

Columbia County Swimming Pool/Spa Permit Application

11347

For Office Use Only Application # 44114 Date Received 12/2 By mg Permit # 39199
 Zoning Official LW/KH Date 12-3-19 Flood Zone X Land Use Ag Zoning A-3
 FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner 7.c Date 12-9-19
 Comments _____
☐ **NOC** ☒ **EH** ☒ Deed or PA ☒ Site Plan ☐ 911 Sheet (if NO Address Exists) ☐ Owner Builder Disclosure Statement
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
☐ Land Owner Affidavit ☐ Ellisville Water ☒ App Fee Paid ☒ Sub VF Form
 Notes: _____

Septic Permit No. 19-0877 Or City Water System Fax peelerpools@gmail.com
 Applicant (Who will sign/pickup the permit) Raymond or Alice Peeler Phone 386 755-2848
 Address 158 S.W. Elk Hunter Glen Fort White FL 32038
 Owners Name Austin Thomas Phone _____
 911 Address 5946 SE CR 245 Lake City FL
 Contractors Name Raymond Peeler Phone 386 867 4888
 Address 158 S.W. Elk Hunter Glen Fort White, FL
 Contractor Email peelerpools@gmail.com ***Include to get updates on this job.
 Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____
 Architect/Engineer Name & Address Eary Gill Engineering 426 SW Commerce Dr. Lake City FL
 Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Duke Energy
 Property ID Number 2645 1708741-001 Cost of Construction 39,000
 Subdivision Name N/A Lot _____ Block _____ Unit _____ Phase _____
 Driving Directions 41 South - (L) Myrtles SE -> 1.4 miles
(L) SE CR 245 - go 3 miles # 5946

Residential ☒ OR Commercial _____
 Construction of Swimming Pool ADA Compliant _____ Total Acreage 11.9
 Actual Distance of Pool from Property Lines - Front 60' Side 200' Side 50' Rear 190'

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Austin Thomas

Print Owners Name

X A.T.
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

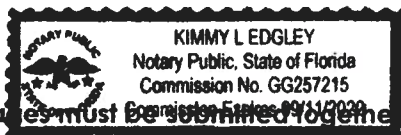
Contractor's License Number CPC057105
Columbia County
Competency Card Number 515 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 11th day of November 2019.

Personally known ✓ or Produced Identification _____

Kimmy L. Edgley
State of Florida Notary Signature (For the Contractor)

SEAL:





COLUMBIA COUNTY BUILDING DEPARTMENT

135 NE Hernando Ave., Suite B-21, Lake City, FL 32055

Office: 386-758-1008 Fax: 386-758-2160

www.columbiacountyfla.com/BuildingandZoning.asp

NOTICE TO SWIMMING POOL OWNERS

I, Austin Thomas have been informed and I understand that prior to the final inspection approval and use of my pool, I will need all the inspections approved and the required fencing installed in accordance with applicable regulations. The Florida Building Code requires private residential swimming pools, hot tubs, or non-portable spas containing water over 24 inches deep to meet the following pool barrier safety feature requirements:

• The pool access must be isolated by a barrier at least 4 feet high and installed around the perimeter of the pool.

Unless the pool is equipped with a safety cover complying with the specifications of American Society for Testing and Materials standard F-1346-91.

• The barrier shall not have any gaps or openings which would allow a child to crawl under, squeeze through or

climb over and must be placed no less than 20 inches from the water's edge.

• Gates located in the pool barrier must open outward away from the pool and be both self-closing and self latching, with a release mechanism not less than 54" above the standing surface at the gate.

• The barrier must be separate from any other fence, wall, or other enclosure surrounding the yard unless the fence, wall or other enclosure or portion thereof is situated on the perimeter of the pool and meets the pool barrier requirements.

• Where a wall of a dwelling serves as part of the barrier **one** of the following shall apply:

- 1) All doors and first floor windows with a sill height of less than 48 inches providing direct access from the home to the pool must be equipped with an alarm that has a minimum sound pressure rating of 85 decibels at 10 feet. The alarm shall sound immediately upon opening the window or door unless the temporary bypass mechanism is activated.
- 2) **Or;** all doors providing direct access from the home to the pool must be equipped with a self-closing, self-latching device with a release mechanism located at least 54 inches above the floor.

According to Florida statutes chapter 515: Residential Swimming Pool Safety Act, failure to comply with these requirements is a misdemeanor of the second degree, punishable by imprisonment for up to 60 days or a fine of up to \$500, except that no penalty shall be imposed if within 45 days after arrest or issuance of a summons or notice to appear, the pool is equipped with the aforementioned safety features and the responsible person attends a drowning prevention education program developed by the Florida Department of Health. I also understand that there are several inspections required in addition to a final inspection for my swimming pool.

X A. Thomas 11-1-19
Owner Signature / Date

Address: 5494 SE CR 245 Lake City FL

Raymond Beck 11-3-20 CPC057105
Contractor Signature / Date License Number

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # _____

JOB NAME _____

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input type="checkbox"/> CC# _____	Print Name <u>MAT BROWN</u> Signature _____ Company Name: <u>MAT BROWN Electric, Inc.</u> License #: <u>EC 1300 6531</u> Phone #: <u>386-365-3688</u> <u>CSH</u> <u>386-935-0444</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/> CC# _____	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

Columbia County Property Appraiser

Jeff Hampton

2020 Working Values

updated: 11/27/2019

Parcel: << 26-4S-17-08741-001 >>

Aerial Viewer Pictometry Google Maps

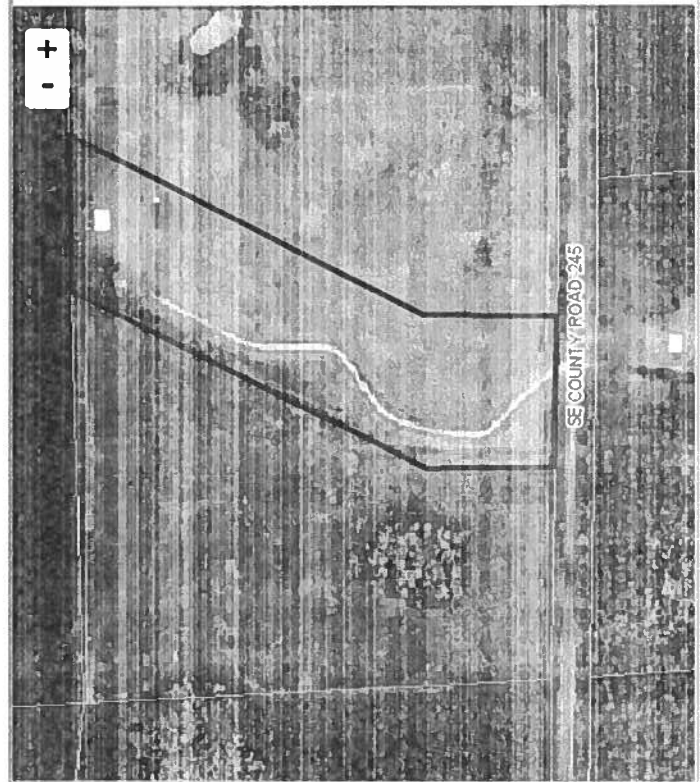
2019 2016 2013 2010 2007 2005 Sales

Owner & Property Info

Owner	THOMAS AUSTIN S 5946 SE CR 245 LAKE CITY, FL 32025		
Site	5946 COUNTY ROAD 245, LAKE CITY		
Description*	COMM AT NW COR OF SE 1/4 OF SEC RUN E 1320.43 FT, S 1125.73 FT FOR POB, RUN S63E 1063.82 FT, E 350.27 FT TO W R/W OF CR-245 S ALONG W R/W 405.13 FT, W 334.64 FT, N63W 1063.82 FT, N 405.29 FT TO POB WD 1290-2476		
Area	11.95 AC	S/T/R	26-4S-17
Use Code**	IMPROVED A (005000)	Tax District	3
*The Description above is not to be used as the Legal Description for this parcel in any legal transaction. **The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.			

Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$2,783	Mkt Land (1)	\$2,783
Ag Land (1)	\$2,157	Ag Land (1)	\$2,157
Building (1)	\$175,222	Building (1)	\$176,373
XFOB (1)	\$1,800	XFOB (1)	\$1,800
Just	\$210,280	Just	\$211,431
Class	\$181,962	Class	\$183,113
Appraised	\$181,962	Appraised	\$183,113
SOH Cap [?]	\$12,051	SOH Cap [?]	\$8,169
Assessed	\$169,911	Assessed	\$174,944
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total	county:\$119,911	Total	county:\$124,944
Taxable	city:\$119,911	Taxable	city:\$124,944
	other:\$119,911		other:\$124,944
	school:\$144,911		school:\$149,944

**▼ Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
3/10/2015	\$100	1290/2476	WD	V	U	30

▼ Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2016	2387	3258	\$176,373

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

▼ Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0040	BARN,POLE	2016	\$1,800.00	1200.000	30 x 40 x 0	AP (040.00)

▼ Land Breakdown

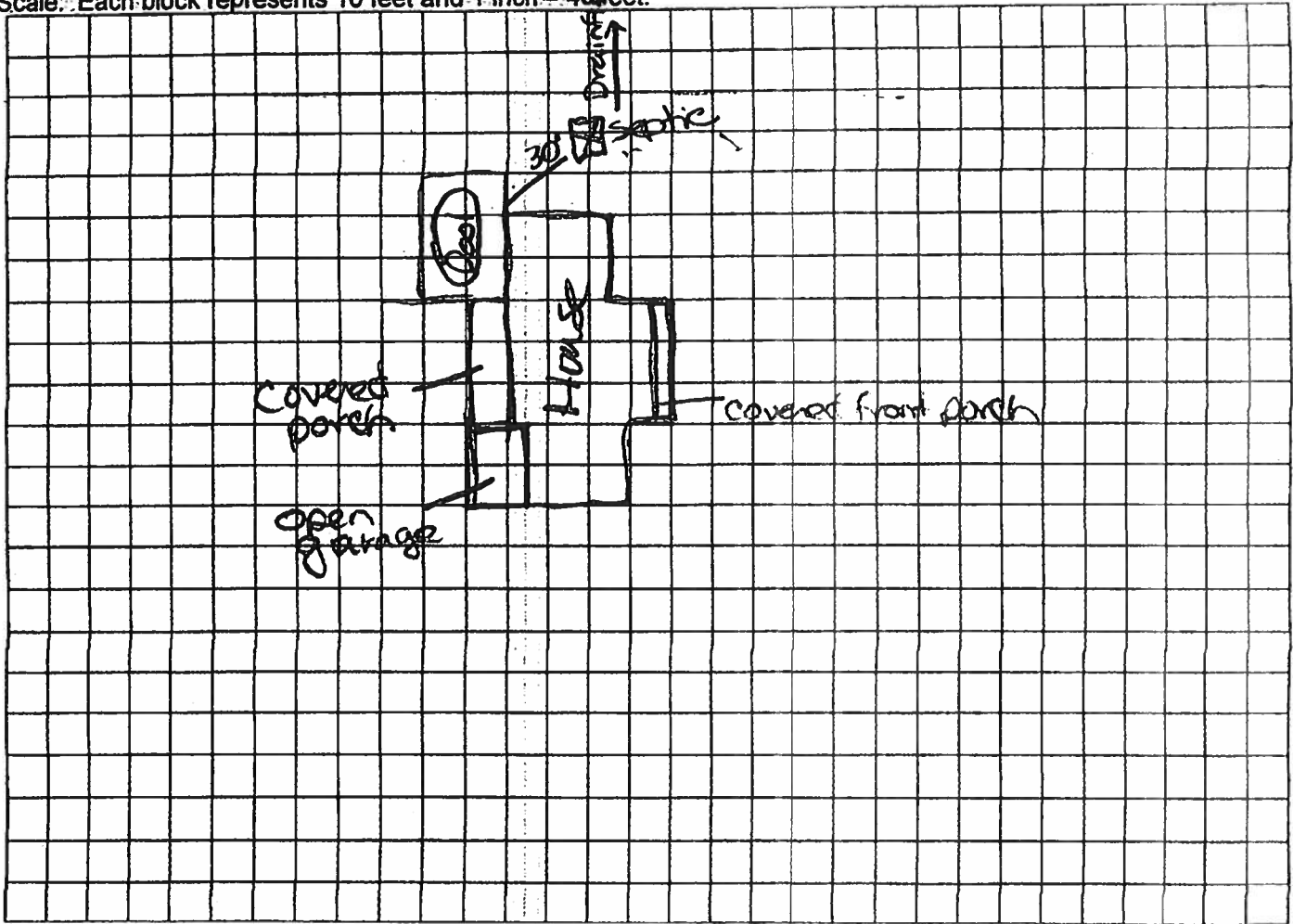
Land Code	Desc	Units	Adjustments	Eff Rate	Land Value
000100	SFR (MKT)	1.000 AC	1.00/1.00 1.00/1.00	\$2,783	\$2,783
005700	TIMBER 4 (AG)	10.950 AC	1.00/1.00 1.00/1.00	\$197	\$2,157
009910	MKT.VAL.AG (MKT)	10.950 AC	1.00/1.00 1.00/1.00	\$0	\$30,475

STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0877

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



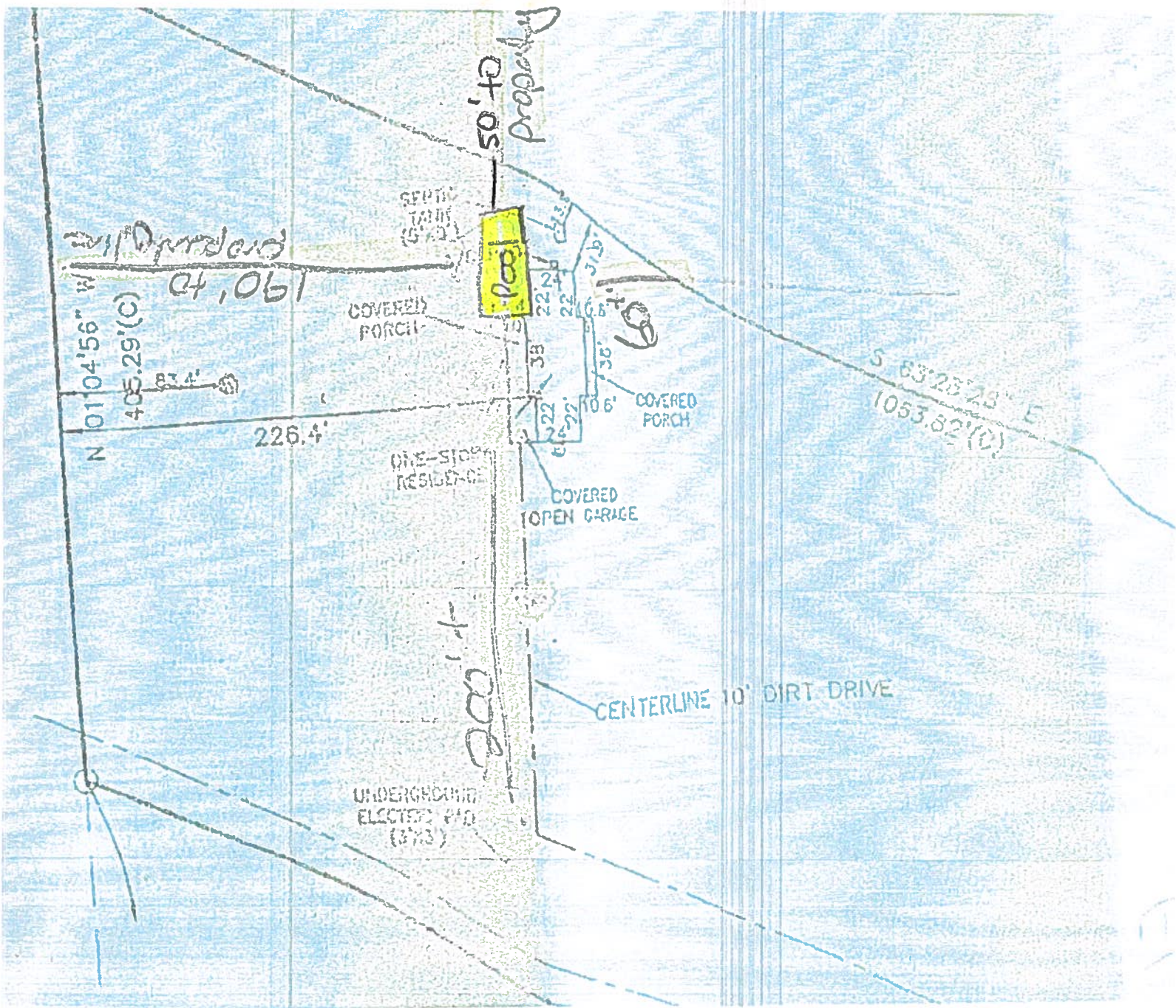
Notes: _____

Site Plan submitted by: [Signature]

Plan Approved [Signature] Not Approved _____ Date 12/5/19

By [Signature] Columbin County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



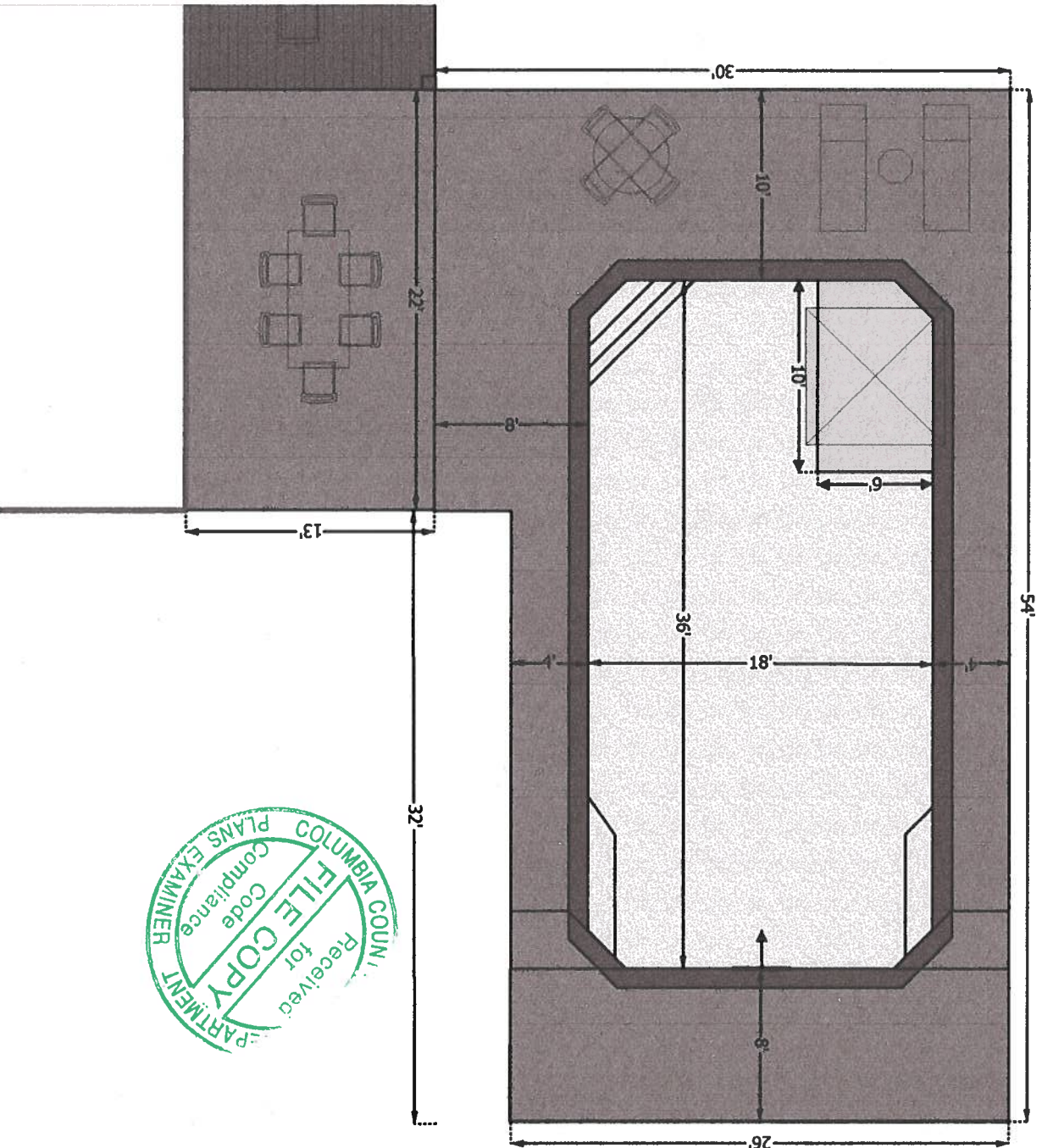
Austin Thomas
austinthomas159@gmail.com

PEELER POOLS

190' Near
200' + 50'
60 Front

- 18' X 36' Pool 3 1/2' - 8' Deep
- 1 - 36" Waterfall
- 58' Raised Decking
- Salt System
- Pool Vac
- Color Lighting

863 sf Deck
640 sf Pool





STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 19-0377
DATE PAID: 12/31/19
FEE PAID: 60.00
RECEIPT #: 449592
AP # 145586

APPLICATION FOR:

[] New System [] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary [X] Swimming Pool

APPLICANT: Raymond or Alice Peeler - Austin Thomas

AGENT: Raymond or Alice Peeler TELEPHONE: 755-2848

MAILING ADDRESS: 1580 S.W. Elk Hunter Glen Port Wier

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: — BLOCK: — SUBDIVISION: — PLATTED: —

PROPERTY ID #: 26451708741-00 ZONING: — I/M OR EQUIVALENT: [Y/N]

PROPERTY SIZE: 2+ ACRES WATER SUPPLY: [X] PRIVATE PUBLIC [] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y/N] DISTANCE TO SEWER: 30' FT

PROPERTY ADDRESS: 5494 SE CR 245 Lake City FL

DIRECTIONS TO PROPERTY: 41 South - (L) Myrtle Road - 4.4 miles -
(L) SE CR 245 - 3 miles - # 5946

BUILDING INFORMATION

[X] RESIDENTIAL [] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Pool</u>	<u>—</u>	<u>—</u>	<u>15-0603</u>
2	<u>—</u>	<u>—</u>	<u>—</u>	<u>—</u>
3	<u>—</u>	<u>—</u>	<u>—</u>	<u>—</u>
4	<u>—</u>	<u>—</u>	<u>—</u>	<u>—</u>

[] Floor/Equipment Drains [] Other (Specify) —

SIGNATURE: [Signature] DATE: 11-10-19

REVISION SCHEDULE		
REV.	DATE	REVISION DESCRIPTION

1	1/24/18	UPDATED TO 2017 CODE
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PEELER POOLS

CERTIFIED POOL PLANS

APPLICABLE CODES:
FLORIDA BUILDING CODE 6TH EDITION (2017)- BUILDING
NATIONAL ELECTRIC CODE (NFPA 70)
FLORIDA BUILDING CODE 6TH EDITION (2017)- PLUMBING
FLORIDA BUILDING CODE 6TH EDITION (2017)- MECHANICAL
FLORIDA FIRE PROTECTION CODE (INCLUDES LIFE SAFETY 101)

GENERAL DESIGN REQUIREMENTS:

- DESIGN DIMENSIONS SHALL COMPLY WITH SPECIFICATIONS INANSINSP1 5 RESIDENTIAL IN-GROUND POOLS BASED ON THE POOL TYPE AND NSPI 3 PERMANENTLY INSTALLED RESIDENTIAL SPAS.
- SEE ANSINSP1 5 FOR DIVING WATER ENVELOPES.
- SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS
- ENTRY/EXIT: SHALL COMPLY WITH ANSINSP1 5 AND NS31 LADDERS, UNDERWATER SEATS AND SWM OUTS (MAX. 20" BELOW WATER)
- CIRCULATION SYSTEMS, COMPONENTS & EQUIPMENT SHALL COMPLY W/ NSF 50
- THE MAXIMUM TURNOVER RATE IS 12 HOURS.
- FILTERS SHALL HAVE AN AIR RELIEF AND PRESSURE GAUGE
- PUMPS 3 HP AND LESS SHALL MEET ANSI/UL 1081, CORROSION RESISTANT STRAINER AND MEET THE RQUIRED FLOW.
- SURFACE SKIMMERS SHALL MEET NSF 50 AND THERE SHALL BE ONE FOR EVERY 800 SQUARE FEET OF SURFACE AREA
- RETURN INLETS SHALL BE A MINIMUM OF ONE FOR EVERY 600 SQ. FT.
- HEATERS SHALL MEET ANSI-Z21.56 OR UL1261 OR UL559
- DISINFECTANT EQUIPMEENT SHALL COMPLY WITH NSF 50
- PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER
- POOL SHAPE IS FREE FORM, ABOVE SHAPE AND DIMENSION ARE APPROXIMATE
- ASSUMED SOIL BEARING = 1.5 KSF
- INSTALL CONTROL JOINTS @ 20'-0" O.C. IN POOL DECKING.
- CONCRETE STAIRS ARE 12" TREAD WITH AND 10" MAX. HEIGHT
- LIGHTING IF INSTALLED WILL BE FIBER OPTIC OR LED
- ALL EQUIPOTENTIAL BONDING SHALL BE INSTALLED PER 2008 NEC 680.26
- SLAB AND FOOTING : 2500 PSI CONCRETE, GRADE STEEL REBAR

SPECIAL SPA REQUIREMENTS:

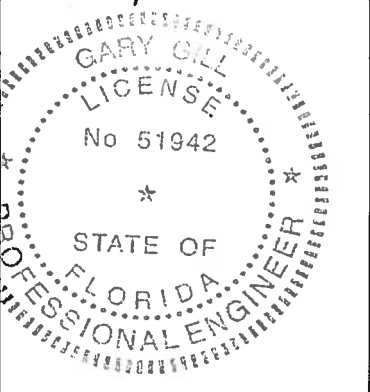
- MAXIMUM WATER DEPTH 4', MAXIMUM SEAT DEPTH 28", MAXIMUM FLOOR SLOPE 1:12
 - STEPS: MINIMUM TREAD = 10"x12", MINIMUM RISER=7" MAXIMUM RISER= 12" EXCEPT THE BOTTOM STEP MAY BE 14" IF IT IS THE SEAT. INTERMEDIATE TREADS AND RISERS TO BE UNIFORM
 - SLIDES SHALL MEET MANUFACTURER'S INSTALLATION REQUIREMENTS.
 - IF THE SPA IS OPERATED INTERMITTENTLY IT SHALL HAVE A ONE HOUR TURNOVER
 - MAXIMUM TEMPERATURE IS 104° FARENHEIT
 - MEET ANSINSP1 ARTICLE XVII SAFETY INSTRUCTIONS/SAFETY SIGN
 - PRESSURE TEST PIPING AT 35 PSI FOR 15 MINUTES OR MEET LOCAL CODE IF GREATER
- ### ELECTRICAL REQUIREMENTS
- WIRING AND BONDING AND ALL ELECTRICAL TO NEC ARTICLE 680 OR LOCAL CODE.
 - NO OUTLET OR OVERHEAD POWER WITHIN 10' IF WITHIN 15' PROTECT BY GFI TRANSFORMER MINIMUM 10' FROM POOL, 8" ABOVE WATER, 1 BOX 4' FROM POOL, BRASS TO 1 BOX OR TRANSFORMER WHICH EVER IS FIRST EXCEPT WHERE PVC IS APPROVED
 - EQUIPOTENTIAL BONDING GRID TO BE ACCOMPLISHED PER THE NEC 2014, SECTION

ADDITIONAL NOTES:

- POOL INSTALLATION SHALL BE BY A QUALIFIED AND LICENSED/APPROVED BY LOCAL BUILDING DEPARTMENT) POOL CONTRACTOR, THE INSTALLATION SHALL CONFORM TO ALL LOCAL BUILDING CODES, IE. PERMITS, SPECIFICATIONS, CODES, RULES, INSPECTIONS, WORKMENSHP, ETC.
- POOL SHELL SHALL BEAR ON UNDISTURBED SOIL, FREE OF PEAT, MUCK, OR OTHER DELETERIOUS MATERIAL OF ANY SIGNIFICANT AMOUNT
- BACKFILL MATERIAL MUST NOT CONTAIN ROCKS OR OTHER MATERIALS THAT COULD DAMAGE POOL WALLS
- POOL TURNOVER SHALL BE 12 HOURS, MAXIMUM WITH CARTRIDGE FILTER, APPROVED PUMP (M, HP WITH 29 GPM 60 TDH)
- STEPS SHALL BE PROVIDED AT THE SHALLOW END OF THE POOL.
- LADDERS ARE TO BE PROVIDED IN POOLS WITH GREATER THAN 5' DEPTH WITHOUT SWIMOUTS
- INSTALL LOW VOLTAGE LIGHT PER NEC 680
- DURING HURRICANE WARNING OR ALERT, THIS POOL SHALL BE FILLED WITH WATER
- ALL GLASS WITHIN 5' OF WATERS EDGE SHALL COMPLY WITH R308.4(9) FOR SAFETY GLAZING.



G. Gill
7/25/18



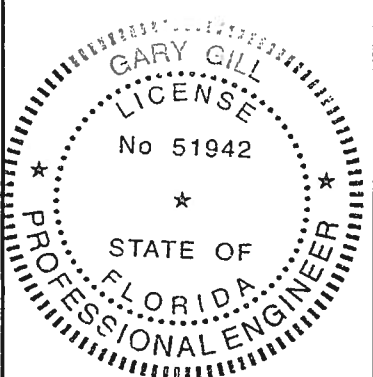
GILL ENGINEERING SERVICES. INC.
AUTH #30824
GARY GILL, PE #51942
426 SW COMMERCE DR. 130-M
LAKE CITY, FL 32025
386-590-1242



CERTIFIED CONCRETE POOL PLANS		PEELER POOLS		TITLE SHEET		1532-054
				T-001	1	

REVISION SCHEDULE		
REV.	DATE	REVISION DESCRIPTION


1	1/24/18	UPDATED TO 2017 CODE
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GILL ENGINEERING SERVICES. INC.
 AUTH #30824
 GARY GILL, PE #51942
 426 SW COMMERCE DR. 130-M
 LAKE CITY, FL 32025
 386-590-1242

CERTIFIED CONCRETE POOL PLANS

PEELER POOLS

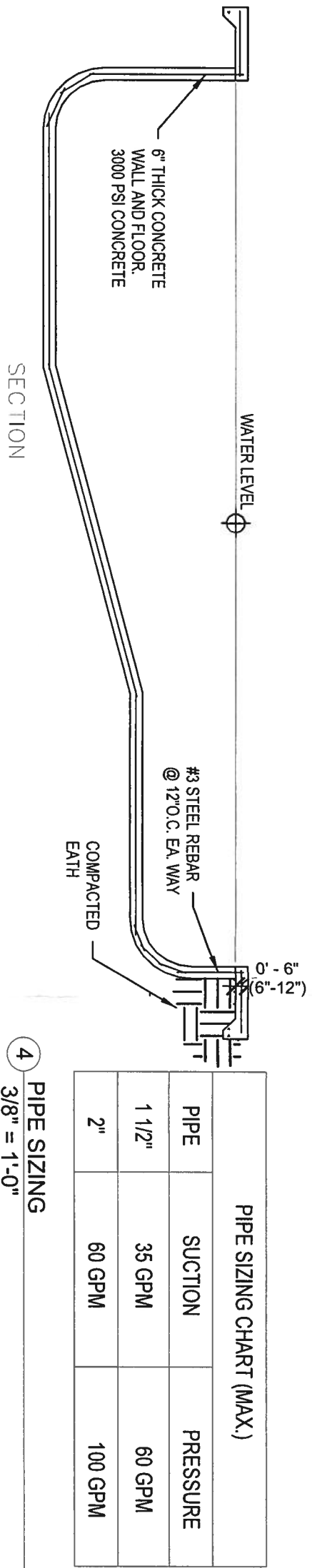


SECTIONS AND DETAILS

1532-054

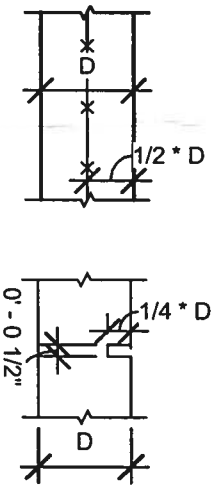
S-002

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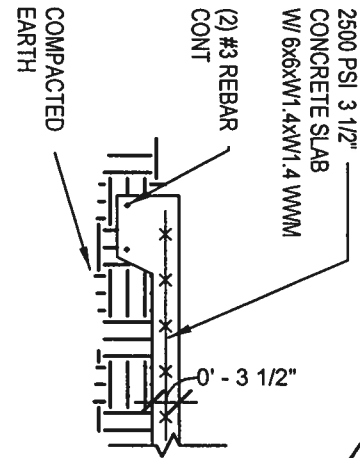


4 PIPE SIZING
 3/8" = 1'-0"

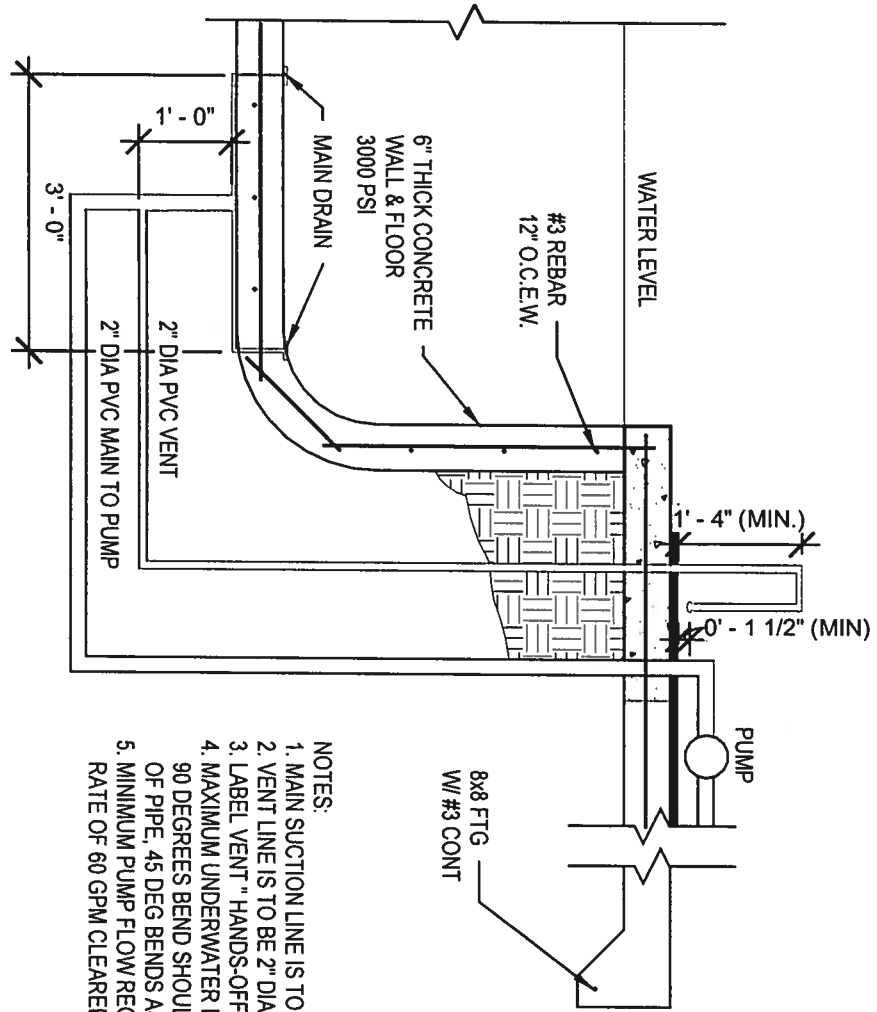
PIPE SIZING CHART (MAX.)			
PIPE	SUCTION	PRESSURE	
1 1/2"	35 GPM	60 GPM	
2"	60 GPM	100 GPM	



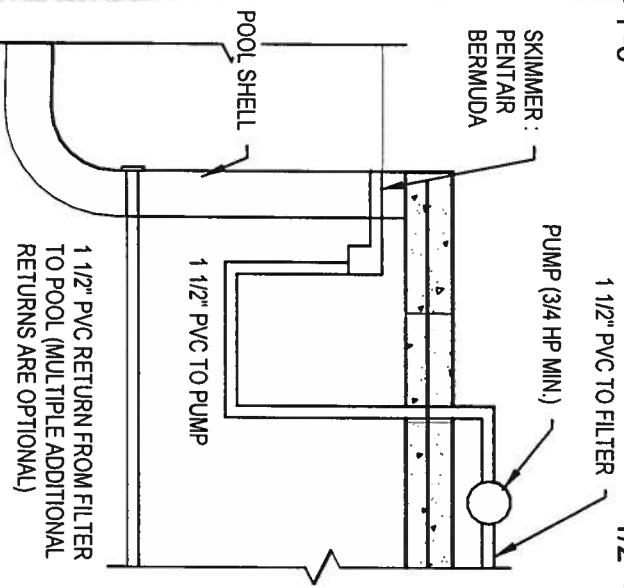
6 SLAB AND JOINT DETAIL
 1 1/2" = 1'-0"



5 SLAB DETAIL
 1/2" = 1'-0"



- NOTES:
1. MAIN SUCTION LINE IS TO BE 2" DIA.
 2. VENT LINE IS TO BE 2" DIA.
 3. LABEL VENT "HANDS-OFF-POOL SAFETY DEVICE"
 4. MAXIMUM UNDERWATER LENGTH OF PIPE IS 30 FT. 90 DEGREES BEND SHOULD BE COUNTED AS 3 FT OF PIPE. 45 DEG BENDS AS 2 FT.
 5. MINIMUM PUMP FLOW REQUIRED IS 42 GPM. TEST FLOW RATE OF 60 GPM CLEARED VENT LINE IN LESS THAN 3 SECS.



3 SKIMMER MAIN RETURN SYSTEM - SUCTION PIPEWORK DIAGRAM
 1/2" = 1'-0"

2 MAIN DRAIN WITH AIR VENT
 1/2" = 1'-0"

1 POOL SECTION (TYPICAL)
 3/16" = 1'-0"

CERTIFIED CONCRETE POOL PLANS	S-002	1
PEELER POOLS		

SECTIONS AND DETAILS		
1532-054	S-002	1