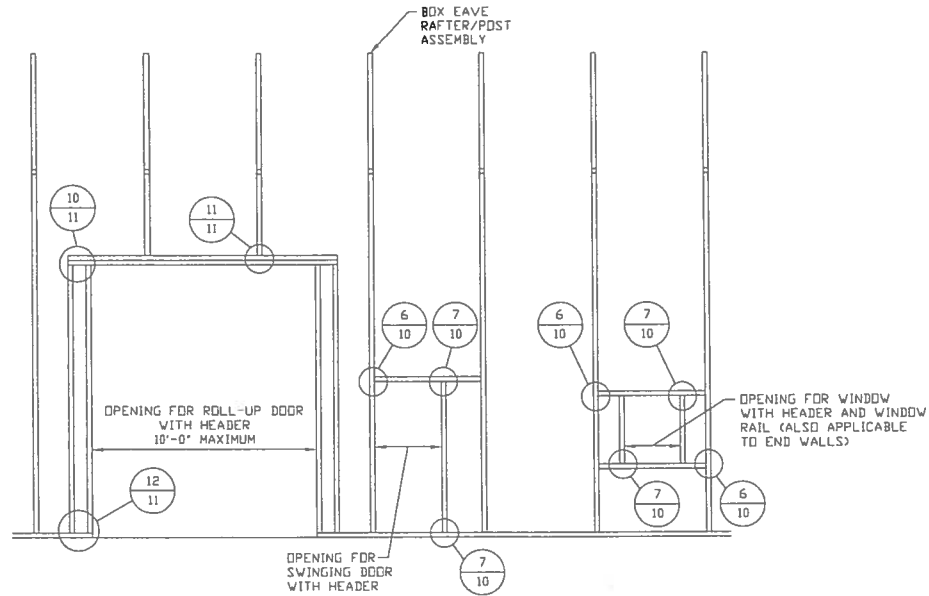
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DWG. NO: SK-2

JOB NO: 17301S

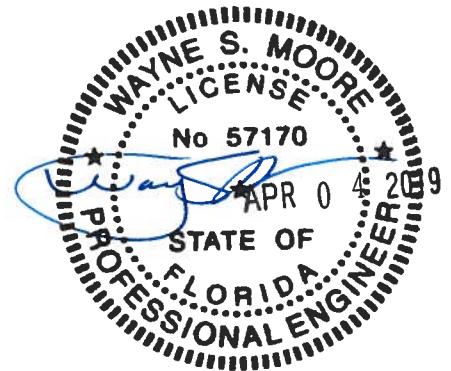
REV.: 4

BOX EAVE RAFTER SIDE WALL AND WALL OPENINGS



TYPICAL BOX EAVE RAFTER SIDE WALL OPENINGS FRAMING SECTION

SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
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DATE: 12-18-17

SHT. 9

SCALE: NTS

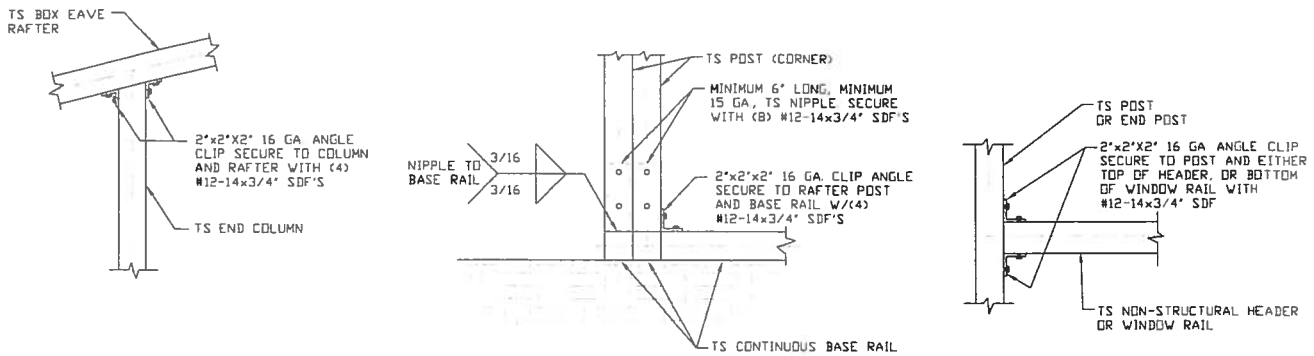
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**JOB NO: 17301S
16022S**

REV: 4

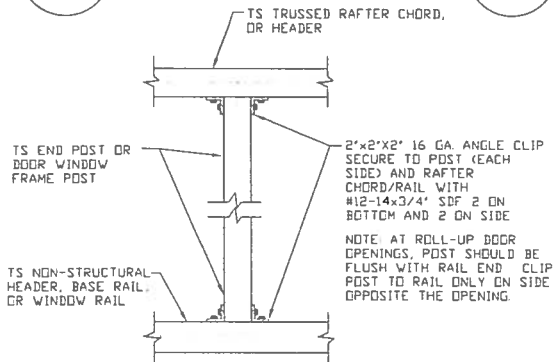
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BOX EAVE RAFTER WALL OPENING DETAILS



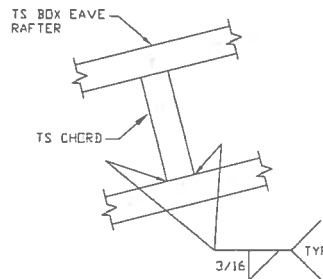
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END POST/RAFTER CONNECTION DETAIL SCALE: NTS



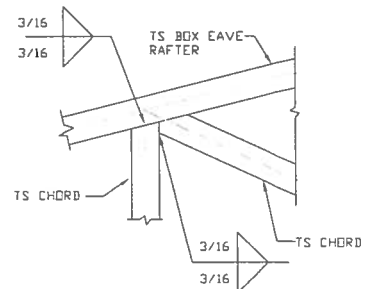
5

END POST/BASE RAIL CONNECTION DETAIL SCALE: NTS



6

HEADER OR WINDOW RAIL TO POST CONNECTION DETAIL SCALE: NTS



7

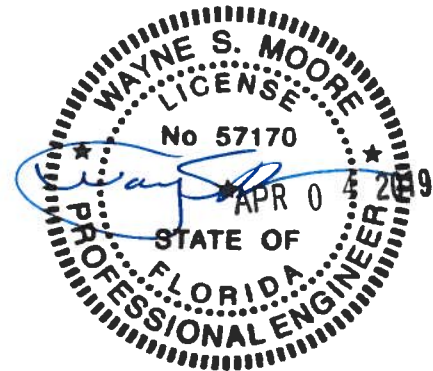
POST TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL SCALE: NTS

8

CHORD/RAFTER CONNECTION DETAIL SCALE: NTS

9

TRUSS POST AND CORD TO RAFTER CONNECTION DETAIL SCALE: NTS



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TUBULAR BUILDING SYSTEMS
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DATE: 12-18-17

SHT. 10

SCALE: NTS

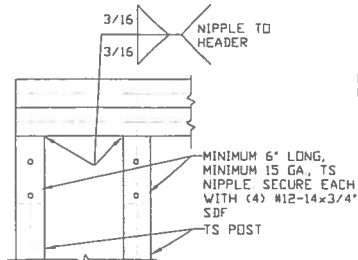
DWG. NO: SK-2

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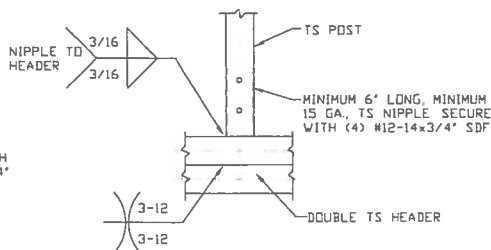
BOX EAVE RAFTER WALL OPENING DETAILS



10

DOUBLE HEADER/POST CONNECTION DETAIL

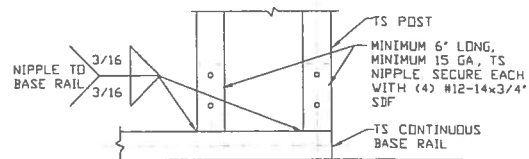
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11

POST/DOUBLE HEADER CONNECTION DETAIL

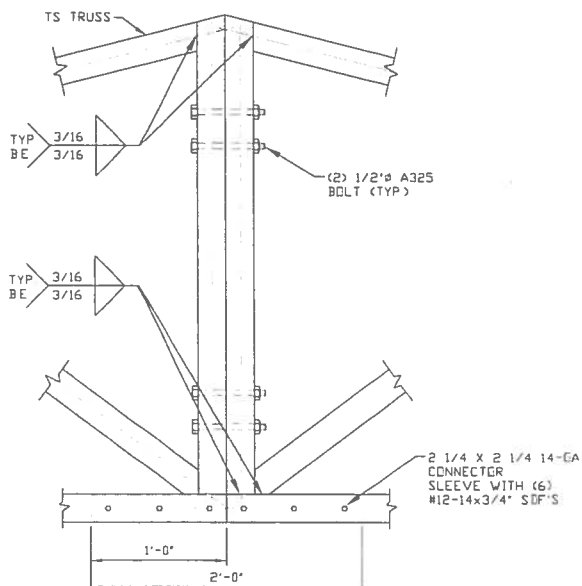
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12

POST/BASE RAIL CONNECTION DETAIL

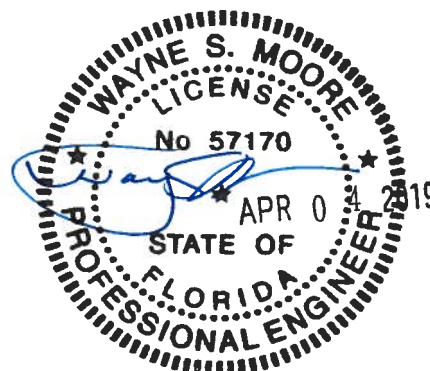
SCALE: NTS



13

SPLICE CONNECTION DETAIL

SCALE: NTS



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CHECKED BY: PDH

PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
40'-0"X20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 11

SCALE: NTS

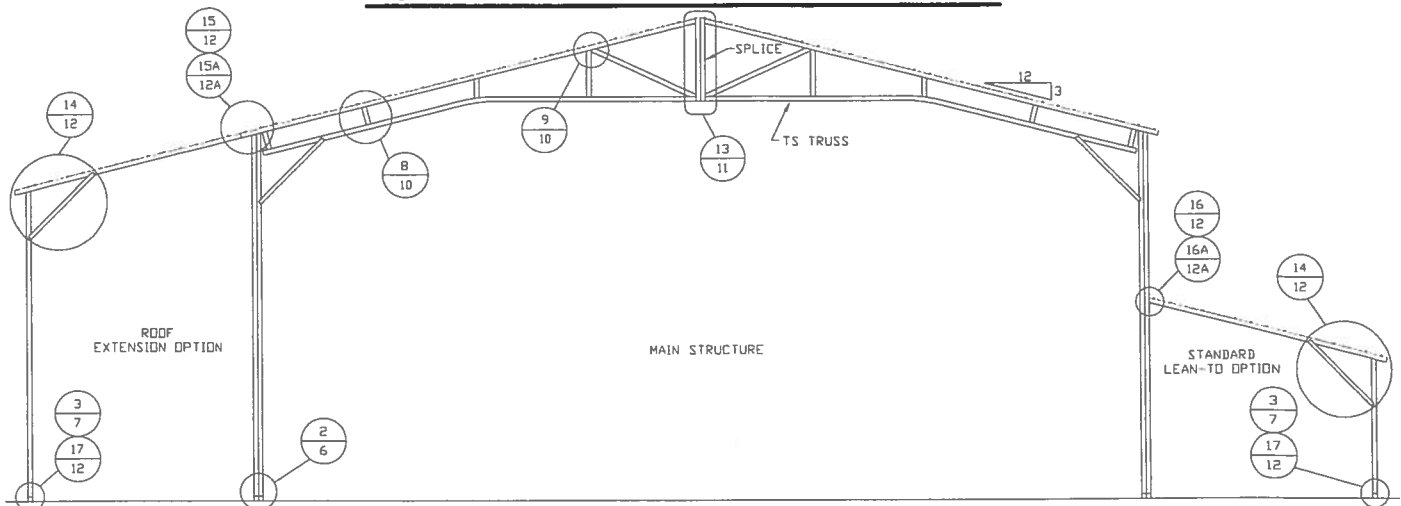
DWG. NO: SK-2

JOB NO: 17301S
16022S

REV: 4

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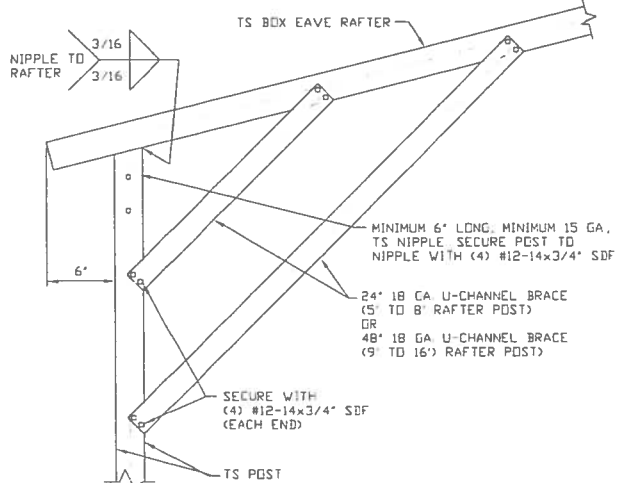
BOX EAVE RAFTER LEAN-TO OPTIONS



TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

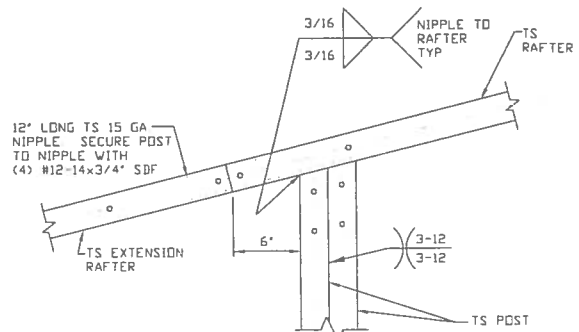
SCALE: NTS

(MAXIMUM WIDTH OF SINGLE MEMBER RAFTER LEAN-TO IS 12'-0")
(MAXIMUM WIDTH OF DOUBLE MEMBER RAFTER LEAN-TO IS 16'-0")



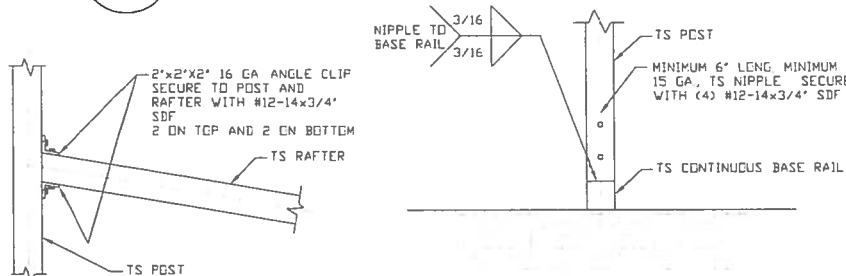
14 LEAN-TO RAFTER/ CORNER POST DETAIL

SCALE: NTS



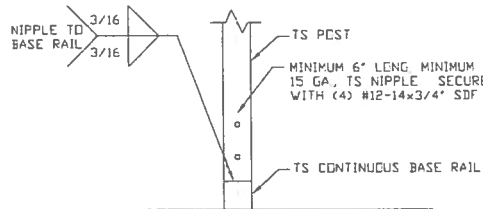
15 SIDE EXTENSION RAFTER/COLUMN DETAIL FOR RAFTER SPANS < 12'-0"

SCALE: NTS



16 LEAN-TO RAFTER TO RAFTER COLUMN CONNECTION DETAIL FOR RAFTER SPANS 12'-0"

SCALE: NTS



17 LEAN-TO POST CONNECTION DETAIL

SCALE: NTS



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TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 12

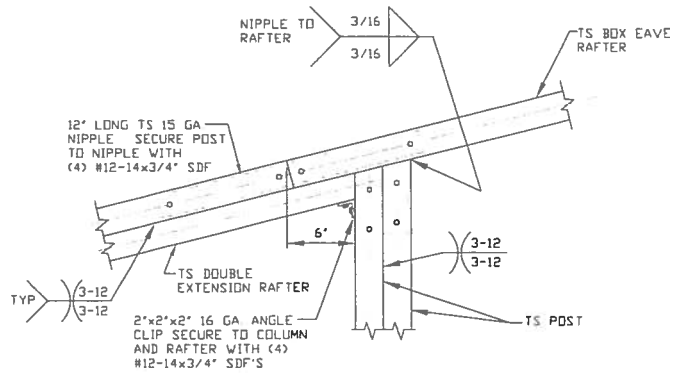
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DWG. NO: SK-2

JOB NO: 173015
160225

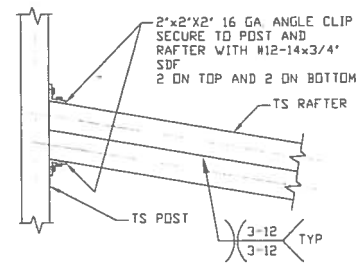
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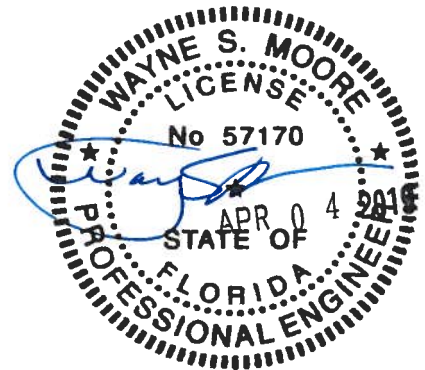
15A

SIDE EXTENSION RAFTER/COLUMN DETAIL
FOR RAFTER SPANS 12'-0" < L ≤ 16'-0"
SCALE: NTS



16A

LEAN-TO RAFTER TO RAFTER
COLUMN CONNECTION DETAIL FOR
RAFTER SPANS 12'-0" < L ≤ 16'-0"
SCALE: NTS



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TUBULAR BUILDING SYSTEMS
40'-0" x 20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SHT. 12A

SCALE: NTS

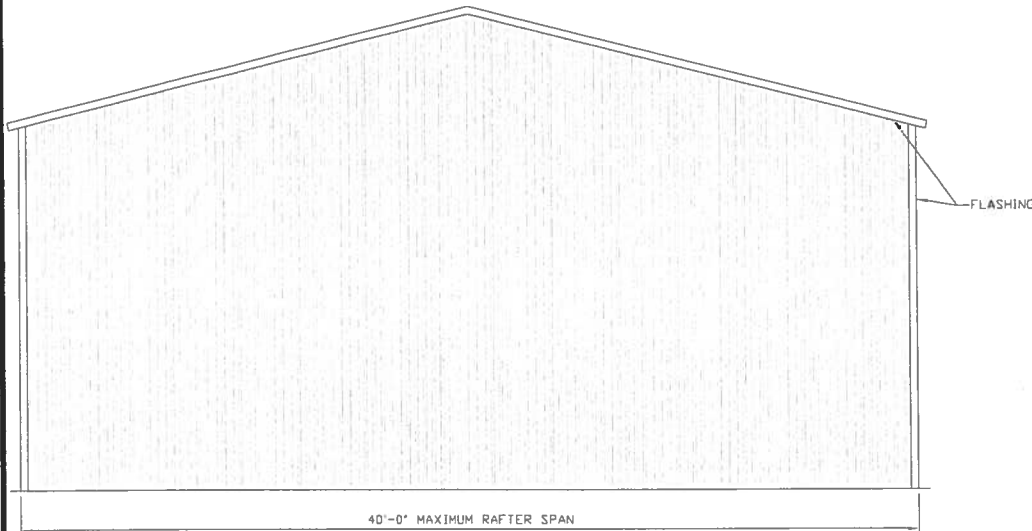
DWG. NO: SK-2

JOB NO: 17301S
16022S

REV.: 4

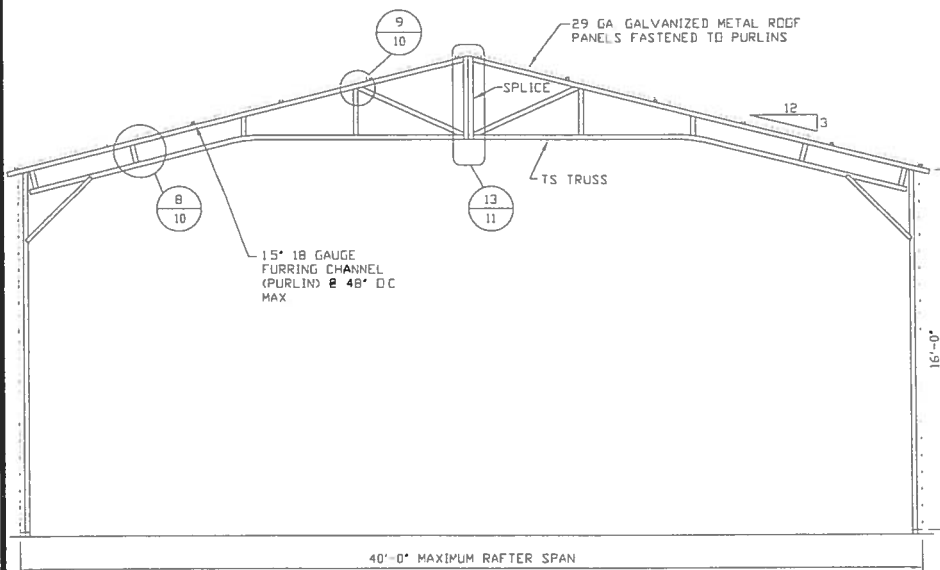
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BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



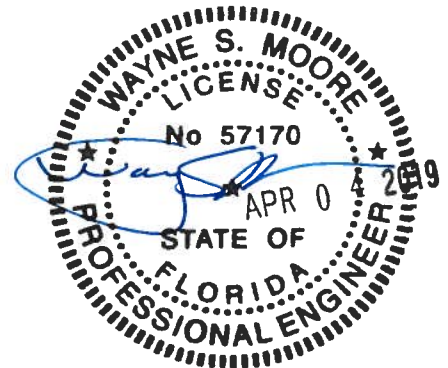
TYPICAL END ELEVATION VERTICAL ROOF

SCALE: 1/8" = 1'-0"



TYPICAL SECTION VERTICAL ROOF OPTION

SCALE: 1/8" = 1'-0"



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**TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 13

SCALE: NTS

DWG. NO: SK-2

**JOB NO: 17301S
16022S**

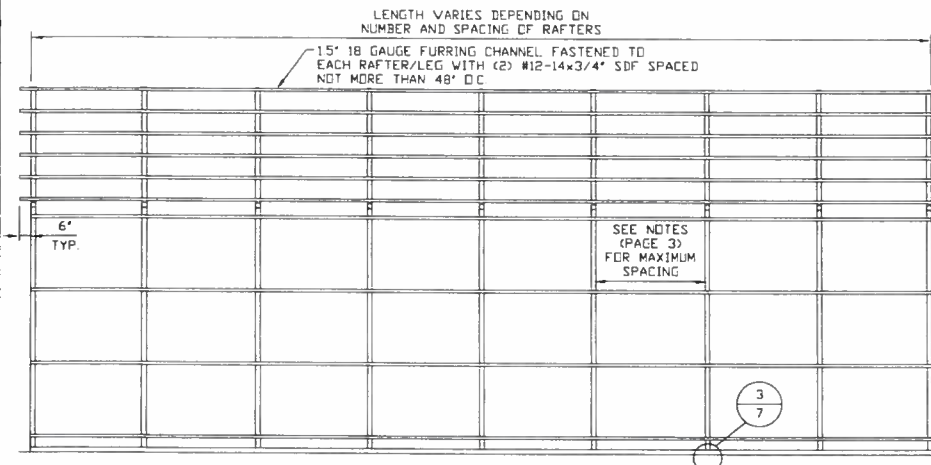
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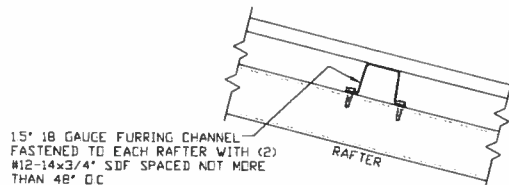
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



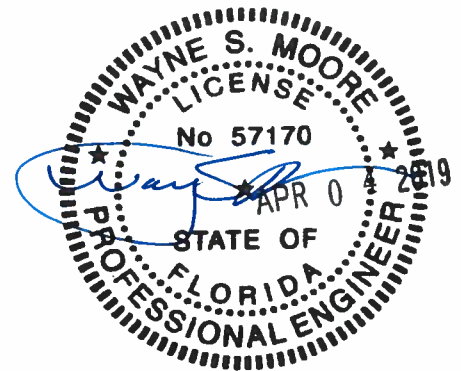
TYPICAL SIDE ELEVATION VERTICAL ROOF/SIDING
SCALE: 1/8" = 1'-0"



TYPICAL FRAMING SECTION VERTICAL ROOF/SIDING OPTION
SCALE: 1/8" = 1'-0"



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)



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PROJECT MGR: WSM

CLIENT: TBS

TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B

DATE: 12-18-17

SCALE: NTS

JOB NO: 17301S
16022S

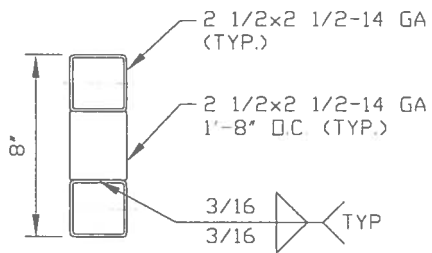
SHT. 14

DWG. NO: SK-2

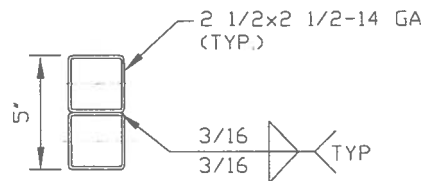
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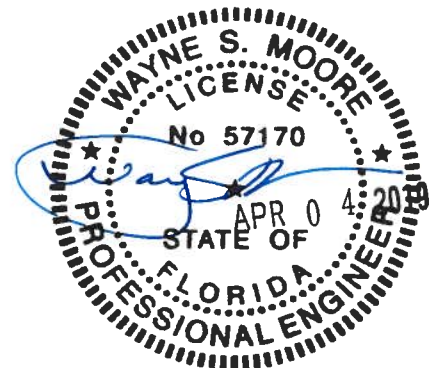
OPTIONAL HEADER



**HEADER DETAIL FOR
OPENINGS 10'-0" < LENGTH ≤ 15'-0"**
SCALE: NTS



**HEADER DETAIL FOR
OPENINGS LENGTH ≤ 10'-0"**
SCALE: NTS



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PROJECT MGR: WSH

CLIENT: TBS

**TUBULAR BUILDING SYSTEMS
40'-0"x20'-0" ENCLOSED BUILDING EXP. B**

DATE: 12-18-17

SHT. 15

SCALE: NTS

DWG. NO: SK-2

**JOB NO: 17301S
16022S**

REV: 4

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Florida Product Approval Codes

Roll-Up Doors:

Janus International Corporation Model 3652: 14425.1

EXP 12/31/2019

Roof Deck:

Capital Metal Supply Inc. Ag Panel: 20147.1

EXP 07/20/2020

Wall Panel:

Capital Metal Supply Inc. Ag Panel: 20148.1

EXP 07/20/2020

If you have any questions or concerns, please contact Donald Little at 386-961-0006 or at tubularbuildingsystems@gmail.com.

Outside measurement of foundation
Equals Basic Building Dimension
plus Seven (7) inches

52'7"

Basic Building
Dimension
to outside of Base Rail

52'

BUILDING SLAB

Basic Building
Dimension
to outside of Base Rail

40'

Outside measurement of foundation
Equals Basic Building Dimension
plus Seven (7) inches

40'7"

See Corner
Detail Sheet 3

Building
Base Rail

3-1/2" wide x 1-1/2" high Notch
in Concrete outside
of basic building
dimensions



TUBULAR BUILDING
SYSTEMS

TYPICAL BUILDING

FOUNDATION MEASUREMENTS

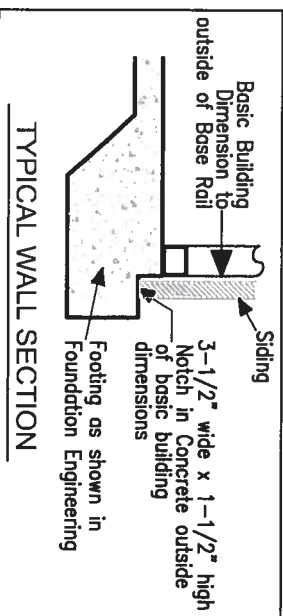


IMPORTANT - NOTES

Record Measurements
in these spaces provided

All basic building dimensions
are to the outside of the
frame Base Rail and DO NOT
INCLUDE the 3-1/2" x 1-1/2"
notch in the concrete footing

See Sheet 3 of 3
for Detail of Building
corner configuration

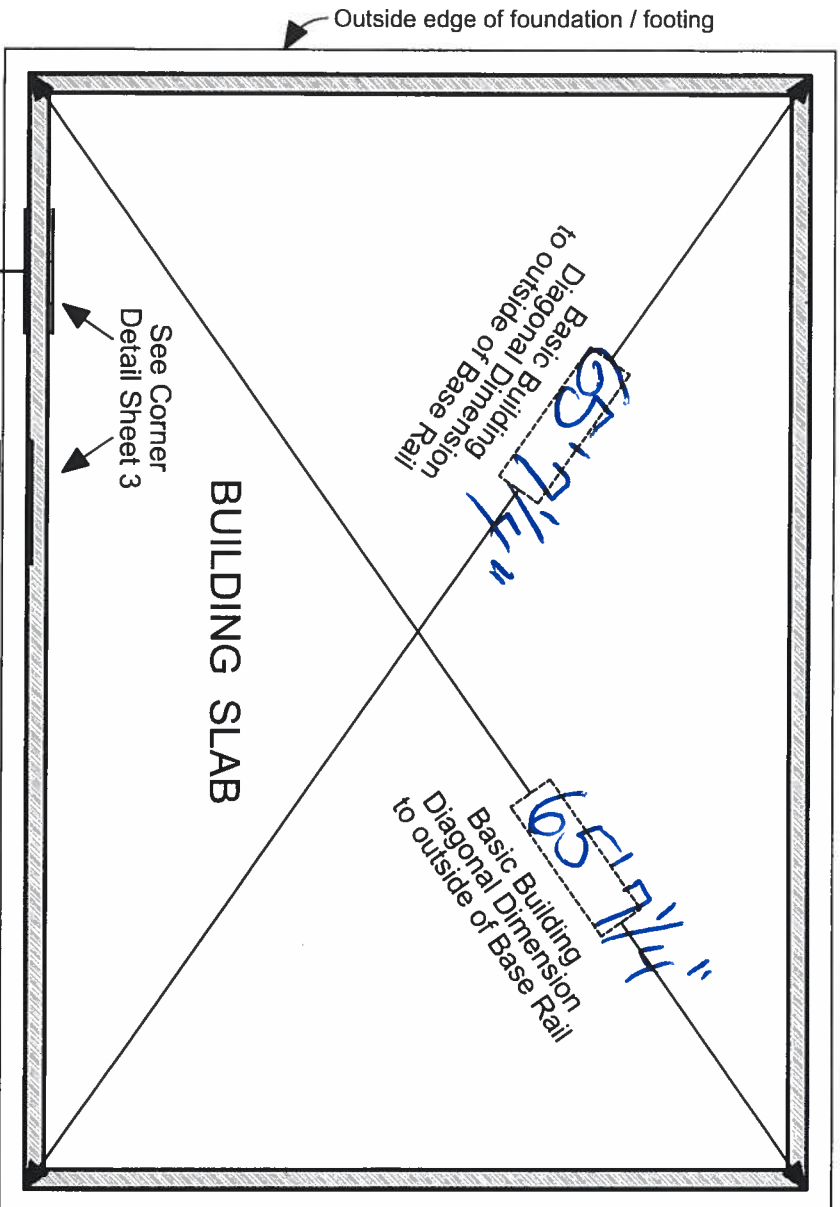


IMPORTANT - NOTES

Record Measurements
in these spaces provided

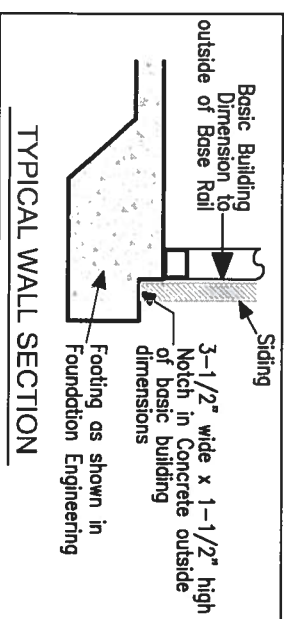
All basic building diagonal dimensions
are to the outside corner of the
frame Base Rail and DO NOT
INCLUDE the 3-1/2" x 1-1/2"
notch in the concrete footing

See Sheet 3 of 3
for Detail of Building
corner configuration



Building
Base Rail

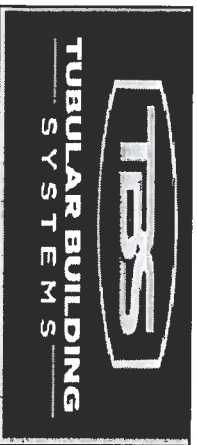
3-1/2" wide x 1-1/2" high Notch
in Concrete outside
of basic building
dimensions



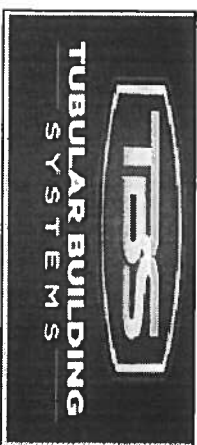
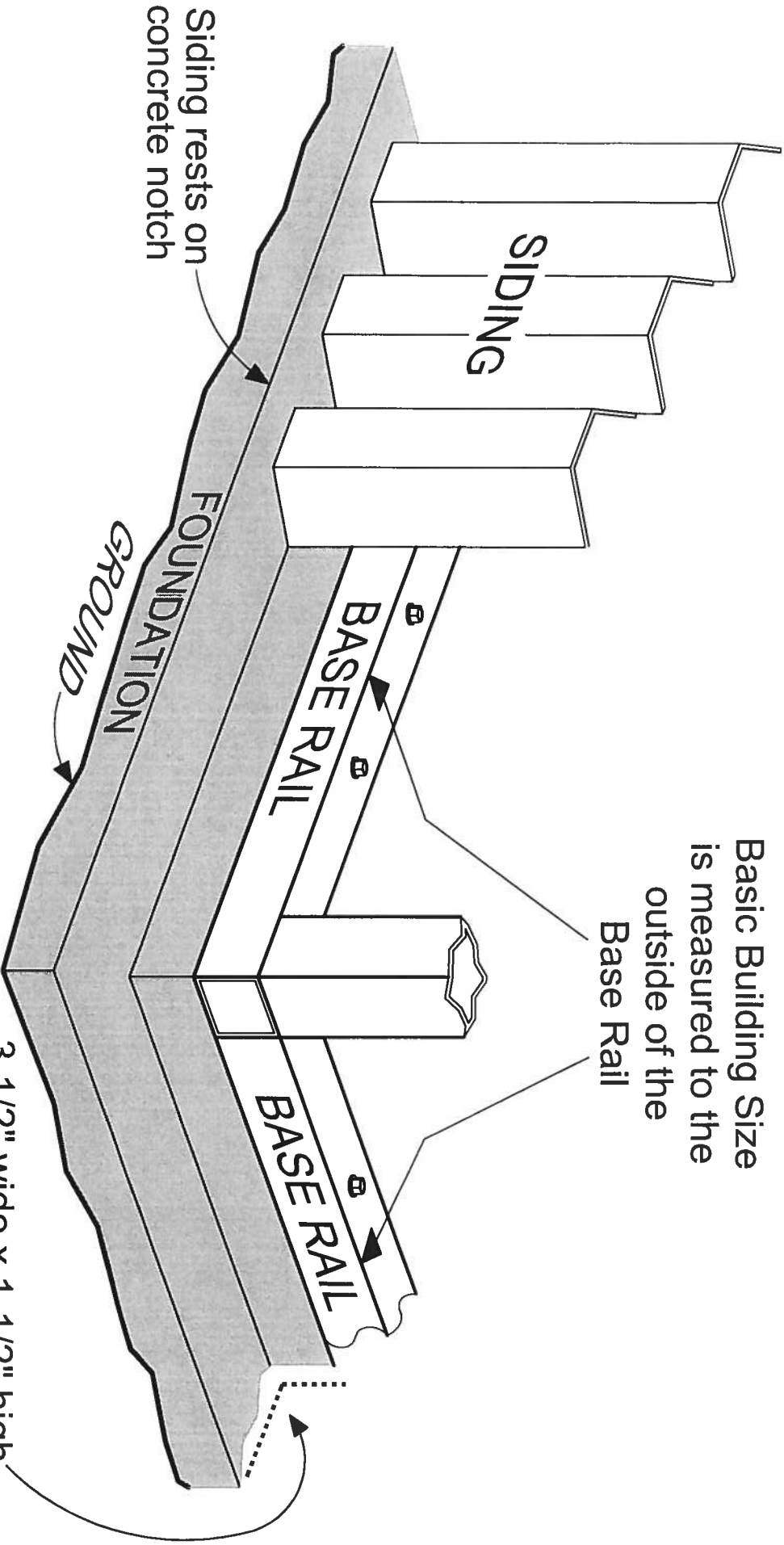
TYPICAL WALL SECTION

TYPICAL BUILDING

FOUNDATION MEASUREMENTS DIAGONALS



Basic Building Size
is measured to the
outside of the
Base Rail



TYPICAL BUILDING

CORNER DETAIL