

DATE 12/07/2009

Columbia County Building Permit

PERMIT 000028257

This Permit Must Be Prominently Posted on Premises During Construction

APPLICANT ADAM PAPKA PHONE 623-2383
ADDRESS 0 P.O. BOX 1921 LAKE CITY FL 32056
OWNER BOB BAKAJ PHONE 708 253-8114
ADDRESS 456 SW SUNNY ACRES GLEN LAKE CITY FL 32024
CONTRACTOR ADAM PAPKA PHONE 623-2383

LOCATION OF PROPERTY 47S, TR ON CR 240, TL CURRINGTON AVE, TL SUNNY ACRES GLEN, 3RD LOT ON RIGHT

TYPE DEVELOPMENT RENEWAL MODULAR ESTIMATED COST OF CONSTRUCTION 0.00

HEATED FLOOR AREA TOTAL AREA HEIGHT 17.00 STORIES 1

FOUNDATION PIERS WALLS FRAMED ROOF PITCH 5/12 FLOOR WOOD

LAND USE & ZONING AG-3 MAX. HEIGHT 35

Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00

NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-5S-16-03525-214 SUBDIVISION SUNNY ACRES (PART OF LOT)

LOT 4 BLOCK PHASE UNIT 3 TOTAL ACRES 5.70

CBC1253409

Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXIST WAIVER 09-151 LH LH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: RENEWAL OF EXPIRED PERMIT 27717, 2 OF THE 6 INSPECTIONS REMAIN (3/4%)

Check # or Cash

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
Under slab rough-in plumbing Slab Sheathing/Nailing
Framing Insulation
Rough-in plumbing above slab and below wood floor Electrical rough-in
Heat & Air Duct Peri. beam (Lintel) Pool
Permanent power C.O. Final Culvert
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
Reconnection RV Re-roof

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 106.25 ZONING CERT. FEE \$ FIRE FEE \$ 0.00 WASTE FEE \$

FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 106.25

INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

DATE 03/26/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000027717

APPLICANT ADAM PAPKA PHONE 623-2383
ADDRESS P.O. BOX 1921 LAKE CITY FL 32056
OWNER BOB BAKAJ PHONE 708 253-8114
ADDRESS 456 SW SUNNY ACRES GLEN LAKE CITY FL 32024
CONTRACTOR ADAM PAPKA PHONE 623-2383
LOCATION OF PROPERTY 47S, TR ON CR 240, TL CURRINGTON AVE, TL SUNNY ACRES GLEN, 3RD LOT ON RIGHT

TYPE DEVELOPMENT MODULAR ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 2/12 FLOOR SLAB
LAND USE & ZONING A-3 MAX. HEIGHT
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 10-5S-16-03525-214 SUBDIVISION SUNNY ACRES
LOT BLOCK PHASE UNIT TOTAL ACRES 5.70

000001719
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
WAIVER 09-151 BK RJ Y
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: ONE FOOT ABOVE THE ROAD, NOC ON FILE
Check # or Cash 1565

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
Under slab rough-in plumbing Slab Sheathing/Nailing
Framing Insulation
Rough-in plumbing above slab and below wood floor Electrical rough-in
Heat & Air Duct Peri. beam (Lintel) Pool
Permanent power C.O. Final Culvert
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
Reconnection RV Re-roof

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00
INSPECTORS OFFICE CLERKS OFFICE

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The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

ck# 425.00 ck# 50.00

Columbia County Building Permit Application

For Office Use Only Application # 0903-28 Date Received 3/12/09 By G Permit # 1719/27717  
Zoning Official BLK Date 20.03.09 Flood Zone X Land Use A-3 Zoning A-3  
FEMA Map # N/A Elevation N/A MFE 1st River N/A Plans Examiner [Signature] Date 3/18/09

Comments  
 NOC  EH  Deed or PA  Site Plan  State Road Info  Parent Parcel #  
 Dev Permit #  In Floodway  Letter of Auth. from Contractor  F W Comp. letter  
IMPACT FEES: EMS \_\_\_\_\_ Fire \_\_\_\_\_ Corr \_\_\_\_\_ Road/Code \_\_\_\_\_  
School \_\_\_\_\_ = TOTAL EXEMPT - See Attached Memo

Septic Permit No. 09-0157 Fax 752-2282

Name Authorized Person Signing Permit Linda Roder Phone 752-2281

Address 387 Sw Kempet Lake City FL 32024

Owners Name Bob Bakaj Phone (708)-253-8114

911 Address 456 Sw Sunny Acres Gln, L. e 2 32024

Contractors Name Adam Papka Phone 623-2383

Address P.O. B. 1921 Lake City FL 32056

Fee Simple Owner Name & Address NA

Bonding Co. Name & Address NA

Architect/Engineer Name & Address Engineer Mark Disosway

Mortgage Lenders Name & Address NA

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 10-55-16-03525-214 Estimated Cost of Construction 55K

Subdivision Name Sunny Acres Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit III Phase \_\_\_\_\_

Driving Directions 47 S, Ron CR 240, Lon Currington Ave,  
Lon SW Sunny Acres Gln, 3rd Lot down on R

Number of Existing Dwellings on Property 0

Construction of modular home Total Acreage 5.7 Lot Size 5.71

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16 3/4

Actual Distance of Structure from Property Lines - Front 135' Side 145' Side 246' Rear 192'

Number of Stories 1 Heated Floor Area 913 Total Floor Area 913 Roof Pitch 5.72/10

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards

**Columbia County Building Permit Application**

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment**

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:**

**YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**OWNERS CERTIFICATION:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.

X Bob Bakaj  
Owners Signature

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.

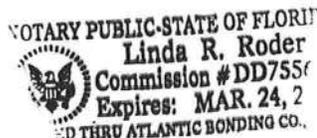
X [Signature]  
Contractor's Signature (Permitee)

Contractor's License Number CBC 1253409  
Columbia County  
Competency Card Number \_\_\_\_\_

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 17 day of March 2009  
Personally known  or Produced Identification \_\_\_\_\_

[Signature]  
State of Florida Notary Signature (For the Contractor)

SEAL:





12468

Inst: 200208-65 Date: 08/16/2002 Time: 09:23:05  
Doc. # 2002-065 : 157.50  
MCK Doc. # 2002-065 Jason, Columbia County Br 750 P1520

**Warranty Deed**  
Individual to Individual

**THIS WARRANTY DEED made the 16th day of August A.D., 2002**

**Sergio Cartagena, Jr.**  
hereinafter called the grantor, to

**Bob Bakaj, A Single Person**  
whose post office address is: 2726 Westbrook Dr., Franklin Park, Illinois 60131  
hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R03525-214

See Exhibit "A" Attached Hereto And By This Reference Made A Part Hereof.

The described property attached hereto is not the homestead property of the grantor who in fact resides at: P.O. Box 744, Lake City, FL 32056.

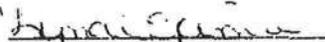
TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

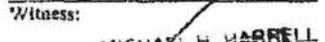
AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2001.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

  
Witness: LYNDI SKINNER

  
Sergio Cartagena, Jr.

  
Witness: MICHAEL H. HARRELL

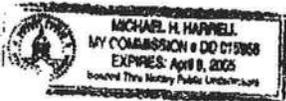
STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 16th day of August, 2002 by Sergio Cartagena, Jr., personally known to me or, if not personally known to me, who produced a Driver's for identification and who did not take an oath.

(Notary Seal)

  
Notary Public

Prepared by:  
Michael H. Harrell  
Abstract & Title Services, Inc.  
382 SW Baya Drive  
Lake City, FL 32025



## EXHIBIT "A"

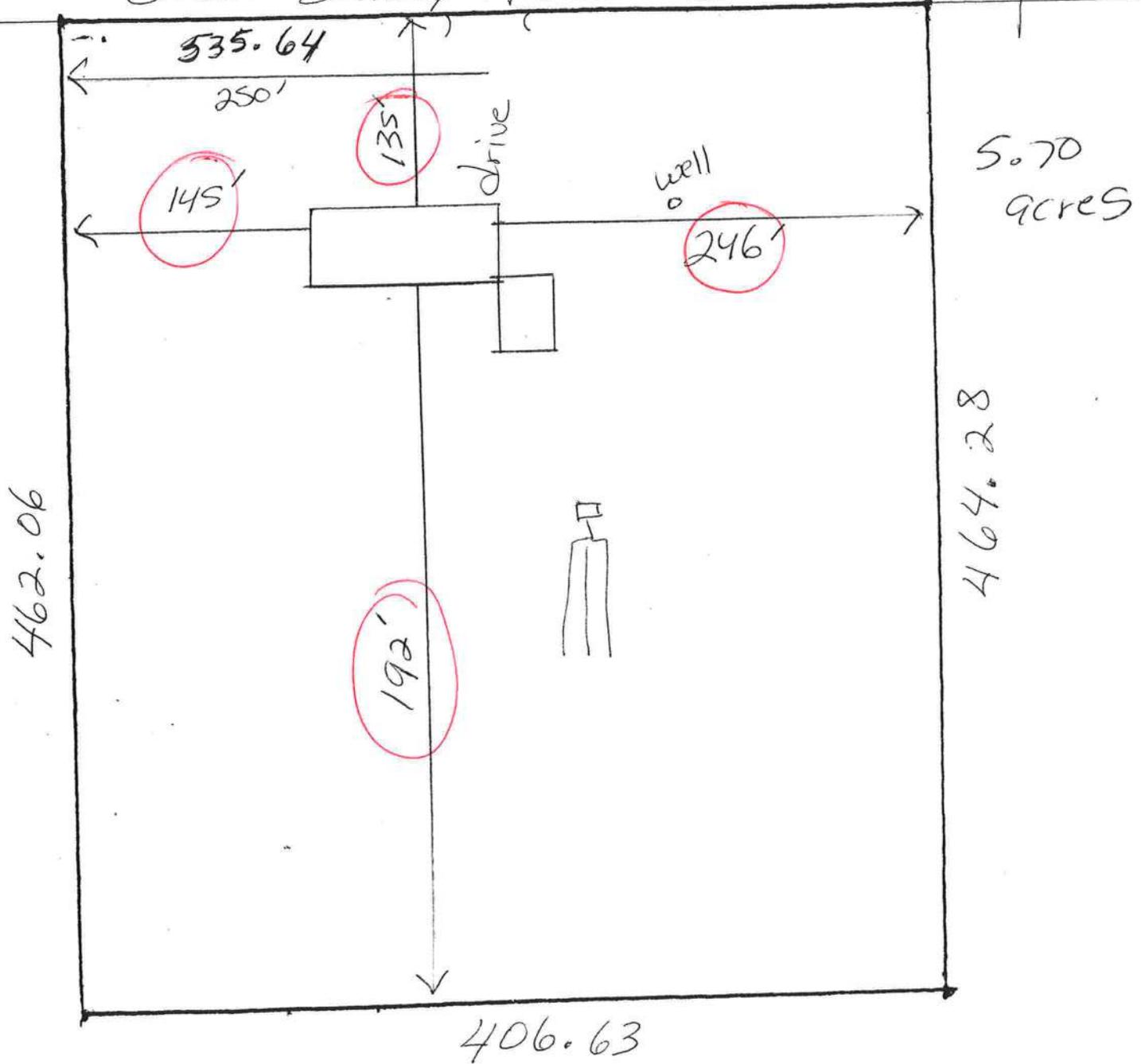
ATS 12468

Commence at the Southeast corner of the SW  $\frac{1}{4}$  of Section 10, Township 5 South, Range 16 East, Columbia County, Florida, and run thence S  $88^{\circ}33'06''$  W, along the South line of said Section 10, 406.63 feet to the Point of Beginning, thence continue S  $88^{\circ}33'06''$  W, along the South line of said Section 10, 462.06 feet, thence N  $1^{\circ}47'07''$  W, 535.64 feet to the centerline of a 60-foot road easement, thence N  $88^{\circ}33'06''$  E, along said centerline, 464.28 feet, thence S  $1^{\circ}32'51''$  E, 535.63 feet to the Point of Beginning. Said lands being subject to a road easement for ingress and egress along the North line thereof, and being a part of Parcel # 4, Sunny Acres Unit III, an unrecorded subdivision in Section 10, Township 5 South, Range 16 East, Columbia County, Florida. Together with a perpetual, non-exclusive easement of ingress and egress over and across the following describer property:

Commence at the Southwest corner of Section 10, Township 5 South, Range 16 East, Columbia County, Florida, and run thence N  $88^{\circ}33'06''$  E, along the South line of said Section 10, 84.35 feet to the East line of Curington Road (a county maintained graded road), thence N  $1^{\circ}39'20''$  W, along said East line 505.64 feet to the Point of Beginning, thence continue N  $1^{\circ}39'20''$  W, along said East line of Curington Road, 60.00 feet to the North line of said easement, thence N  $88^{\circ}33'06''$  E, along said North line, 2156.10 feet to the Point of a Curve of a 100-foot diameter cul-de-sac, thence along the perimeter of said cul-de-sac along a curve concave to the right having a radius of 50 feet and a central angle of  $286^{\circ}15'37''$ . An arc distance of 249.81 feet to the end of said curve and to the South line of said easement, thence S  $88^{\circ}33'06''$  W, along said South line, 2155.74 feet to the Point of Beginning

Bob Bakaj  
10-5 S-16-03525-214

S.W. Sunny Acres GLN easement



# LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave  
Lake City, FL. 32025  
Phone 386-752-6677  
Fax 386-752-1477

Building Permit # \_\_\_\_\_ Owner's Name: Bob Bakaj

Well Depth 100 Ft. Casing Depth 78 Ft. Water Level 36 Ft.

Casing Size 4 inch Steel Pump Installation: Deep Well Submersible

Pump Make Aermotor Pump Model S20-100 1

System Pressure (PSI) On 30 Off 50 Average Pressure 50

Pumping System GPM at average pressure and pumping level 20(GPM)

Tank Installation: Bladder Make Challenger

Model PC 244 Size 81 gallon

Tank Draw-down per cycle at system pressure 25.1 gallons

**I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN  
INSTALLED AS PER THE ABOVE INFORMATION.**

  
Signature

Linda Newcomb  
Print Name

2609  
License Number

03-16-2009  
Date

(0903-28  
Bob Bakaj)

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787.

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 3/17/2009 DATE ISSUED: 3/20/2009

### ENHANCED 9-1-1 ADDRESS:

456 SW SUNNY ACRES GLN  
LAKE CITY FL 32024  
PROPERTY APPRAISER PARCEL NUMBER:  
10-5S-16-03525-214

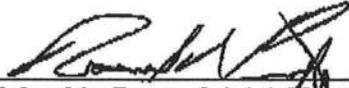
### Remarks:

PART OF PARCEL 4 SUNNY ACRES UNIT III UNREC S/D.

Approved Address

MAR 20 2009

911 Addressing/GIS Dept

Address Issued By:   
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

# LYNCH WELL DRILLING, INC.

173 SW Tustenuggee Ave  
Lake City, FL. 32025  
Phone 386-752-6677  
Fax 386-752-1477

Building Permit # \_\_\_\_\_ Owner's Name: Bob Bakaj

Well Depth 100 Ft. Casing Depth 78 Ft. Water Level 36 Ft.

Casing Size 4 inch Steel Pump Installation: Deep Well Submersible

Pump Make Aermotor Pump Model S20-100 1

System Pressure (PSI) On 30 Off 50 Average Pressure 50

Pumping System GPM at average pressure and pumping level 20(GPM)

Tank Installation: Bladder Make Challenger

Model PC 244 Size 81 gallon

Tank Draw-down per cycle at system pressure 25.1 gallons

**I HEREBY VERIFY THAT THIS WATER WELL SYSTEM HAS BEEN  
INSTALLED AS PER THE ABOVE INFORMATION.**

Linda Newcomb  
Signature

Linda Newcomb  
Print Name

2609  
License Number

03-16-2009  
Date

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>1296-5655F R261</b> Address: City, State: , Owner: Climate Zone: <b>South</b>	Builder: <b>HOMES OF MERIT</b> Permitting Office: <i>Columbia</i> Permit Number: <b>27717</b> Jurisdiction Number: <b>221000</b>
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1. New construction or existing <span style="float:right">New</span> <input type="checkbox"/> 2. Single family or multi-family <span style="float:right">Single family</span> <input type="checkbox"/> 3. Number of units, if multi-family <span style="float:right">1</span> <input type="checkbox"/> 4. Number of Bedrooms <span style="float:right">2</span> <input type="checkbox"/> 5. Is this a worst case? <span style="float:right">Yes</span> <input type="checkbox"/> 6. Conditioned floor area (ft²) <span style="float:right">913 ft²</span> <input type="checkbox"/> 7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default) a. U-factor: <span style="float:right">Description Area</span> (or Single or Double DEFAULT) 7a. (Dble, U=0.5) 178.0 ft² <input type="checkbox"/> b. SHGC: <span style="float:right">7b. (SHGC=0.5) 178.0 ft²</span> <input type="checkbox"/> (or Clear or Tint DEFAULT) 8. Floor types a. Raised Wood, Stem Wall <span style="float:right">R=11.0, 913.0ft²</span> <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 9. Wall types a. Frame, Steel, Exterior <span style="float:right">R=11.0, 1076.0 ft²</span> <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> d. N/A <input type="checkbox"/> e. N/A <input type="checkbox"/> 10. Ceiling types a. Under Attic <span style="float:right">R=37.0, 913.0 ft²</span> <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 11. Ducts(Leak Free) a. Sup: Unc. Ret: Unc. AH: Interior <span style="float:right">Sup. R=6.0, 185.0 ft</span> <input type="checkbox"/> b. N/A <input type="checkbox"/>	12. Cooling systems a. Central Unit <span style="float:right">Cap: 22.0 kBtu/hr</span> <input type="checkbox"/> <span style="float:right">SEER: 13.00</span> <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 13. Heating systems a. Electric Heat Pump/Package <span style="float:right">Cap: 22.0 kBtu/hr</span> <input type="checkbox"/> <span style="float:right">HSPF: 9.00</span> <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 14. Hot water systems a. Electric Resistance <span style="float:right">Cap: 40.0 gallons</span> <input type="checkbox"/> <span style="float:right">EF: 0.92</span> <input type="checkbox"/> b. N/A <input type="checkbox"/> c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) <input type="checkbox"/> 15. HVAC credits <span style="float:right">PT, <input type="checkbox"/></span> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
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Glass/Floor Area: 0.19      Total as-built points: 12437      **PASS**  
 Total base points: 13512

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_  
**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** \_\_\_\_\_  
 Date: \_\_\_\_\_ Permit No. \_\_\_\_\_  
 Approved By: **SCOTT S. FRANCIS**  
**DATE:** \_\_\_\_\_

*Scott S. Francis*  
 Modular Building Plans Examiner  
 Florida License No. 9848-20



# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs  
Residential Whole Building Performance Method A

Project Name: <b>1296-5655F R261</b> Address: City, State: , Owner: Climate Zone: <b>Central</b>	Builder: <b>HOMES OF MERIT</b> Permitting Office: Permit Number: Jurisdiction Number:
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1. New construction or existing <span style="float: right;">New <input type="checkbox"/></span> 2. Single family or multi-family <span style="float: right;">Single family <input type="checkbox"/></span> 3. Number of units, if multi-family <span style="float: right;">1 <input type="checkbox"/></span> 4. Number of Bedrooms <span style="float: right;">2 <input type="checkbox"/></span> 5. Is this a worst case? <span style="float: right;">Yes <input type="checkbox"/></span> 6. Conditioned floor area (ft <sup>2</sup> ) <span style="float: right;">913 ft<sup>2</sup> <input type="checkbox"/></span> 7. Glass type <sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default) a. U-factor: <span style="float: right;">Description Area</span> (or Single or Double DEFAULT) 7a. (Dble, U=0.5) 178.0 ft <sup>2</sup> <input type="checkbox"/> b. SHGC: (or Clear or Tint DEFAULT) 7b. (SHGC=0.5) 178.0 ft <sup>2</sup> <input type="checkbox"/> 8. Floor types a. Raised Wood, Stem Wall <span style="float: right;">R=11.0, 913.0ft<sup>2</sup> <input type="checkbox"/></span> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 9. Wall types a. Frame, Steel, Exterior <span style="float: right;">R=11.0, 1076.0 ft<sup>2</sup> <input type="checkbox"/></span> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> d. N/A <input type="checkbox"/> e. N/A <input type="checkbox"/> 10. Ceiling types a. Under Attic <span style="float: right;">R=37.0, 913.0 ft<sup>2</sup> <input type="checkbox"/></span> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 11. Ducts(Leak Free) a. Sup: Unc. Ret: Unc. AH: Interior <span style="float: right;">Sup. R=6.0, 185.0 ft <input type="checkbox"/></span> b. N/A <input type="checkbox"/>	12. Cooling systems a. Central Unit <span style="float: right;">Cap: 22.0 kBtu/hr <input type="checkbox"/></span> <span style="float: right;">SEER: 13.00 <input type="checkbox"/></span> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 13. Heating systems a. Electric Heat Pump/Package <span style="float: right;">Cap: 22.0 kBtu/hr <input type="checkbox"/></span> <span style="float: right;">HSPF: 9.00 <input type="checkbox"/></span> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 14. Hot water systems a. Electric Resistance <span style="float: right;">Cap: 40.0 gallons <input type="checkbox"/></span> <span style="float: right;">EF: 0.92 <input type="checkbox"/></span> b. N/A <input type="checkbox"/> c. Conservation credits (HR-Heat recovery, Solar DHP-Dedicated heat pump) 15. HVAC credits <span style="float: right;">PT. <input type="checkbox"/></span> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
---	--

Glass/Floor Area: 0.19	Total as-built points: 12077	PASS
	Total base points: 12936	

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

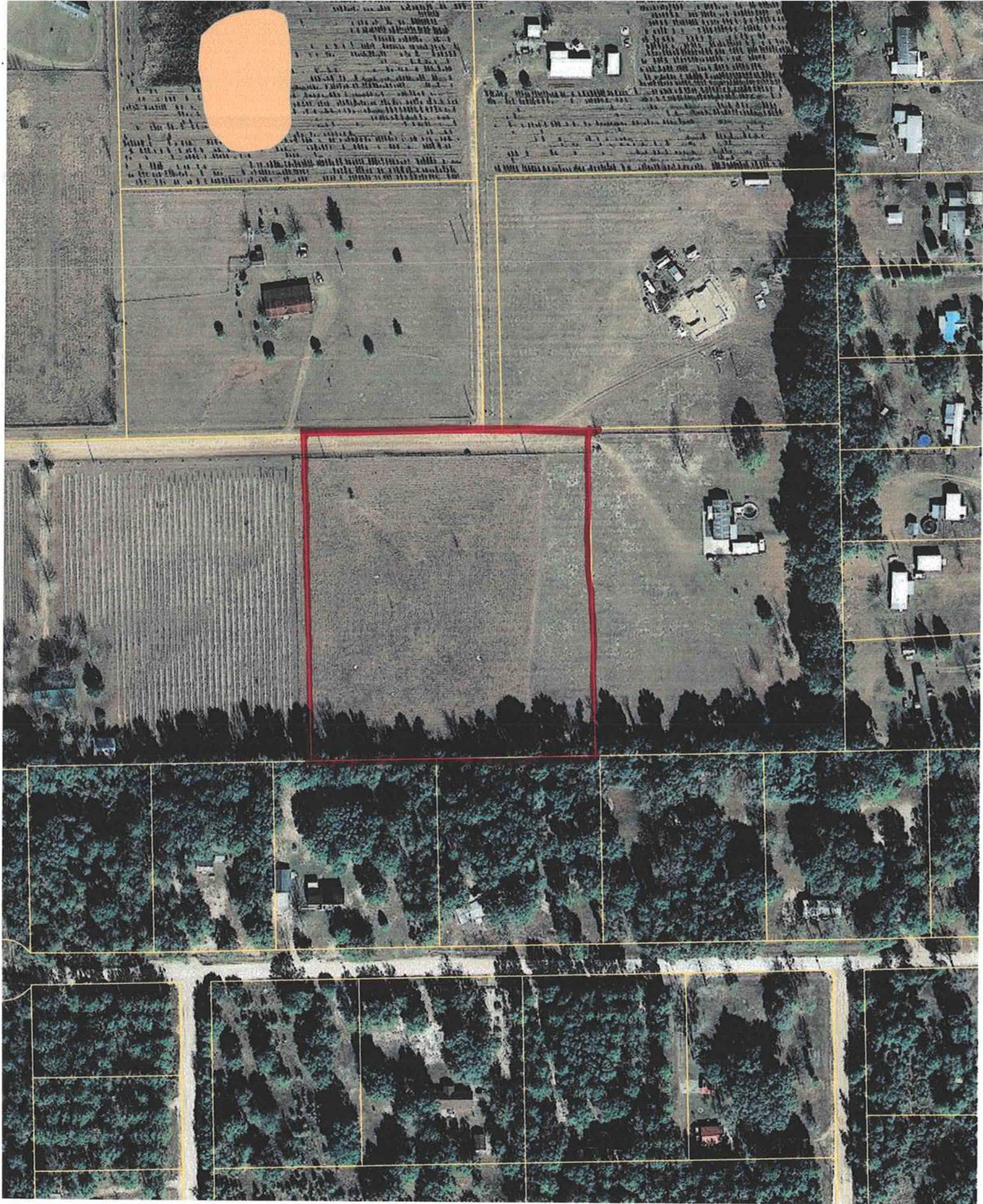
Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



Date: \_\_\_\_\_

**BUILDING OFFICIAL:** Approved By SCOTT S. FRANCIS

**DATE:** \_\_\_\_\_



0903-28

District No. 1 - Ronald Williams  
District No. 2 - Dewey Weaver  
District No. 3 - Jody DuPree  
District No. 4 - Stephen E. Bailey  
District No. 5 - Scarlet P. Frisina



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

March 6, 2009

**M E M O**

**TO: John Kerce, Chief Building Official  
Brian Kepner, County Planner**

**FR: Dale Williams, County Manager**

**RE: Impact Fees – FOR IMMEDIATE ATTENTION**

Effective immediately you are to suspend the collection of impact fees. This suspension was approved by the Board of County Commissioners in their regular meeting of March 5, 2009. The suspension includes those fees levied by both ordinances, general government and schools. The approved suspension is in anticipation of a moratorium to be approved March 19, 2009.

You are also requested to provide a list of all impact fees collected since January 1, 2009. This list should include the following information:

- 1.) the name of the person/business who initially paid the impact fee and the date paid
- 2.) the name of the owner on whose project the impact fee was paid
- 3.) a "breakdown" on the impact collected by category (i.e. corrections, transportation, EMS, fire, school)

For those fees recently collected but not yet deposited, I suggest you hold the checks (I assume no cash was collected) until after the March 19, 2009 Public Hearing to impose a moratorium. You should notify the check issuer of the reason you are holding the check.

DW/pds

**XC: Impact Fees File  
Board of County Commissioners  
Outgoing Correspondence**

(0903-28)

Bob Bakaj

Inst:200912004707 Date:3/23/2009 Time:2:45 PM  
P. DeWitt Cason, Columbia County Page 1 of 1 B:1169 P:1970

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 10-55-16-03525-214

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- 1. Description of property (legal description): part of parcel 4 Sunny Acres Unit III  
a) Street (job) Address: 1540 Sunny Acres Glen
- 2. General description of improvements: modular home
- 3. Owner Information  
a) Name and address: Bob Bakaj 2726 Westbrook Dr. Franklin Park FL 32031  
b) Name and address of fee simple titleholder (if other than owner) \_\_\_\_\_  
c) Interest in property: home site
- 4. Contractor Information  
a) Name and address: Adam Papka POB 1921 Lake City FL 32056  
b) Telephone No.: 623-2383 Fax No. (Opt.) \_\_\_\_\_
- 5. Surety Information  
a) Name and address: NA  
b) Amount of Bond: \_\_\_\_\_  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
- 6. Lender  
a) Name and address: NA  
b) Phone No. \_\_\_\_\_
- 7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: NA  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
- 8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name and address: NA  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_
- 9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): \_\_\_\_\_

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

STATE OF FLORIDA  
COUNTY OF COLUMBIA

NOTARY PUBLIC-STATE OF FLORIDA  
Linda R. Roder  
Commission # DD755608  
Expires: MAR. 24, 2012  
BONDED THRU ATLANTIC BONDING CO., INC.

10. Bob Bakaj  
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager  
Bob Bakaj  
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 23 day of March, 2009 by:

\_\_\_\_\_ as \_\_\_\_\_ (type of authority, e.g. officer, trustee, attorney fact) for Bob Bakaj (name of party on behalf of whom instrument was executed).

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ type \_\_\_\_\_

Notary Signature Linda Roder Notary Stamp or Seal: \_\_\_\_\_

NOTARY PUBLIC-STATE OF FLORIDA  
Linda R. Roder  
Commission # DD755608  
Expires: MAR. 24, 2012  
BONDED THRU ATLANTIC BONDING CO., INC.

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Bob Bakaj  
Signature of Natural Person Signing (in line #10 above.)



0903-28  
Bakas

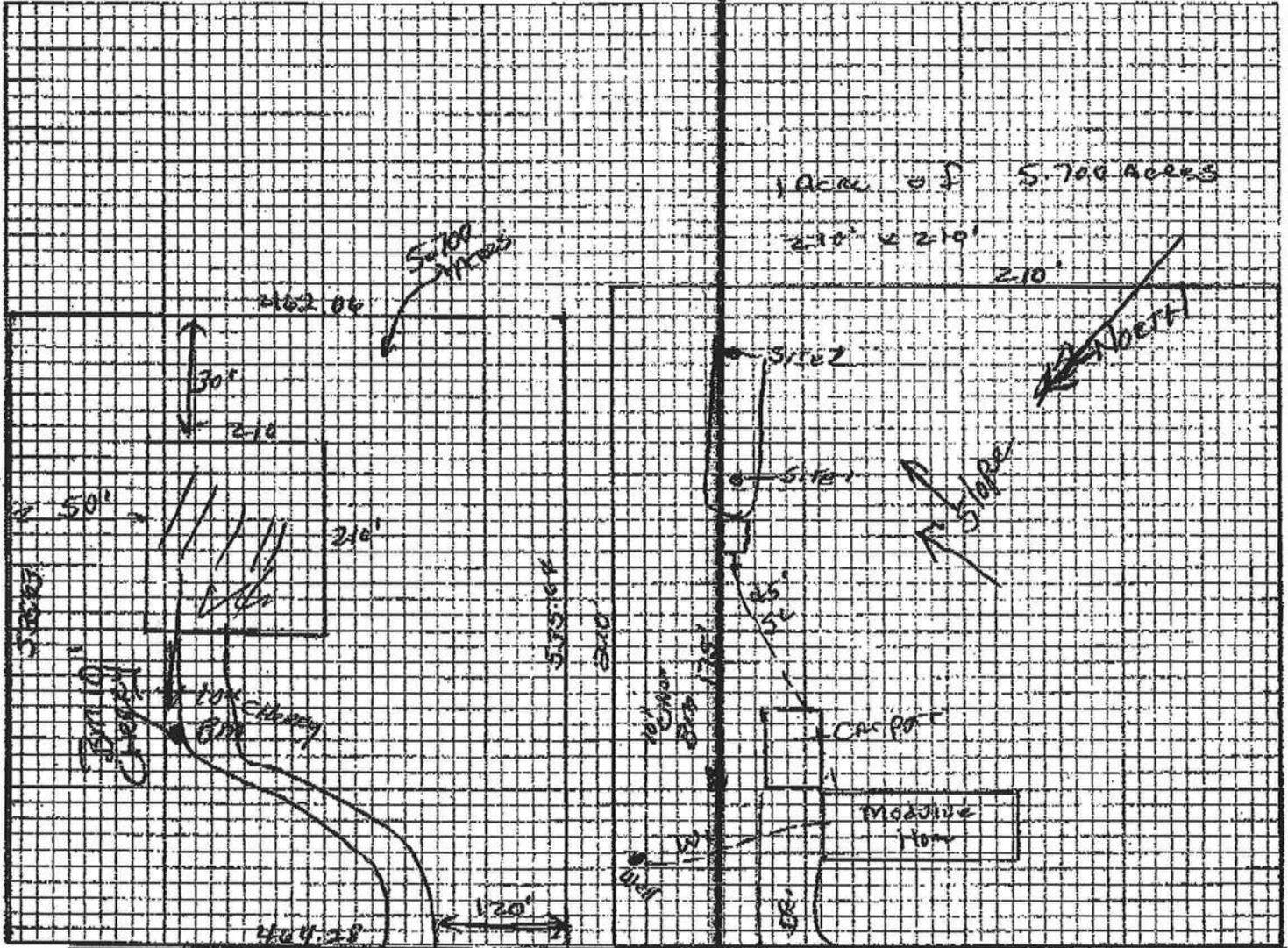
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 09-0151

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: Sunnydale Lane

Bob BAKAS

Part of Lot 4 Unit III Sunny Acres

10-55-16-03525-214

Site Plan submitted by: Robert W. Judd Agent

Plan Approved  Not Approved  Date 3-23-09

By Mark A. Jander Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

D903-28

SAK

09-0151  
914988  
3113/09  
310.00  
11046510



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ON-SITE SEWAGE DISPOSAL SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT  
Chapter 381, FS & Chapter 10D-6, FAC.

**FW**

PERMIT #  
DATE PAID  
FEE PAID \$  
RECEIPT #

APPLICATION FOR:

- New System
- Existing System
- Holding Tank
- Temporary/Experimental
- Repair
- Abandonment
- Other (Specify)

APPLICANT: BOB BAKAJ

TELEPHONE: 755-6372

AGENT: Robert Ford NFST INC

MAILING ADDRESS: 580 NW Gueardon Rd. L.E. Fla. 32055

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. ATTACH BUILDING PLAN AND TO-SCALE SITE PLAN SHOWING PERTINENT FEATURES REQUIRED BY CHAPTER 10D-6, FLORIDA ADMINISTRATIVE CODE.

PROPERTY INFORMATION (IF LOT IS NOT IN A RECORDED SUBDIVISION, ATTACH LEGAL DESCRIPTION OR DEED)

Part of UNIT  
LOT: 4 BLOCK: III SUBDIVISION: SUNNY ACRES DATE OF SUBDIVISION: '90

PROPERTY ID #: 10-53-16-03525-214 [Section/Township/Range/Parcel No.] ZONING: AG

PROPERTY SIZE: 5.700 ACRES [Sqft/43560] PROPERTY WATER SUPPLY:  PRIVATE  PUBLIC

PROPERTY STREET ADDRESS: SUNNYDALE LANE

DIRECTIONS TO PROPERTY: HWY 47 SOUTH TO HWY 240 TR GO TO MAULDIN RD TURN LEFT GO TO SUNNYDALE TL LOT ON RIGHT

BUILDING INFORMATION  RESIDENTIAL  COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	# Persons Served	Business Activity For Commercial Only
1	<u>modular Home S/F</u>	<u>2</u>	<u>1050</u>	<u>1</u>	<u>300 GPD</u>
2					
3					
4					

- Garbage Grinders/Disposals
- Ultra-low Volume Flush Toilets
- Spas/Hot Tubs
- Other (Specify)
- Floor/Equipment Drains

APPLICANT'S SIGNATURE: Robert W. Ford p

DATE: 3/13/09

0903-28

09-0151  
914980  
8/18/09  
310.00  
1107656



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE DISPOSAL SYSTEM  
CONSTRUCTION PERMIT

Authority: Chapter 381, FS & Chapter 10D-6, FAC

PERMIT #  
DATE PAID  
FEE PAID \$  
RECEIPT #

CONSTRUCTION PERMIT FOR:

New System  Existing System  Holding Tank  Temporary/Experimental  
 Repair  Abandonment  Other (Specify)

APPLICANT: Bob BAKAJ AGENCY: Robert Ford NRST inc

PROPERTY STREET ADDRESS: part of Sunnydale Lake

LOT: 4 UNIT BLOCK: III SUBDIVISION: SUNNY ACRES

PROPERTY ID #: 10-55-16-03525-214 [SECTION TOWNSHIP/RANGE/PARCEL NUMBER] [OR TAX ID NUMBER]

SYSTEM MUST BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS AND STANDARDS OF CHAPTER 10D-6, FAC. REPAIR PERMITS AND HOLDING TANK PERMITS EXPIRE 90 DAYS FROM THE DATE OF ISSUE. ALL OTHER PERMITS EXPIRE ONE YEAR FROM THE DATE OF ISSUE. DEPARTMENT OF HEALTH APPROVAL OF SYSTEM DOES NOT GUARANTEE SATISFACTORY PERFORMANCE FOR ANY SPECIFIC PERIOD OF TIME. ANY CHANGE IN MATERIAL FACTS WHICH SERVED AS A BASIS FOR ISSUANCE OF THIS PERMIT REQUIRE THE APPLICANT TO MODIFY THE PERMIT APPLICATION. SUCH MODIFICATIONS MAY RESULT IN THIS PERMIT BEING MADE NULL AND VOID.

SYSTEM DESIGN AND SPECIFICATIONS

T [ 900 ] [ GALLONS / GPD ] SEPTIC TANK/AEROBIC UNIT CAPACITY (MULTI-CHAMBERED) IN SERIES: [ ]  
A [ ] [ GALLONS / GPD ] CAPACITY MULTI-CHAMBERED IN SERIES: [ ]  
N [ ] GALLONS GREASE INTERCEPTOR CAPACITY [ MAXIMUM CAPACITY SINGLE TANK: 1250 GALLONS ]  
K [ ] GALLONS PER DOSE DOSING TANK CAPACITY DOSE RATE [ ] PER 24 HRS NO. OF PUMPS: [ ]

D [ 394 ] SQUARE FEET PRIMARY DRAINFIELD SYSTEM  
R [ ] SQUARE FEET SYSTEM  
A TYPE SYSTEM:  STANDARD  FILLED  MOUND   
I CONFIGURATION:  TRENCH  BED

F LOCATION OF BENCHMARK: HALL PINK RIBBON 10" CHERRY TREE  
I ELEVATION OF PROPOSED SYSTEM SITE [ 0 ] [ INCHES/FT ] [ ABOVE/BELOW ] BENCHMARK/REFERENCE POINT  
E BOTTOM OF DRAINFIELD TO BE [ 30 ] [ INCHES/FT ] [ ABOVE/BELOW ] BENCHMARK/REFERENCE POINT

D FILL REQUIRED: [ 0 ] INCHES EXCAVATION REQUIRED: [ 0 ] INCHES

SPECIFICATIONS BY: Robert W. Jock TITLE: MASTER 5110890475

APPROVED BY: Matt A. Zamb TITLE: Env. Manager Columbia CHD

DATE ISSUED: 3-23-09 EXPIRATION DATE: 9-23-10

Date	Inspection	Inspect.	Owner	Pass	Location	Permit
03/26/09	Mono Slab	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
03/26/09	Set Backs	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
03/27/09	Lintel	Randy	Adam Papka - Bakaj	Not Ready	456 SW Sunny Acres Glen	27717
03/30/09	Recheck Lintel	Randy	Adam Papka - Bakaj	Not Ready	456 SW Sunny Acres Glen	27717
03/30/09	Recheck Lintel	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
03/31/09	Lintel	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
04/06/09	Footer	Harry	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
04/06/09	Set Backs	Harry	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717
04/23/09	Strapping - Modular	Randy	Adam Papka - Bakaj	OK	456 SW Sunny Acres Glen	27717

As of 12-7-09 L. Hodson

Attn: Meggie

**Columbia County Building Department  
Culvert Waiver**

**Culvert Waiver No.  
000001719**

DATE: 03/26/2009 BUILDING PERMIT NO. 27717

APPLICANT ADAM PAPKA PHONE 623-2383

ADDRESS P.O. BOX 1921 LAKE CITY FL 32056

OWNER BOB BAKAJ PHONE 708 253-8114

ADDRESS 456 SW SUNNY ACRES GLEN LAKE CITY FL 32024

CONTRACTOR ADAM PAPKA PHONE 623-2383

LOCATION OF PROPERTY 47S, TR ON CR 240, TL CURRINGTON AVE, TL SUNNY ACRES GLEN,  
3RD LOT ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT SUNNY ACRES

PARCEL ID # 10-5S-16-03525-214

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: [Signature]

A SEPARATE CHECK IS REQUIRED  
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

**PUBLIC WORKS DEPARTMENT USE ONLY**

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

\_\_\_\_\_ APPROVED \_\_\_\_\_ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: Private road

SIGNED: Janell Feagly DATE: 4/2/09

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160



**COLUMBIA COUNTY BUILDING DEPARTMENT  
RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST  
FOR THE FLORIDA RESIDENTIAL BUILDING CODE 2004 with 2005 & 2006  
Supplements and One (1) and Two (2) Family Dwellings**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

**ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current FLORIDA BUILDING CODES and the Current FLORIDA RESIDENTIAL CODE. ALL PLANS OR DRAWING SHALL PROVIDED CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE- AND-TWO FAMILY DWELLINGS.**

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the Residential Code (Florida Wind speed map) SHALL BE USED.**

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

**GENERAL REQUIREMENTS:**

- Two (2) complete sets of plans containing the following:
- All drawings must be clear, concise and drawn to scale, details that are not used shall be marked void
- Condition space (Sq. Ft.) and total (Sq. Ft.) under roof shall be shown on the plans.
- Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents per FBC 106.1.

**Site Plan information including:**

- Dimensions of lot or parcel of land
- Dimensions of all building set backs
- Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.
- Provide a full legal description of property.

**Wind-load Engineering Summary, calculations and any details required:**

- Plans or specifications must meet state compliance with FRC Chapter 3
- The following information must be shown as per section FRC
- Basic wind speed (3-second gust), miles per hour
- Wind importance factor and nature of occupancy
- Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
- The applicable internal pressure coefficient, Components and Cladding The design wind pressure in terms of psf (kN/m<sup>2</sup>), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional.

**Elevations Drawing including:**

- All side views of the structure
- Roof pitch
- Overhang dimensions and detail with attic ventilation
- Location, size and height above roof of chimneys
- Location and size of skylights with Florida Product Approval
- Number of stories
- e) Building height from the established grade to the roofs highest peak

### **Floor Plan including:**

- Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies and raised floor surfaces located more than 30 inches above the floor or grade
- All exterior and interior shear walls indicated
- Shear wall opening shown (Windows, Doors and Garage doors)
- Emergency escape and rescue opening in each bedroom (net clear opening shown)
- Safety glazing of glass where needed
- Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FRC)
- Stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails (see FRC 311)
- Plans must show and identify accessibility of bathroom (see FRC 322)
- All materials placed within opening or onto/into exterior shear walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

### **Foundation Plans Per FRC 403:**

- a) Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.
- b) All posts and/or column footing including size and reinforcing
- c) Any special support required by soil analysis such as piling.
- d) Assumed load-bearing value of soil \_\_\_\_\_ (psf)
- e) Location of horizontal and vertical steel, for foundation or walls (include # size and type)

### **CONCRETE SLAB ON GRADE Per FRC R506**

- Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
- Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports

### **PROTECTION AGAINST TERMITES Per FRC 320:**

- Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or submit other approved termite protection methods. Protection shall be provided by registered termiticides

### **Masonry Walls and Stem walls (load bearing & shear Walls) FRC Section R606**

- Show all materials making up walls, wall height, and Block size, mortar type
- Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement
- **Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect**

### **Floor Framing System: First and/or second story**

- Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer
- Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers
- Girder type, size and spacing to load bearing walls, stem wall and/or piers
- Attachment of joist to girder
- Wind load requirements where applicable
- Show required under-floor crawl space
- Show required amount of ventilation opening for under-floor spaces
- Show required covering of ventilation opening.
- Show the required access opening to access to under-floor spaces
- Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing
- Show Draft stopping, Fire caulking and Fire blocking
- Show fireproofing requirements for garages attached to living spaces, per FRC section R309
- Provide live and dead load rating of floor framing systems (psf).

## **WOOD WALL FRAMING CONSTRUCTION FRC CHAPTER 6**

- Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls.
- Fastener schedule for structural members per table R602.3 (1) are to be shown.
- Show wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing
- Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems.
- Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FRC Table R502.5 (1)
- Indicate where pressure treated wood will be placed.
- Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas
- A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail

### **ROOF SYSTEMS:**

- Truss design drawing shall meet section FRC R802.10 Wood trusses. Include a layout and truss details and be signed and sealed by Fl. Pro. Eng.
- Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters
- Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details
- Provide dead load rating of trusses

### **Conventional Roof Framing Layout Per FRC 802:**

- Rafter and ridge beams sizes, span, species and spacing
- Connectors to wall assemblies' include assemblies' resistance to uplift rating.
- Valley framing and support details
- Provide dead load rating of rafter system.

### **ROOF SHEATHING FRC Table R602,3(2) FRC 803**

- Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing on the edges & intermediate areas

### **ROOF ASSEMBLIES FRC Chapter 9**

- Include all materials which will make up the roof assemblies covering; with Florida Product Approval numbers for each component of the roof assemblies covering.

### **FCB Chapter 13 Florida Energy Efficiency Code for Building Construction**

- Residential construction shall comply with this code by using the following compliance methods in the FBC Subchapter 13-6, Residential buildings compliance methods. Two of the required forms are to be submitted, showing dimensions condition area equal to the total condition living space area
- Show the insulation R value for the following areas of the structure: Attic space, Exterior wall cavity and Crawl space (if applicable)

### **HVAC information shown**

- Manual J sizing equipment or equivalent computation
- Exhaust fans locations in bathrooms

### **Plumbing Fixture layout shown**

- All fixtures waste water lines shall be shown on the foundation plan

### **Electrical layout shown including:**

- Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- Ceiling fans
- Smoke detectors
- Service panel, sub-panel, location(s) and total ampere ratings

- On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type.
- Appliances and HVAC equipment and disconnects
- Arc Fault Circuits (AFCI) in bedrooms
- Notarized Disclosure Statement for Owner Builders
- Notice of Commencement Recorded (in the Columbia County Clerk Office) Notice Of Commencement is required to be filed with the building department Before Any Inspections Will Be Done.

**Private Potable Water**

- Size of pump motor
- Size of pressure tank
- Cycle stop valve if used

**THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

- Building Permit Application: A current Building Permit Application form is to be completed and submitted for all residential projects.
- Parcel Number: The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
- Environmental Health Permit or Sewer Tap Approval: A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
- City Approval: If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
- Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.** A development permit will also be required. The permit cost is \$50.00.
- Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
- 911 Address: If the project is located in an area where the 911 address has been issued, then the proper Paper work from the 911 Addressing Departments must be submitted. (386) 758-1125

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. NOTIFICATION WILL BE GIVEN WHEN THE APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT.

Attn: Joe H.

0903-28

Bakas



P.O. BOX 1606  
BARTOW, FL. 33831

758-2160  
0903-28

**FAX TRANSMITTAL**

To: **LINDA @**  
**386-752-2282**

From: **CURTIS C.**  
Engineering Dept.  
Phone: 863-533-0593  
Fax: 863-534-3639  
Date Sent: **3-18-09**  
Number of pages including cover page: **2**

Message:  
**MANUAL S FOR R261-ULI**

Att: Joeth.

0903-28

# APPLICATION ENGINEERING FOR HEATING AND COOLING

HOMES OF MERIT  
Bartow Air Base  
Bartow, FL 33830

Manufacturer's Model #: R261  
HVAC System Type: OVERHEAD GRAD FLEX FOR UPFLOW (SPLIT A/C)

Prepared By LeSalle Air Systems 8/11/2008 (Method & Output C 2008)  
All rights reserved: this information proprietary to LeSalle Bristol Co. & clients.

Calculations on this page are based on design parameters set forth in ASHRAE and ACCA Manuals J and D.  
Design calculations are based on worst case orientation. Room loads may vary based on actual conditions.

## ENTIRE HOUSE VALUES - DESIGN ZONE: FL- DCA, North

COOLING LOAD:	18,338 Btuh based on outside temp of	94 ° F with inside temp reduced to	75 ° F.
HEATING LOAD:	26,408 Btuh based on outside temp of	17 ° F with inside temp raised to	70 ° F.

## CONSTRUCTION DETAILS & U FACTORS (11-11-37)

TOTAL FLOOR AREA:	894.50 s.f.	TRUE OUTSIDE PERIMETER:	151.00 ft
LOW CEILING HEIGHT:	98 in.	HIGH CEILING HEIGHT:	98 in.
NET WALL AREA:	893.28 s.f.	ROOF:	0.028
TOTAL Thermal Pane	154.74 s.f.	WALLS:	0.001
TOTAL S.G.D.	40.00 s.f.	FLOOR:	0.081
TOTAL French	0.00 s.f.	Thermal I	0.350
TOTAL WINDOW4	0.00 s.f.	S.G.D.	0.330
TOTAL DOOR1 AREA:	20.00 s.f.	French	1.080
TOTAL DOOR2 AREA:	0.00 s.f.	WINDOW	0.790
WINDOW % OF FLOOR	22.02 %	DOOR1:	0.350
WINDOW % OF WALL	16.12 %	DOOR2:	0.360
LATENT GAIN:	3657 Btuh		
		FLOOR DUCTS (U):	0
		ATTIC DUCTS (U):	0.167
		EXT. DUCTS (U):	0.167
		ATTIC DUCT AREA:	0 s.f. exposed
		EXT. DUCT AREA:	0 s.f. exposed
		PEOPLE:	3
		FIREPLACES:	0
		DUCT GAIN:	1018 Btuh
		DUCT LOSS:	1384 Btuh
		SUMMER INFILTR:	89.1 cfm
		WINTER INFILTR:	141.8 cfm

## ROOM BY ROOM VALUES

ROOM NAME	Requirements based on actual house loads without incorporating duct friction losses.			Cooling Air Values for 2 ton unit		Heating Air Values for		10 KW Elec Btuh	Maximum A/C capacity Calibrated Blower Test Btuh
	HEATING LOSS (Btu)	COOLING GAIN (Btu)	CFM DIS	CFM	Btuh	CFM	Btuh		
Living Room	6,087	6,297	250	314	9,488	286	12,808	12,593	10,441
Kitchen/Dining	4,408	3,100	127	152	4,590	138	6,190	6,092	5,061
Bedroom #2	3,110	2,046	84	109	3,298	99	4,450	4,376	3,827
Bath #1	2,403	1,554	63	84	1,822	68	2,685	2,551	2,115
Bedroom #1	6,264	3,457	141	156	4,704	142	6,351	6,244	5,177
Hall	2,988	1,892	84	-	-	-	-	-	-
<b>TOTALS</b>	<b>26,408</b>	<b>18,338</b>	<b>750</b>	<b>795</b>	<b>24,000</b>	<b>724</b>	<b>32,400</b>	<b>31,864</b>	<b>26,412</b>

# R261 INDEX

R261-IND	INDEX PAGE
R261-1	GENERAL NOTES AND SPEC.
R261-2	FLOOR PLAN
R261-3	SHEARWALL, DWV AND DUCT LAYOUTS
R261-4	ELEVATIONS
R261-5	CROSS SECTIONS DETAILS
R261-6	CROSS SECTIONS ENDWALL DETAILS
R261-7	ROOF DIAPHRAGM
R261-8	SHEARWALL LAYOUT
R261-9	SHEARWALL #1 DETAIL
R261-10	SHEARWALL #2 DETAIL
R261-11	SHEARWALL #3 DETAIL
R261-12	FOUNDATION UPLIFT DETAIL
R261-13	PORCH UPLIFT DETAILS
R261-14	WALL STUDS & HEADER REQUIREMENTS
R261-15	FIREPLACE CONSTRUCTION

*GREEN*

Date: 10.14.08 Plan No. 1296-5655F  
 Approved By SCOTT S. FRANCIS

*Scott S. Francis*  
 Modular Building Plans Examiner  
 Florida License No. SMP-42

LISTING  
**AGENCY APPROVAL**  
 These prints comply with the Florida  
 Manufacture's Building Act of 1979  
 Construction Code and adhere to the  
 following criteria:

Const. Type: VB  
 Occupancy: R3  
 Allowable No. of Floors: 130  
 Wind Velocity: 0  
 Fire Rating of Ext. Walls: 40  
 Plan No.: 1296-5655F  
 Allow. Floor Load: 10.14.08  
 Approval Date: 10/14/08  
 Manufacturer: HOM  
 Approved for High Velocity Hurricane Zone: NO  
 HWC  
 COA # 1025



**HOMES OF MERIT, INC.**  
 P.O. BOX 1606  
 BARTOW AIR BASE  
 BARTOW, FLORIDA 33831

Date: 10-6-08	Revisions	Cad#: R261-IND
Dr'n: STAFF		
Code: DCA		
Model: R261 (JUL)		Print: PAGE-INDEX INDEX

**PRODUCT APPROVAL SPECIFICATION SHEET**  
 Manufacturer: Homes of Merit

ELECTRICAL SCHEDULE			PANEL SIZING		
BRKR. NO.	NOMENCLATURE	VOLTS	WIRE CU. MM	DESCRIPTION	KVA
20	1 PORTABLE APPLIANCE	120	12/2 GFCl	FLOOR AREA 899 SF X 3 VA 1000**	2.7
20	2 PORTABLE APPLIANCE	120	12/2 GFCl	2 SMALL APPLIANCES AT 1500 VA./1000=	3.0
20	3 BATH GFI RECEPTS	120	12/2 GFCl	RANGES AT 8.0 KW=	8.0
20	4 GENERAL LIGHTING	120	12/2 AFCl	WATER HEATER AT 28 KW =	28
15	6 SMOKE DETECTOR	120	14/2-14/3 AFCl	WASHER AT 1500 VA./1000	1.5
20	7 OUTSIDE GFI RECEPT	120	12/2 GFCl	DRYER AT 5.0 KW. =	5.0
30 (2P)	8	240	10/3	OPT. GARBAGE DISPOSAL AT 1.4 KW=	1.4
30 (2P)	9	240	10/3	INSTANCE ON	
30 (2P)	10	240	10/3	WATER HEATER	
30 (2P)	11	240	10/3	TOTAL LOAD	51
40 (2P)	12	240	8/3	FIRST 10 KVA AT 100%	10.0
20	13 DISHWASHER	120	12/2	REMAINDER AT 40%	16.4
20	14 GARBAGE DISPOSAL	120	12/2	HVAC AT 100%	15.8
30 (2P)	15 WASHER	120	12/2	TOTAL	42.2
40 (2P)	16 DRYER	240	10/3	TOTAL X 1000	176
60 (2P)	17 A/C UNITS	240	8/3	240	
60 (2P)	18 A/C UNITS	240	6/3	INSTALL 200 AMP PANEL	

Category	Manufacturer	Product Description	Approval #(s)
<b>EXTERIOR DOORS</b>			
Swingling	Dun Barton	Rediuff/Archiver Steel Frame	FT28823
Sliding	Kuro	Vinyl, IG, Sliding Glass Door	FT28852
<b>WINDOWS</b>			
Single Hung	Kuro	Vinyl Vertical Slider	FT9832
<b>PANEL WALL</b>			
Sliding	James Hardie	Hardie Plank	FT9895
Softies	James Hardie	Fiber cement cladding	FT9898
<b>ROOFING PRODUCTS</b>			
Metal Roof	MRCI, L.P.	Craftsman	FT8831.1
Underlayments	Tamko	Asphalt Saturated Organic Felt	FT481.6
Cements-Adhesives-coatings	Tamko	Multipurpose Asphalt Based cement	FT480.1
<b>STRUCTURAL COMPONENTS</b>			
Truss Plates	Mitek	Truss Plate	FT2197.3
Engineered Lumber	Truss Joist	Laminated Strand Lumber	FT630.4

**GENERAL NOTES: 2004 FBC RESIDENTIAL W/2005,2006 + 2007 SUPPLEMENT NFPA 101, 2003**

- OCCUPANT LOAD IS BASED ON 1 PERSON PER 200SQFT OF FLOOR AREA.
- THIS BUILDING HAS NOT BEEN DESIGNED FOR COASTAL HAZARD AREAS, OCEAN HAZARD OR REGULATORY FLOOD PLAIN AREAS.
- PLAN REVIEW AND INSPECTION REQ'D. BY CHAPTER 633 LIFE SAFETY TO BE DONE ON SITE BY LOCAL FIRE SAFETY INSPECTOR.
- THIS BUILDING IS DESIGNED FOR A PERMANENT FOUNDATION AND IS NOT INTENDED TO BE MOVED ONCE INSTALLED.
- THIS BUILDING WILL HAVE DATA PLATE AND STATE INSIGNIAS WITH THIRD PARTY LABELS AFFIXED TO PANEL BOX COVER.
- THE ACTUAL METHODS OF CONSTRUCTION PERFORMED AT THE FACTORY MAY VARY FROM DETAILS SHOWN IN THIS PACKAGE. PROVIDED THE ALTERNATE METHOD USED IS APPROVED AND DETAILS ARE PRESENT IN THE APPROVED FLORIDA CONSTRUCTION MANUALS.
- ALL MATERIALS USED IN THIS CONSTRUCTION OF THE BUILDING WHICH ARE COVERED BY THE FLORIDA BUILDING COMMISSION CHAPTER 9B-72 RULES SHALL HAVE CURRENT FLORIDA PRODUCT APPROVAL.
- "RAISED SEAL PLANS ARE ON FILE AT THIRD PARTY AGENCY'S OFFICE AS DIRECTED BY THE DCA."

**PLUMBING NOTES: 2004 FBC RESIDENTIAL W/2005,2006 + 2007 SUPPLEMENT**

- TUB ACCESS PROVIDED UNDER HOME, UNLESS OTHERWISE NOTED.
- THERMAL EXPANSION DEVICE, IF REQUIRED BY WATER HEATER INSTALLER, AND IF NOT SHOWN ON PLUMBING PLAN, IS DESIGNED AND SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.
- A WATER HAMMER ARRESTOR SHALL BE INSTALLED WHERE QUICK CLOSING VALVES ARE UTILIZED.

**FOUNDATION:**

A LOCAL ARCHITECT/ENGINEER MUST BE CONTACTED TO DESIGN THE APPROPRIATE FOUNDATION PLANS. THE FOUNDATION MUST INCORPORATE ALL PRECAST STRAPS AND ANCHORAGE AS SHOWN ON THE ATTACHED SHEARWALL CALCULATIONS AND DRAWINGS IN ORDER TO COMPLETE THE LOAD PATH ASSOCIATED WITH THE MAIN WIND FORCE RESISTING SYSTEM FOR THIS HOME. ANY VARIATION IN RECOMMENDED CONNECTIONS MUST BE PERFORMED BY A LICENSED ENGINEERING PROFESSIONAL.

**ELECTRICAL NOTES: 2005 NEC**

- HVAC EQUIPMENT SHALL BE PROVIDED WITH READILY ACCESSIBLE DISCONNECTS ADJACENT TO THE EQUIPMENT SERVED. A UNIT SWITCH WITH A MARKED "OFF" POSITION THAT IS A PART OF THE HVAC EQUIPMENT AND DISCONNECTS ALL UNDERGROUND CONDUITORS SHALL BE PERMITTED AS THE DISCONNECTING MEANS WHERE OTHER DISCONNECTING MEANS ARE ALSO PROVIDED BY A READILY ACCESSIBLE CIRCUIT BREAKER.
- PRIOR TO ENERGIZING THE ELECTRICAL SYSTEM THE INTERRUPTING RATING OF THE MAIN BREAKER MUST BE DESIGNED AND VERIFIED AS BEING IN COMPLIANCE WITH SECTION 110-9 OF THE NEC BY LOCAL ELECTRICAL CONSULTANT.
- THE MAIN ELECTRICAL PANEL AND FEEDERS ARE DESIGNED BY OTHERS, SITE INSTALLED AND SUBJECT TO LOCAL JURISDICTION APPROVAL.
- ALL CIRCUITS CROSSING OVER MODULE MATING LINE(S) SHALL BE SITE CONNECTED WITH APPROVED ACCESSIBLE JUNCTION BOXES OR CABLE CONNECTORS.
- IF FOSSIL FUEL APPLIANCES ARE USED, A FIREPLACE OR AN ATTACHED GARBAGE IS INSTALLED, COMBINATION CARBON MONOXIDE/SMOKE DETECTORS MUST BE PROVIDED WITHIN 10 FEET OF SLEEPING ROOMS, PER FL. 9B-3.0472.

**SITE INSTALLED ITEMS:**

NOTE: THAT THIS LIST DOES NOT NECESSARILY LIMIT THE ITEMS OF WORK AND MATERIALS THAT MAY BE REQUIRED FOR A COMPLETE INSTALLATION. ALL SITE RELATED ITEMS ARE SUBJECT TO LOCAL JURISDICTION APPROVAL.

- THE COMPLETE FOUNDATION SUPPORT AND THE DOWN SYSTEM.
- RAMPS, STAIRS AND GENERAL ACCESS TO THE BUILDING.
- PORTABLE FIRE EXTINGUISHER(S).
- BUILDING DRAINS, CLEANOUTS, AND HOOK-UP TO PLUMBING SYSTEM.
- ELECTRICAL SERVICE HOOK-UP (INCLUDING FEEDERS) TO THE BUILDING.
- THE MAIN ELECTRICAL PANEL AND SUB-FEEDERS (MULTI-UNITS ONLY).
- CONNECTION OF ELECTRICAL CIRCUITS CROSSING OVER MODULE MATING LINE(S) - (MULTI-UNITS ONLY).
- STRUCTURAL AND AESTHETIC INTERCONNECTIONS BETWEEN MODULES (MULTI-UNITS ONLY).
- DORMERS, AND ANY OTHER AESTHETIC CONNECTIONS.
- FOUNDATION SILL PLATE ANCHORAGE.
- POTABLE WATER SERVICE, MAIN SHUT OFF VALVE.
- IF HOME IS LOCATED IN WIND BORN DERRIS REGION DENIED IN THE FLORIDA BUILDING CODE, APPROVED OPENING PROTECTION WILL BE REQ'D AND PROVIDED BY OTHERS.

**FOR 130 MPH**

**FLORIDA STRUCTURAL LOAD LIMITATIONS:**

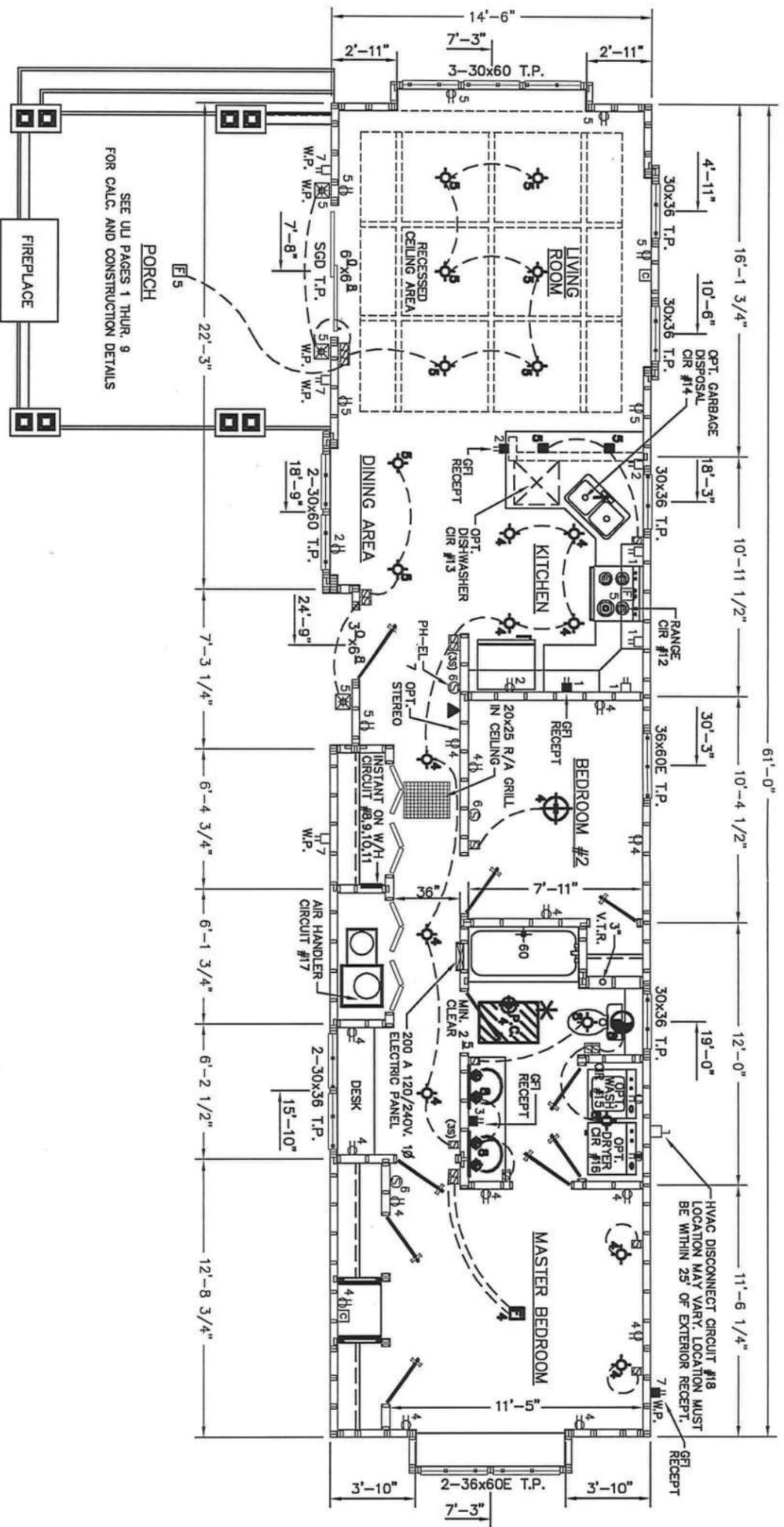
- FLOOR LIVE LOAD: 40 PSF
- ROOF LIVE LOAD: 20 PSF
- WIND LOAD: WIND SPEED (refer to Floor Plan) 130 MPH WIND DISTANCE FACTOR 1.0
- WIND EXPOSURE CATEGORY: "C"
- GCFI = 0.18 INTERNAL PRESSURE CORRECTION.
- D.W.P. FOR C/C PSF
- PSF = ROOF COMPONENT & CLADDING LOAD
- ZONE 1 = 40.1 PSF
- ZONE 2 = 46.7 PSF
- ZONE 3 = 53.3 PSF
- ZONE 4 = 60.0 PSF
- ZONE 5 = 66.7 PSF
- PSF = WALL COMPONENT & CLADDING LOAD.
- WIND VELOCITY: ZONE 4 = 130 PSF ZONE 5 = 140 PSF
- THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
- THE VERTICAL STRUCTURE MAY BE LOCATED IN AN (L)R ZONE 1 OR 2, BUT THE FOUNDATION AND FOUNDATION CONNECTIONS IS LOCATED ABOVE THE BASE FLOOD ELEVATION.

**LISTING**

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CONDITIONS:

ALLOWABLE NO. OF FLOORS: 1-3  
 OCCUPANCY: R-3  
 WIND VELOCITY: 130  
 FIRE RATING OF EXT. WALLS: 1/2  
 PLAN NO.: 1916.8555F  
 APPROVAL DATE: 10/14/08  
 MANUFACTURER: H.O.M.  
 HIGH VELOCITY HURRICANE ZONE: No  
 DCA # 1025

**HOMES OF MERIT, INC.**  
 P.O. Box 1606  
 BARTON, FLORIDA 33531  
 Date: 10-4-08  
 By: Staff  
 Code: DCA  
 Model: R251 (U-1)  
 Phone: 888-1-1  
 Page: 1



**\* NOTE**  
22" x 30" ATTIC ACCESS REQ'D.  
ATTIC ACCESS LIGHT REQ'D.

**SYMBOL LEGEND**

110 RECEPT	340 V RECEPT	HVAC DISCONNECT
G.F.I. RECEPT	G.F.I. W/H	SCORGE LIGHT
THERMOSTAT	W/SWITCH	OPT. STEREO SPEAKER
CAN LIGHT	BULLET LIGHT	BATH FAN
GLOBE LIGHT	BATH FAN WITH LIGHT	SMOKE DETECTOR
BEDROOM LIGHT	STOVE VENT FAN	SINGLE SWITCH
DINING ROOM LIGHT	OVERHEAD OUTSIDE LIGHT	FRESH AIR VENT
OUTSIDE LIGHT	ELECT. PANEL BOX	

**NOTE:**

- HOME DESIGNED FOR MEAN ROOF HEIGHT OF 26 FEET MAXIMUM FOR EXPOSURE C AREA
- ALL INTERIOR PASSAGE DOORS TO BE A MIN. 2'-4" x 6'-8" UNLESS OTHERWISE NOTED.
- HOME MAY BE BUILT IN MIRROR IMAGE.

**INTERIOR FINISH MATERIAL**

CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS. WHEN WATER BASED TEXTURED MATERIAL IS APPLIED AND TRUSSES ARE SPACED 24" O.C. 5/8" GYP. MUST BE USED.

WALL - 1/2" GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

FLOOR - BLOCK TILE OR LINOLEUM MAY BE INSTALLED IN ALL OTHER AREAS.

**VENT NOTE:**

- MINIMUM 50-CFM INTERMITTENT EXHAUST FOR TOILETS.
- MINIMUM 100-CFM INTERMITTENT EXHAUST FOR OVER RANGE.

THIRD PARTY  
HILTON, WENNER, CARTER  
& ASSOCIATES  
1627 SOUTH MYRTLE AVE.  
CLEWMOATER, FL 33756

**LISTING AGENCY APPROVAL**

THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADDRESS TO THE FOLLOWING CRITERIA.

CONTS. TYPE: VB

OCCUPANCY: R-3

ALLOWABLE NO. OF FLOORS: 1/30

WIND VELOCITY: 130

THE RATING OF EXT. WALLS: 1296.576557

PLAN NO.: 101408

APPROVAL DATE: 10/14/08

LOAD: 40

ALLOW. FLOOR: 40

MANUFACTURER: H.O.M.

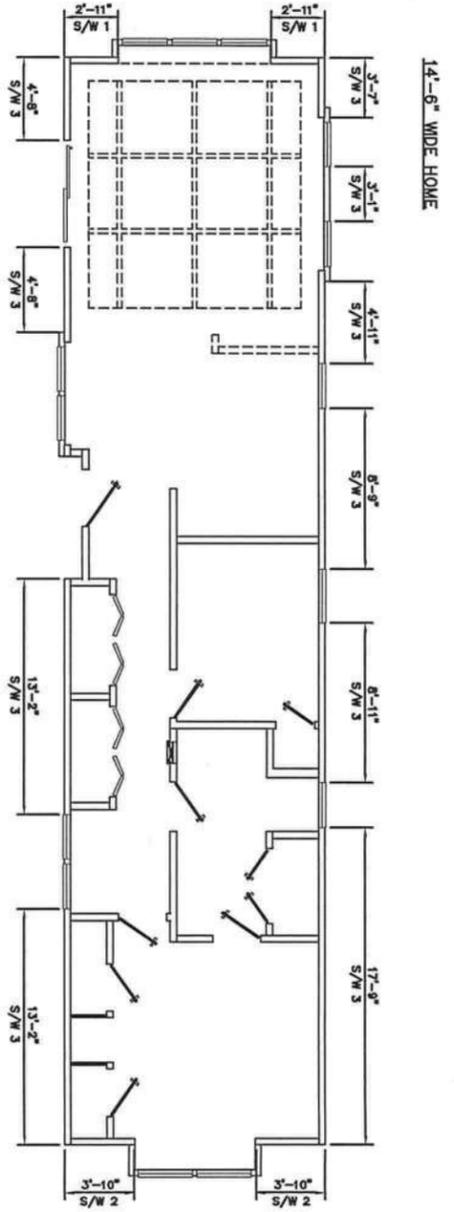
HIGH VELOCITY HURRICANE ZONE: NO

COM # 1025

HOUSES OF MERIT, INC.  
P.O. BOX 1806  
BARTON, FLORIDA 33531

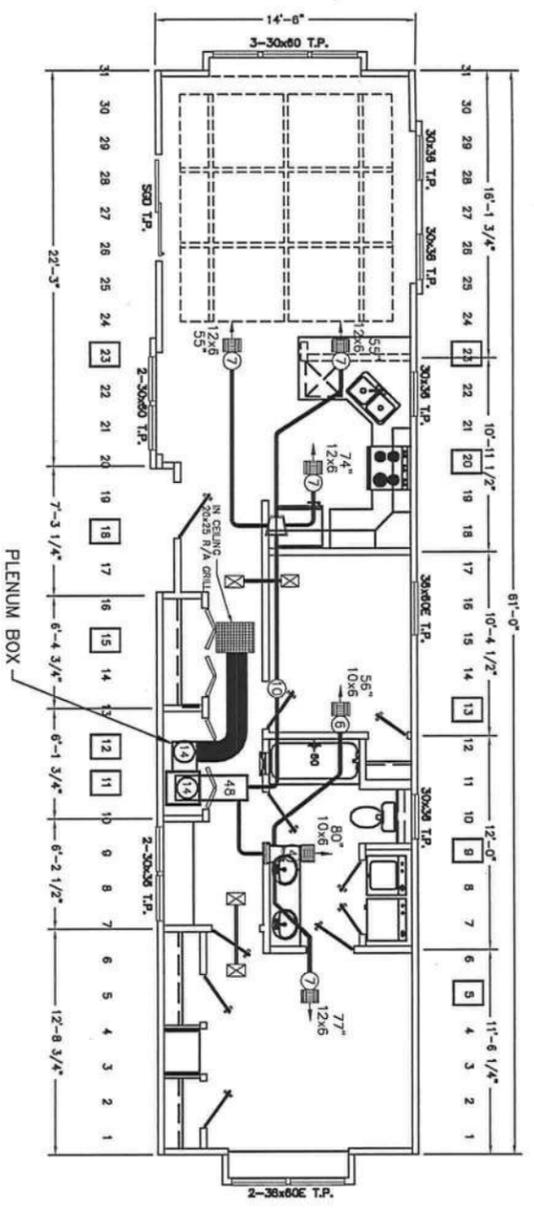
Date: 10-5-08	Model: R281 (du)	Page: 2
Code: DCA		

**SHEARWALL**  
NOT TO SCALE



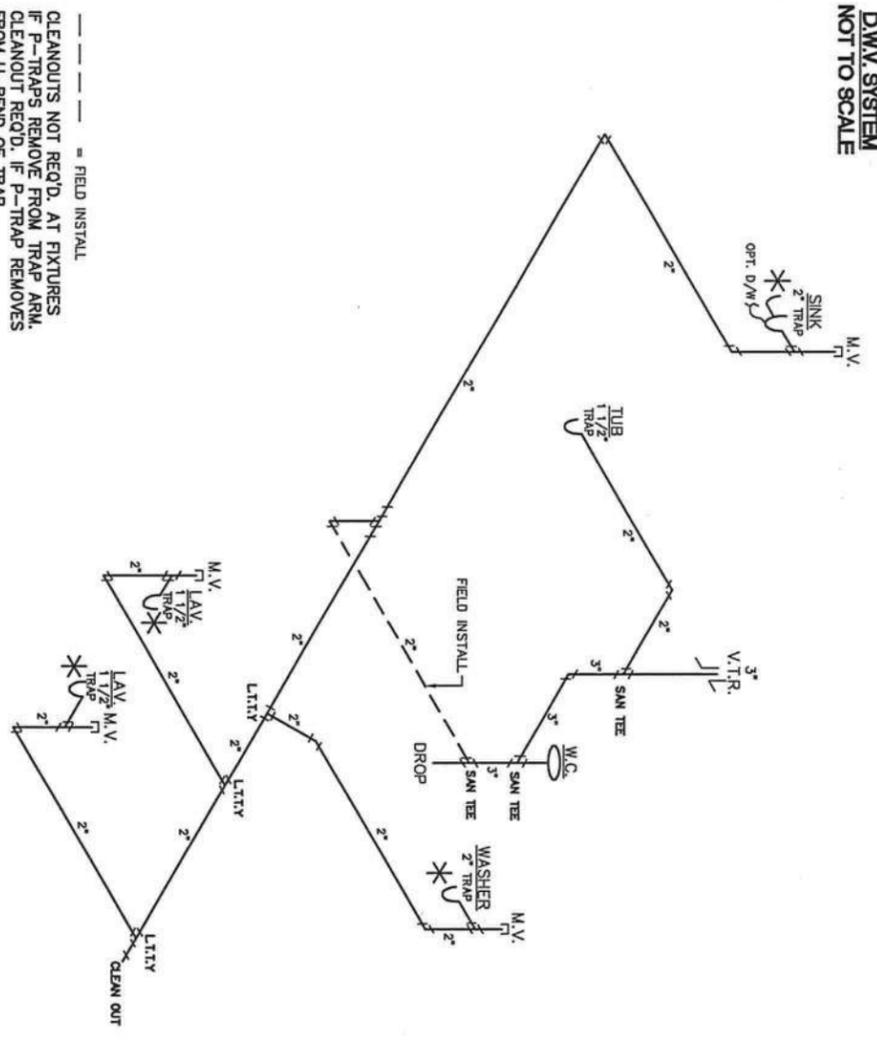
SEE U/I SHEARWALL CALCS AND CONSTRUCTION DETAILS

**DUCT LAYOUT**  
NOT TO SCALE



**BUILDING INSULATION VALUES**  
Floor.....R-11  
Wall.....R-11  
Ceiling.....R-37  
Windows Insulated U-.51

**D.W.M. SYSTEM**  
NOT TO SCALE



----- = FIELD INSTALL  
CLEANOUTS NOT REQ'D. AT FIXTURES  
IF P-TRAPS REMOVE FROM TRAP ARM.  
CLEANOUT REQ'D. IF P-TRAP REMOVES  
FROM U-BEND OF TRAP.

**LISTING**  
AGENCY APPROVAL  
THESE PRINTS COMPLY WITH THE  
FLORIDA MANUFACTURED BUILDING  
ACT OF 1975 CONSTRUCTION CODE  
AND REFERRED TO THE PERMITS  
CENTRAL.

CONTS. TYPE VB  
OCCUPANCY R-3  
ALTERNATE NO. 120  
WIND VELOCITY  
FIRE RATING OF  
EXT. WALLS  
PLAN NO. 1296.56557  
ALLOW. FLOOR  
LOAD 40  
APPROVAL DATE 0.14.08  
MANUFACTURER H.O.M.  
HIGH VELOCITY  
HURRICANE ZONE NO

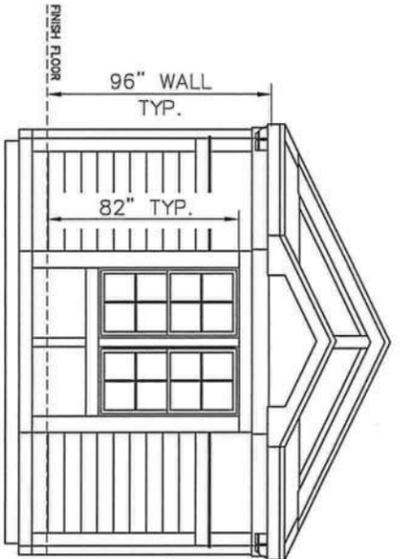
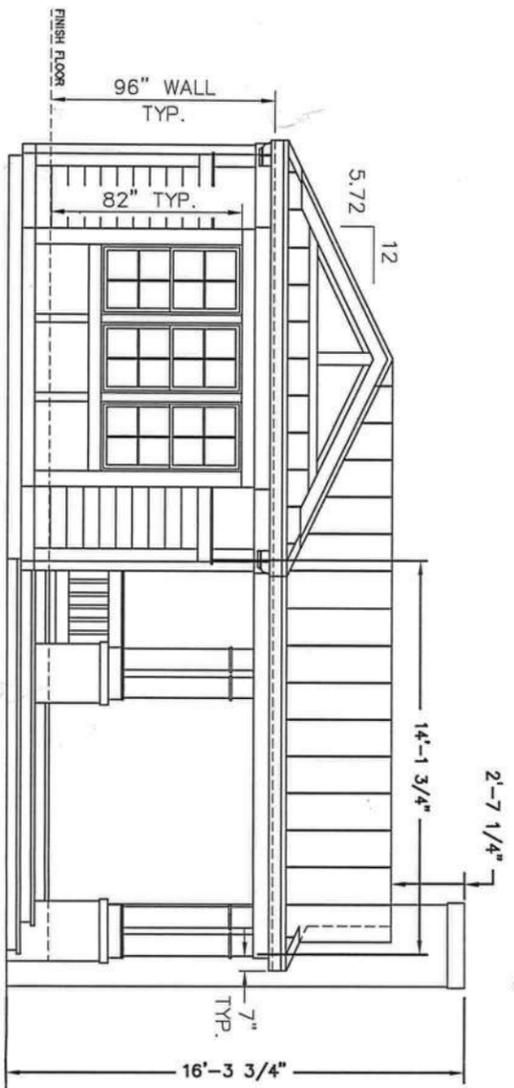
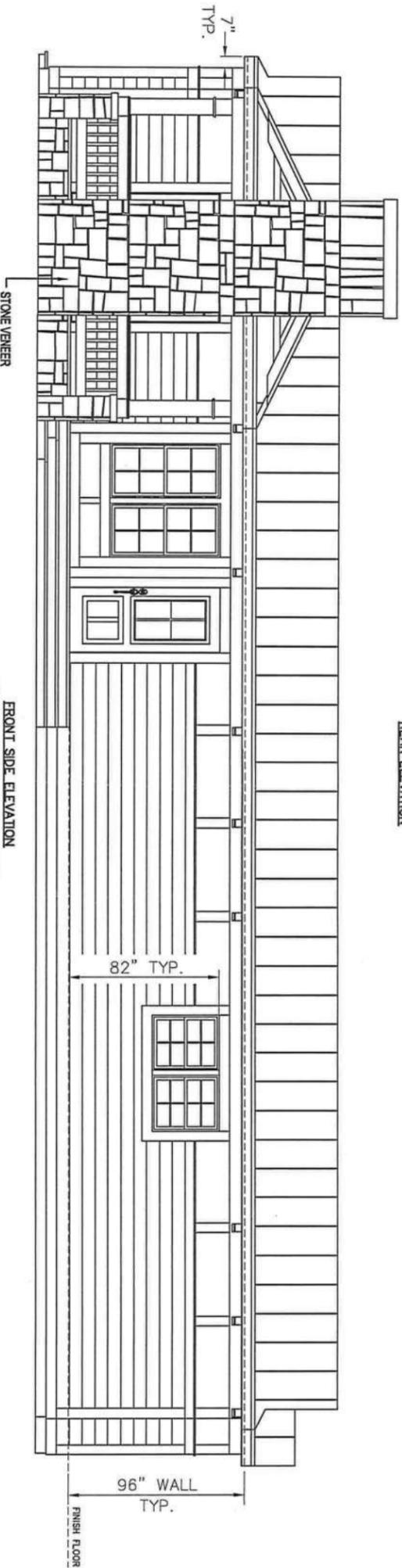
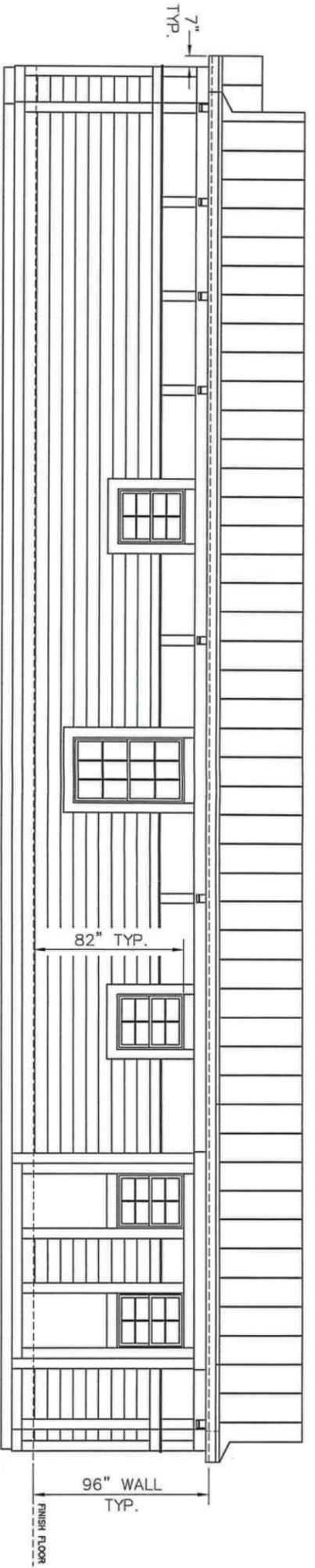
**UWG**  
CON. # 1025

**HOURS OF MERIT, INC.**  
P.O. BOX 1006  
BARTON, FLORIDA 32831

**THIRD PARTY**  
HUBBORN, WERNER, CARTER  
& ASSOCIATES  
1827 SOUTH WYATTE AVE  
CLEMMEN, FL 33756

Date: 10-6-08	Revision	Code: RB3-3
Drawn: STAY		
Code: DCA		
1:30 MPH	Model: R231 (UJ)	Page: PAGE 3





LEFT SIDE ELEVATION  
showing covered outdoor porch

FRONT SIDE ELEVATION  
showing covered outdoor porch

RIGHT SIDE ELEVATION

ELEVATION NOTES:  
SEE CROSS-SECTION FOR METHOD OF ROOF VENTILATION.

STAIR(S) AND HANDRAILS ARE SITE INSTALLED, DESIGNED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

FOUNDATION ENCLOSURE (WHEN PROVIDED) MUST HAVE 1 SQUARE FOOT NET VENT AREA PER 1/150th OF THE FLOOR AREA, AND AN 18"x24" MINIMUM CRAWL SPACE ACCESS SITE INSTALLED BY OTHERS AND SUBJECT TO LOCAL JURISDICTION.

*Handwritten signature*

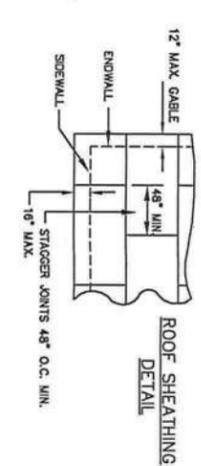
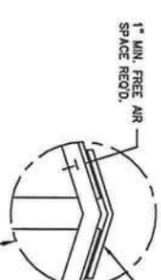
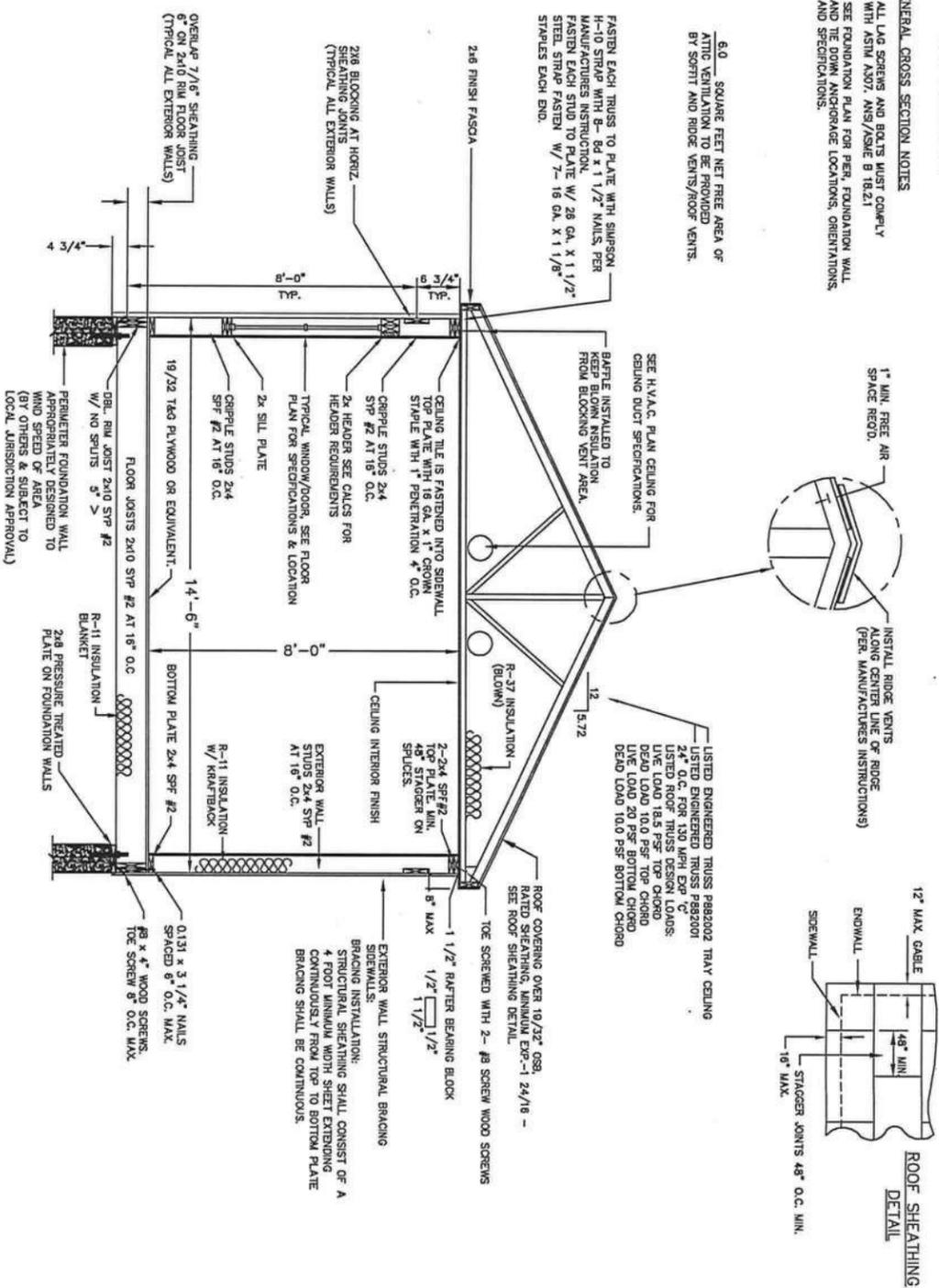
THIRD PARTY  
INSURANCE  
1627 SOUTH MYRTLE AVE.  
CLEARWATER, FL 33756

<b>LISTING AGENCY APPROVAL</b>	
THESE PLANS HAVE BEEN REVIEWED AND APPROVED FOR CONFORMANCE WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND ADHERE TO THE FOLLOWING CRITERIA.	
COUNTS, TYPE	1/2
OCCUPANCY	R-3
ALLOWABLE NO. OF FLOORS	1/2
WIND VELOCITY	130
FIRE RATING OF EXT. WALLS	0
PLAN NO.	296-56515
APPROVAL DATE	10-14-08
MANUFACTURER	AD
HIGH VELOCITY ZONE	AD
HURRICANE ZONE	AD
	
COL # 1025	

<b>HOLMES OF MERITT, INC.</b>	
P.O. BOX 1606 BARTON AIR BASE BARTON, FLORIDA 33531	
Date: 10-6-08	Drawn: SHW
Code: DCA	Check: RSH-1
Model: R241 (U)	Scale: PAGE 4

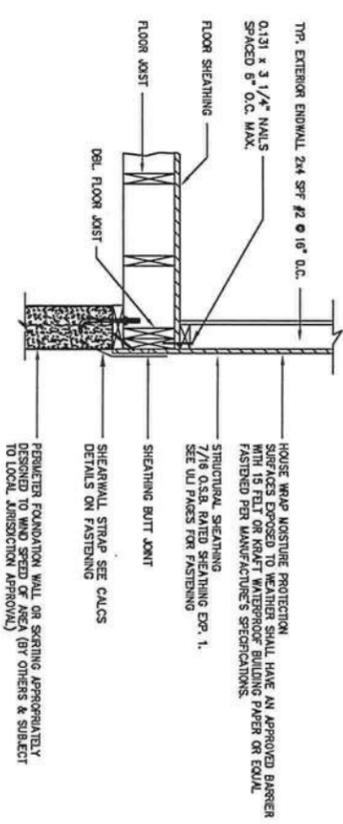
**CROSS SECTION (OFF FRAME)  
NOT TO SCALE**

- GENERAL CROSS SECTION NOTES**
1. ALL LAG SCREWS AND BOLTS MUST COMPLY WITH ASTM A307, A325/ASME B 18.2.1
  2. SEE FOUNDATION PLAN FOR PERM, FOUNDATION WALL AND THE DOWN ANCHORAGE LOCATIONS, ORIENTATIONS, AND SPECIFICATIONS.



SEE PAGE 6 FOR BAY ENDWALL DETAILS

**ENDWALL DETAIL  
NOT TO SCALE**



SEE U1 PAGES 1 THRU 9 FOR CONSTRUCTION DETAILS AND FASTENING

**INTERIOR FINISH MATERIAL**

**CEILING** - 1/2" MINIMUM GYPSUM BOARD FASTENED WITH MINIMUM 50 COOLER NAILS @ 6" O.C. EDGES AND 10" O.C. FIELD.

**WALL** - 1/2" INCH MINIMUM GYPSUM BOARD

**FLOOR** - BLOCK TILE OR LINOLEUM IN BATHROOM AND OTHER WET AREAS CARPET, BLOCK TILE, OR LINOLEUM IN ALL OTHER AREAS. FLOOR FINISH MAY BE FIELD INSTALLED

**EXTERIOR FINISH MATERIAL**

**ROOF** - METAL UP CRAFTSMAN METAL ROOF INSTALLED PER MANUFACTURERS SPECIFICATIONS. METAL SHALL BE INSTALLED OVER 1/2" FELT 2 LAYERS FOR FITCHES ROOF FELD AND 1/2" LAYER FOR 1/2" AND STEEPER. ROOF FELD AND RISE SHALL BE FIELD INSTALLED. ALL FIELD INSTALLED ROOFING MUST BE INSPECTED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

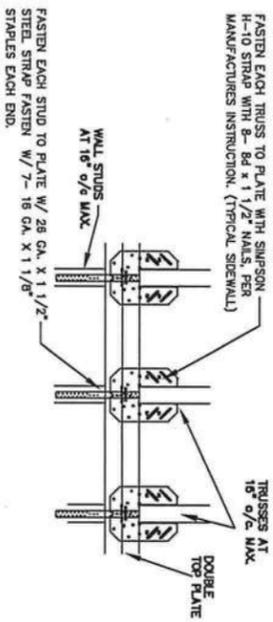
**WALL** - VINYL SIDING UP TO CEILING LINE. BRICK, STUCCO, OR OTHER APPROVED FINISH SITE INSTALLED BY OTHERS, SUBJECT TO LOCAL APPROVAL.

ALL EXTERIOR MATERIALS MUST RESIST STIPULATED WIND LOADS, INCLUDING LARGE MISSILE TEST FOR GLAZED OPENINGS.

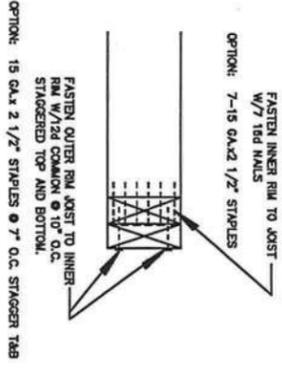
**NOTE:**

**FOUNDATION TO BE DESIGNED BY OTHERS TO BUILDING CODE FOR ACTUAL SITE CONDITIONS AND SUBJECT TO LOCAL CODES AND INSPECTIONS.**

**DOUBLE TOP PLATE DETAIL**



**RIM JOIST FASTENING DETAIL**



**LISTING**

AGENCY APPROVAL	DATE
130	10/14/08
ALLOW FLOOR LOAD	40
MANUFACTURER	H.O.M.
HIGH VELOCITY HURRICANE ZONE	10

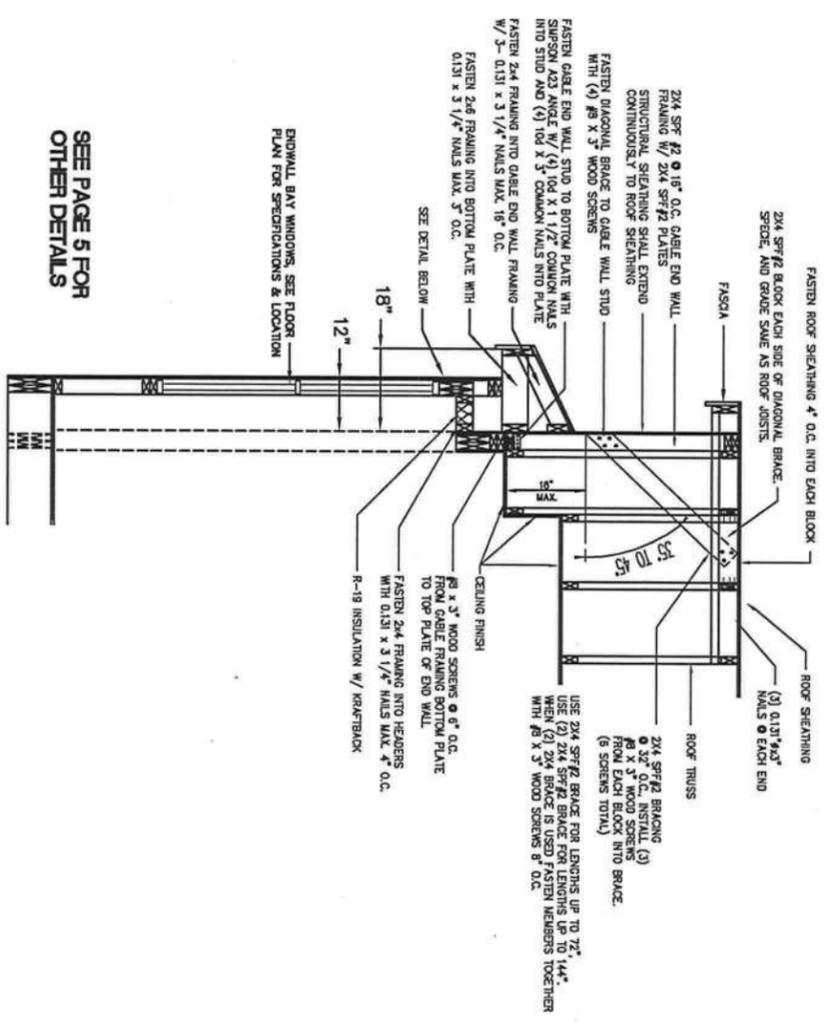


HOUSES OF MERIT, INC.  
P.O. BOX 1006  
BARTON AR BASSE  
BARTON, FLORIDA 33531

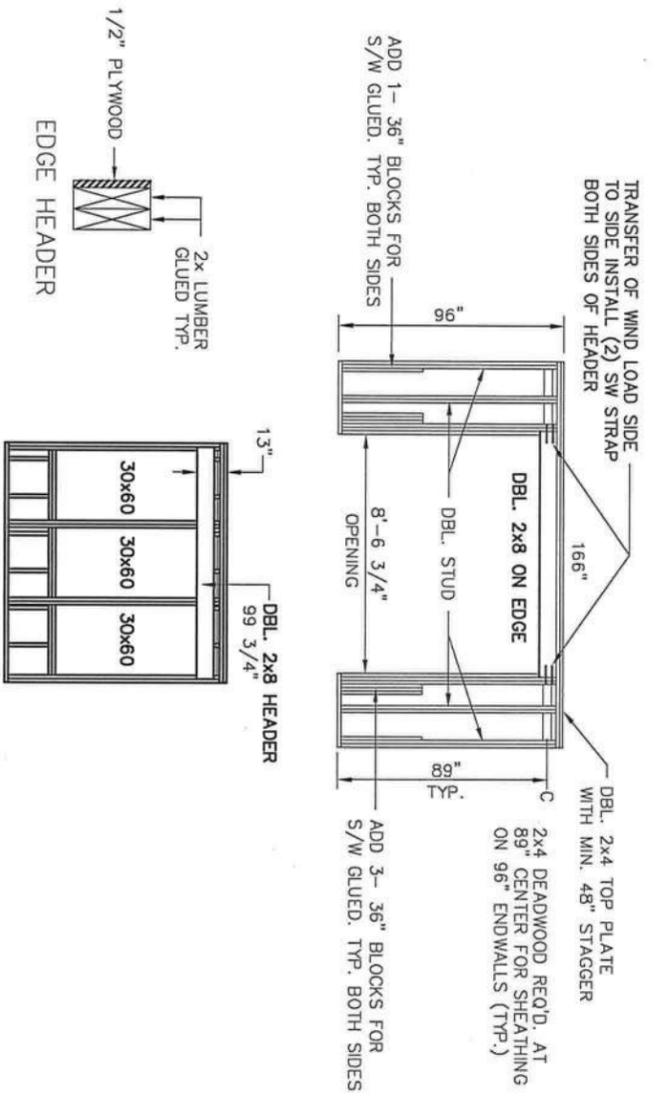
THIRD PARTY  
HILBORN, WENNER, CARTER  
& ASSOCIATES  
1627 SOUTH WINDLE AVE  
CLEWATON, FL 33756

Date	10-14-08	Conf	R01-5
Code	DCA		
Model	R281 (UL)	Trails	

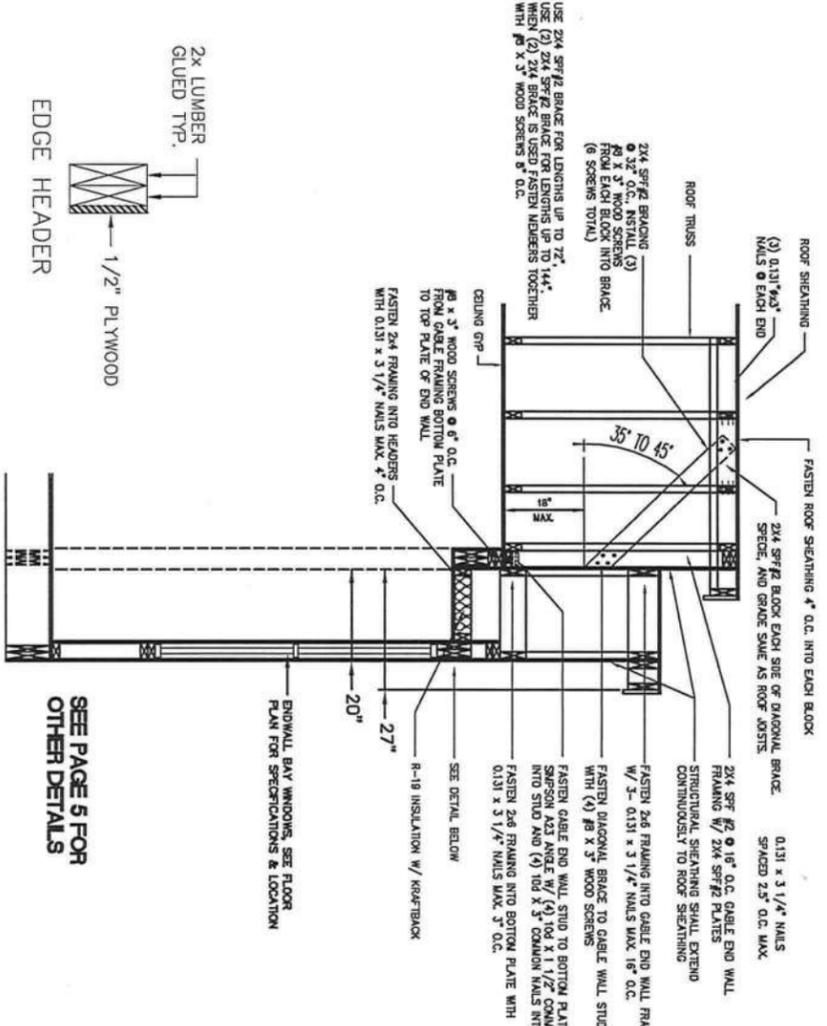




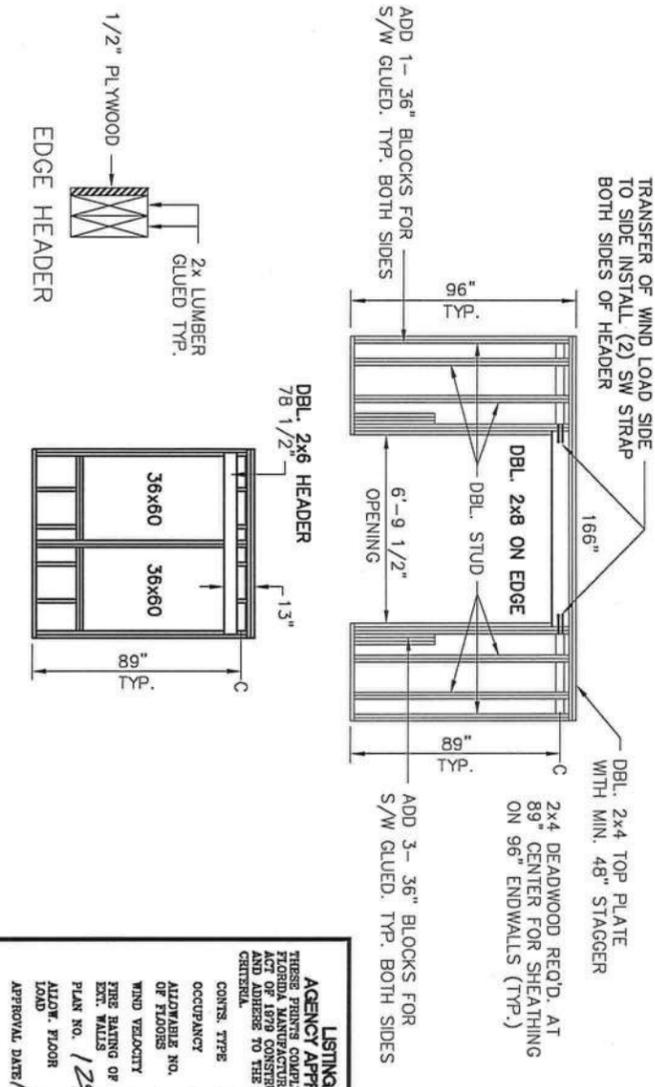
SEE PAGE 5 FOR OTHER DETAILS



LEFT SIDE BOX BAY ENDWALL DETAIL



SEE PAGE 5 FOR OTHER DETAILS



RIGHT SIDE BOX BAY ENDWALL DETAIL

**LISTING**  
 THESE PRINTS COMPLY WITH THE FLORIDA MANUFACTURED BUILDING ACT OF 1979 CONSTRUCTION CODE AND SHALL BE USED TO THE FOLLOWING:

AGENCY APPROVAL  
 CONTS. TYPE: VB  
 OCCUPANCY: R-3  
 ADULTABLE NO. OF FLOORS: 1/30  
 WIND VELOCITY: 1296.56557  
 THE RATING OF EXT. WALLS: 10.14/08  
 PLAN NO.: 1296.56557  
 ALLOW. FLOOR LOAD: 40  
 APPROVAL DATE: 10.14.08  
 MANUFACTURER: J.O.M.  
 HIGH VELOCITY HURRICANE ZONE: No

**UWG**  
 COL. # 1025

THIRD PARTY  
 HIGBORN, WENGER, CARTER  
 & ASSOCIATES  
 1627 SOUTH MARLETTE AVE.  
 CLEARWATER, FL 33756

**HOLMES OF MERITT, INC.**  
 P.O. BOX 1606  
 DUNEDIN FLORIDA 33511

DATE: 10-6-08  
 DATE: 10-6-08  
 CODE: DCA

130 MPH      Model: R201 (11)      PAGE 6

*Handwritten signature/initials*

FASTENERS SPACED 4" O.C. AT DIAPHRAGM EDGES, 6" O.C. AT OTHER EDGES AND 12" O.C. IN FIELD.

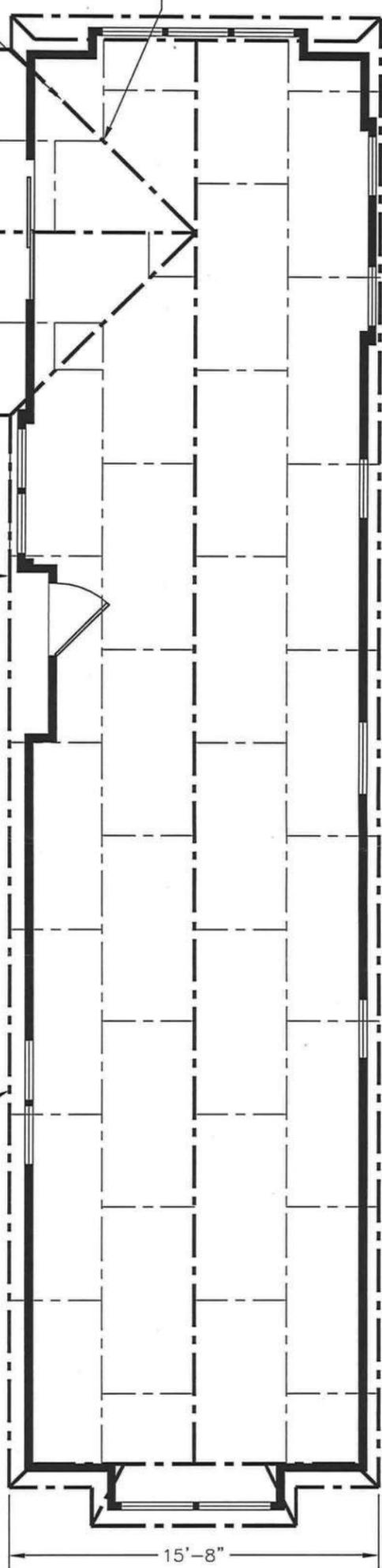
2'-0" MIN. BLOCKED

57'-0" UNBLOCKED

FASTENERS SPACED 6" O.C. AT DIAPHRAGM EDGES AND 12" O.C. IN FIELD.

2'-0" MIN. BLOCKED

FASTENERS SPACED 4" O.C. AT DIAPHRAGM EDGES, 6" O.C. AT OTHER EDGES AND 12" O.C. IN FIELD.



FASTEN SHEATHING TO VALLEY CHORD WITH 0.131x2 1/2" NAILS @ 4" O.C.

FASTEN 2x Laid Flat Valley Chord Member to Each Truss with (2) 0.131x3 1/4" Nails.

SEPARATE BOX FOR PORCH ADD-ON.

FASTENERS SPACED 6" O.C. AT DIAPHRAGM EDGES AND 12" O.C. IN FIELD. 14'-2" UNBLOCKED

2x4 #2 SYP (CHORD SPLICE WITH 2x4 12" LONG, USE 80% PVA GLUE AND (5) 3/8"x2 1/2"x15GA. STAPLES EACH SIDE)

SEE PAGES 7 FOR PORCH CONSTRUCTION DETAILS

DESIGN PROFILE:	
SEISMIC ZONE:	A
WIND SPEED:	130 MPH
EXPOSURE:	C
MEAN ROOF HT.:	12'-9"
ROOF PITCH:	5 1/4 / 12
WALL HEIGHT:	96 IN.

**NOTES:**

- USE 7/8" RATED SHEATHING
- FASTENERS SHALL BE 0.131 NAILS (MIN.) 6" O.C. AT SUPPORTED EDGES & 12" O.C. IN FIELD.
- DIAPHRAGM WITH SYP FRAMING RATED FOR: 297 PLF UNBLOCKED PER NDS-2001 437 PLF BLOCKED PER NDS-2001

**AGENCY APPROVAL**

These prints comply with the Florida Manufacture Building Act of 1979 Construction Code and adhere to the following criteria:

Const. Type: 1B  
 Occupancy: 130  
 Allowable No. of Floors: 1  
 Wind Velocity: 130  
 Fire Rating of Exit Stairs: 0  
 Plan No.: 1296-5655F  
 Allow. Floor Load: 70  
 Approval Date: 10.14.08  
 Manufacturer: H&M  
 Approved for High Velocity Hurricane Zone: No  
 H/W/C: COA # 1085

-CALCULATIONS OUTLINE THE MWFRS (PER ASCE7-05) ONLY. REFERENCE STATE APPROVED DESIGN MANUAL FOR ADDITIONAL STRUCTURAL INFORMATION

-FOUNDATION DESIGN PERFORMED BY OTHERS BASED ON SITE CONDITIONS AND MUST ACCOMMODATE ALL UPLIFT AND LATERAL FORCES AS NOTED.



ENGINEERS / ARCHITECTS SEAL

*Handwritten signature*

APPROVERS SEAL

MODIFICATIONS

TITLE: **ROOF DIAPHRAGM**  
MWFRS

MODEL: **ULI**

DATE: 10/03/08 SCALE:  
DRAWN BY: CORP. CHECKED BY:  
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP C)  
SHEET NO.: **R261-7**

PAGE: **1 OF 9**

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ENGINEERS' / ARCHITECT'S SEAL

*[Handwritten Signature]*

APPROVER'S SEAL

**GENERAL NOTES**

1. SHEATHING SHALL BE  $\frac{7}{8}$ " RATED SHEATHING. ALL LOADS ARE WIND ONLY RATED. ENDWALL FASTENING (824 PLF):  
0.131x2 $\frac{1}{2}$ " (1 $\frac{1}{2}$ " MIN. EMBED.) NAILS AT 2" O.C. STAGGERED ALL EDGES AND 12" O.C. FIELD. FRAMING AT ADJOINING PANEL EDGES SHALL BE MINIMUM 3" NOMINAL. THIS IS ACHIEVED BY ATTACHING (2) 2x'S WITH 90% GLUED SURFACES AND (2) ROWS OF 0.131x3 $\frac{1}{2}$ " NAILS AT 6" O.C.
2. ANY MODIFICATION TO THE SHEARWALLS SPECIFIED ON PLAN MUST HAVE PRIOR ENGINEERING APPROVAL.

**AGENCY APPROVAL**

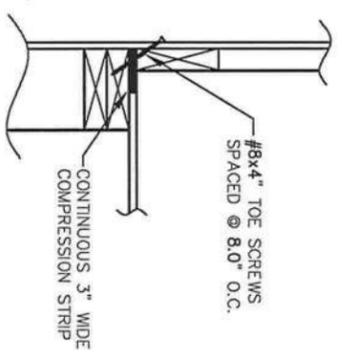
These prints comply with the Florida Building Code and adhere to the following criteria:

District Type: RS  
 Occupancy: 130  
 Allowable No. of Floors: 12  
 Wind Velocity: 120  
 Fire Rating of Ext. Walls: 0  
 Plan No.: 12165055F  
 Allow. Floor Load: 40  
 Approval Date: 10-14-08  
 Manufacturer: ULI  
 Approved for High Velocity Hurricane Zone: No

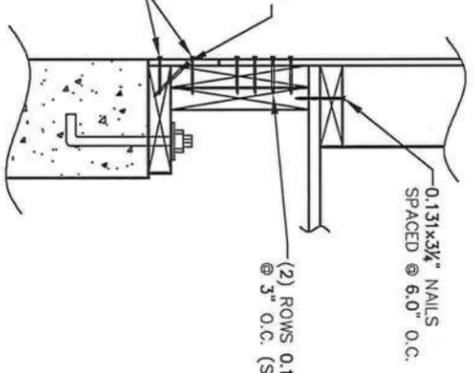
H/W/C  
COA # 1086

TOE-NAIL 0.131"x3 $\frac{1}{2}$ " AT 8.0' O.C.  
NOTE: THIS CONNECTION DOES NOT ACCOMMODATE FOUNDATION SOIL PRESSURE AS OUTLINED IN IRC 2006

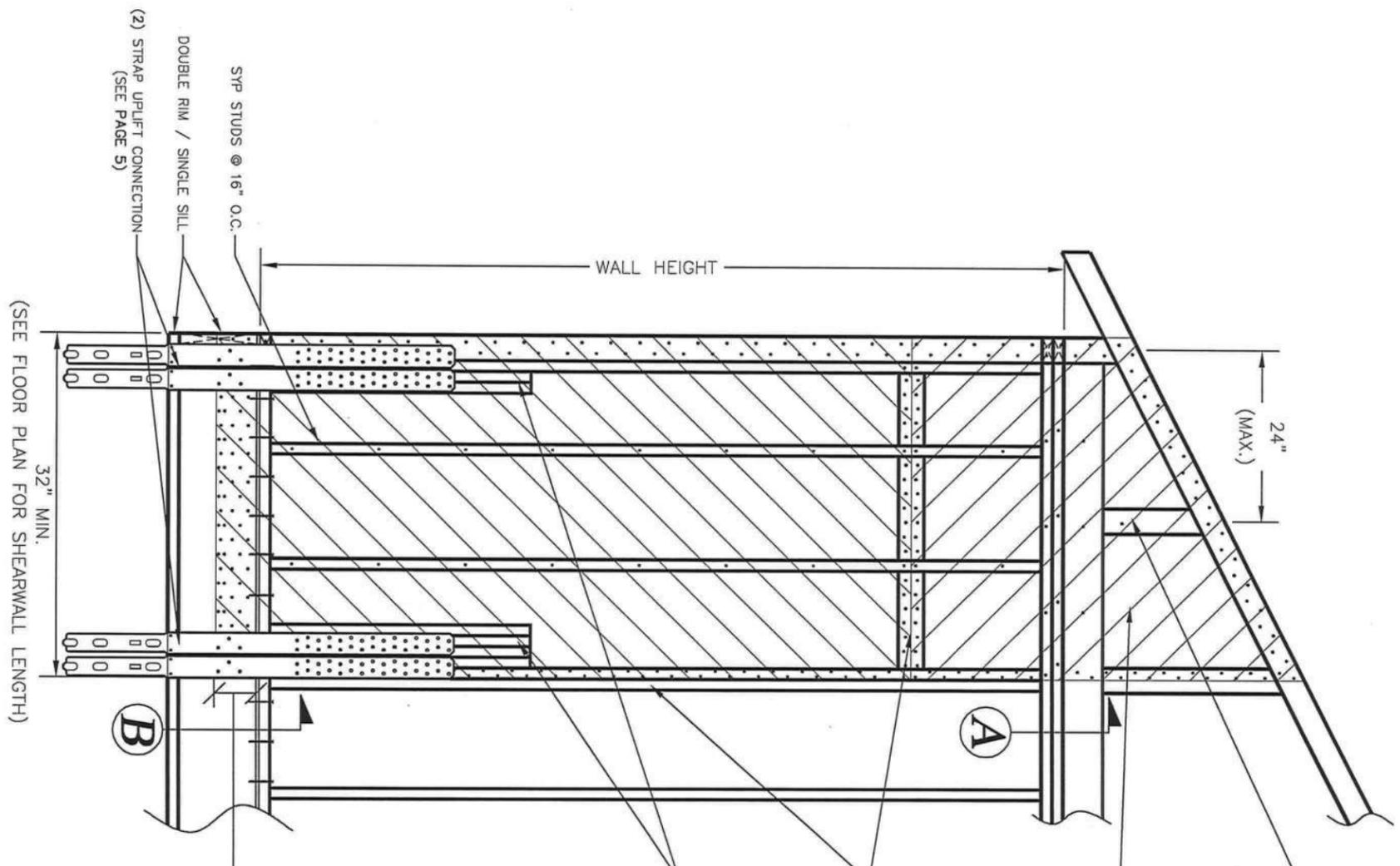
FASTEN WITH RATED SHEATHING TO PERIMETER JOIST AND TO SILL W/  
(1) ROW 0.131x3 $\frac{1}{2}$ " NAILS (STAGGERED) @ 4.0' O.C.



**A TRUSS TO TOP PLATE**  
FASTEN SCREWS BEFORE SHEATHING IS APPLIED



**B BOTTOM PLATE TO RIM JOIST**



BLOCK TRUSS CAVITY AT 16" O.C. WHEN CLEAR DISTANCE FROM TOP CHORD TO BOTTOM CHORD EXCEEDS 16"

THE END TRUSS ABOVE A SHEARWALL SHALL BE SHEATHED ON EXTERIOR SIDE WITH RATED SHEATHING. ALL SEAMS SHALL BE BLOCKED WITH 3x LUMBER AND FASTENED SAME AS SHEARWALL FASTENING.

ALL SEAMS TO HAVE 3x LUMBER BLOCKING FASTENED PER EDGE FASTENING REQUIREMENTS.

STUDS AS REQUIRED FOR UPLIFT STRAP LOCATION FLEXIBILITY. 36" LENGTH (MIN.) 90% 0.131x2 $\frac{1}{2}$ " NAILS AT 6" O.C.

OVERLAP SHEATHING ON END JOIST 6" MINIMUM. NAIL TO RIM JOIST WITH 0.131x2 $\frac{1}{2}$ " NAILS PER DETAIL B.

32" MIN.  
(SEE FLOOR PLAN FOR SHEARWALL LENGTH)

NOTE: STRENGTH DATA FOR SHEARWALL CAPACITY TAKEN FROM NDS 2001 WITH 40% WIND LOAD INCREASE.

MODIFICATIONS

TITLE:  
**824 PLF (SW1)  
SHEARWALL DETAIL**

MODEL:  
**ULI**

DATE: 10/03/08 SCALE:  
DRAWN BY: CORP. CHECKED BY:  
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP G)  
SHEET NO.:  
**R261-9**

PAGE: 3 OF 9

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ENGINEERS / ARCHITECTS SEAL

*Garrett*

APPROVERS SEAL

- GENERAL NOTES**
- SHEATHING SHALL BE 7/8" RATED SHEATHING. THE FOLLOWING LOADS ARE WIND ONLY RATED.
    - ENDWALL FASTENING (219 PLF): 7/8"x1 3/4"x15GA. STAPLES AT 6" O.C. ALL EDGES AND 12" O.C. FIELD. FRAMING AT ADJOINING PANEL EDGES SHALL BE MINIMUM 2" NOMINAL.
  - ANY MODIFICATION TO THE SHEARWALLS SPECIFIED ON PLAN MUST HAVE PRIOR ENGINEERING APPROVAL.

UPLIFT/OVERTURNING FASTENING	
SHEATHING PANEL LENGTH (ft.)	ENDWALL (219 PLF) ROWS OF STAPLES (N)
32-39	2
40-55	2
56-71	2
72-95	2
96-125	2
126-151	2
152-182	2

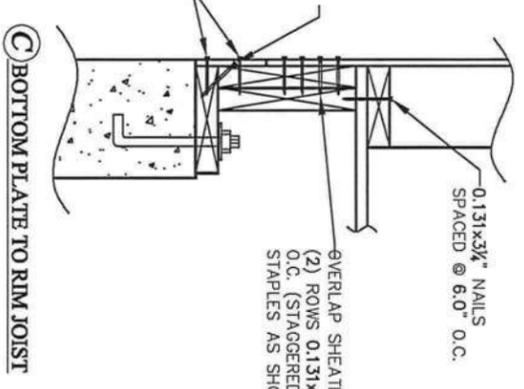
**LISTING AGENCY APPROVAL**

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

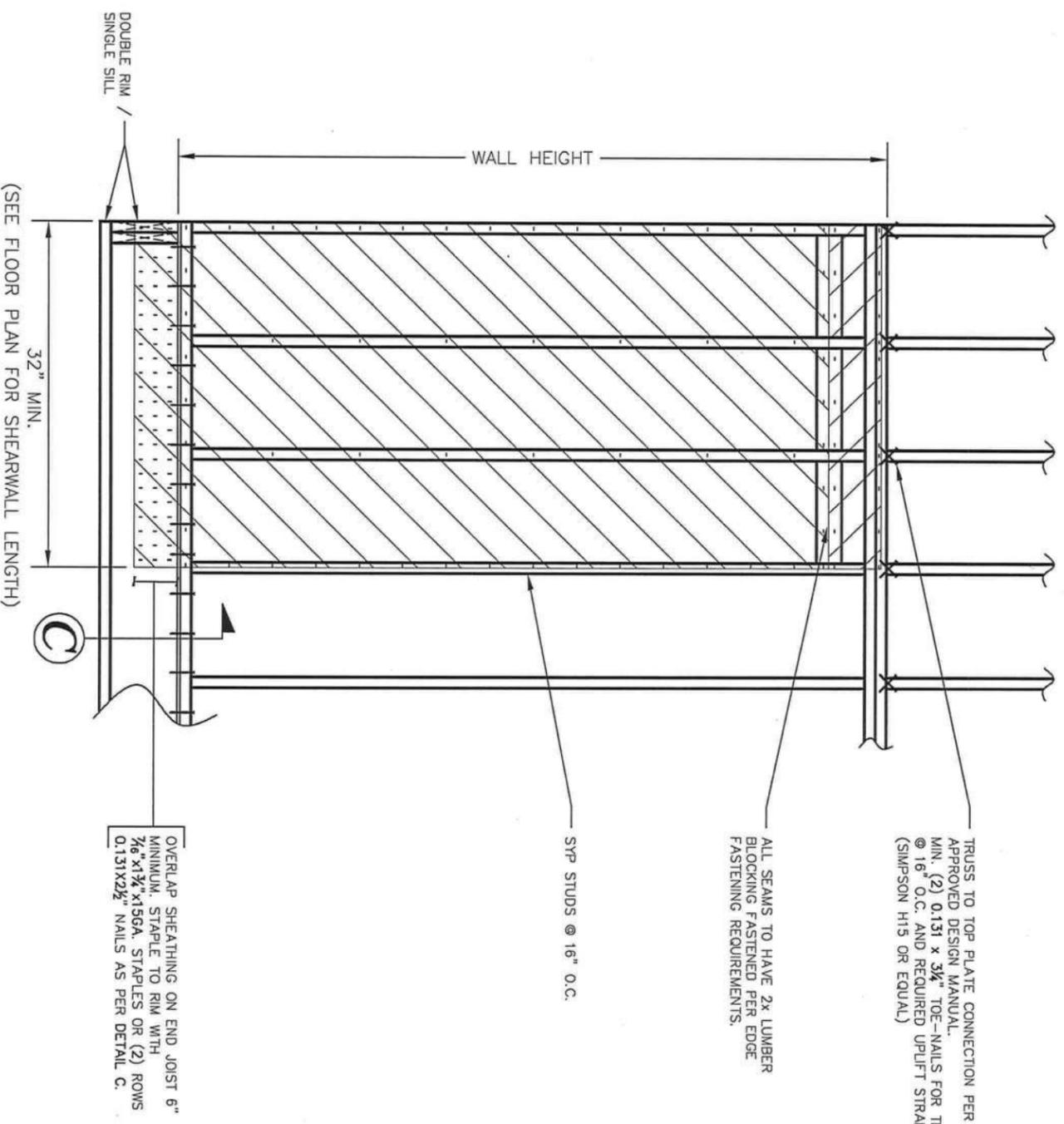
Permit Type: *130*  
 Occupancy: *40*  
 Allowable No. of Floors: *10/14/08*  
 Wind Velocity: *130*  
 Fire Rating of Ext. Walls: *10/14/08*  
 Plan No.: *1290-SB554*  
 Allow. Floor Load: *40*  
 Approval Date: *10/14/08*  
 Manufacturer: *10/14/08*  
 Approved for High Velocity Hurricane Zone: *No*  
 HWC CGA # 1025

TOE-NAIL 0.131x3 3/4" AT 8.0" O.C. NOTE: THIS CONNECTION DOES NOT ACCOMMODATE FOUNDATION SOIL PRESSURE AS OUTLINED IN IRC 2006

FASTEN RATED SHEATHING WITH (1) ROW OF 0.131x2 1/2" NAILS @ 6.0" O.C. TO PERIMETER JOIST AND TO SILL PLATE.



OVERLAP SHEATHING ON JOIST 6" MIN. (2) ROWS 0.131x2 1/2" NAILS @ 3.0" O.C. (STAGGERED) OR ROWS OF STAPLES AS SHOWN IN ABOVE TABLE.



TRUSS TO TOP PLATE CONNECTION PER APPROVED DESIGN MANUAL. MIN. (2) 0.131 x 3 3/4" TOE-NAILS FOR TRUSSES @ 16" O.C. AND REQUIRED UPLIFT STRAP. (SIMPSON H15 OR EQUAL)

ALL SEAMS TO HAVE 2x LUMBER BLOCKING FASTENED PER EDGE FASTENING REQUIREMENTS.

SYP STUDS @ 16" O.C.

OVERLAP SHEATHING ON END JOIST 6" MINIMUM. STAPLE TO RIM WITH 7/8"x1 3/4"x15GA. STAPLES OR (2) ROWS 0.131x2 1/2" NAILS AS PER DETAIL C.

(SEE FLOOR PLAN FOR SHEARWALL LENGTH)

NOTE: STRENGTH DATA FOR SHEARWALL CAPACITY TAKEN FROM ICC EVALUATION SERVICE, INC. ESR-1539 REISSUED SEPTEMBER 1, 2001 WITH A 40% INCREASE PER NDS 2001.

TITLE: **219 PLF (SW3) SHEARWALL DETAIL**

MODEL: ULI

DATE: 10/09/08 SCALE: \_\_\_\_\_

DRAWN BY: CORP. CHECKED BY: \_\_\_\_\_

CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP C)

SHEET NO.: **R261-11**

PAGE: **5 OF 9**

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ENGINEERS / ARCHITECTS SEAL

*[Signature]*

APPROVER'S SEAL

MODIFICATIONS

TITLE: SHEARWALL LAYOUT  
MWF/RS

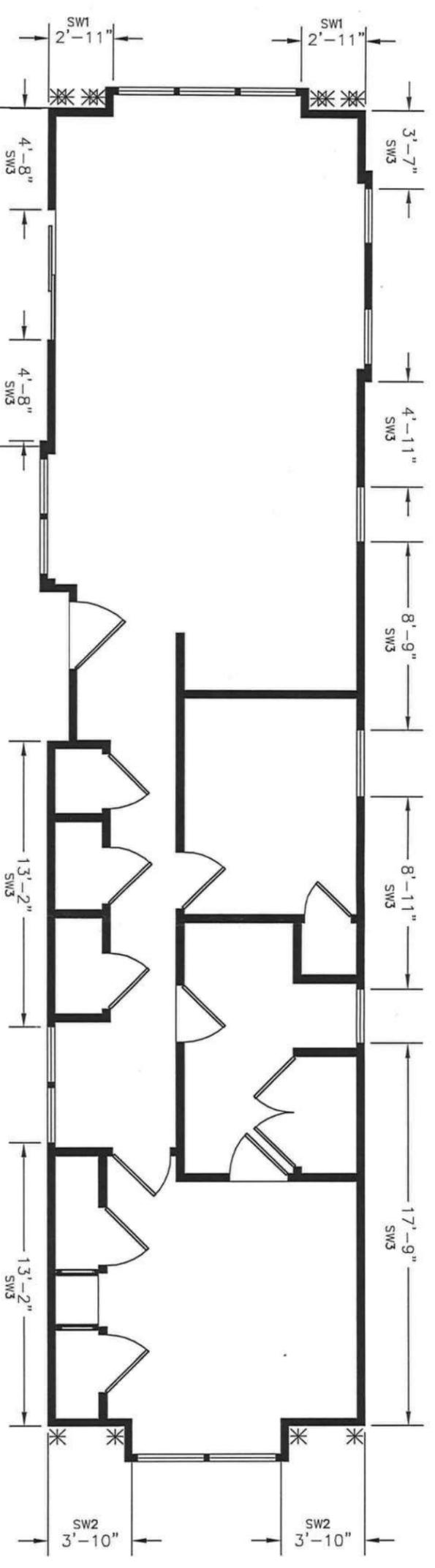
MODEL: ULI

DATE: 10/03/08 SCALE:  
DRAWN BY: CORP. CHECKED BY:  
CALCS: ATTACHED

FILENAME: ULI(130MPH, EXP.C)  
SHEET NO.: R261-8

PAGE: 2 OF 9

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**SIDE SHEARWALL**  
TOTAL SHEARWALL = 320"  
CAPACITY @ 219PLF=5840#  
5840# > 3953# O.K.

**END SHEARWALL**  
TOTAL SHEARWALL = 92"  
CAPACITY @ 531PLF=4838#  
4838# > 4726# O.K.

**SIDE SHEARWALL**  
TOTAL SHEARWALL = 357"  
CAPACITY @ 219PLF=6515#  
6515# > 4225# O.K.

**END SHEARWALL**  
TOTAL SHEARWALL = 70"  
CAPACITY @ 824PLF=4806#  
4806# > 4726# O.K.

SEE PAGES 7 FOR PORCH  
CONSTRUCTION DETAILS

**LISTING**  
**AGENCY APPROVAL**

Please print and comply with the Florida  
Manufactured Building Act of 1979  
Construction Code and adhere to the  
following criteria:

Const. Type: *MS*  
Occupancy: *RS*  
Allowable No. of Floors: *1/30*  
Wind Velocity: *129.6-56.55F*  
Fire Rating of Exit Walls: *0*  
Plan No.: *10-1408*  
Allow. Floor Load: *120*  
Approval Date: *10/3/08*  
Manufacturer: *HBM*  
Approved for High Velocity Hurricane Zone: *NS*  
HWC  
COA # 1028

**NOTES:**  
SHEARWALLS SHALL BE CONSTRUCTED OF RATED SHEATHING WITH  
5/8" #2 FRAMING AT 16" O.C. WITH FASTENING AS FOLLOWS:  
219 PLF, 15 GA. STAPLES, 6" O.C. AT PANEL EDGES AND 12" O.C. IN  
FIELD. SEE STANDARD DETAIL PAGE 05, 7/8" SHEATHING.  
631 PLF, 0.131 SMOOTH OR DEFORMED NAILS AT 3" O.C. EDGE AND  
12" O.C. IN FIELD SEE STANDARD DETAIL PAGE 04, 7/8" SHEATHING.  
824 PLF, 0.131 SMOOTH OR DEFORMED NAILS AT 2" O.C. EDGE AND  
12" O.C. IN FIELD SEE STANDARD DETAIL PAGE 03, 7/8" SHEATHING.

\* UPLIFT CONNECTION REQUIRED AT ENDS OF EACH  
SHEARWALL SEGMENT DETAIL PAGE 06.  
UPLIFT CONNECTION FOR SIDEWALLS SHOWN ON  
DETAIL PAGE 06.

SHEARWALL MARK#	UPLIFT FORCE
SW1	5872#
SW2	4322#
SW3	383#

SHEARWALL MARK#	REQUIRED STRENGTH
SW1	824 PLF (2" O.C. EDGE)
SW2	631 PLF (3" O.C. EDGE)
SW3	219 PLF (6" O.C. EDGE)

UPLIFT FORCES ARE PER END OF SHEARWALL  
SEGMENT.

THESE ALLOWABLE STRENGTHS INCLUDE A 40% INCREASE FOR  
WIND FORCES AS PRESCRIBED BY NDS 2001

ENGINEERS / ARCHITECTS SEAL

*[Handwritten Signature]*

APPROVER'S SEAL

**GENERAL NOTES**

- SHEATHING SHALL BE 7/8" RATED SHEATHING. ALL LOADS ARE WIND ONLY RATED.
- ENDWALL FASTENING (631 PLF):  
0.131x2 1/2" (1 1/2" MIN. EMBED.) NAILS AT 3" O.C. STAGGERED ALL EDGES AND 12" O.C. FIELD. FRAMING AT ADJOINING PANEL EDGES SHALL BE MINIMUM 2" NOMINAL.
- ANY MODIFICATION TO THE SHEARWALLS SPECIFIED ON PLAN MUST HAVE PRIOR ENGINEERING APPROVAL.

BLOCK TRUSS CAVITY AT 16" O.C. WHEN CLEAR DISTANCE FROM TOP CHORD TO BOTTOM CHORD EXCEEDS 16"

THE END TRUSS ABOVE A SHEARWALL SHALL BE SHEATHED ON EXTERIOR SIDE WITH RATED SHEATHING. ALL SEAMS SHALL BE BLOCKED WITH 2x LUMBER AND FASTENED SAME AS SHEARWALL FASTENING.

ALL SEAMS TO HAVE 2x LUMBER BLOCKING FASTENED PER EDGE FASTENING REQUIREMENTS.

STUDS AS REQUIRED FOR UPLIFT STRAP LOCATION FLEXIBILITY, 36" LENGTH (MIN.) 90% 0.131x2 1/2" NAILS AT 6" O.C.

OVERLAP SHEATHING ON END JOIST 6" MINIMUM. NAIL TO RIM JOIST WITH 0.131x2 1/2" NAILS PER DETAIL B.

**AGENCY APPROVAL**

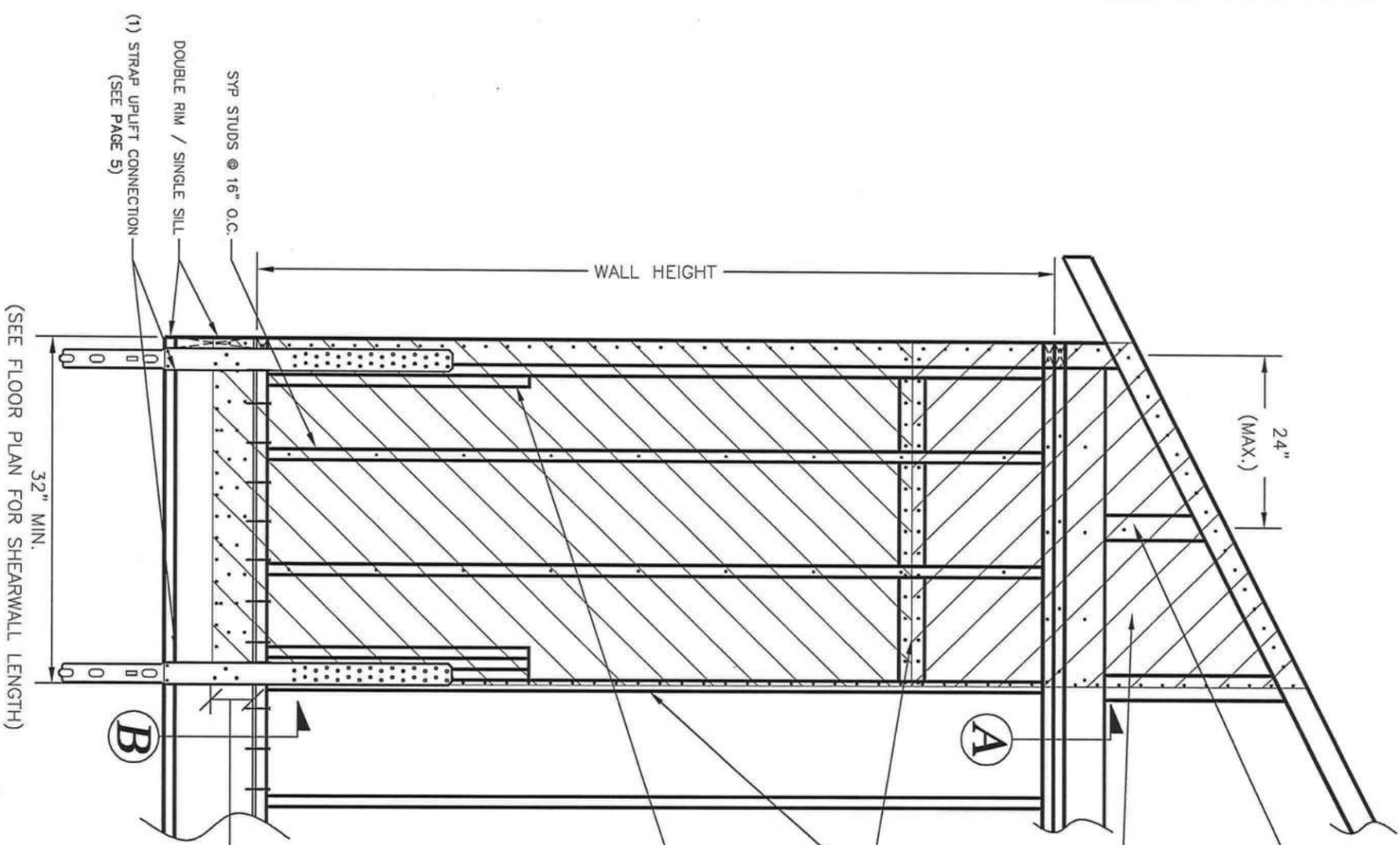
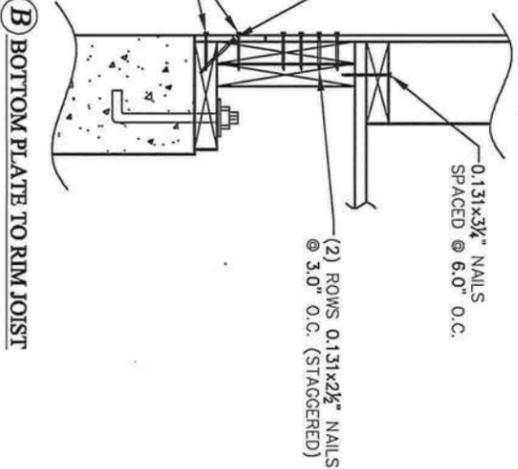
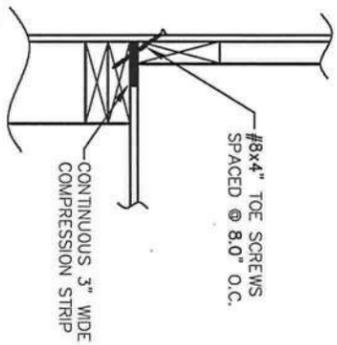
These prints comply with the Florida Manufacture Building Act of 1979 Construction Code and adhere to the following criteria:

Const. Type: *Res*  
Occupancy: *150*  
Allowable No. of Floors: *150*  
Wind Velocity: *150*  
Fire Rating of Ex. Walls: *150*  
Plan No.: *1296-50355F*  
Allow. Floor Load: *16.14-08*  
Approval Date: *10/14/08*  
Manufacturer: *HTM*  
Approved for High Velocity Hurricane Zone: *No*

H/W/C  
COA # 1025

TOE-NAIL 0.131"x3 1/4" AT 8.0' O.C.  
NOTE: THIS CONNECTION DOES NOT ACCOMMODATE FOUNDATION SOIL PRESSURE AS OUTLINED IN IRC 2006

FASTEN WITH RATED SHEATHING TO PERIMETER JOIST AND TO SILL W/ (1) ROW 0.131x3 1/4" NAILS (STAGGERED) @ 4.0' O.C.



(SEE FLOOR PLAN FOR SHEARWALL LENGTH)

**NOTE:** STRENGTH DATA FOR SHEARWALL CAPACITY TAKEN FROM NDS 2001 WITH 40% WIND LOAD INCREASE.

MODIFICATIONS

TITLE:  
**631 PLF (SW2)  
SHEARWALL DETAIL**

MODEL:  
**ULI**

DATE: 10/03/08 SCALE:  
DRAWN BY: CORP. CHECKED BY:  
CALCS: ATTACHED  
FILENAME: ULI (130MPH, EXP C)  
SHEET NO.:  
**R261-10**

PAGE: 4 OF 9

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ENGINEERS / ARCHITECTS SEAL

*[Handwritten Signature]*

APPROVER'S SEAL

MODIFICATIONS

TITLE: FOUNDATION UPLIFT DETAIL

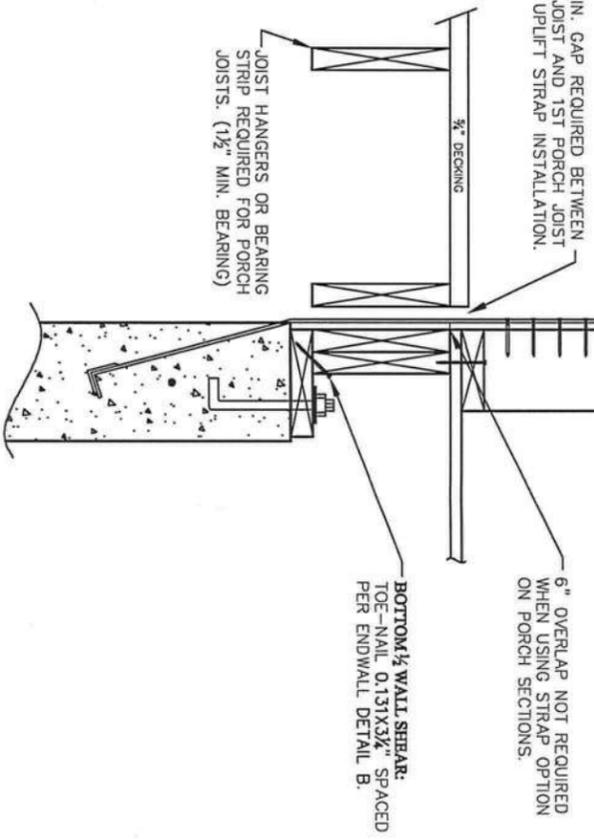
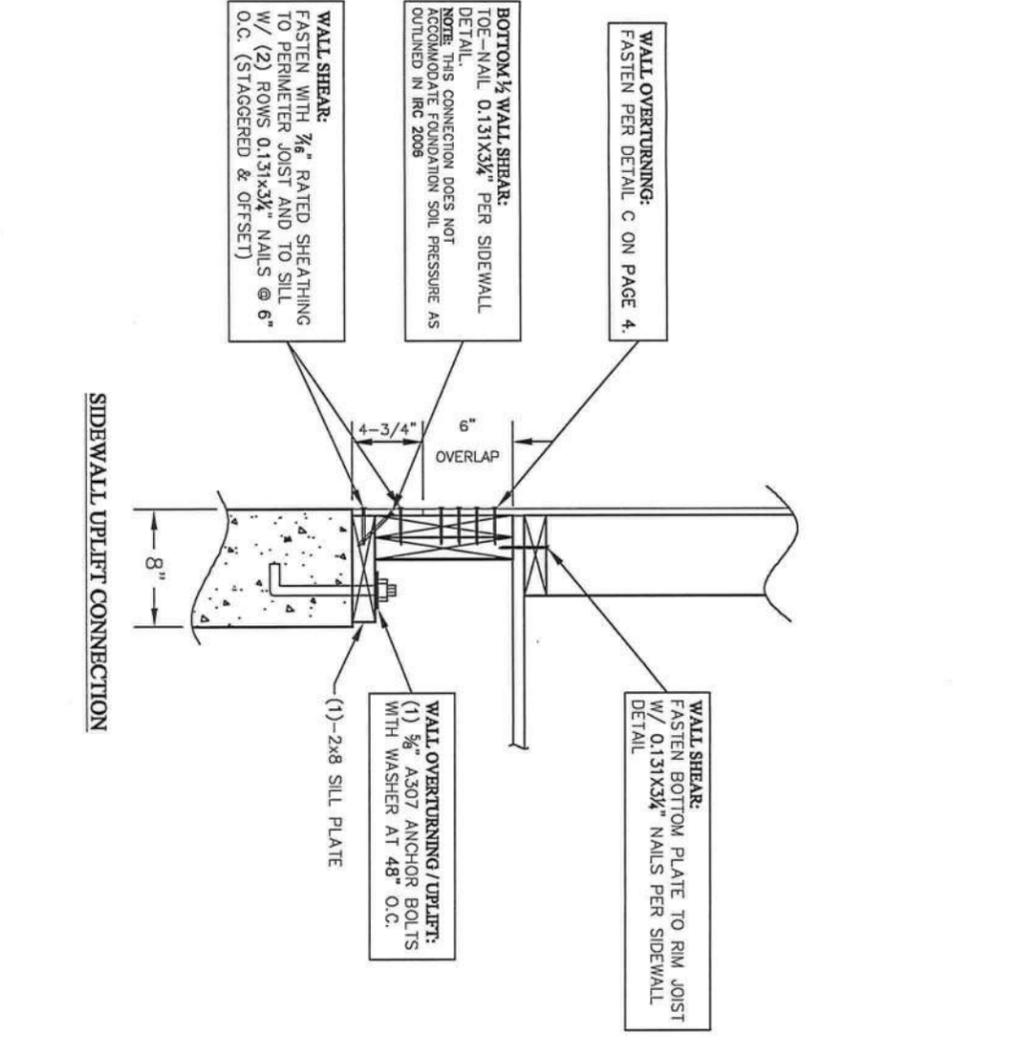
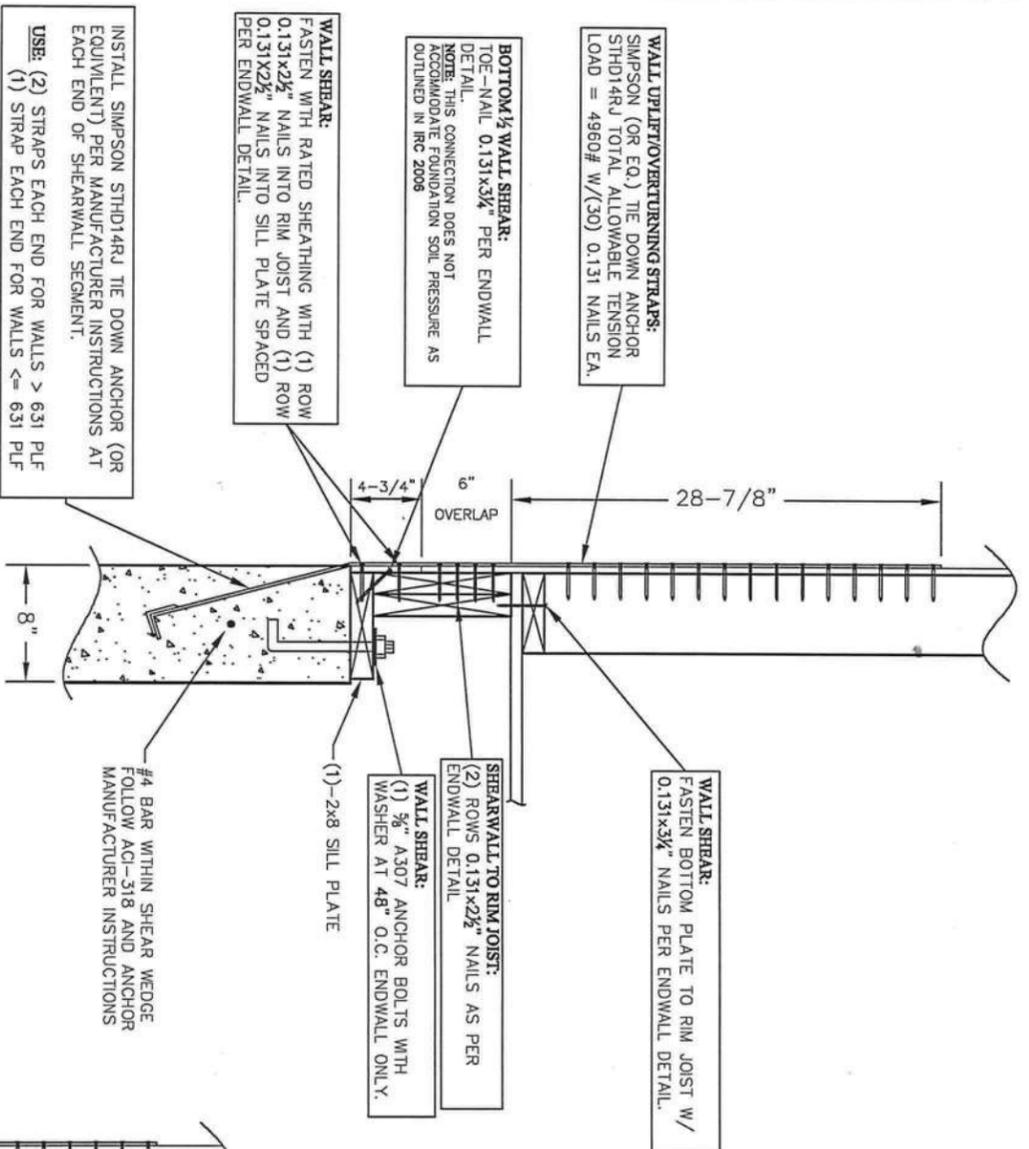
MODEL: ULI

DATE: 10/03/08  
 DRAWN BY: CORP.  
 CALCS: ATTACHED

SCALE: 1/8" = 1'-0"  
 CHECKED BY:  
 FILENAME: ULI (130MPH, EXP. C)  
 SHEET NO.: R261-12

PAGE: 6 OF 9

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**AGENCY APPROVAL**

These prints comply with the Florida Manufactured Building Act of 1979 Construction Code and adhere to the following criteria:

Const. Type: MF  
 Occupancy: Res  
 Allowable No. of Floors: 1/30  
 Wind Velocity: 0  
 Pipe Rating of Ext. Walls: 0  
 Plan No.: 1296-5655F  
 Allow. Floor Load: 10/14/08  
 Approval Date: 10/14/08  
 Manufacturer: HW  
 Approved for High Velocity Hurricane Zone: No  
 HWC  
 CGA # 1088

LISTING  
**AGENCY APPROVAL**  
 These prints comply with the Florida  
 Manufactured Building Act of 1979  
 Construction Code and adhere to the  
 following criteria:

Canal Type  
 Occupancy  
 Allowable No.  
 of Floors  
 Wind Velocity  
 Fire Rating of  
 Ext. Walls  
 Plan No. 1296-56554  
 Manufacturer  
 Approval Date 10/17/08  
 Applicable for  
 High Velocity  
 Hurricane Zone No

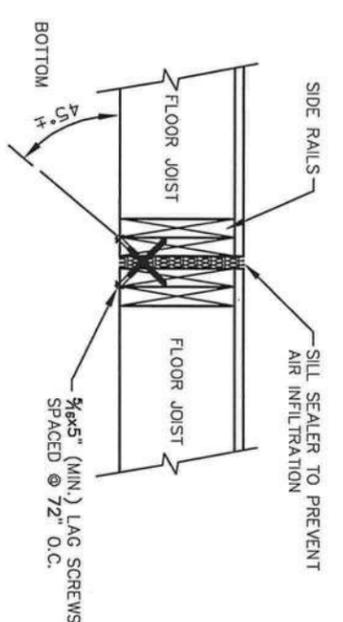
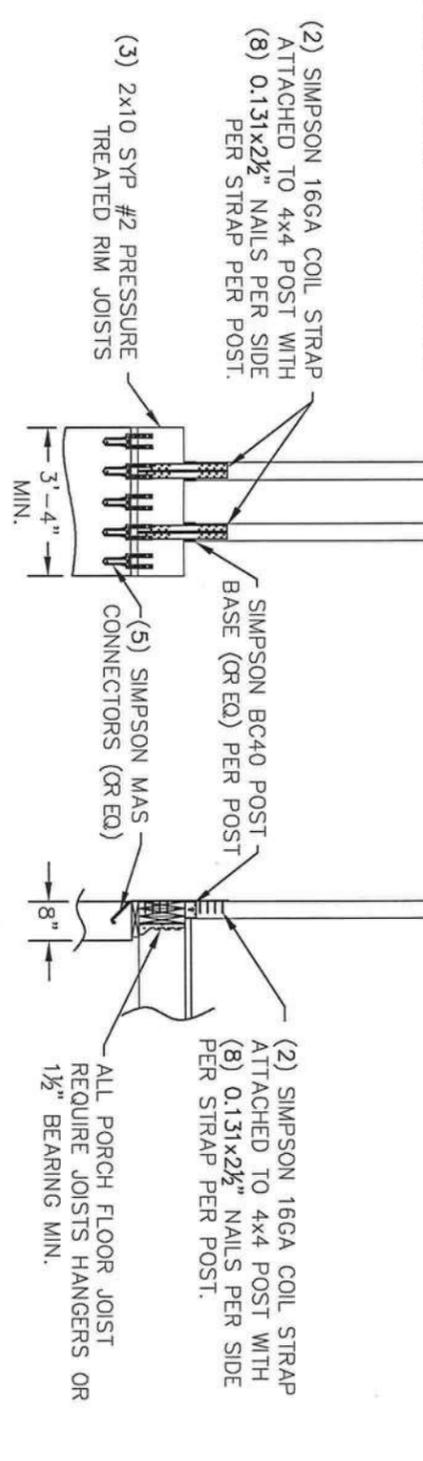
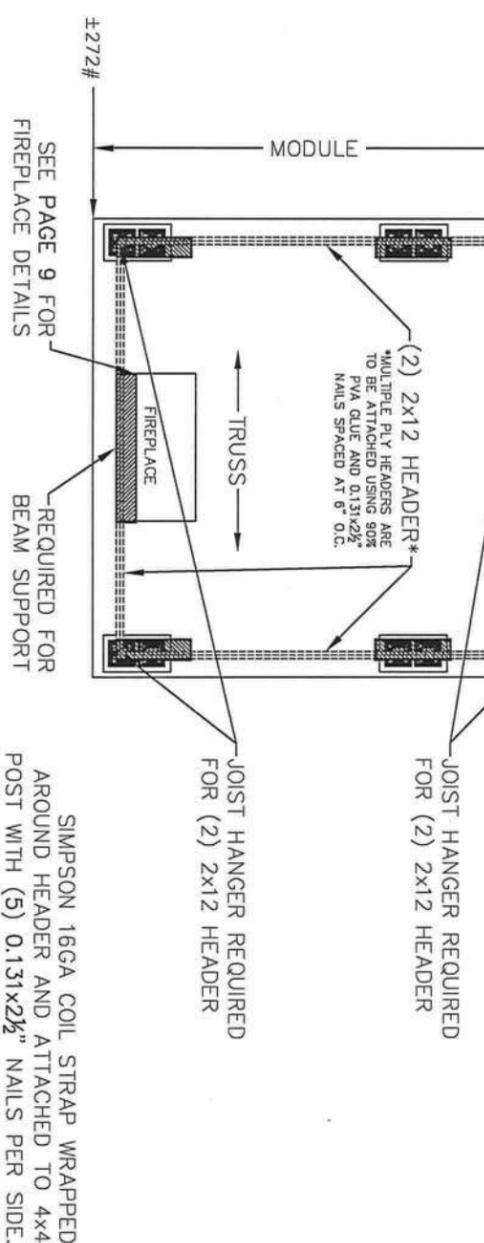
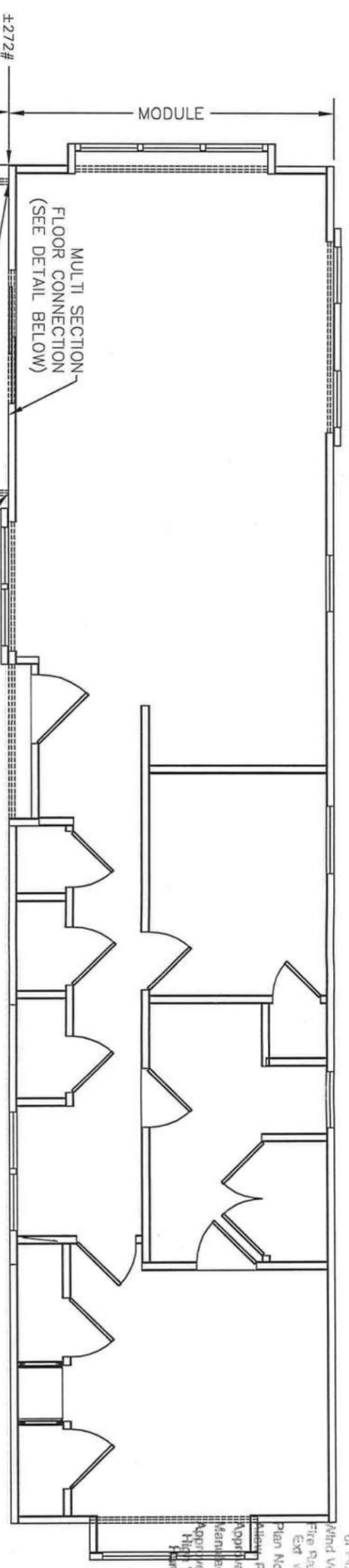
HWC  
 COA # 1028



ENGINEERS / ARCHITECTS SEAL

*[Handwritten signature]*

APPROVER'S SEAL



**PORCH UPLIFT CONNECTIONS**

TITLE:	PORCH UPLIFT DETAILS
MODEL:	ULI
DATE:	10/03/08
DRAWN BY:	CORP.
CALCS:	ATTACHED
FILENAME:	ULI (130MPH, EXP-C)
SHEET NO.:	R261-13
PAGE:	7 OF 9

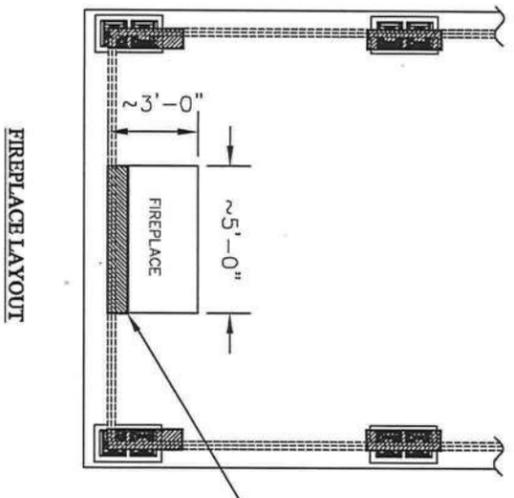
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ENGINEERS / ARCHITECTS SEAL

*[Signature]*

APPROVERS SEAL

MODIFICATIONS	
TITLE:	FIREPLACE CONSTRUCTION
MODEL:	ULLI
DATE:	10/03/08
DRAWN BY:	COORP
CALCS:	ATTACHED
SCALE:	
CHECKED BY:	
FILENAME:	ULLI (130MPH, EXP C)
SHEET NO.:	R261-15
PAGE:	9 OF 9



**LOADING FOR FIREPLACE**

- LOADS PER ASCE 7-05, WALL EDGE LOAD = 40.1 PSF
- TRIBUTARY AREA (TOP SIDE) = 3'x3' = 9 SQ.FT.  
(TOP END) = 3'x5' = 15 SQ.FT.  
(SIDE) = 12'x3' = 36 SQ.FT.  
(END) = 12'x5' = 60 SQ.FT.
- SHEAR LOADS  
(TOP SIDE) = (9x40.1)/2 = 181#  
(TOP END) = (15x40.1)/2 = 301#  
(SIDE) = (36x40.1)/2 = 722#  
(END) = (60x40.1)/2 = 1203#
- UPLIFT FORCE WORST CASE = (1203# + 301#) = 1504#  
1504# x 15'/2 = 11280 FT-LBS  
11280 FT-LBS / 3' = 3760# PER SIDE  
\*USE SIMPSON STDH14RJ (OR EQ.) = 4960# EA.
- SITE ADD-ON PORTION = (301# x 3'/2) = 452 FT-LBS  
(452# / 3') = 151# PER SIDE  
\*USE (1) 16GA SIMPSON COIL STRAP W/ (3) 0.131x2 1/2" NAILS (166# SHEAR CAPACITY EA) PER SIDE OF STRAP. (1) STRAP REQUIRED PER CORNER (4) STRAPS TOTAL.
- RESULTANT SHEAR LOADS = (WORST CASE) = 301# TOP  
= 1203# BOTTOM  
= 1504# TOTAL
- \*ATTACH 7/8" RATED SHEATHING W/ 0.131x2 1/2" NAILS @ 4" O.C. EDGE AND 12" O.C. IN THE FIELD. (490 PLF)  
(3' x 490 PLF) = 1470# ≈ 1504# O.K.
- SHEAR TRANSFER FROM ADD-ON TO MAIN PORTION = 301#/3' = 101PLF  
(1) #8x3" SCREW CAPACITY = 161.6#x0.83 TOE SCREW FACTOR. = 134#  
SPACE #8x3" TOE-SCREWS @ 12" O.C. (MAX).

TYPICAL WOOD FRAME CONSTRUCTION FIREPLACE FRAMING MEMBERS TO BE SYP #2 MINIMUM

JOIST HANGER REQUIRED FOR (2) 2x12 HEADER

STEM WALL FULL WIDTH OF FIREPLACE REQUIRED FOR BEAM SUPPORT

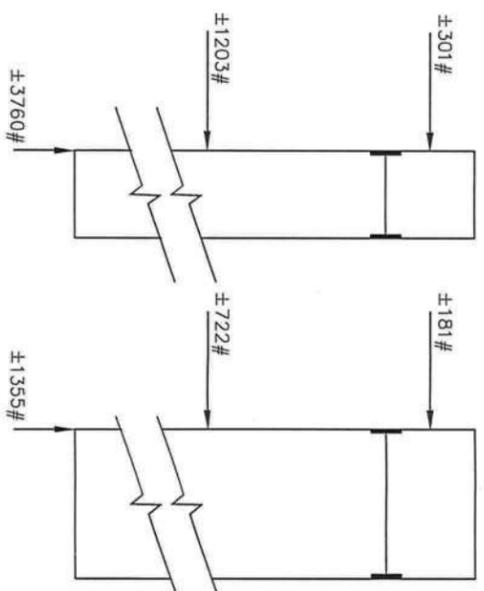
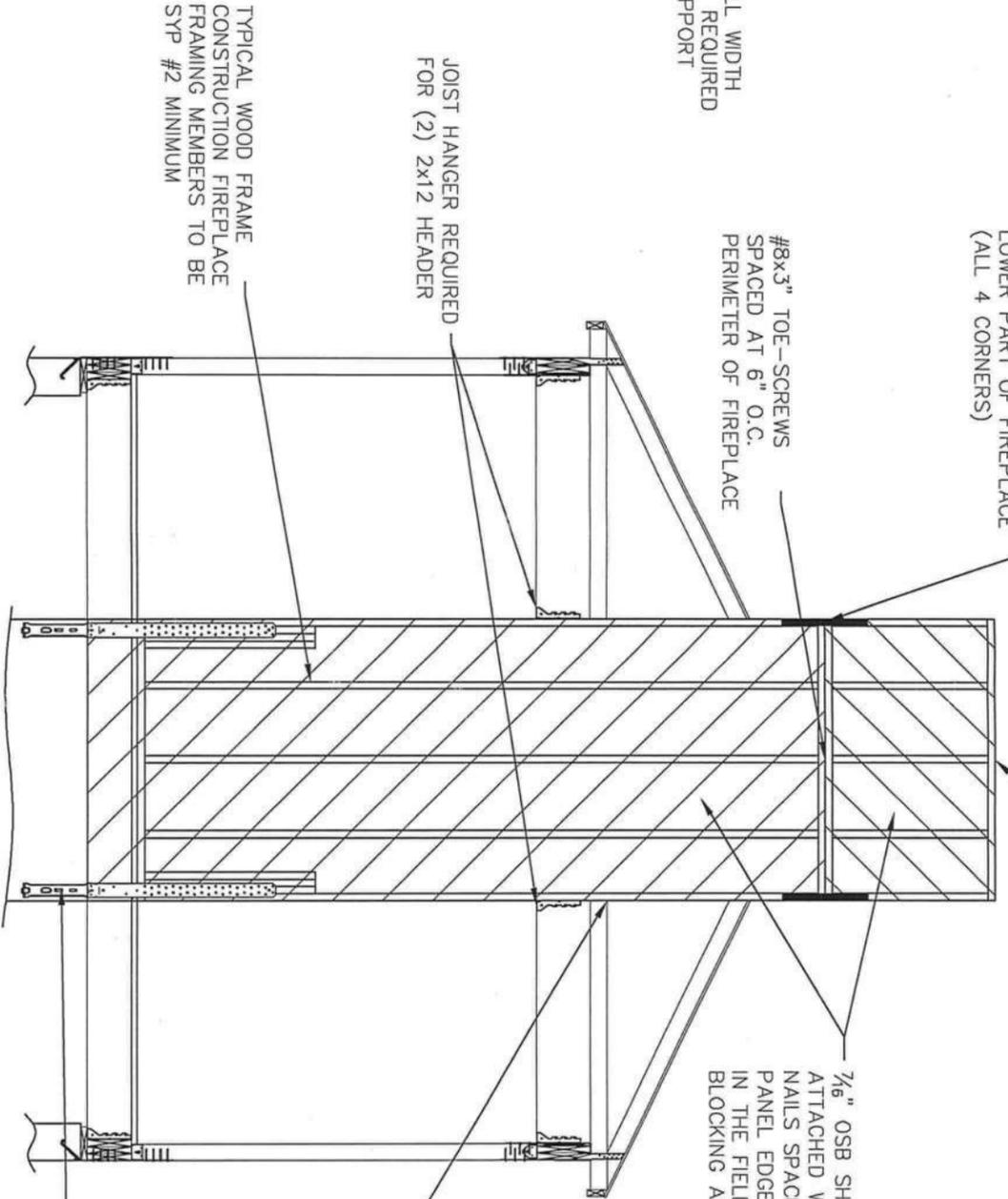
(1) 16 GA SIMPSON COIL STRAP (OR EQ) ATTACHED WITH (3) 0.131x2 1/2" NAILS TO BOTH UPPER AND LOWER PART OF FIREPLACE (ALL 4 CORNERS)

#8x3" TOE-SCREWS SPACED AT 6" O.C. PERIMETER OF FIREPLACE

FIELD ATTACHED EXTENSION FOR APPROPRIATE ROOF CLEARANCE PER LOCAL JURISDICTION

7/8" OSB SHEATHING ATTACHED WITH 0.131x2 1/2" NAILS SPACED @ 4.0" O.C. PANEL EDGES AND 12" O.C. IN THE FIELD. INSTALL BLOCKING AS REQUIRED.

RAFTER TO BE ATTACHED TO FRAMING FOR LOADS SHOWN ON TRUSS PRINTS



**AGENCY APPROVAL**

These prints comply with the Florida Manufacturer's Guiding Act of 1979 Construction Code and adhere to the following criteria:

- Const. Type: *[Signature]*
- Occupancy: *[Signature]*
- Allowable No. of Floors: *[Signature]*
- Wind Velocity: *[Signature]*
- Fire Rating of Ext Walls: *[Signature]*
- Plan No.: 1296-3655F
- Allow. Floor Load: *[Signature]*
- Approval Date: 10-14-08
- Manufacturer: *[Signature]*
- Approved for High Velocity Hurricane Zone: *[Signature]*

HWC  
COA # 10285



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APPROVERS SEAL

MODIFICATIONS

TITLE:  
**WALL STUDS & HEADER REQUIREMENTS**  
MWF/RS

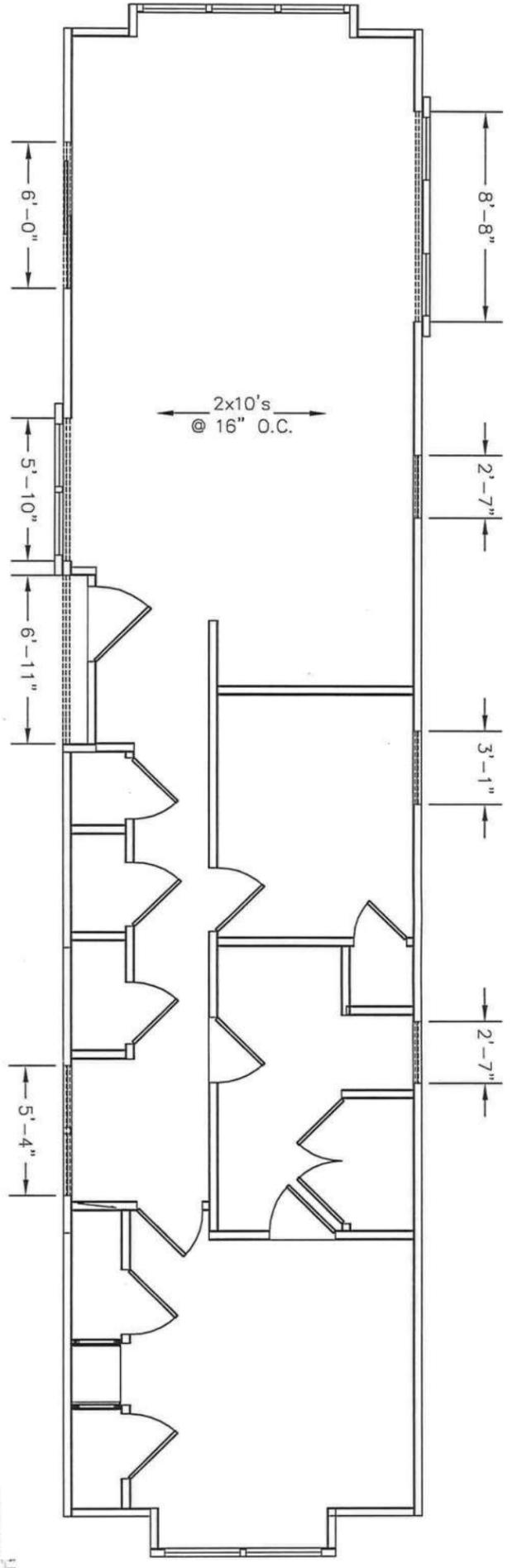
MODEL:  
**ULI**

DATE: 10/03/08 SCALE:  
DRAWN BY: CORP. CHECKED BY:  
CALCS: ATTACHED

FILENAME: ULI (130MPH, EXP C)  
SHEET NO.:  
**R261-14**

PAGE:  
**8 OF 9**

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**AGENCY APPROVAL**

These plans comply with the Florida  
Revised Building Act of 1979  
Construction Codes and adhere to the  
following criteria:

- Comet Type W3
- Occupancy 1
- Allowable No. of Floors 130
- Wind Velocity 0
- Fire Rating of Ext. Walls 10/14/08
- Plan No. 129650557
- Allow. Floor Load HOM
- Approval Date HOM
- Manufacturer No
- Approved for High Velocity Hurricane Zone No

OPENING SIZE	HEADER SIZE (ON EDGE)
≤ 5'-0"	(2) 2x4
5'-1" ≤ 7'-0"	(2) 2x6
7'-1" ≤ 8'-8"	(2) 2x8
8'-9" ≤ 10'-0"	(2) 2x12

MULTIPLE PLY HEADERS ARE TO BE ATTACHED USING 90% PVA GLUE AND 0.131x2 1/2" NAILS SPACED AT 6" O.C.

**NOTES:**

- EXTERIOR WALLS SHALL BE CONSTRUCTED OF 2x4 LUMBER, GRADE SYP #2 (MIN.) SPACED AT 16" O.C. STUDS ARE TO BE DOUBLED IN THE CORNER AREAS (6'-0" FROM CORNERS)
- JAMB STUDS: (2) 2x4 SYP #2 STUDS ARE REQUIRED PER END OF EACH OPENING ≤ 6'-0" AS JAMB STUDS. (3) 2x4 SYP #2 STUDS ARE REQUIRED PER END OF EACH OPENING > 6'-0" AS JAMB STUDS.
- JACK STUDS: (1) 2x4 SYP #2 STUD IS REQUIRED PER END OF OPENING AS A JACK STUD
- ALL FLOOR JOISTS ARE TO BE SYP #2 2x10'S SPACED AT 16" O.C. WITH 1 1/2" BEARING (MINIMUM.)