

DATE 12/07/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028257

APPLICANT ADAM PAPKA PHONE 623-2383
ADDRESS 0 P.O. BOX1921 LAKE CITY FL 32056
OWNER BOB BAKAJ PHONE 708 253-8114
ADDRESS 456 SW SUNNY ACRES GLEN LAKE CITY FL 32024
CONTRACTOR ADAM PAPKA PHONE 623-2383

LOCATION OF PROPERTY 47S, TR ON CR 240, TL CURRINGTON AVE, TL SUNNY ACRES GLEN,
3RD LOT ON RIGHT

TYPE DEVELOPMENT RENEWAL MODULAR ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT 17.00 STORIES 1

FOUNDATION PIERS WALLS FRAMED ROOF PITCH 5/12 FLOOR WOOD

LAND USE & ZONING AG-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-5S-16-03525-214 SUBDIVISION SUNNY ACRES (PART OF LOT)

LOT 4 BLOCK PHASE UNIT 3 TOTAL ACRES 5.70

CBC1253409

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXIST WAIVER 09-151 LH LH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: RENEWAL OF EXPIRED PERMIT 27717, 2 OF THE 6 INSPECTIONS REMAIN (3/4%)

Check # or Cash

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 106.25 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 106.25

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

DATE 03/26/2009

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000027717

APPLICANT ADAM PAPKA PHONE 623-2383
ADDRESS P.O. BOX1921 LAKE CITY FL 32056
OWNER BOB BAKAJ PHONE 708 253-8114
ADDRESS 456 SW SUNNY ACRES GLEN LAKE CITY FL 32024
CONTRACTOR ADAM PAPKA PHONE 623-2383
LOCATION OF PROPERTY 47S, TR ON CR 240, TL CURRINGTON AVE, TL SUNNY ACRES GLEN,
3RD LOT ON RIGHT
TYPE DEVELOPMENT MODULAR ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 2/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-5S-16-03525-214 SUBDIVISION SUNNY ACRES
LOT BLOCK PHASE UNIT TOTAL ACRES 5.70

000001719

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
WAIVER 09-151 BK RJ Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE

Check # or Cash 1565

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

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EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

ck# 425.00 ck# 50.00

Columbia County Building Permit Application

For Office Use Only Application # 0903-28 Date Received 3/12/09 By GT Permit # 1719/27717
Zoning Official BLK Date 20.03.09 Flood Zone X Land Use A-3 Zoning A-3
FEMA Map # N/A Elevation N/A MFE 1st Rd River N/A Plans Examiner AG Date 3/18/09

Comments
☒ NOC ☒ EH ☒ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel #
☐ Dev Permit # ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
IMPACT FEES: EMS ☐ Fire ☐ Corr ☐ Road/Code ☐
School ☐ = TOTAL EXEMPT - See Attached Memo

Septic Permit No. 09-0157 Fax 752-2282

Name Authorized Person Signing Permit Linda Roder Phone 752-2281

Address 387 Sw Kempet Lake City FL 32024

Owners Name Bob Bakaj Phone (708)-253-8114

911 Address 456 Sw Sunny Acres G/LN, L. e 2 32024

Contractors Name Adam Papka Phone 623-2383

Address P.O.B. 1921 Lake City FL 32056

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Engineer Mark Disosway

Mortgage Lenders Name & Address NA

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 10-55-16-03525-214 Estimated Cost of Construction 55K

Subdivision Name Sunny Acres Lot Block Unit III Phase

Driving Directions 47 S, Ron CR 240, Lon Currington Ave,

Lon SW Sunny Acres GLN, 3rd Lot down on R

Number of Existing Dwellings on Property 0

Construction of modular home Total Acreage 5.7 Lot Size 5.71

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16 3/4

Actual Distance of Structure from Property Lines - Front 135' Side 145' Side 246' Rear 192'

Number of Stories 1 Heated Floor Area 913 Total Floor Area 913 Roof Pitch 5.72/10

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced until the issuance of a permit and that all work be performed to meet the standards

Columbia County Building Permit Application

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

X Bob Bakaj
Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

X [Signature]
Contractor's Signature (Permittee)

Contractor's License Number CBC 1253409
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 17 day of March 2009
Personally known ☒ or Produced Identification _____

[Signature]
State of Florida Notary Signature (For the Contractor)

SEAL:

Notice of Authorization

I Adam Papka, hereby authorize Linda Roder or Melanie Roder to be my


Representative and act on my behalf in all aspects for applying for a Building Permit and septic

to be located in Columbia County. for Bob Bakaj


Contractor's Signature

Date 3-17-09

Sworn and Subscribed to me this 17 day of March, 2008
Personally known /
Produced Identification /


Notary Public



Inst: 200201-65 Date: 04/20/2002 Time: 09:23:35
Doc Name: Seed : 157.50
DC, P. Devito Jason, Columbia County Br 500 P152c

Individual to Individual

Sergio Cartagena, Jr.
hereinafter called the grantor, to

Bob Bakaj, A Single Person
whose post office address is: 2726 Westbrook Dr., Franklin Park, Illinois 60131
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation.)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, alien, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R03525-214

See Exhibit "A" Attached Hereto And By This Reference Made A Part Hereof.

The described property attached hereto is not the homestead property of the grantor who in fact resides at: P.O. Box 744, Lake City, FL 32056.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2001.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Witness: [Signature]

Sergio Cartagena, Jr.

Witness: MICHAEL H HARRELL

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 16th day of August, 2002 by Sergio Cartagena, Jr., personally known to me or, if not personally known to me, who produced a Driver's for identification and who did not take an oath.

(Notary Seal)

Notary Public

Prepared by:
Michael H. Harrell
Abstract & Title Services, Inc.
382 SW Baya Drive
Lake City, FL 32025

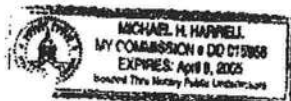


EXHIBIT "A"

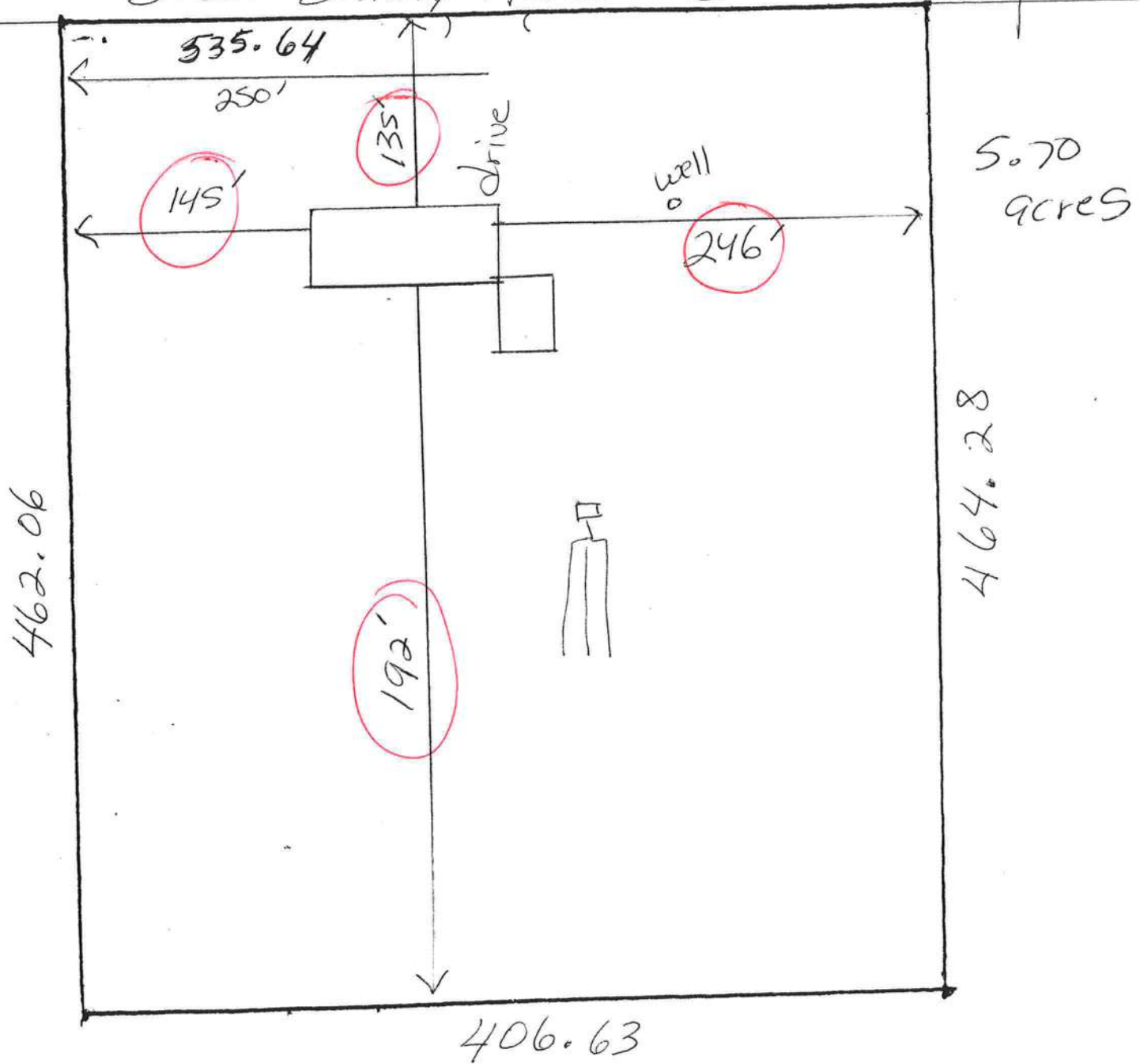
ATS 12468

Commence at the Southeast corner of the SW ¼ of Section 10, Township 5 South, Range 16 East, Columbia County, Florida, and run thence S 88°33'06" W, along the South line of said Section 10, 406.63 feet to the Point of Beginning, thence continue S 88°33'06" W, along the South line of said Section 10, 462.06 feet, thence N 1°47'07" W, 535.64 feet to the centerline of a 60-foot road easement, thence N 88°33'06" E, along said centerline, 464.28 feet, thence S 1°32'51" E, 535.63 feet to the Point of Beginning. Said lands being subject to a road easement for ingress and egress along the North line thereof, and being a part of Parcel # 4, Sunny Acres Unit III, an unrecorded subdivision in Section 10, Township 5 South, Range 16 East, Columbia County, Florida. Together with a perpetual, non-exclusive easement of ingress and egress over and across the following describer property:

Commence at the Southwest corner of Section 10, Township 5 South, Range 16 East, Columbia County, Florida, and run thence N 88°33'06" E, along the South line of said Section 10, 84.35 feet to the East line of Curington Road (a county maintained graded road), thence N 1°39'20" W, along said East line 505.64 feet to the Point of Beginning, thence continue N 1°39'20" W, along said East line of Curington Road, 60.00 feet to the North line of said easement, thence N 88°33'06" E, along said North line, 2156.10 feet to the Point of a Curve of a 100-foot diameter cul-de-sac, thence along the perimeter of said cul-de-sac along a curve concave to the right having a radius of 50 feet and a central angle of 286°15'37". An arc distance of 249.81 feet to the end of said curve and to the South line of said easement, thence S 88°33'06" W, along said South line, 2155.74 feet to the Point of Beginning

Bob Bakaj
10-5 S-16-03525-214

S.W. Sunny Acres GLN easement



LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave

Lake City, FL. 32025

Phone 386-752-6677

Fax 386-752-1477

Building Permit # _____ Owner's Name: Bob BakajWell Depth 100 Ft. Casing Depth 78 Ft. Water Level 36 Ft.Casing Size 4 inch Steel Pump Installation: Deep Well SubmersiblePump Make Aermotor Pump Model S20-100 1System Pressure (PSI) On 30 Off 50 Average Pressure 50Pumping System GPM at average pressure and pumping level 20(GPM)Tank Installation: Bladder Make ChallengerModel PC 244 Size 81 gallonTank Draw-down per cycle at system pressure 25.1 gallons**I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN
INSTALLED AS PER THE ABOVE INFORMATION.**
SignatureLinda Newcomb
Print Name2609

License Number

03-16-2009

Date

MAR-20-2009 12:25

From:

To: 9,7522282

Page: 2/2

(0903-28
Bob Bakaj)**COLUMBIA COUNTY 9-1-1 ADDRESSING**

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 3/17/2009 DATE ISSUED: 3/20/2009

ENHANCED 9-1-1 ADDRESS:

456 SW SUNNY ACRES
LAKE CITY FL 32024
PROPERTY APPRAISER PARCEL NUMBER:
10-5S-16-03525-214

GLN

Remarks:

PART OF PARCEL 4 SUNNY ACRES UNIT III UNREC S/D

Approved Address

MAR 20 2009

911 Addressing/GIS Dept

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

1396

LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave

Lake City, FL. 32025

Phone 386-752-6677

Fax 386-752-1477

Building Permit # _____ Owner's Name: Bob BakajWell Depth 100 Ft. Casing Depth 78 Ft. Water Level 36 Ft.Casing Size 4 inch Steel Pump Installation: Deep Well SubmersiblePump Make Aermotor Pump Model S20-100 1System Pressure (PSI) On 30 Off 50 Average Pressure 50Pumping System GPM at average pressure and pumping level 20(GPM)Tank Installation: Bladder Make ChallengerModel PC 244 Size 81 gallonTank Draw-down per cycle at system pressure 25.1 gallons**I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN
INSTALLED AS PER THE ABOVE INFORMATION.**
SignatureLinda Newcomb
Print Name2609
License Number03-16-2009
Date

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **1296-5655F R261**
Address:
City, State: ,
Owner:
Climate Zone: **South**

Builder: **HOMES OF MERIT**
Permitting Office: **Columbia**
Permit Number: **27717**
Jurisdiction Number: **221000**

- | | | | | | |
|---|--------------------------------|-----|--|-------------------|-----|
| 1. New construction or existing | New | ___ | 12. Cooling systems | | |
| 2. Single family or multi-family | Single family | ___ | a. Central Unit | Cap: 22.0 kBtu/hr | ___ |
| 3. Number of units, if multi-family | 1 | ___ | | SEER: 13.00 | ___ |
| 4. Number of Bedrooms | 2 | ___ | b. N/A | | ___ |
| 5. Is this a worst case? | Yes | ___ | c. N/A | | ___ |
| 6. Conditioned floor area (ft ²) | 913 ft ² | ___ | 13. Heating systems | | |
| 7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default) | | ___ | a. Electric Heat Pump/Package | Cap: 22.0 kBtu/hr | ___ |
| a. U-factor: | Description Area | | | HSPF: 9.00 | ___ |
| (or Single or Double DEFAULT) 7a. (Dble, U=0.5) | 178.0 ft ² | ___ | b. N/A | | ___ |
| b. SHGC: | | ___ | c. N/A | | ___ |
| (or Clear or Tint DEFAULT) 7b. (SHGC=0.5) | 178.0 ft ² | ___ | 14. Hot water systems | | |
| 8. Floor types | | ___ | a. Electric Resistance | Cap: 40.0 gallons | ___ |
| a. Raised Wood, Stem Wall | R=11.0, 913.0ft ² | ___ | | EF: 0.92 | ___ |
| b. N/A | | ___ | b. N/A | | ___ |
| c. N/A | | ___ | c. Conservation credits | | ___ |
| 9. Wall types | | ___ | (HR-Heat recovery, Solar | | ___ |
| a. Frame, Steel, Exterior | R=11.0, 1076.0 ft ² | ___ | DHP-Dedicated heat pump) | | ___ |
| b. N/A | | ___ | 15. HVAC credits | | ___ |
| c. N/A | | ___ | (CF-Ceiling fan, CV-Cross ventilation, | | ___ |
| d. N/A | | ___ | HF-Whole house fan, | | ___ |
| e. N/A | | ___ | PT-Programmable Thermostat, | | ___ |
| 10. Ceiling types | | ___ | MZ-C-Multizone cooling, | | ___ |
| a. Under Attic | R=37.0, 913.0 ft ² | ___ | MZ-H-Multizone heating) | | ___ |
| b. N/A | | ___ | | | ___ |
| c. N/A | | ___ | | | ___ |
| 11. Ducts(Leak Free) | | ___ | | | ___ |
| a. Sup: Unc. Ret: Unc. AH: Interior | Sup. R=6.0, 185.0 ft | ___ | | | ___ |
| b. N/A | | ___ | | | ___ |

Glass/Floor Area: 0.19

Total as-built points: 12437

Total base points: 13512

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____

DATE: _____

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____
DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.5.2)

**SEE MANUFACTURER'S CONTRACT
WITH FLORIDA DCA.**

Modular Building Plans Examiner
Florida License No. 9842-20

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **1296-5655F R261**
Address:
City, State: ,
Owner:
Climate Zone: **North**

Builder: **HOMES OF MERIT**
Permitting Office:
Permit Number:
Jurisdiction Number:

- | | | |
|---|---|-----|
| 1. New construction or existing | New | ___ |
| 2. Single family or multi-family | Single family | ___ |
| 3. Number of units, if multi-family | 1 | ___ |
| 4. Number of Bedrooms | 2 | ___ |
| 5. Is this a worst case? | Yes | ___ |
| 6. Conditioned floor area (ft ²) | 913 ft ² | ___ |
| 7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default) | | ___ |
| a. U-factor: | Description Area | |
| (or Single or Double DEFAULT) | 7a. (Dble, U=0.5) 178.0 ft ² | ___ |
| b. SHGC: | | ___ |
| (or Clear or Tint DEFAULT) | 7b. (SHGC=0.5) 178.0 ft ² | ___ |
| 8. Floor types | | ___ |
| a. Raised Wood, Stem Wall | R=11.0, 913.0ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 9. Wall types | | ___ |
| a. Frame, Steel, Exterior | R=11.0, 1076.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| d. N/A | | ___ |
| e. N/A | | ___ |
| 10. Ceiling types | | ___ |
| a. Under Attic | R=37.0, 913.0 ft ² | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 11. Ducts(Leak Free) | | ___ |
| a. Sup: Unc. Ret: Unc. AH: Interior | Sup. R=6.0, 185.0 ft | ___ |
| b. N/A | | ___ |

- | | | |
|--|-------------------|-----|
| 12. Cooling systems | | |
| a. Central Unit | Cap: 22.0 kBtu/hr | ___ |
| | SEER: 13.00 | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 13. Heating systems | | |
| a. Electric Heat Pump/Package | Cap: 22.0 kBtu/hr | ___ |
| | HSPF: 9.00 | ___ |
| b. N/A | | ___ |
| c. N/A | | ___ |
| 14. Hot water systems | | |
| a. Electric Resistance | Cap: 40.0 gallons | ___ |
| | EF: 0.92 | ___ |
| b. N/A | | ___ |
| c. Conservation credits | | ___ |
| (HR-Heat recovery, Solar | | ___ |
| DHP-Dedicated heat pump) | | ___ |
| 15. HVAC credits | | ___ |
| (CF-Ceiling fan, CV-Cross ventilation, | | ___ |
| HF-Whole house fan, | | ___ |
| PT-Programmable Thermostat, | | ___ |
| MZ-C-Multizone cooling, | | ___ |
| MZ-H-Multizone heating) | | ___ |

Glass/Floor Area: 0.19

Total as-built points: 13110

Total base points: 14658

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____

DATE: _____

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

BUILDING OFFICIAL: _____ Date _____ Plan No. _____
Approved By **SCOTT S. FRANCIS**

DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: **1296-5655F R261**
Address:
City, State: ,
Owner:
Climate Zone: **Central**

Builder: **HOMES OF MERIT**
Permitting Office:
Permit Number:
Jurisdiction Number:

1. New construction or existing New ☐
2. Single family or multi-family Single family ☐
3. Number of units, if multi-family 1 ☐
4. Number of Bedrooms 2 ☐
5. Is this a worst case? Yes ☐
6. Conditioned floor area (ft²) 913 ft² ☐
7. Glass type¹ and area: (Label reqd. by 13-104.4.5 if not default)
 - a. U-factor: Description Area
(or Single or Double DEFAULT) 7a. (Dble, U=0.5) 178.0 ft² ☐
 - b. SHGC:
(or Clear or Tint DEFAULT) 7b. (SHGC=0.5) 178.0 ft² ☐
8. Floor types
 - a. Raised Wood, Stem Wall R=11.0, 913.0ft² ☐
 - b. N/A ☐
 - c. N/A ☐
9. Wall types
 - a. Frame, Steel, Exterior R=11.0, 1076.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
 - d. N/A ☐
 - e. N/A ☐
10. Ceiling types
 - a. Under Attic R=37.0, 913.0 ft² ☐
 - b. N/A ☐
 - c. N/A ☐
11. Ducts(Leak Free)
 - a. Sup: Unc. Ret: Unc. AH: Interior Sup. R=6.0, 185.0 ft ☐
 - b. N/A ☐

12. Cooling systems
 - a. Central Unit Cap: 22.0 kBtu/hr
SEER: 13.00 ☐
 - b. N/A ☐
 - c. N/A ☐
13. Heating systems
 - a. Electric Heat Pump/Package Cap: 22.0 kBtu/hr
HSPF: 9.00 ☐
 - b. N/A ☐
 - c. N/A ☐
14. Hot water systems
 - a. Electric Resistance Cap: 40.0 gallons
EF: 0.92 ☐
 - b. N/A ☐
 - c. Conservation credits
(HR-Heat recovery, Solar
DHP-Dedicated heat pump) ☐
15. HVAC credits PT ☐

(CF-Ceiling fan, CV-Cross ventilation,
HF-Whole house fan,
PT-Programmable Thermostat,
MZ-C-Multizone cooling,
MZ-H-Multizone heating)

Glass/Floor Area: 0.19

Total as-built points: 12077

Total base points: 12936

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: _____

DATE: _____

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.

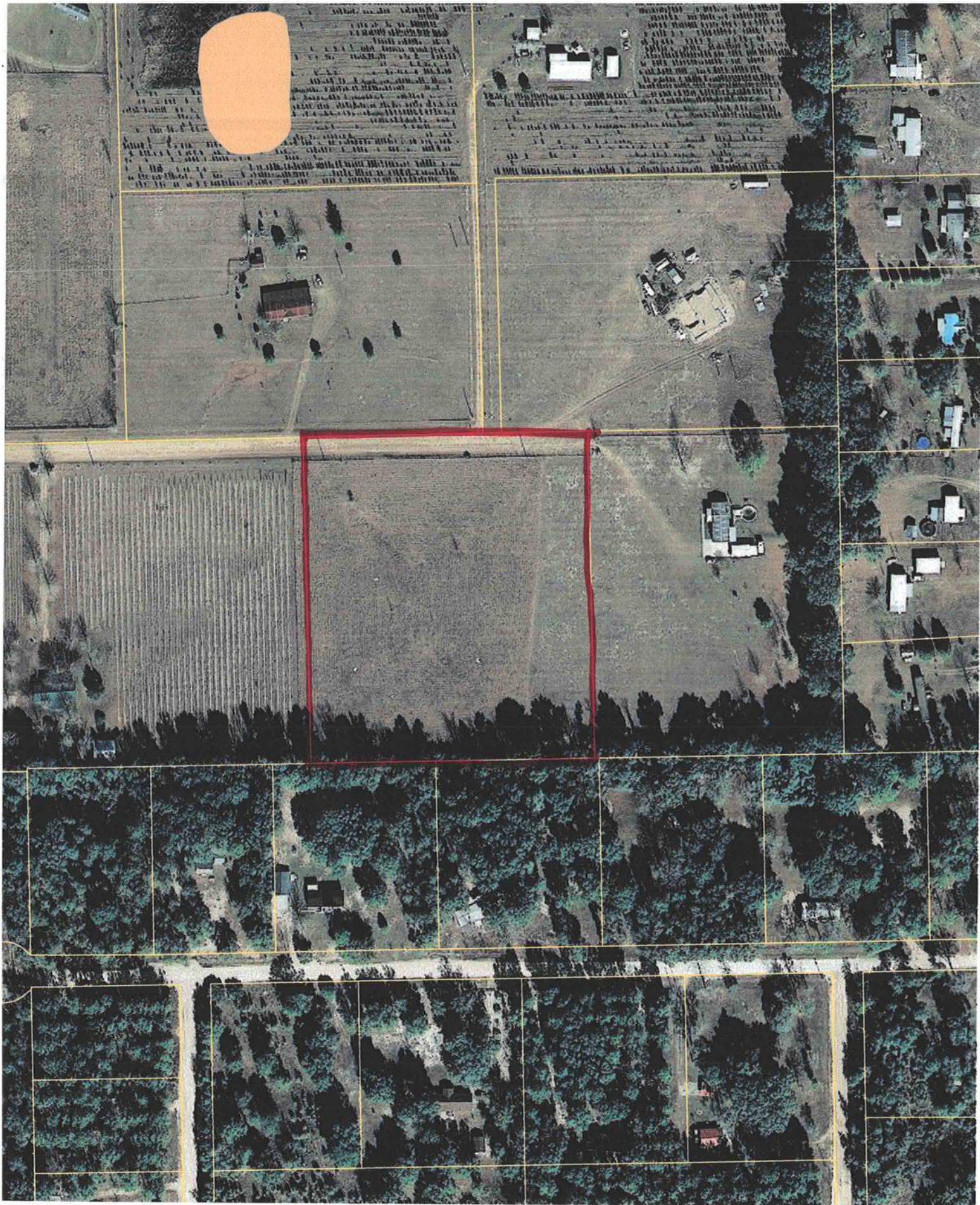
Date _____

BUILDING OFFICIAL: Approved By SCOTT S. FRANCIS

DATE: _____



¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.



0903-28

District No. 1 - Ronald Williams
District No. 2 - Dewey Weaver
District No. 3 - Jody DuPree
District No. 4 - Stephen E. Bailey
District No. 5 - Scarlet P. Frisina




BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

March 6, 2009

M E M O

TO: John Kerce, Chief Building Official
Brian Kepner, County Planner

FR: Dale Williams, County Manager 

RE: Impact Fees – FOR IMMEDIATE ATTENTION

Effective immediately you are to suspend the collection of impact fees. This suspension was approved by the Board of County Commissioners in their regular meeting of March 5, 2009. The suspension includes those fees levied by both ordinances, general government and schools. The approved suspension is in anticipation of a moratorium to be approved March 19, 2009.

You are also requested to provide a list of all impact fees collected since January 1, 2009. This list should include the following information:

- 1.) the name of the person/business who initially paid the impact fee and the date paid
- 2.) the name of the owner on whose project the impact fee was paid
- 3.) a "breakdown" on the impact collected by category (i.e. corrections, transportation, EMS, fire, school)

For those fees recently collected but not yet deposited, I suggest you hold the checks (I assume no cash was collected) until after the March 19, 2009 Public Hearing to impose a moratorium. You should notify the check issuer of the reason you are holding the check.

DW/pds

XC: Impact Fees File
Board of County Commissioners
Outgoing Correspondence

(0903-28)

Bob Bakaj

Inst:200912004707 Date:3/23/2009 Time:2:45 PM

P. DeWitt Cason, Columbia County Page 1 of 1 B:1169 P:1970

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 10-55-16-03525-214

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): part of parcel 4 Sunny Acres Unit III
a) Street (job) Address: 5400 Sunny Acres Glen
2. General description of improvements: modular home
3. Owner Information
a) Name and address: Bob Bakaj 2726 Westbrook Dr. Franklin Park FL 32031
b) Name and address of fee simple titleholder (if other than owner):
c) Interest in property: home site
4. Contractor Information
a) Name and address: Adam Papka POB 1921 Lake City FL 32056
b) Telephone No.: 623-2383 Fax No. (Opt.):
5. Surety Information
a) Name and address: NA
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):
6. Lender
a) Name and address: NA
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: NA
b) Telephone No.: Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name and address: NA
b) Telephone No.: Fax No. (Opt.):
9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

10. Bob Bakaj
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
Bob Bakaj
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 23 day of March, 2009 by:

as _____ (type of authority, e.g. officer, trustee, attorney
fact) for Bob Bakaj (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification _____ type _____

Notary Signature Linda Roder Notary Stamp or Seal:

NOTARY PUBLIC-STATE OF FLORIDA
Linda R. Roder
Commission #DD755608
Expires: MAR. 24, 2012
BONDED THRU ATLANTIC BONDING CO., INC.

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Bob Bakaj
Signature of Natural Person Signing (in line #10 above.)

D903-28

JAV

09-0151
914988
3113/09
310.00
1104656

STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE DISPOSAL SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT
Authority: Chapter 381, FS & Chapter 10D-6, FAC.

PERMIT #
DATE PAID
FEE PAID \$
RECEIPT #

APPLICATION FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Temporary/Experimental
☐ Repair ☐ Abandonment ☐ Other (Specify)

APPLICANT: BOB BAKAJ

TELEPHONE: 755-6372

AGENT: Robert Ford NFST INC

MAILING ADDRESS: 580 NW Gueaden Rd. L.E. Fla. 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION (IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED)

Part of UNIT
LOT: 4 BLOCK: III SUBDIVISION: SUNNY ACRES DATE OF '90
SUBDIVISION:

PROPERTY ID #: 10-53-16-03525-214 [Section/Township/Range/Parcel No.] ZONING: AG

PROPERTY SIZE: 5.700 ACRES [Sqft/43560] PROPERTY WATER SUPPLY: ☒ PRIVATE ☐ PUBLIC

PROPERTY STREET ADDRESS: SUNNYDALE LANE

DIRECTIONS TO PROPERTY: Hwy 42 SOUTH TO Hwy 240 TR GO TO
mauldin Rd TURN left GO TO SUNNYDALE FL LOT 04
Right

BUILDING INFORMATION ☒ RESIDENTIAL ☐ COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	modular Home S/F	2	1050	1	300 GPD
2					
3					
4					

☐ Garbage Grinders/Disposals ☐ Spas/Hot Tubs ☐ Floor/Equipment Drains
☐ Ultra-low Volume Flush Toilets ☐ Other (Specify)

APPLICANT'S SIGNATURE: Robert W. Ford p

DATE: 3/13/09

0903-28



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ON-SITE SEWAGE DISPOSAL SYSTEM
CONSTRUCTION PERMIT

Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT # 09-0151
DATE PAID 9/14/09
FEE PAID \$ 310.00
RECEIPT # 1107656

CONSTRUCTION PERMIT FOR:

☒ New System ☐ Existing System ☐ Holding Tank ☐ Temporary/Experimental
☐ Repair ☐ Abandonment ☐ Other (Specify) _____

APPLICANT: Rob BAKAJAGENT: Robert Ford NRST inc

PROPERTY STREET ADDRESS:

Part of Sunnydale LakeLOT: 4BLOCK: III

SUBDIVISION:

SUNNY ACRES

PROPERTY ID #:

10-55-16-03525-214

[SECTION TOWNSHIP/RANGE/PARCEL NUMBER]
[OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 10D-6, FAC. REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE ONE YEAR FROM THE DATE OF ISSUE. DEPARTMENT OF HEALTH APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

SYSTEM DESIGN AND SPECIFICATIONS

T [900] [GALLONS / GPD] SEPTIC TANK/AEROBIC UNIT CAPACITY [MULTI-CHAMBERED] IN SERIES: []
A [] [GALLONS / GPD] CAPACITY [MULTI-CHAMBERED] IN SERIES: []
N [] GALLONS GREASE INTERCEPTOR CAPACITY [MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS]
K [] GALLONS PER DOSE DOSING TANK CAPACITY DOSE RATE [] PER 24 HRS NO. OF PUMPS: []

D [334] SQUARE FEET PRIMARY DRAINFIELD SYSTEM

R [] SQUARE FEET _____ SYSTEM

A TYPE SYSTEM: ☒ STANDARD ☐ FILLED ☐ MOUND ☐ _____I CONFIGURATION: ☒ TRENCH ☐ BED ☐ _____F LOCATION OF BENCHMARK: HALL PINK RIBBON 10" CHERRY TREE

I ELEVATION OF PROPOSED SYSTEM SITE [0] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

E BOTTOM OF DRAINFIELD TO BE [30] [INCHES/FT] [ABOVE/BELOW] BENCHMARK/REFERENCE POINT

L
D FILL REQUIRED: [0] INCHES EXCAVATION REQUIRED: [0] INCHESO
T
H
E
RSPECIFICATIONS BY: Robert W. JockTITLE: MASTER 5110890475APPROVED BY: Mam A ZambTITLE: Env. Manager Columbia CHDDATE ISSUED: 3-23-09EXPIRATION DATE: 9-23-10

Date	Inspection	Inspect.	Owner	Pass	Location	Permit
03/26/09	Mono Slab	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
03/26/09	Set Backs	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
03/27/09	Lintel	Randy	Adam Papka - Bakaj	Not Ready	456 SW Sunny Acres Glen	27717
03/30/09	Recheck Lintel	Randy	Adam Papka - Bakaj	Not Ready	456 SW Sunny Acres Glen	27717
03/30/09	Recheck Lintel	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
03/31/09	Lintel	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
04/06/09	Footer	Harry	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
04/06/09	Set Backs	Harry	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
04/23/09	Strapping - Modular	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717

As of 12-7-09 L. Hodson

Attn: Meggie

**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000001719**

DATE: 03/26/2009

BUILDING PERMIT NO. 27717

APPLICANT ADAM PAPKA

PHONE 623-2383

ADDRESS P.O. BOX 1921

LAKE CITY

FL 32056

OWNER BOB BAKAJ

PHONE 708 253-8114

ADDRESS 456 SW SUNNY ACRES GLEN

LAKE CITY

FL 32024

CONTRACTOR ADAM PAPKA

PHONE 623-2383

LOCATION OF PROPERTY 47S, TR ON CR 240, TL CURRINGTON AVE, TL SUNNY ACRES GLEN,
3RD LOT ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT SUNNY ACRES

PARCEL ID # 10-5S-16-03525-214

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: 

A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE
CULVERT WAIVER IS:

APPROVED

NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: Private road

SIGNED: 

DATE: 4/2/09

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST
FOR THE FLORIDA RESIDENTIAL BUILDING CODE 2004 with 2005 & 2006
Supplements and One (1) and Two (2) Family Dwellings**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current FLORIDA BUILDING CODES and the Current FLORIDA RESIDENTIAL CODE. ALL PLANS OR DRAWING SHALL PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE- AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the Residential Code (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

GENERAL REQUIREMENTS:

- Two (2) complete sets of plans containing the following:
- All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void
- Condition space (Sq. Ft.) and total (Sq. Ft.) under roof shall be shown on the plans.
- Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents per FBC 106.1.

Site Plan information including:

- Dimensions of lot or parcel of land
- Dimensions of all building set backs
- Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.
- Provide a full legal description of property.

Wind-load Engineering Summary, calculations and any details required:

- Plans or specifications must meet state compliance with FRC Chapter 3
- The following information must be shown as per section FRC
- Basic wind speed (3-second gust), miles per hour
- Wind importance factor and nature of occupancy
- Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
- The applicable internal pressure coefficient, Components and Cladding The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.

Elevations Drawing including:

- All side views of the structure
- Roof pitch
- Overhang dimensions and detail with attic ventilation
- Location, size and height above roof of chimneys
- Location and size of skylights with Florida Product Approval
- Number of stories
- e) Building height from the established grade to the roofs highest peak

Floor Plan including:

- Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies and raised floor surfaces located more than 30 inches above the floor or grade
- All exterior and interior shear walls indicated
- Shear wall opening shown (Windows, Doors and Garage doors)
- Emergency escape and rescue opening in each bedroom (net clear opening shown)
- Safety glazing of glass where needed
- Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FRC)
- Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FRC 311)
- Plans must show and identify accessibility of bathroom (see FRC 322)
- All materials placed within opening or onto/into exterior shear walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

Foundation Plans Per FRC 403:

- a) Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling.
- d) Assumed load-bearing value of soil _____ (psf)
- e) Location of horizontal and vertical steel, for foundation or walls (include # size and type)

CONCRETE SLAB ON GRADE Per FRC R506

- Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
- Show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and Supports

PROTECTION AGAINST TERMITES Per FRC 320:

- Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides

Masonry Walls and Stem walls (load bearing & shear Walls) FRC Section R606

- Show all materials making up walls, wall height, and Block size, mortar type
- Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement
- **Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

Floor Framing System: First and/or second story

- Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer
- Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers
- Girder type, size and spacing to load bearing walls, stem wall and/or piers
- Attachment of joist to girder
- Wind load requirements where applicable
- Show required under-floor crawl space
- Show required amount of ventilation opening for under-floor spaces
- Show required covering of ventilation opening.
- Show the required access opening to access to under-floor spaces
- Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing
- Show Draft stopping, Fire caulking and Fire blocking
- Show fireproofing requirements for garages attached to living spaces, per FRC section R309
- Provide live and dead load rating of floor framing systems (psf).

WOOD WALL FRAMING CONSTRUCTION FRC CHAPTER 6

- Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls.
- Fastener schedule for structural members per table R602.3 (1) are to be shown.
- Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing
- Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems.
- Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FRC Table R502.5 (1)
- Indicate where pressure treated wood will be placed.
- Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas
- A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail

ROOF SYSTEMS:

- Truss design drawing shall meet section FRC R802.10 Wood trusses. Include a layout and truss details and be signed and sealed by Fl. Pro. Eng.
- Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters
- Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details
- Provide dead load rating of trusses

Conventional Roof Framing Layout Per FRC 802:

- Rafter and ridge beams sizes, span, species and spacing
- Connectors to wall assemblies' include assemblies' resistance to uplift rating.
- Valley framing and support details
- Provide dead load rating of rafter system.

ROOF SHEATHING FRC Table R602,3(2) FRC 803

- Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing on the edges & intermediate areas

ROOF ASSEMBLIES FRC Chapter 9

- Include all materials which will make up the roof assemblies covering; with Florida Product Approval numbers for each component of the roof assemblies covering.

FCB Chapter 13 Florida Energy Efficiency Code for Building Construction

- Residential construction shall comply with this code by using the following compliance methods in the FBC Subchapter 13-6, Residential buildings compliance methods. Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area
- Show the insulation R value for the following areas of the structure: Attic space, Exterior wall cavity and Crawl space (if applicable)

HVAC information shown

- Manual J sizing equipment or equivalent computation
- Exhaust fans locations in bathrooms

Plumbing Fixture layout shown

- All fixtures waste water lines shall be shown on the foundation plan

Electrical layout shown including:

- Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- Ceiling fans
- Smoke detectors
- Service panel, sub-panel, location(s) and total ampere ratings

- On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.
- Appliances and HVAC equipment and disconnects
- Arc Fault Circuits (AFCI) in bedrooms
- Notarized Disclosure Statement for Owner Builders

- Notice of Commencement Recorded (in the Columbia County Clerk Office) Notice Of Commencement is required to be filed with the building department Before Any Inspections Will Be Done.

Private Potable Water

- Size of pump motor
- Size of pressure tank
- Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

- Building Permit Application: A current Building Permit Application form is to be completed and submitted for all residential projects.
- Parcel Number: The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
- Environmental Health Permit or Sewer Tap Approval: A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
- City Approval: If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
- Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.** A development permit will also be required. The permit cost is \$50.00.
- Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
- 911 Address: If the project is located in an area where the 911 address has been issued, then the proper Paper work from the 911 Addressing Departments must be submitted. (386) 758-1125

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. NOTIFICATION WILL BE GIVEN WHEN THE APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT.

Attn: Joe H.

0903-28

Bakaj

P.O. BOX 1606
BARTOW, FL. 33831758-2160
0903-28

FAX TRANSMITTAL

To:

LINDA @
386-752-2282

From:

CURTIS C.

Engineering Dept.

Phone: 863-533-0593

Fax: 863-534-3639

Date Sent: 3-18-09

Number of pages including cover page: 2

Message:

MANUAL S FOR R261-ULI

Attn: Joe H.

0903-28

**APPLICATION ENGINEERING
FOR HEATING AND COOLING**

HOMES OF MERIT
Bartow Air Base
Bartow, FL 33830

Manufacturer's Model #: R261

HVAC System Type: OVERHEAD GRAD FLEX FOR UPFLOW (SPLIT A/C)

Prepared By LeSalle Air Systems 8/11/2008 (Method & Output C 2008)

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Calculations on this page are based on design parameters set forth in ASHRAE and ACCA Manuals J and D.

Design calculations are based on worst case orientation. Room loads may vary based on actual conditions.

ENTIRE HOUSE VALUES - DESIGN ZONE: FL-DCA, North

COOLING LOAD: 18,338 Btuh based on outside temp of 94 ° F with inside temp reduced to 75 ° F.
HEATING LOAD: 26,408 Btuh based on outside temp of 17 ° F with inside temp raised to 70 ° F.

CONSTRUCTION DETAILS & U FACTORS (11-11-37)

TOTAL FLOOR AREA:	894.50 s.f.	TRUE OUTSIDE PERIMETER:	151.00 ft
LOW CEILING HEIGHT:	98 in.	HIGH CEILING HEIGHT:	98 in.
NET WALL AREA:	893.28 s.f.	ROOF:	0.028
TOTAL Thermal Pane	154.74 s.f.	WALLS:	0.001
TOTAL S.G.D.	40.00 s.f.	FLOOR:	0.081
TOTAL French	0.00 s.f.	Thermal I	0.350
TOTAL WINDOW4	0.00 s.f.	S.G.D.	0.330
TOTAL DOOR1 AREA:	20.00 s.f.	French	1.080
TOTAL DOOR2 AREA:	0.00 s.f.	WINDOW	0.790
WINDOW % OF FLOOR	22.02 %	DOOR1:	0.350
WINDOW % OF WALL	18.12 %	DOOR2:	0.360
LATENT GAIN:	8857 Btuh		
		FLOOR DUCTS (U):	0
		ATTIC DUCTS (U):	0.167
		EXT. DUCTS (U):	0.167
		ATTIC DUCT AREA:	0 s.f. exposed
		EXT. DUCT AREA:	0 s.f. exposed
		PEOPLE:	3
		FIREPLACES:	0
		DUCT GAIN:	1018 Btuh
		DUCT LOSS:	1384 Btuh
		SUMMER INFILTR:	89.1 cfm
		WINTER INFILTR:	141.8 cfm

ROOM BY ROOM VALUES

Requirements based on actual house loads without incorporating duct friction losses.

ROOM NAME	HEATING		COOLING		CFM	Cooling Air Values for 2 ton unit		Heating Air Values for 36 Gas		10 KW Elec	Maximum A/C capacity Calibrated Blower Test
	LOSS (Btu)	GAIN (Btu)	CFM	Btuh		CFM	Btuh	Btuh			
Living Room	8,087	6,287	250	314	9,488	286	12,808	12,593	10,441		
Kitchen/Dining	4,408	3,100	127	152	4,590	138	6,190	6,092	5,061		
Bedroom #2	3,110	2,045	84	109	3,298	99	4,450	4,375	3,827		
Bath #1	2,403	1,554	63	64	1,922	58	2,585	2,551	2,115		
Bedroom #1	5,264	3,457	141	156	4,704	142	6,351	6,244	5,177		
Hall	2,988	1,892	84	-	-	-	-	-	-		
TOTALS	26,408	18,338	750	795	24,000	724	32,400	31,854	26,412		

R261 INDEX

R261-IND	INDEX PAGE
R261-1	GENERAL NOTES AND SPEC.
R261-2	FLOOR PLAN
R261-3	SHEARWALL, DWV AND DUCT LAYOUTS
R261-4	ELEVATIONS
R261-5	CROSS SECTIONS DETAILS
R261-6	CROSS SECTIONS ENDWALL DETAILS
R261-7	ROOF DIAPHRAGM
R261-8	SHEARWALL LAYOUT
R261-9	SHEARWALL #1 DETAIL
R261-10	SHEARWALL #2 DETAIL
R261-11	SHEARWALL #3 DETAIL
R261-12	FOUNDATION UPLIFT DETAIL
R261-13	PORCH UPLIFT DETAILS
R261-14	WALL STUDS & HEADER REQUIREMENTS
R261-15	FIREPLACE CONSTRUCTION

Garrett

Date 10.14.08 Plan No. 1296-5655F
Approved By SCOTT S. FRANCIS

Scott S. Francis
Modular Building Plans Examiner
Florida License No. SMP-42

LISTING
AGENCY APPROVAL
These prints comply with the Florida
Manufactured Building Act of 1979
Construction Code and adhere to the
following criteria:

Const. Type	<u>VP</u>
Occupancy	<u>R3</u>
Allowable No. of Floors	<u>130</u>
Wind Velocity	<u>0</u>
Fire Rating of Ext. Walls	<u>1296-5655F</u>
Plan No.	<u>40</u>
Allow. Floor Load	<u>10.14.08</u>
Approval Date	<u>10/14</u>
Manufacturer	
Approved for High Velocity Hurricane Zone	<u>NO</u>

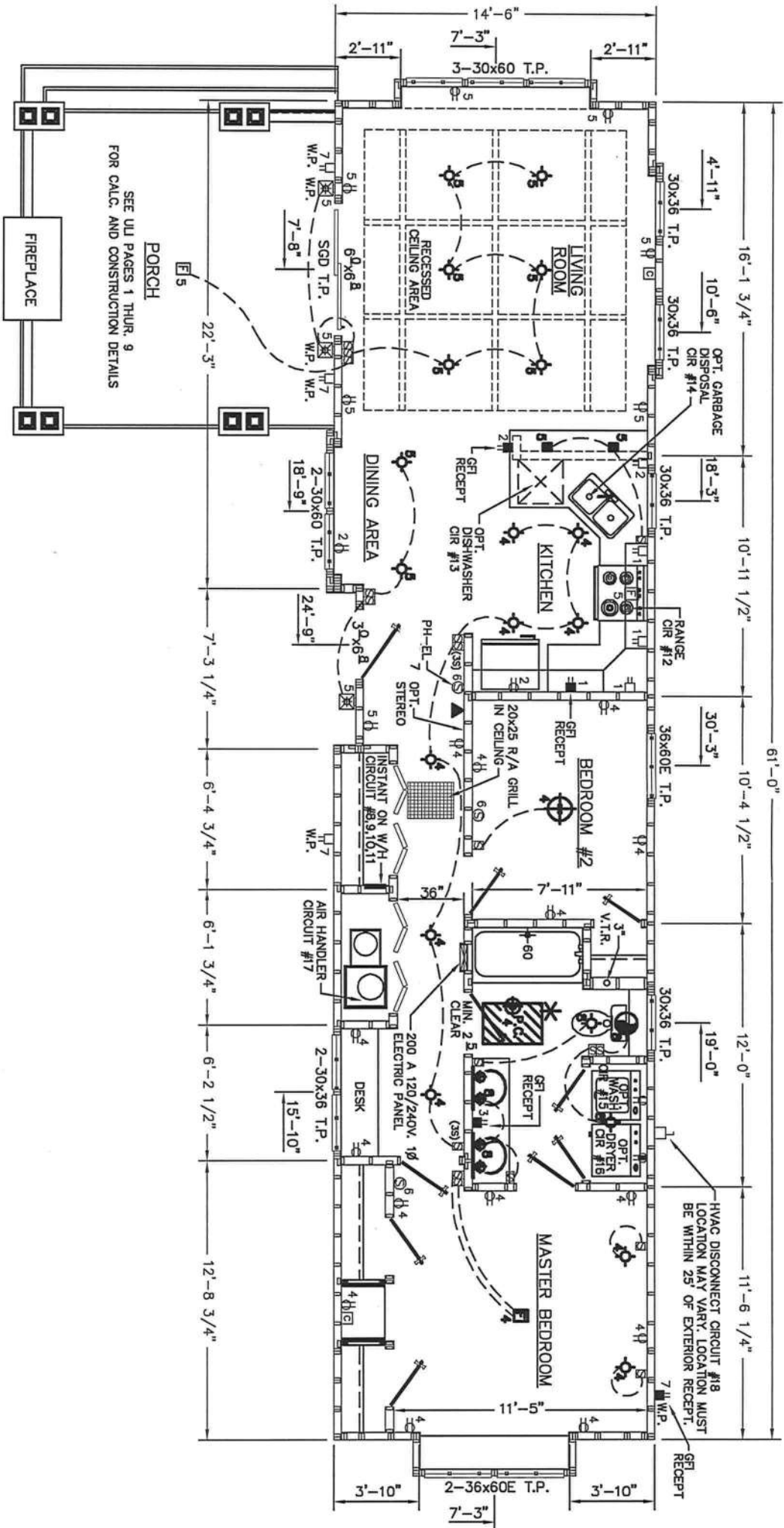
HWC
COA # 1025



HOMES OF MERIT, INC.
P.O. BOX 1606
BARTOW AIR BASE
BARTOW, FLORIDA 33831

Date: 10-6-08	Revisions	Cod #: R261-IND
Dr'n: STAFF		
Code: DCA		
Model: R261 (ULI)	Print: PAGE-INDEX	INDEX

FLAT CEILINGS
SCALE: 1/4"=1'-0"



* NOTE
22" x 30" ATTIC ACCESS REQ'D.
ATTIC ACCESS LIGHT REQ'D.

SYMBOL LEGEND

110 RECEPT	240 V	1	HVAC DISCONNECT
G.F.I. RECEPT	G.F.I.	2	SCENE LIGHT
W/H	W/H	3	OPT. STEREO
THERMOSTAT	SWITCH	4	STOVE
CAN LIGHT		5	BULLET LIGHT
GLOBE LIGHT		6	BATH FAN
BEDROOM LIGHT		7	BATH FAN WITH LIGHT
DINING ROOM LIGHT		8	SMOKE DETECTOR
OUTSIDE LIGHT		9	STOVE VENT FAN
OVERHEAD OUTSIDE LIGHT		10	SINGLE SWITCH
ELECT. PANEL BOX		11	FRESH AIR VENT

NOTE:

- HOME DESIGNED FOR MEAN ROOF HEIGHT OF 26 FEET
MAXIMUM FOR EXPOSURE C AREA
- ALL INTERIOR PASSAGE DOORS TO BE A MIN.
2'-4" x 6'-8" UNLESS OTHERWISE NOTED.
- HOME MAY BE BUILT IN MIRROR IMAGE.

INTERIOR FINISH MATERIAL

- CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS. WHEN WATER BASED TEXTURED MATERIAL IS APPLIED AND TRUSSES ARE SPACED 24" O.C. 5/8" GYP. MUST BE USED.
- WALL - 1/2" GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- FLOOR - BLOCK TILE OR LINOLEUM MAY BE USED IN WET AREAS, CARPET, BLOCK TILE OR LINOLEUM MAY BE INSTALLED IN ALL OTHER AREAS.

VENT NOTE:

- MINIMUM 50-CFM INTERMITTENT EXHAUST
FOR TOILETS.
- MINIMUM 100-CFM INTERMITTENT EXHAUST
FOR OVER RANGE.

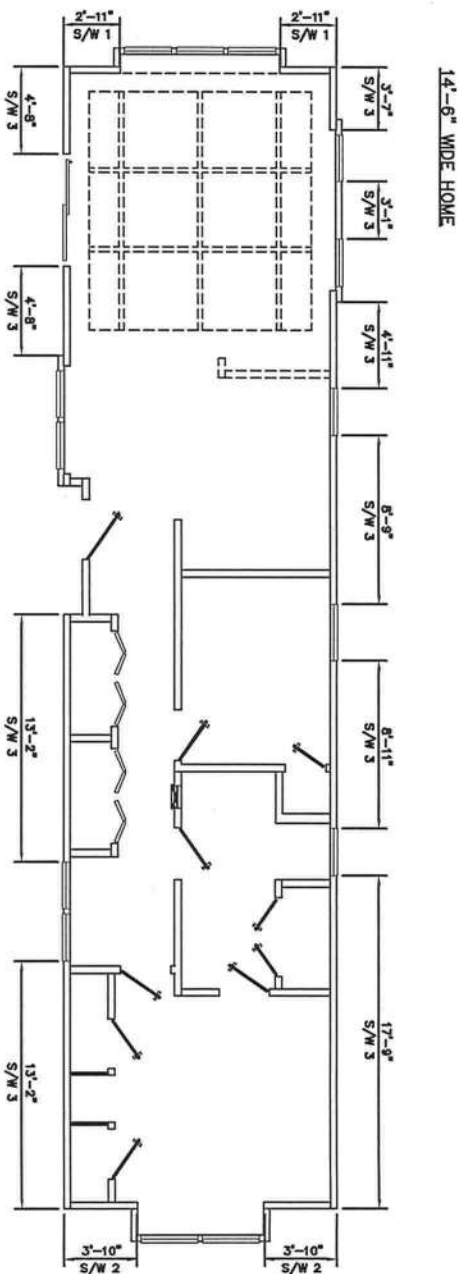
OK

THIRD PARTY
P.O. BOX 1806
BARTOW, FLORIDA 33531
1627 SOUTH MYRTLE AVE.
CLEWATON, FL 33756

LISTING AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA.	
CONTS. TYPE	VB
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1/30
WIND VELOCITY	130
THE BATING OF EXT. WALLS	1296.56555
PLAN NO.	101408
APPROVAL DATE	10/14/08
MANUFACTURER	ROK
HIGH VELOCITY HURRICANE ZONE	NO
COA # 1025	

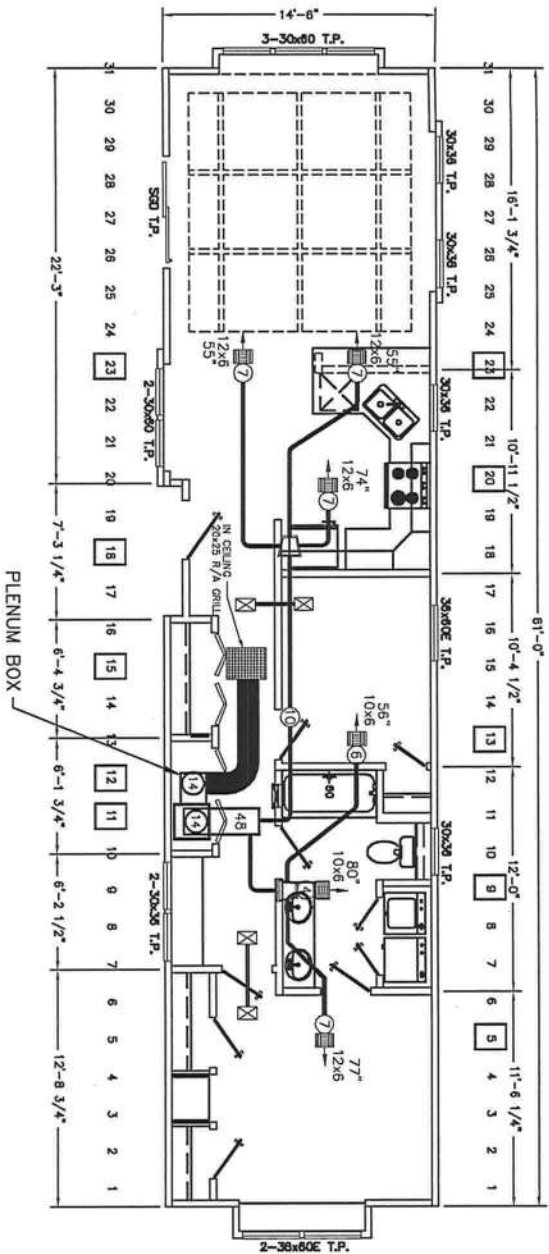
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Date: 10-6-08	Revision
Doc: SNEY	Code: R281-2
Code: DCA	
130 MPH	Model: R281 (du)
	Page: 2

SHEARWALL
NOT TO SCALE



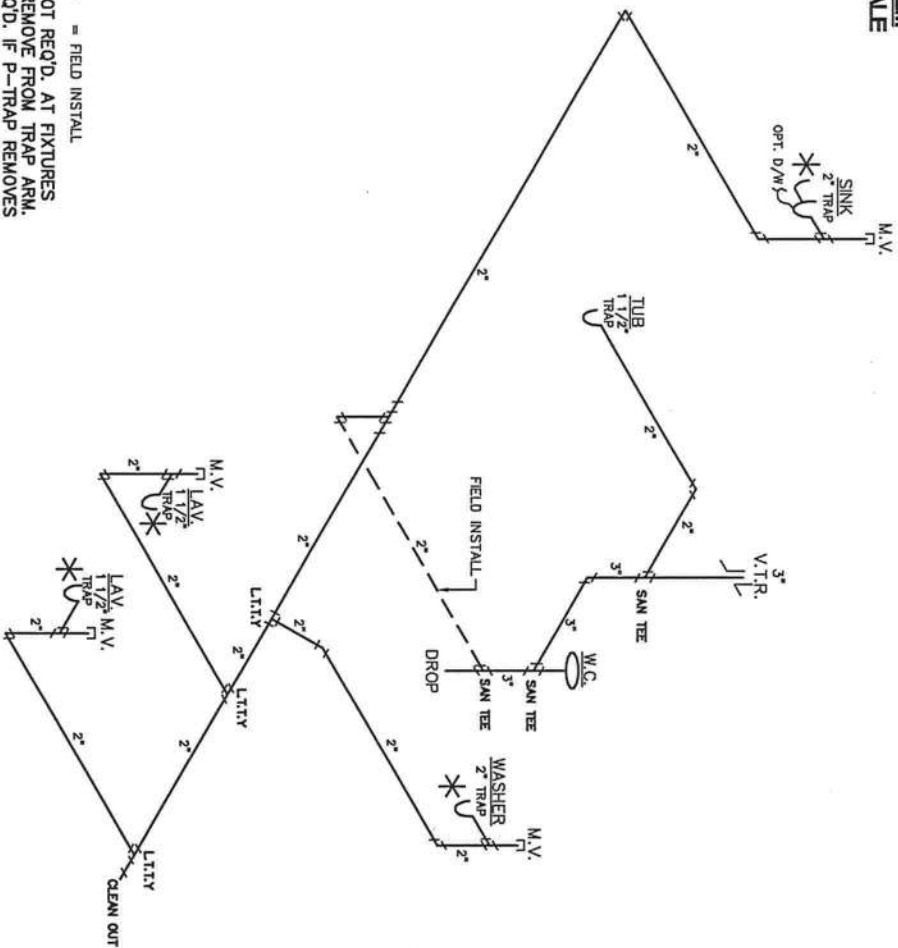
SEE U/I SHEARWALL CALCS AND CONSTRUCTION DETAILS

DUCT LAYOUT
NOT TO SCALE



BUILDING INSULATION VALUES
Floor.....R-11
Wall.....R-11
Ceiling.....R-37
Windows Insulated U-.51

D.W.V. SYSTEM
NOT TO SCALE



----- = FIELD INSTALL
CLEANOUTS NOT REQ'D. AT FIXTURES
IF P-TRAPS REMOVE FROM TRAP ARM.
CLEANOUT REQ'D. IF P-TRAP REMOVES
FROM U-BEND OF TRAP.

LISTING
AGENCY APPROVAL
THESE PRINTS COMPLY WITH THE
FLORIDA MANUFACTURED BUILDING
ACT OF 1975 CONSTRUCTION CODE
AND ARE SUBJECT TO THE FOLLOWING
CRITERIA.

CONTS. TYPE VB
OCCUPANCY R-3
AUTOMABLE NO. 120
WIND VELOCITY 120
FIRE RATING OF EXT. WALLS
PLAN NO. 1296.0-56557
APPROVAL DATE 10/14/08
MANUFACTURER H.O.M.
HIGH VELOCITY
HURRICANE ZONE No

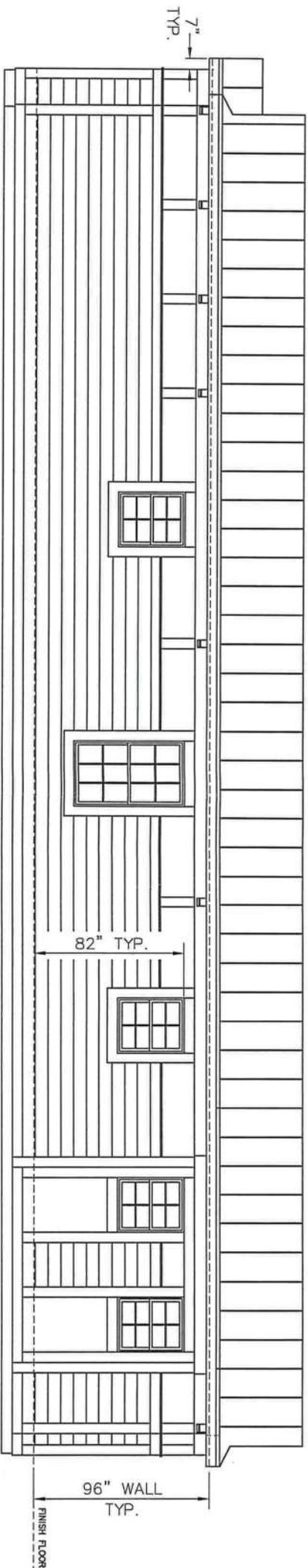
WUG
CMA # 1025

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1827 SOUTH MYRTLE AVE
CLEARWATER, FL 33756

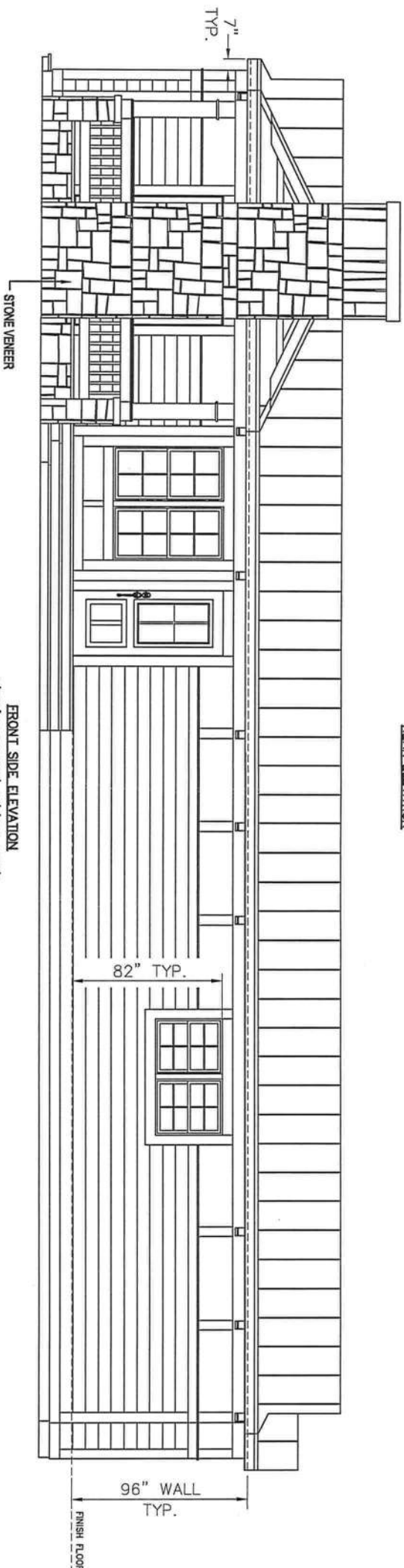


HOMES OF MERIT, INC.
P.O. BOX 1808
BARTON, FLORIDA 32003

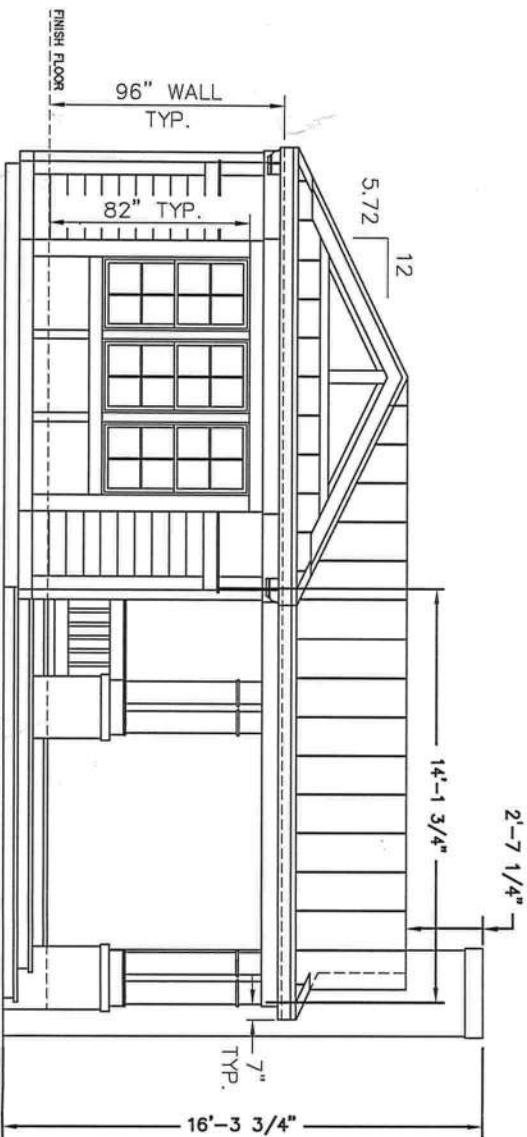
Date: 10-6-08	Revisions	Code: 0201-3
Drawn: STAY		
Code: DCA		
130 MPH	Model: R231 (u)	Page: PAGE 3



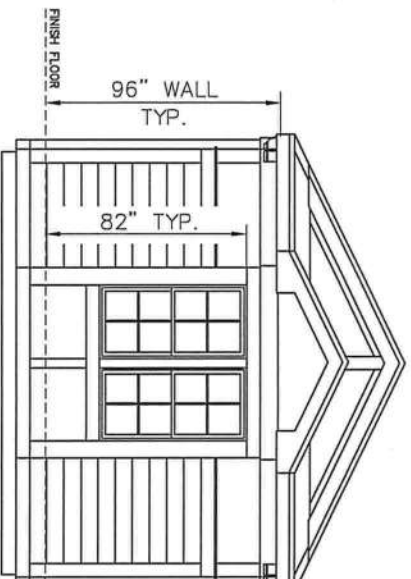
REAR ELEVATION



FRONT SIDE ELEVATION
showing covered outdoor porch



LEFT SIDE ELEVATION
showing covered outdoor porch



RIGHT SIDE ELEVATION

ELEVATION NOTES:
SEE CROSS-SECTION FOR METHOD OF ROOF VENTILATION.
STAIR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 1/150th OF THE FLOOR AREA, AND AN 18"x24" MINIMUM CRAWL SPACE ACCESS SITE INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

Handwritten signature

THIRD PARTY
H. ROBERTSON & ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33766

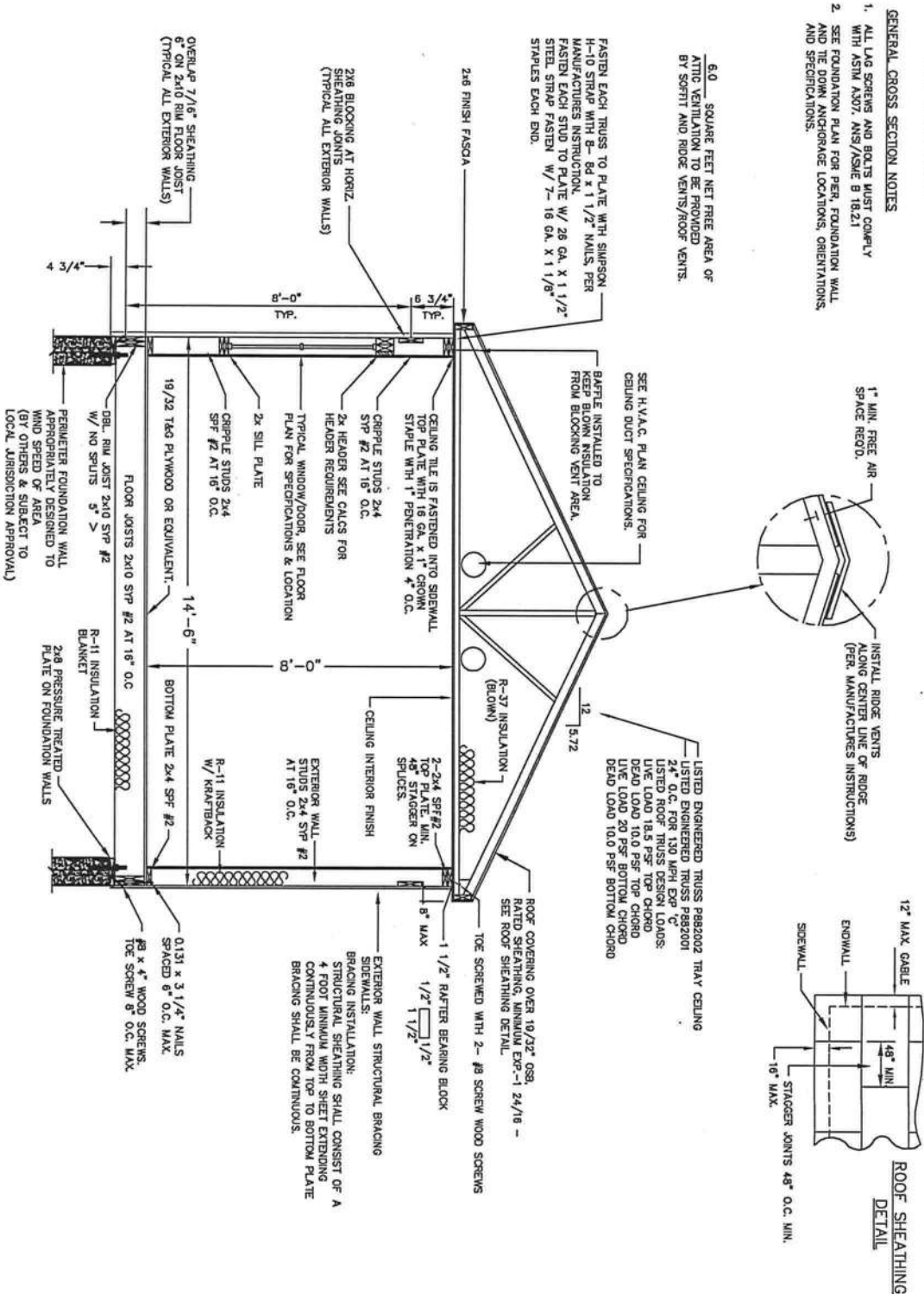
LISTING	
AGENCY APPROVAL	
THESSE BUILDING SYSTEMS, INC.	
FLORIDA MANUFACTURED BUILDING	
ACT OF 1979 CONSTRUCTION CODE	
AND ADHERE TO THE FOLLOWING	
CRITERIA.	
COUNTS, TYPE	1/2
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	130
WIND VELOCITY	130
FIRE RATING OF EXT. WALLS	0
PLAN NO.	1296-526-515
ALLOT. FLOOR	40
LAND	10.14.08
APPROVAL DATE	10.14.08
MANUFACTURER	B.O.K.
HIGH VELOCITY	N/A
HURRICANE ZONE	N/A
UVC	
COA # 1025	

HOMES OF MERIT, INC.	
P.O. BOX 1606	
BARTON AR BASE	
BARTON, FLORIDA 33531	
Date: 10-6-08	Revision
Drawn: STAY	Code: R281-4
Code: DCA	
130 MPH	Model: R281 (UU)
	Page: 4

CROSS SECTION (OFF FRAME)
NOT TO SCALE

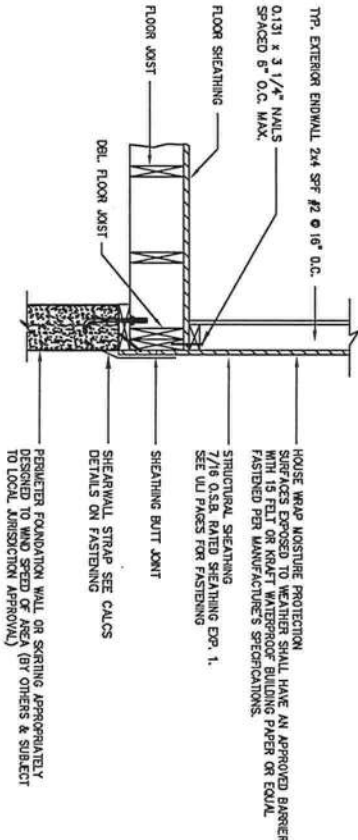
GENERAL CROSS SECTION NOTES

1. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307, A36/ASTM B 1082.
2. SEE FOUNDATION PLAN FOR PER. FOUNDATION WALL AND THE DOWN ANCHORAGE LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.



SEE PAGE 6 FOR BAY ENDWALL DETAILS

ENDWALL DETAIL
NOT TO SCALE



INTERIOR FINISH MATERIAL

CEILING - 1/2" MINIMUM GYPSUM BOARD FASTENED WITH MINIMUM 50 COOLER NAILS @ 6" O.C. EDGES AND 10" O.C. FIELD.

WALL - 1/2" INCH MINIMUM GYPSUM BOARD

FLOOR - BLOCK TILE OR LINOLEUM IN BATHROOM AND OTHER WET AREAS CARPET, BLOCK TILE, OR LINOLEUM IN ALL OTHER AREAS. FLOOR FINISH MAY BE FIELD INSTALLED

EXTERIOR FINISH MATERIAL

ROOF - MISC. LP CRAFTSMAN METAL ROOF INSTALLED PER MANUFACTURERS SPECIFICATIONS. METAL SHALL BE INSTALLED OVER 15# FELT 2 LAYERS FOR PITCHES LESS THAN 12:12 AND 1/2" AND STEEPER. ROOF FELT AND OR INSULATION MAY BE FIELD INSTALLED. ALL FIELD INSTALLED ROOFING MUST BE INSPECTED BY OTHERS. SUBJECT TO LOCAL APPROVAL.

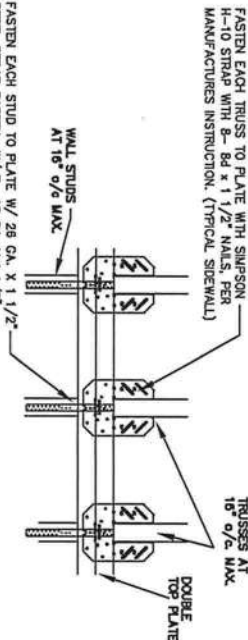
WALL - VINYL SIDING INSTALLED OVER WATER RESISTANT BARRIER PER MANUFACTURERS SPECIFICATIONS. BRICK VENEER, STUCCO, OR OTHER APPROVED FINISH SITE INSTALLED BY OTHERS. SUBJECT TO LOCAL APPROVAL.

ALL EXTERIOR MATERIALS MUST RESIST STIPULATED WIND LOADS, INCLUDING LARGE MISSILE TEST FOR GLAZED OPENINGS.

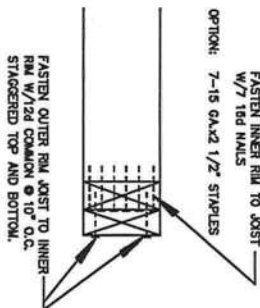
NOTE:

FOUNDATION TO BE DESIGNED BY OTHERS TO BUILDING CODE FOR ACTUAL SITE CONDITIONS AND SUBJECT TO LOCAL CODES AND INSPECTIONS.

DOUBLE TOP PLATE DETAIL



RIM JOIST FASTENING DETAIL



SEE UI PAGES 1 THRU 9 FOR CONSTRUCTION DETAILS AND FASTENING

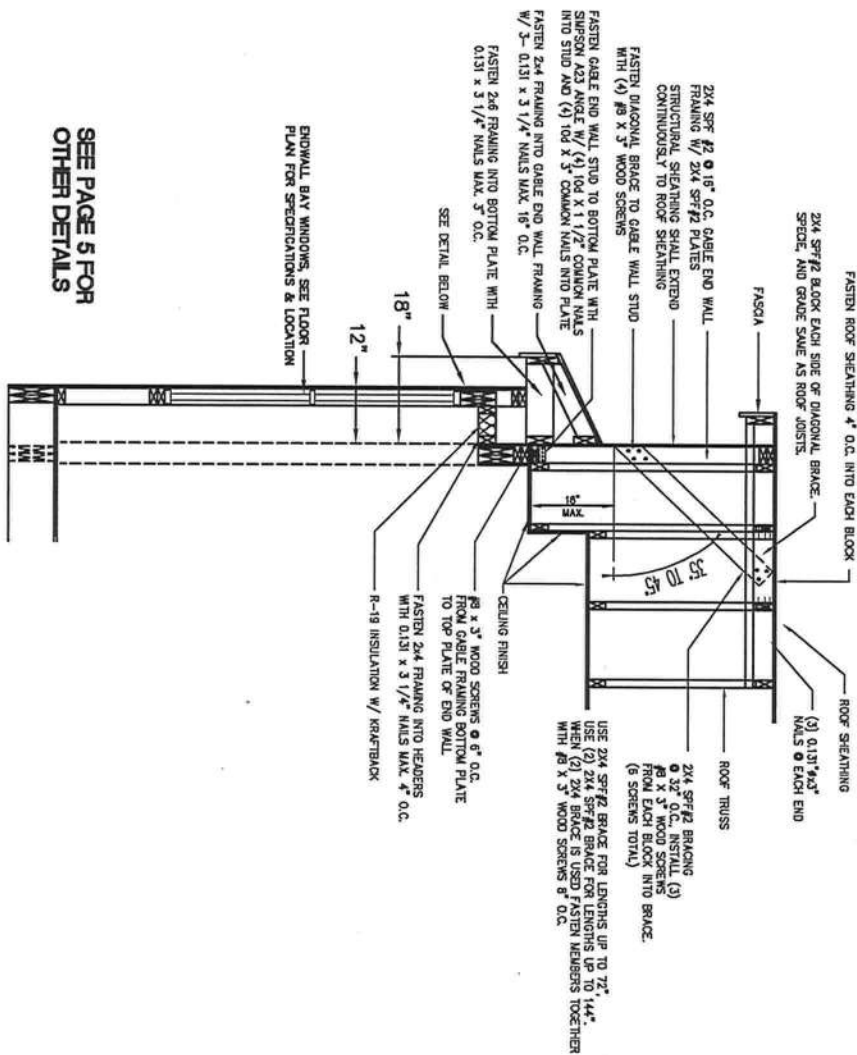
LISTING	
AGENCY APPROVAL	
THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA.	
COUNTS TYPE	1B
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOODS	130
WIND VELOCITY	1296.5655F
TIME RATING OF EXT. WALLS	10
ALLOW. FLOOR LOAD	10/14/08
APPROVAL DATE	10/14/08
MANUFACTURER	H.O.M.
HIGH VELOCITY HURRICANE ZONE	10
COL # 1025	

HOUSES OF MERIT, INC.

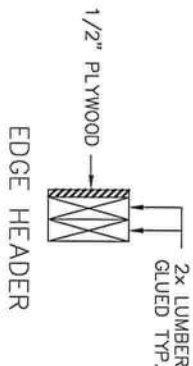
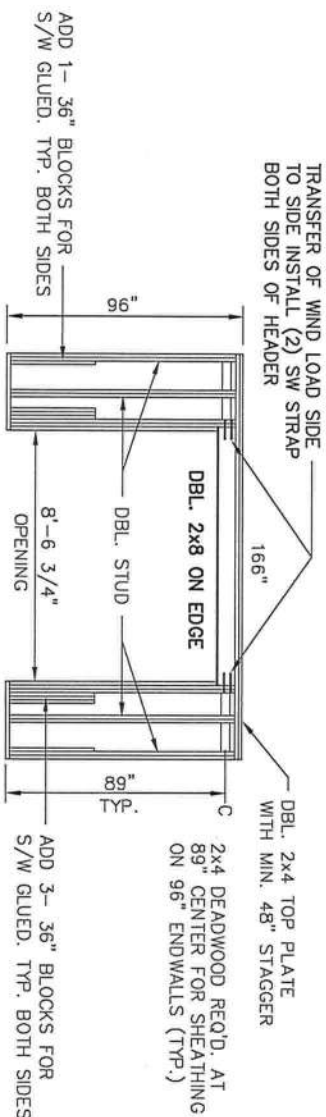
P.O. BOX 1006
BARTON AR BASE
BARTON, FLORIDA 33531

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH WINDLE AVE.
CLEARWATER, FL 33756

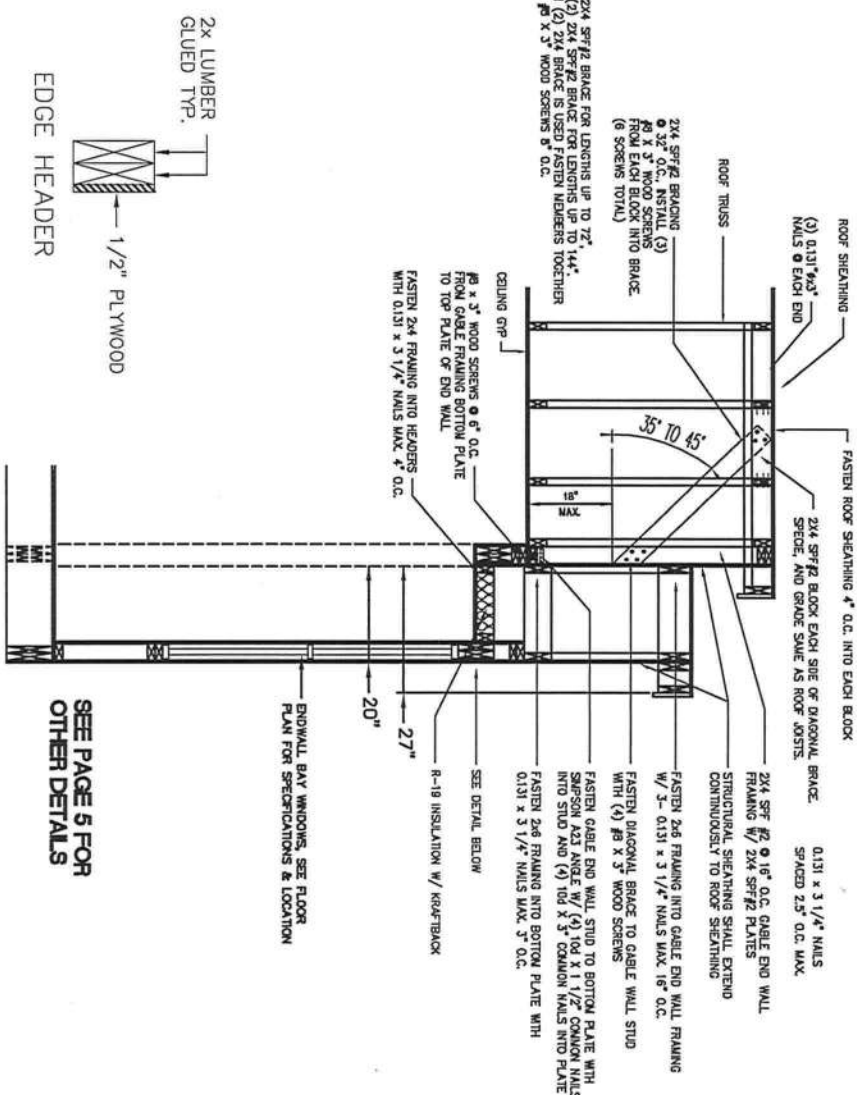
Date: 10-9-08	Revised:	Code: R261-5
Code: DCA	Model:	
120 MPH	R261 (UL)	Page 5



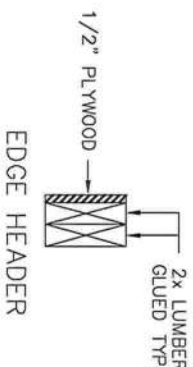
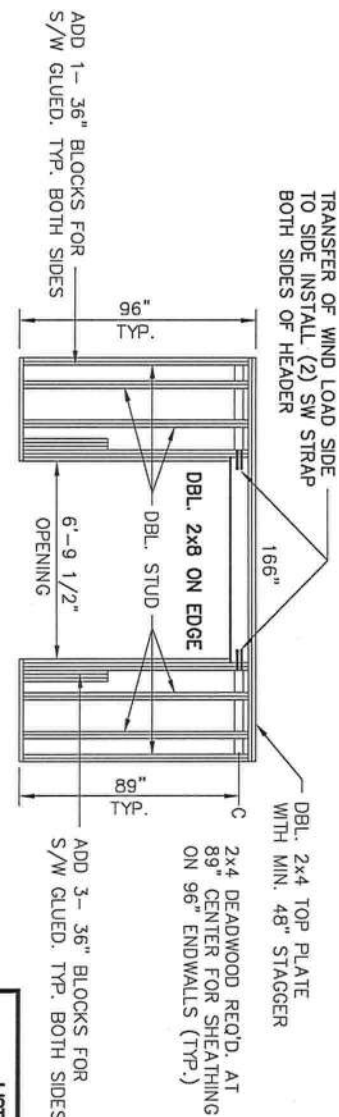
SEE PAGE 5 FOR OTHER DETAILS



LEFT SIDE BOX BAY ENDWALL DETAIL



SEE PAGE 5 FOR OTHER DETAILS



RIGHT SIDE BOX BAY ENDWALL DETAIL

LISTING

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND SUBMITTER TO THE FOLLOWING CENTRAL.

CONTS. TYPE VB

OCCUPANCY R-3

ADULTABLE NO. OF FLOORS 130

WIND VELOCITY 130

THE RATING OF EXL. WALLS 1296.56557

PLAN NO. 1296.56557

ALDOR. FLOOR LOAD 10

APPROVAL DATE 10.14.08

MANUFACTURER NON

HIGH VELOCITY HURRICANE ZONE No

WVG

COL. # 1025

THIRD PARTY
HILBORN, WERNER, CARTER
& ASSOCIATES
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756



HOMES OF MERIT, INC.
P.O. BOX 1606
BAYVIEW, FLORIDA 33531

Date:	10-6-08	Revision:	Conf: R201-6
Drawn:	STW		
Code:	DCA		
130 MPH	Wind:	R201 (u)	Print:

FASTENERS SPACED 4" O.C. AT DIAPHRAGM EDGES, 6" O.C. AT OTHER EDGES AND 12" O.C. IN FIELD.

2'-0" MIN. BLOCKED

57'-0" UNBLOCKED

FASTENERS SPACED 6" O.C. AT DIAPHRAGM EDGES AND 12" O.C. IN FIELD.

FASTENERS SPACED 4" O.C. AT DIAPHRAGM EDGES, 6" O.C. AT OTHER EDGES AND 12" O.C. IN FIELD.

2'-0" MIN. BLOCKED

FASTEN SHEATHING TO VALLEY CHORD WITH 0.131x2 1/2" NAILS @ 4" O.C.

FASTEN 2x Laid Flat Valley Chord Member to Each Truss with (2) 0.131x3 1/4" Nails.

SEPARATE BOX FOR PORCH ADD-ON.

SEE PAGES 7 FOR PORCH CONSTRUCTION DETAILS

FASTENERS SPACED 6" O.C. AT DIAPHRAGM EDGES AND 12" O.C. IN FIELD.
14'-2" UNBLOCKED

2x4 #2 SYP (CHORD SPLICE WITH 2x4 12" LONG, USE 80% PVA GLUE AND (5) 1/8"x2 1/2"x15GA. STAPLES EACH SIDE)

15'-8"

DESIGN PROFILE:

SEISMIC ZONE:	A
WIND SPEED:	130 MPH
EXPOSURE:	C
MEAN ROOF HT.:	12'-9"
ROOF PITCH:	5 1/4 / 12
WALL HEIGHT:	96 IN.

NOTES:

- USE 3/8" RATED SHEATHING
- FASTENERS SHALL BE 0.131 NAILS (MIN.) 6" O.C. AT SUPPORTED EDGES & 12" O.C. IN FIELD.
- DIAPHRAGM WITH SYP FRAMING RATED FOR: 297 PLF UNBLOCKED PER NDS-2001 437 PLF BLOCKED PER NDS-2001

- CALCULATIONS OUTLINE THE MWFRS (PER ASCE7-05) ONLY. REFERENCE STATE APPROVED DESIGN MANUAL FOR ADDITIONAL STRUCTURAL INFORMATION
- FOUNDATION DESIGN PERFORMED BY OTHERS BASED ON SITE CONDITIONS AND MUST ACCOMMODATE ALL UPLIFT AND LATERAL FORCES AS NOTED.

LISTING AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

Const. Type MB
Occupancy 130
Allowable No. of Floors 1
Wind Velocity 130
Fire Rating of Ext. Walls 0
Plan No. 1296-5655F
Allow. Floor Load 40
Approval Date 10.14.08
Manufacturer H&B
Approved for High Velocity Hurricane Zone No
HWC
COA # 1085



ENGINEERS / ARCHITECTS SEAL

Signature

APPROVER'S SEAL

MODIFICATIONS

TITLE:

ROOF DIAPHRAGM
MWFRS

MODEL:

ULI

DATE: 10/03/08

SCALE:

DRAWN BY: CORP.

CHECKED BY:

CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP.C)

SHEET NO.:

R261-7

PAGE:

1 OF 9

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ENGINEERS / ARCHITECT'S SEAL

[Signature]

APPROVER'S SEAL

MODIFICATIONS

TITLE:
**824 PLF (SW1)
SHEARWALL DETAIL**

MODEL:
ULI

DATE: 10/03/08 SCALE:
DRAWN BY: CORP. CHECKED BY:
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP.C)
SHEET NO.:

R261-9

PAGE: 3 OF 9

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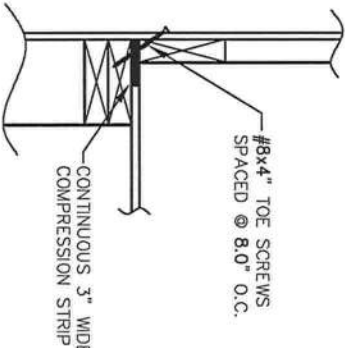
GENERAL NOTES

- SHEATHING SHALL BE $\frac{7}{8}$ " RATED SHEATHING. ALL LOADS ARE WIND ONLY RATED.
ENDWALL FASTENING (824 PLF):
0.131x2 $\frac{1}{2}$ " (1 $\frac{1}{2}$ " MIN. EMBED.) NAILS AT 2" O.C. STAGGERED ALL EDGES AND 12" O.C. FIELD. FRAMING AT ADJOINING PANEL EDGES SHALL BE MINIMUM 3" NOMINAL. THIS IS ACHIEVED BY ATTACHING (2) 2x'S WITH 90% GLUED SURFACES AND (2) ROWS OF 0.131x3 $\frac{1}{2}$ " NAILS AT 6" O.C.
- ANY MODIFICATION TO THE SHEARWALLS SPECIFIED ON PLAN MUST HAVE PRIOR ENGINEERING APPROVAL.

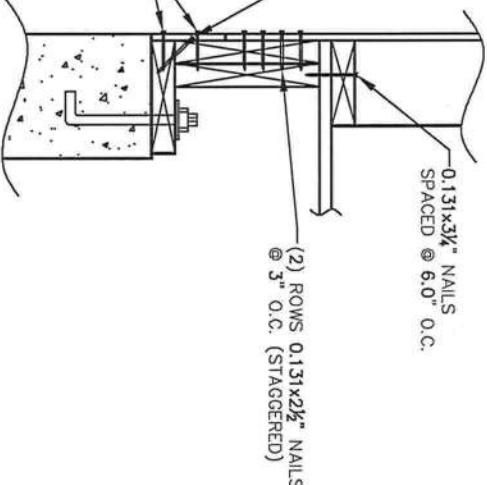
LISTING
AGENCY APPROVAL

These prints comply with the Florida
Manufacturing Building Act of 1979
Construction Code and adhere to the
following criteria:

Permit Type *123*
Occupancy *130*
Allowable No. of Floors *12965055F*
Wind Velocity *40*
Fire Rating of Ext. Walls *10-14-08*
Plan No. *12965055F*
Allow. Floor Load *40*
Approval Date *10-14-08*
Manufacturer *12965055F*
Approved for High Velocity Hurricane Zone *12965055F*
HWC COA # 10268



A TRUSS TO TOP PLATE
FASTEN SCREWS BEFORE SHEATHING IS APPLIED



B BOTTOM PLATE TO RIM JOIST

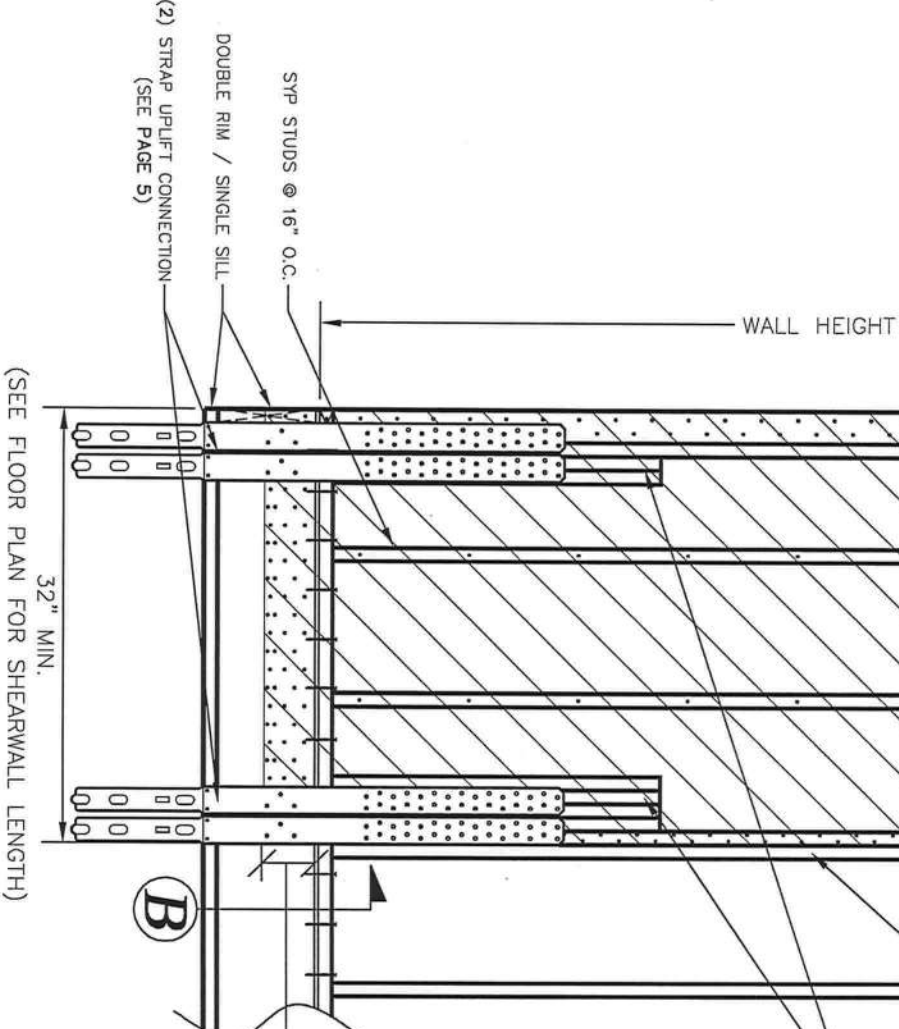
BLOCK TRUSS CAVITY AT 16" O.C. WHEN CLEAR DISTANCE FROM TOP CHORD TO BOTTOM CHORD EXCEEDS 16"

THE END TRUSS ABOVE A SHEARWALL SHALL BE SHEATHED ON EXTERIOR SIDE WITH RATED SHEATHING. ALL SEAMS SHALL BE BLOCKED WITH 3x LUMBER AND FASTENED SAME AS SHEARWALL FASTENING.

ALL SEAMS TO HAVE 3x LUMBER BLOCKING FASTENED PER EDGE FASTENING REQUIREMENTS.

STUDS AS REQUIRED FOR UPLIFT STRAP LOCATION FLEXIBILITY. 36" LENGTH (MIN.) 90% 0.131x2 $\frac{1}{2}$ " NAILS AT 6" O.C.

OVERLAP SHEATHING ON END JOIST 6" MINIMUM. NAIL TO RIM JOIST WITH 0.131x2 $\frac{1}{2}$ " NAILS PER DETAIL B.



(SEE FLOOR PLAN FOR SHEARWALL LENGTH)

NOTE: STRENGTH DATA FOR SHEARWALL CAPACITY TAKEN FROM NDS 2001 WITH 40% WIND LOAD INCREASE.

Garrett

APPROVERS SEAL

MODIFICATIONS

TITLE:
219 PLF (SW3)
SHEARWALL DETAIL

MODEL:
ULI
MWFRS

DATE: 10/03/08 SCALE:
DRAWN BY: CORP. CHECKED BY:
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP C)
SHEET NO.:
R261-11

PAGE: 5 OF 9

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GENERAL NOTES

- SHEATHING SHALL BE $\frac{7}{8}$ " RATED SHEATHING. THE FOLLOWING LOADS ARE WIND ONLY RATED.
ENDWALL FASTENING (219 PLF):
 $\frac{7}{8}$ "x $\frac{3}{4}$ "x15GA. STAPLES AT 6" O.C. ALL EDGES AND 12" O.C. FIELD.
FRAMING AT ADJOINING PANEL EDGES SHALL BE MINIMUM 2" NOMINAL.
- ANY MODIFICATION TO THE SHEARWALLS SPECIFIED ON PLAN MUST HAVE PRIOR ENGINEERING APPROVAL.

UPLIFT/OVERTURNING FASTENING	
SHEATHING PANEL LENGTH (ft.)	ENDWALL (219 PLF) ROWS OF STAPLES (N)
32-39	2
40-55	2
56-71	2
72-95	2
96-125	2
126-151	2
152-182	2

LISTING
AGENCY APPROVAL

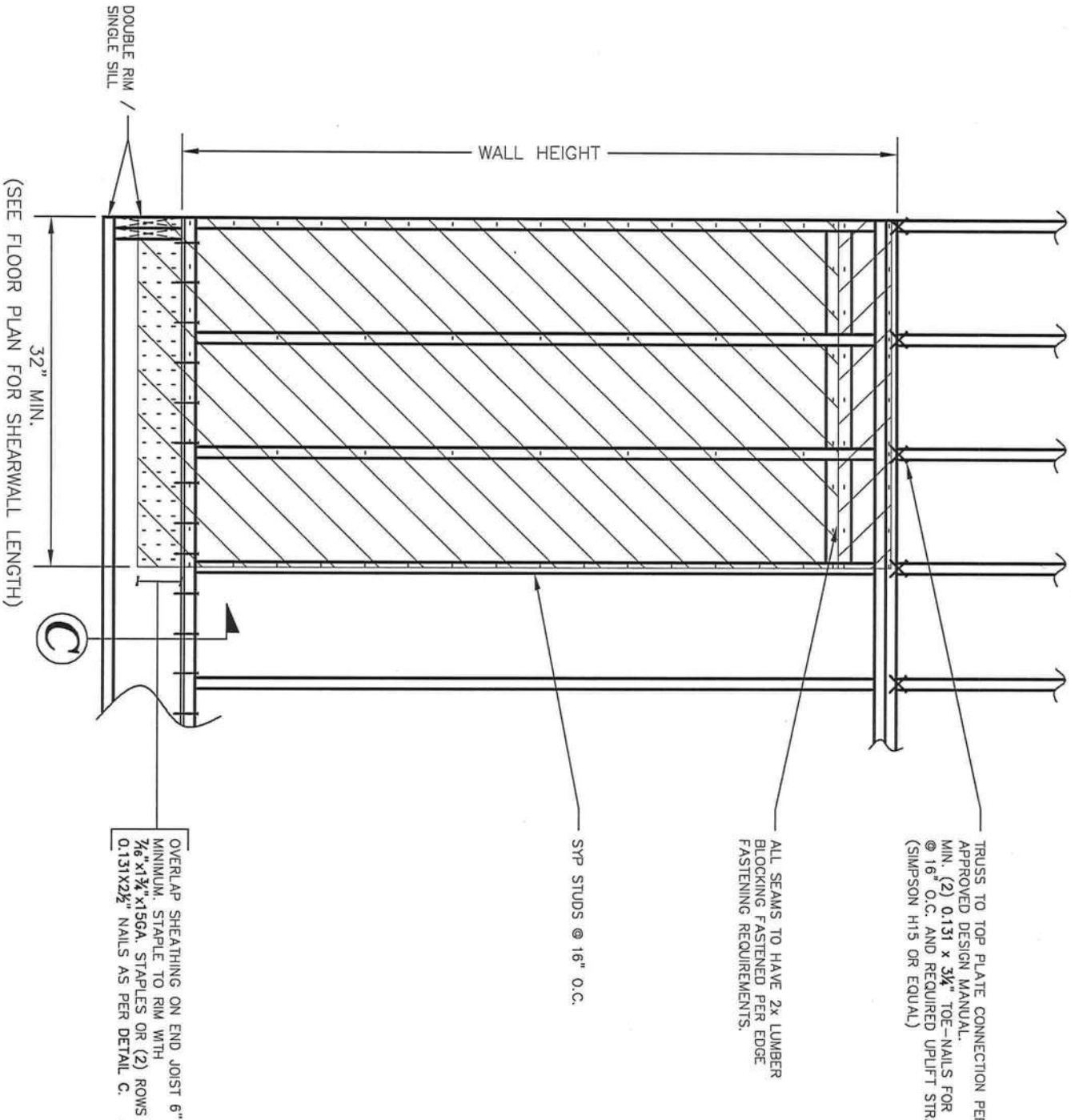
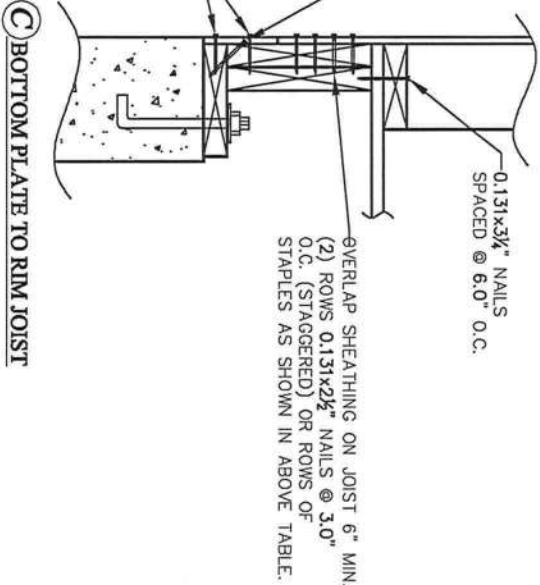
These prints comply with the Florida
Manufactured Building Act of 1979
Construction Code and adhere to the
following criteria:

Correl. Type
Occupancy
Allowable No.
of Floors
Wind Velocity
Fire Rating of
Ext. Walls
Plan No. 1290-56554
Allow. Floor Load 48
Approval Date 10/14/08
Manufacturer #204

Approved for
High Velocity
Hurricane Zone No
HWC
CGA # 1025

TOE-NAIL 0.131x $\frac{3}{4}$ " AT 8.0" O.C.
NOTE: THIS CONNECTION DOES NOT
ACCOMMODATE FOUNDATION SOIL PRESSURE
AS OUTLINED IN IRC 2006

FASTEN RATED SHEATHING WITH (1) ROW
OF 0.131x $\frac{3}{4}$ " NAILS @ 6.0" O.C. TO
PERIMETER JOIST AND TO SILL PLATE.



NOTE: STRENGTH DATA FOR SHEARWALL CAPACITY TAKEN FROM
ICC EVALUATION SERVICE, INC. ESR-1539 REISSUED SEPTEMBER
1, 2001 WITH A 40% INCREASE PER NDS 2001.



ENGINEERS / ARCHITECTS SEAL

[Signature]

APPROVER'S SEAL

MODIFICATIONS

TITLE:

SHEARWALL
LAYOUT

MWFRS

MODEL:

ULI

DATE: 10/03/08

SCALE:

DRAWN BY: CORP.

CHECKED BY:

CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP.C)

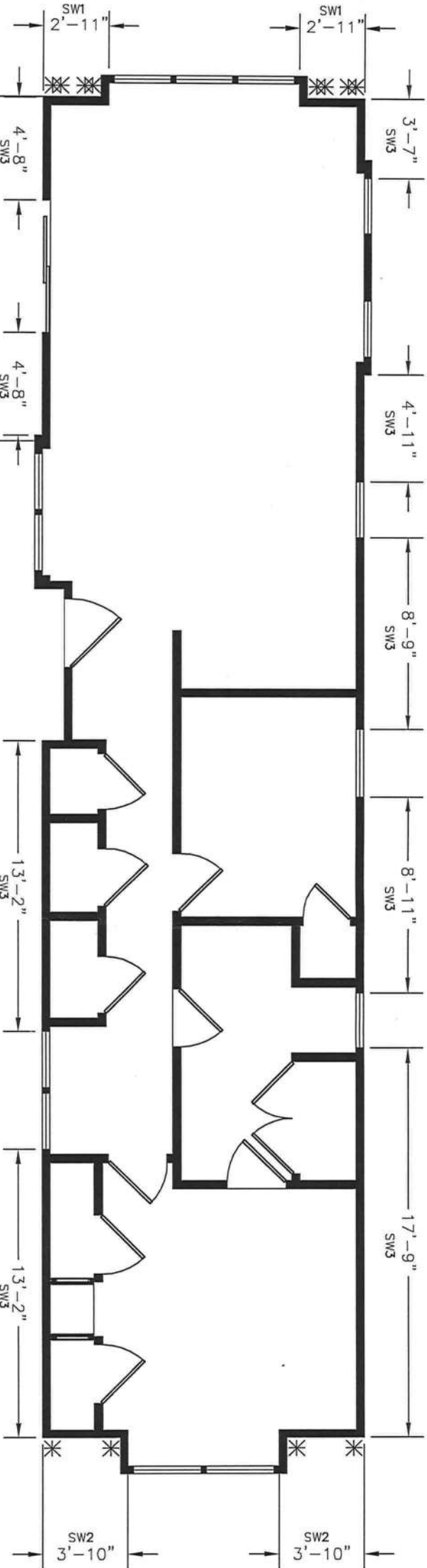
SHEET NO.:

R261-8

PAGE:

2 OF 9

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END SHEARWALL
TOTAL SHEARWALL = 70"
CAPACITY @ 824PLF=4806#
4806# > 4726# O.K.

SEE PAGES 7 FOR PORCH
CONSTRUCTION DETAILS

SIDE SHEARWALL
TOTAL SHEARWALL = 320"
CAPACITY @ 219PLF=5840#
5840# > 3953# O.K.

END SHEARWALL
TOTAL SHEARWALL = 92"
CAPACITY @ 631PLF=4838#
4838# > 4726# O.K.

SIDE SHEARWALL
TOTAL SHEARWALL = 357"
CAPACITY @ 219PLF=6515#
6515# > 4225# O.K.

LISTING
AGENCY APPROVAL

Please print in compliance with the Florida
Manufactured Building Act of 1979
Construction Code and adhere to the
following criteria:

Const. Type 130
Occupancy R3
Allowable No. of Floors 1
Wind Velocity 130
Fire Rating of Ext. Walls 0
Plan No. 1296-5655F
Allow. Floor Load 40
Approval Date 10/14/08
Manufacturer ULI
Approved for High Velocity Hurricane Zone Yes
HWC
COA # 1028

NOTES:

SHEARWALLS SHALL BE CONSTRUCTED OF RATED SHEATHING WITH
STP #2 FRAMING AT 16" O.C. WITH FASTENING AS FOLLOWS:

219 PLF, 15 GA. STAPLES, 6" O.C. AT PANEL EDGES AND 12" O.C. IN
FIELD. SEE STANDARD DETAIL, PAGE 05, 7/8" SHEATHING.

631 PLF, 0.131 SMOOTH OR DEFORMED NAILS AT 3" O.C. EDGE AND
12" O.C. IN FIELD SEE STANDARD DETAIL PAGE 04, 7/8" SHEATHING.

824 PLF, 0.131 SMOOTH OR DEFORMED NAILS AT 2" O.C. EDGE AND
12" O.C. IN FIELD SEE STANDARD DETAIL PAGE 03, 7/8" SHEATHING.

* UPLIFT CONNECTION REQUIRED AT ENDS OF EACH
SHEARWALL SEGMENT DETAIL PAGE 06.

UPLIFT CONNECTION FOR SIDEWALLS SHOWN ON
DETAIL PAGE 06.

SHEARWALL MARK#	UPLIFT FORCE
SW1	5872#
SW2	4322#
SW3	383#

UPLIFT FORCES ARE PER END OF SHEARWALL
SEGMENT.

SHEARWALL MARK#	REQUIRED STRENGTH
SW1	824 PLF (2" O.C. EDGE)
SW2	631 PLF (3" O.C. EDGE)
SW3	219 PLF (6" O.C. EDGE)

THESE ALLOWABLE STRENGTHS INCLUDE A 40% INCREASE FOR
WIND FORCES AS PRESCRIBED BY NDS 2001

[Signature]

APPROVERS SEAL

MODIFICATIONS

TITLE:
**631 PLF (SW2)
SHEARWALL DETAIL**

MODEL:
ULI
MWFRS

DATE: 10/03/08	SCALE:
DRAWN BY: CORP.	CHECKED BY:
CALCS: ATTACHED	
FILENAME: ULI (130MPH, EXP.C)	
SHEET NO.:	
R261-10	

PAGE: 4 OF 9

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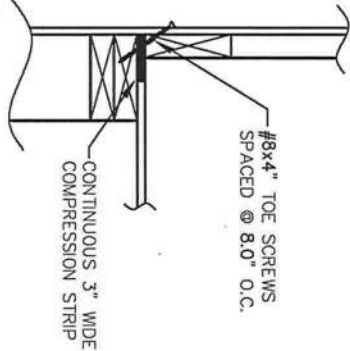
GENERAL NOTES

- SHEATHING SHALL BE $\frac{7}{8}$ " RATED SHEATHING. ALL LOADS ARE WIND ONLY RATED.
ENDWALL FASTENING (631 PLF):
0.131x2 $\frac{1}{2}$ " (1 $\frac{1}{2}$ " MIN. EMBED.) NAILS AT 3" O.C. STAGGERED ALL EDGES AND 12" O.C. FIELD. FRAMING AT ADJOINING PANEL EDGES SHALL BE MINIMUM 2" NOMINAL.
- ANY MODIFICATION TO THE SHEARWALLS SPECIFIED ON PLAN MUST HAVE PRIOR ENGINEERING APPROVAL.

**LISTING
AGENCY APPROVAL**

These prints comply with the Florida
Manufactured Building Act of 1979
Construction Code and adhere to the
following criteria:

Const. Type RMU
Occupancy R3
Allowable No. of Floors 1/30
Wind Velocity 120
Fire Rating of Ext. Walls 0
Plan No. 1296-50355F
Allow. Floor Load 40
Approval Date 10/14/08
Manufacturer ULI
Approved for High Velocity Hurricane Zone No



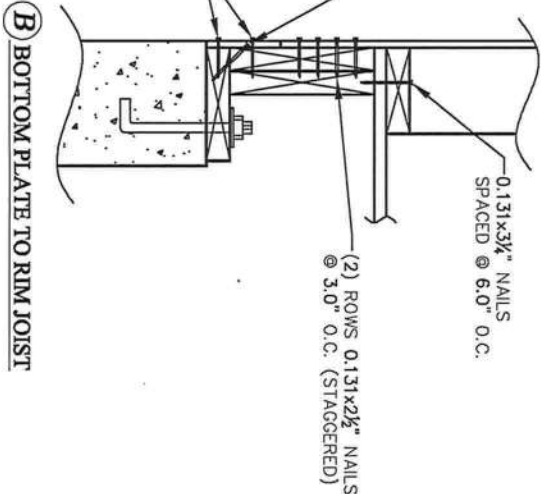
A TRUSS TO TOP PLATE
FASTEN SCREW BEFORE SHEATHING IS APPLIED

STUDS AS REQUIRED FOR UPLIFT STRAP
LOCATION FLEXIBILITY, 36" LENGTH (MIN.) 90%
0.131x2 $\frac{1}{2}$ " NAILS AT 6" O.C.

H/W/C
COA # 1025

TOE-NAIL 0.131"x3 $\frac{3}{4}$ " AT 8.0" O.C.
NOTE: THIS CONNECTION DOES NOT
ACCOMMODATE FOUNDATION SOIL PRESSURE
AS OUTLINED IN IRC 2006

FASTEN WITH RATED SHEATHING TO
PERIMETER JOIST AND TO SILL W/
(1) ROW 0.131x3 $\frac{3}{4}$ " NAILS
(STAGGERED) @ 4.0" O.C.

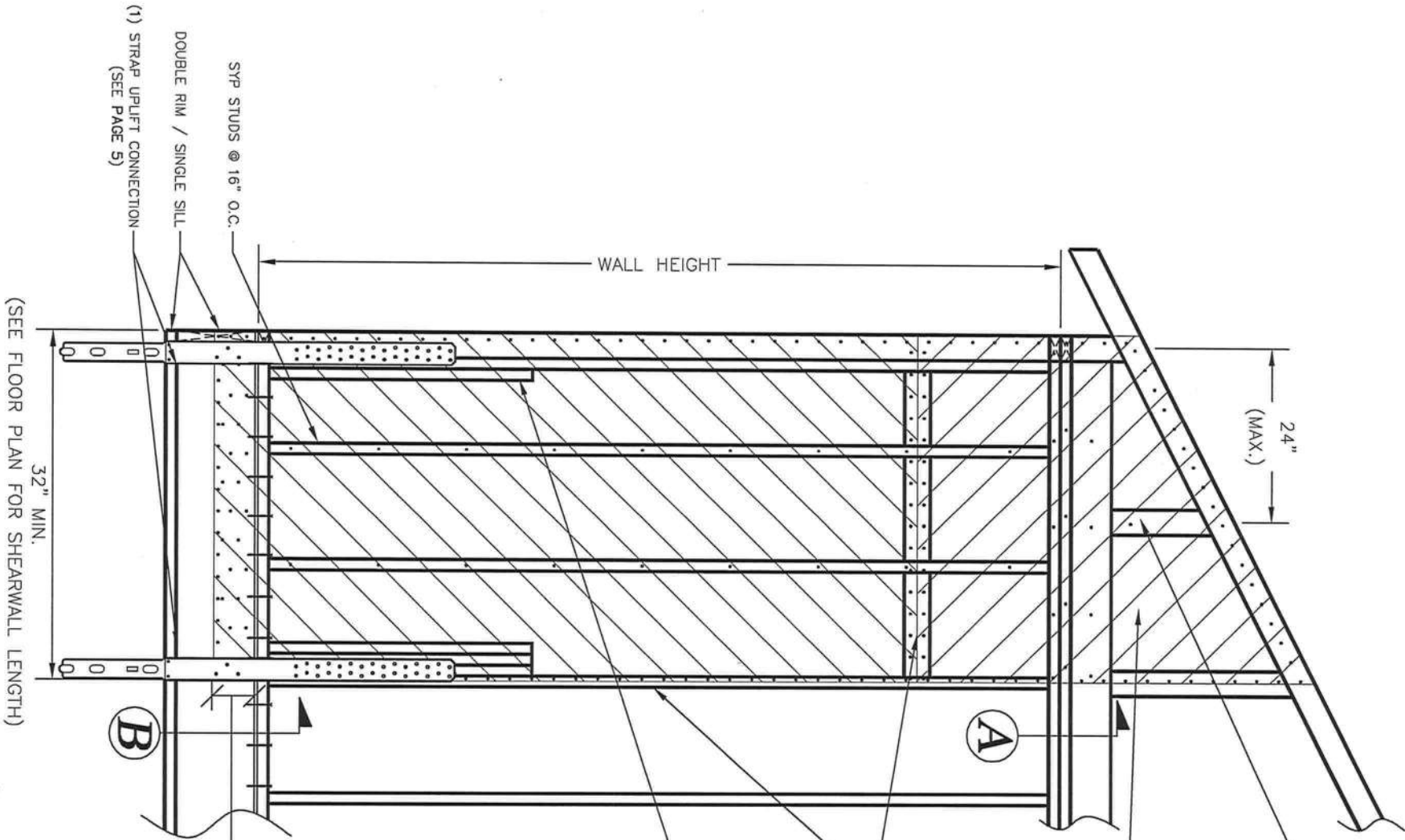


B BOTTOM PLATE TO RIM JOIST

BLOCK TRUSS CAVITY AT 16" O.C. WHEN
CLEAR DISTANCE FROM TOP CHORD TO
BOTTOM CHORD EXCEEDS 16"

THE END TRUSS ABOVE A SHEARWALL SHALL
BE SHEATHED ON EXTERIOR SIDE WITH RATED
SHEATHING. ALL SEAMS SHALL BE BLOCKED
WITH 2x LUMBER AND FASTENED SAME AS
SHEARWALL FASTENING.

ALL SEAMS TO HAVE 2x LUMBER BLOCKING
FASTENED PER EDGE FASTENING
REQUIREMENTS.



(SEE FLOOR PLAN FOR SHEARWALL LENGTH)

OVERLAP SHEATHING ON END JOIST
6" MINIMUM. NAIL TO RIM JOIST WITH
0.131x2 $\frac{1}{2}$ " NAILS PER DETAIL B.

NOTE: STRENGTH DATA FOR SHEARWALL CAPACITY TAKEN
FROM NDS 2001 WITH 40% WIND LOAD INCREASE.



ENGINEERING

Designing America's Dreams

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

MODIFICATIONS

TITLE:
FOUNDATION

FOUNDATION UPLIFT DETAIL

MODEL: ULI

DATE: 10/03/08	SCALE:
DRAWN BY: CORP.	CHECKED BY:
CALCS: ATTACHED	

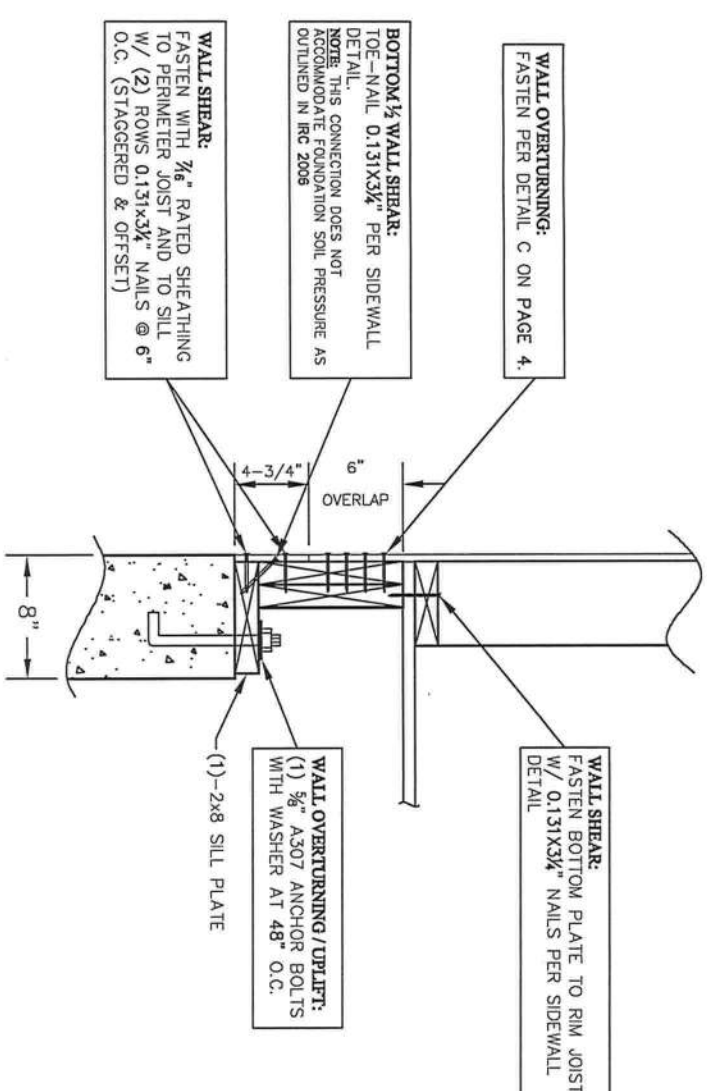
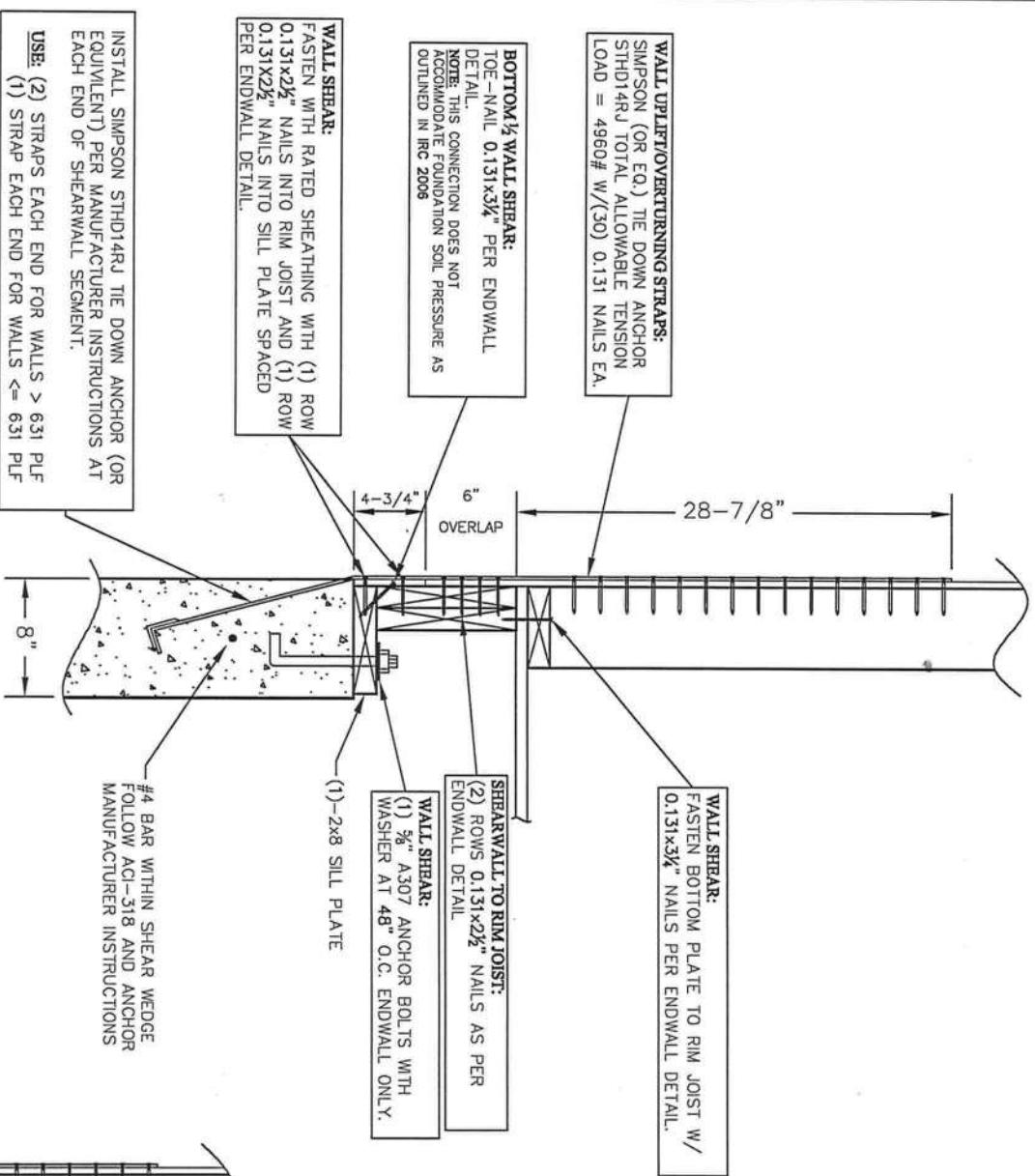
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP.C)

R261-12

PAGE: 6 OF 9

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SIDEWALL UPLIFT CONNECTION

ENDWALL UPLIFT CONNECTION

1" MIN. GAP REQUIRED BETWEEN RIM JOIST AND 1ST PORCH JOIST FOR UPLIFT STRAP INSTALLATION.

6" OVERLAP NOT REQUIRED WHEN USING STRAP OPTION ON MODEL ECTORS

—BOTTOM $\frac{1}{2}$ WALL SHEAR:
TOE—NAIL 0.131X3 $\frac{1}{4}$ " SPACED
PER ENDWALL DETAIL B.

JOIST HANGERS OR BEARING STRIP REQUIRED FOR PORCH JOISTS. (1½" MIN. BEARING)

PORCH WITH STRAP FOUNDATION CONNECTION
CONNECTION PER ENDWALL UPLIFT DETAIL (THIS SHEET) WITH NOTED CHANGES

LISTING
AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

Allowable Mo.

Wind Velocity

Fire Rating of

EDM. WEALES

Plan No. /

ALUMINUM FLOOR LAMINATE

Approval Date: _____

Manufactured for

Approved for
Public Release

Participants

HWC
CGA 4102M



ENGINEERS / ARCHITECTS SEAL

LISTING
AGENCY APPROVAL

These prints comply with the Florida
Manufactured Building Act of 1979
Construction Code and adhere to the
following criteria:

Canal EFG-3
Occupancy
Allowable No.
of Floors

Wind Velocity

130

Fire Rating of
Ext. Walls

Plan No. 1296-5654

Allow Floor Load

10.4/28

Approval Date

10/14/08

Manufacturer

Approved for

High Velocity

Hurricane Zone

10

HWC

COM # 1028

APPROVER'S SEAL

Signature

MODIFICATIONS

TITLE:

PORCH
UPLIFT DETAILS

MODEL:

ULI

MWFRS

DATE: 10/03/08

SCALE:

DRAWN BY: CORP.

CHECKED BY:

CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP.C)

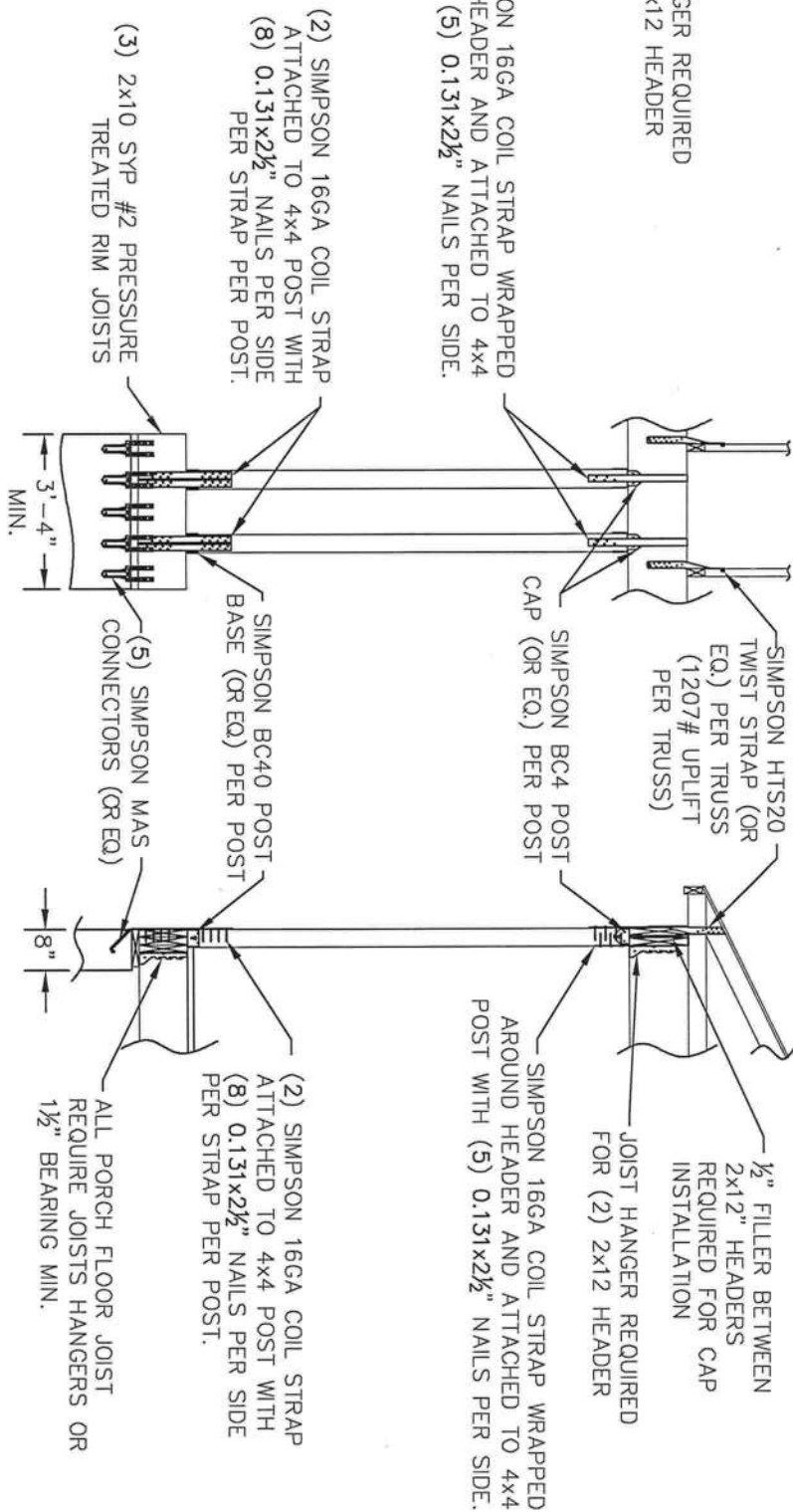
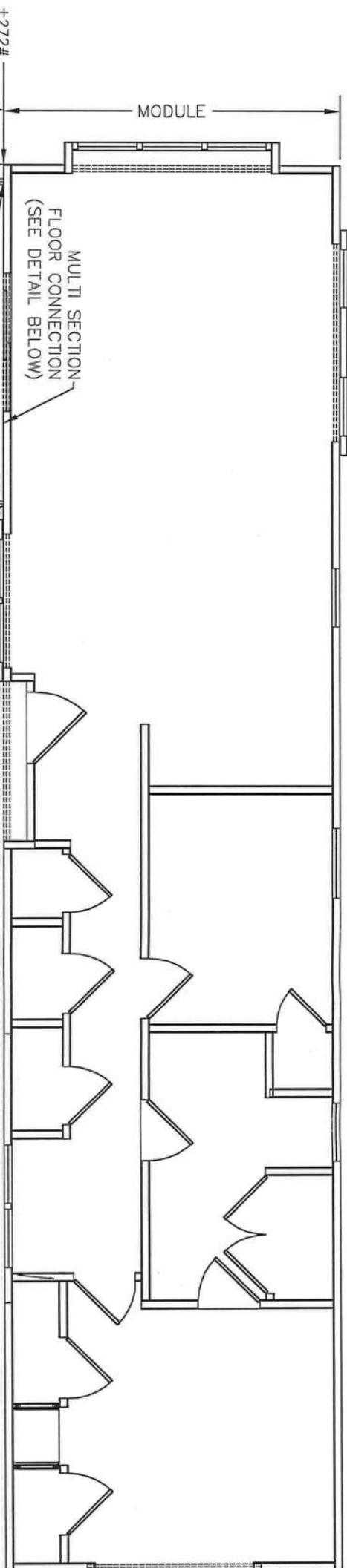
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R261-13

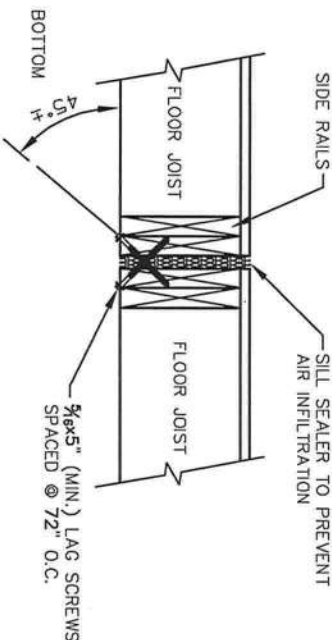
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PORCH UPLIFT CONNECTIONS



MULTI-SECTION FLOOR CONNECTION

[Signature]

APPROVERS SEAL

MODIFICATIONS

TITLE:

FIREPLACE
CONSTRUCTION

MWFRS

MODEL:

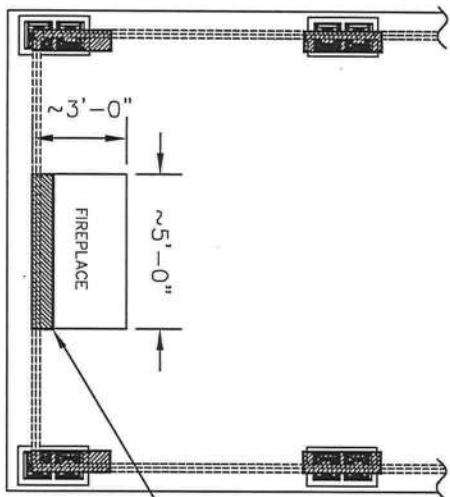
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DATE: 10/03/08 SCALE:
DRAWN BY: CORR. CHECKED BY:
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP C)
SHEET NO.: R261-15

PAGE: 9 OF 9

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FIREPLACE LAYOUT

LOADING FOR FIREPLACE

1. LOADS PER ASCE 7--05, WALL EDGE LOAD = 40.1 PSF
2. TRIBUTARY AREA (TOP SIDE) = $3' \times 3' = 9 \text{ SQ.FT.}$
(TOP END) = $3' \times 5' = 15 \text{ SQ.FT.}$
(SIDE) = $12' \times 3' = 36 \text{ SQ.FT.}$
(END) = $12' \times 5' = 60 \text{ SQ.FT.}$
3. SHEAR LOADS
(TOP SIDE) = $(9 \times 40.1) / 2 = 181\#$
(TOP END) = $(15 \times 40.1) / 2 = 301\#$
(SIDE) = $(36 \times 40.1) / 2 = 722\#$
(END) = $(60 \times 40.1) / 2 = 1203\#$
4. UPLIFT FORCE WORST CASE = $(1203\# + 301\#) = 1504\#$
 $1504\# \times 15' / 2 = 11280\text{FT-LBS}$
 $11280 \text{ FT-LBS} / 3' = 3760\# \text{ PER SIDE}$
*USE SIMPSON STD14RU (OR EQ.) = 4960# EA.

5. SITE ADD-ON PORTION = $(301\# \times 3' / 2) = 452 \text{ FT-LBS}$
 $(452\# / 3') = 151\# \text{ PER SIDE}$
*USE (1) 16GA SIMPSON COIL STRAP W/ (3) $0.131 \times 2\frac{1}{2}''$ NAILS (166# SHEAR CAPACITY EA) PER SIDE OF STRAP. (1) STRAP REQUIRED PER CORNER (4) STRAPS TOTAL.

6. RESULTANT SHEAR LOADS = (WORST CASE) = 301# TOP
= 1203# BOTTOM
= 1504# TOTAL

*ATTACH $\frac{7}{16}''$ RATED SHEATHING W/ $0.131 \times 2\frac{1}{2}''$ NAILS @ 4" O.C. EDGE AND 12" O.C. IN THE FIELD. (490 PLF)

$(3' \times 490 \text{ PLF}) = 1470\# \approx 1504\# \text{ O.K.}$

7. SHEAR TRANSFER FROM ADD-ON TO MAIN PORTION = $301\# / 3' = 101\text{PLF}$

(1) #8x3" SCREW CAPACITY = 161.6#x0.83 TOE SCREW FACTOR. = 134#

SPACE #8x3" TOE-SCREWS @ 12" O.C. (MAX).

TYPICAL WOOD FRAME
CONSTRUCTION FIREPLACE
FRAMING MEMBERS TO BE
SYP #2 MINIMUM

JOIST HANGER REQUIRED
FOR (2) 2x12 HEADER

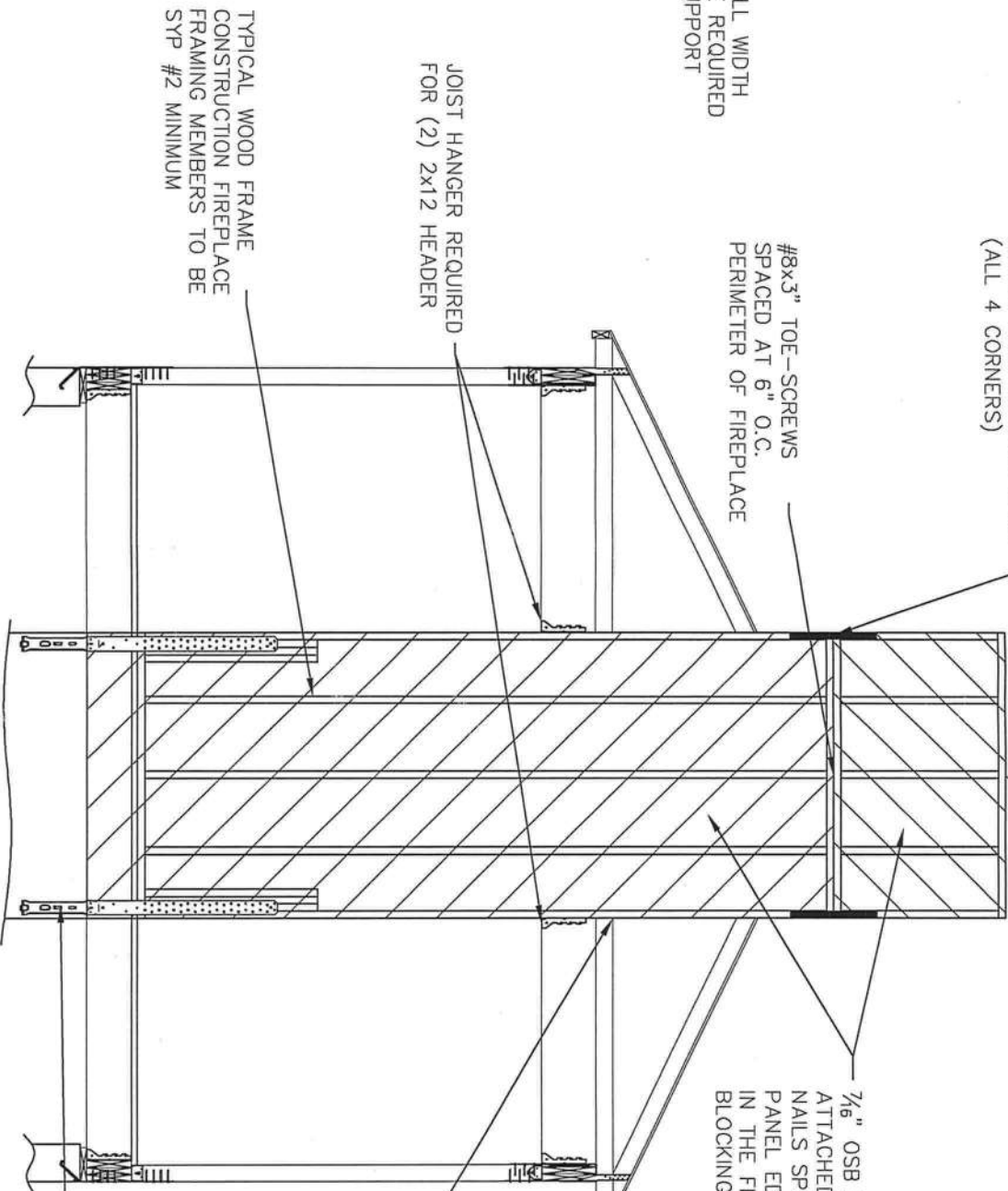
(1) 16 GA SIMPSON COIL
STRAP (OR EQ.) ATTACHED
WITH (3) $0.131 \times 2\frac{1}{2}''$ NAILS
TO BOTH UPPER AND
LOWER PART OF FIREPLACE
(ALL 4 CORNERS)

FIELD ATTACHED EXTENSION
FOR APPROPRIATE ROOF
CLEARANCE PER LOCAL
JURISDICTION

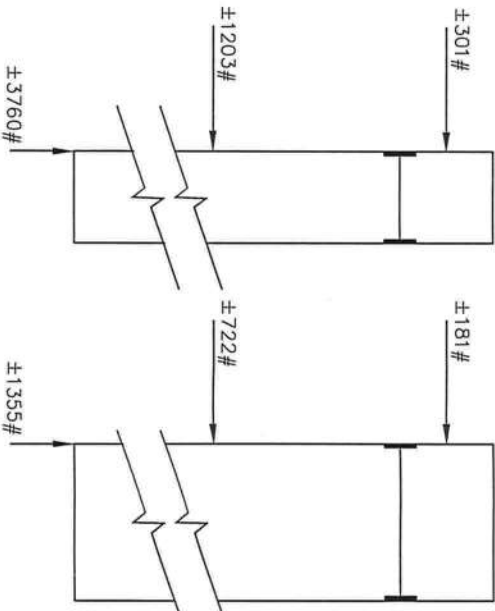
#8x3" TOE-SCREWS
SPACED AT 6" O.C.
PERIMETER OF FIREPLACE

$\frac{7}{16}''$ OSB SHEATHING
ATTACHED WITH $0.131 \times 2\frac{1}{2}''$
NAILS SPACED @ 4.0" O.C.
PANEL EDGES AND 12" O.C.
IN THE FIELD. INSTALL
BLOCKING AS REQUIRED.

RAFTER TO BE ATTACHED
TO FRAMING FOR LOADS
SHOWN ON TRUSS PRINTS



MODULAR FIREPLACE CONSTRUCTION



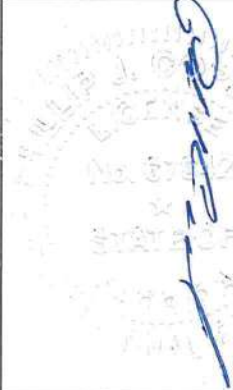
AGENCY APPROVAL

These plans comply with the Florida
Manufacturing Building Act of 1979
Construction Code and adhere to the
following criteria:

Const. Type *V13*
Occupancy *1*
Allowable No. of Floors *1*
Wind Velocity *130*
Fire Rating of Ext Walls *1 hr*
Plan No. *1296-3655F*
Allow. Floor Load *10.14-08*
Approval Date *10/14/08*
Manufacturer *HBM*
Approved for High Velocity Hurricane Zone *No*
HWC COA # 10265



ENGINEERS / ARCHITECTS SEAL



APPROVERS SEAL

MODIFICATIONS

TITLE:
**WALL STUDS &
HEADER REQUIREMENTS**
MWFRS

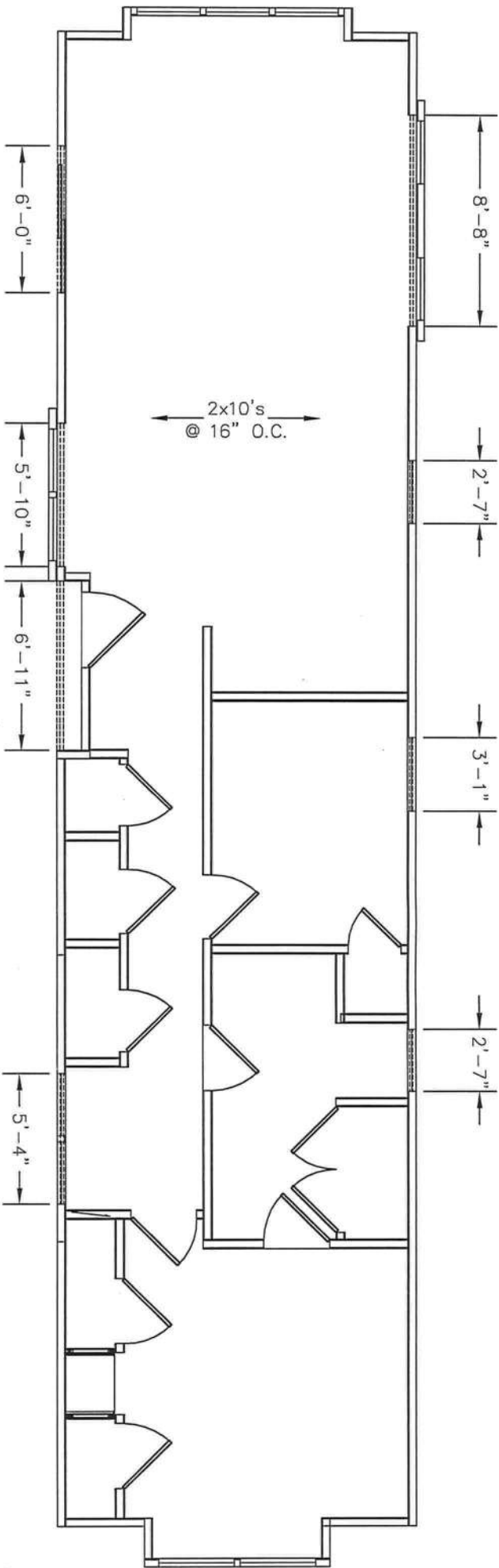
MODEL:
ULI

DATE: 10/03/08 SCALE:
DRAWN BY: CORP. CHECKED BY:
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP.C)
SHEET NO.:
R261-14

PAGE: **8 OF 9**

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AGENCY APPROVAL

These plans comply with the Florida
Revised Building Act of 1979
Construction Code and adhere to the
following criteria:

Corset Type W3
Occupancy R3
Allowable No. of Floors 1
Wind Velocity 130
Fire Rating of Ext. Walls 0
Plan No. 1296-5655T
Allow. Floor Load 10.4 psf
Approval Date 10.14.08
Manufacturer HOM
Approved for High Velocity Hurricane Zone No
HWC
CGA # 1068

NOTES:

EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2x4 LUMBER, GRADE SYP #2 (MIN.) SPACED AT 16" O.C. STUDS ARE TO BE DOUBLED IN THE CORNER AREAS (6'-0" FROM CORNERS)

JAMB STUDS: (2) 2x4 SYP #2 STUDS ARE REQUIRED PER END OF EACH OPENING <= 6'-0" AS JAMB STUDS. (3) 2x4 SYP #2 STUDS ARE REQUIRED PER END OF EACH OPENING > 6'-0" AS JAMB STUDS.

JACK STUDS: (1) 2x4 SYP #2 STUD IS REQUIRED PER END OF OPENING AS A JACK STUD

ALL FLOOR JOISTS ARE TO BE SYP #2 2x10'S SPACED AT 16" O.C. WITH 1/2" BEARING (MINIMUM.)

OPENING SIZE	HEADER SIZE (ON EDGE)
≤ 5'-0"	(2) 2x4
5'-1" ≤ 7'-0"	(2) 2x6
7'-1" ≤ 8'-8"	(2) 2x8
8'-9" ≤ 10'-0"	(2) 2x12

MULTIPLE PLY HEADERS ARE TO BE ATTACHED USING 90% PVA GLUE AND 0.131x2 1/2" NAILS SPACED AT 6" O.C.