

DATE 09/16/2009

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000028086

APPLICANT NADEAN MCINTOSH PHONE 386.754.8678
ADDRESS 289 NW CORINTH DR LAKE CITY FL 32055
OWNER ROBERT & TRECY HELVEY PHONE 386.754.6800
ADDRESS 353 SW MULBERRY DRIVE LAKE CITY FL 32024
CONTRACTOR MICHAEL DELAHOZ PHONE
LOCATION OF PROPERTY 90-W TO SR.247-S,TL TO C-252-B,TR,TO TIMBER RIDGE,TL TO
MULBERRY DR,TL AND IT'S 1ST. HOME ON L.
TYPE DEVELOPMENT POOL ENCLOSURE ESTIMATED COST OF CONSTRUCTION 5660.15
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING RSF-2 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
NO. EX.D.U. 1 FLOOD ZONE DEVELOPMENT PERMIT NO.

PARCEL ID 10-4S-16-02856-140 SUBDIVISION TIMBERLANDS
LOT 40 BLOCK PHASE 1 UNIT TOTAL ACRES 0.50

SCC056689
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING X-09-284 CSB WR N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.

Check # or Cash 3852

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Insulation date/app. by
Rough-in plumbing above slab and below wood floor date/app. by Electrical rough-in date/app. by
Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by Pool date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
Pump pole date/app. by Utility Pole date/app. by M/H tie downs, blocking, electricity and plumbing date/app. by
Reconnection date/app. by RV date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 30.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ CULVERT FEE \$ TOTAL FEE 80.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only Application # 1909-21 Date Received 9/14/09 By GP Permit # 28086
 Zoning Official 1250 Date 9/18/09 Flood Zone N/A Land Use RLD Zoning RSF-2
 FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner WJ Date 9/15/09
 Comments _____
☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☐ State Road Info ☐ Parent Parcel # _____
☐ Dev Permit # _____ ☐ In Floodway ☐ Letter of Auth. from Contractor ☐ F W Comp. letter
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Road/Code _____
 School _____ = TOTAL 0

Septic Permit No. _____ Fax 8678
 Name Authorized Person Signing Permit Robert or Madean McIntosh Phone 386-754-8679
 Address 289 NW Corinth Dr Lake City FL, 32055
 Owners Name Helvey, Robert M & Treay Phone 754-16800
 911 Address 353 SW Mulberry Dr, LAKE CITY, FL 32055
 Contractors Name Michael A Delattoz Phone 386-754-8679
 Address 927 Hickory St. Altamonte Springs FL 32701
 Fee Simple Owner Name & Address N/A
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address Do Kim 3300 Henderson Blvd Tampa FL 33624
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 10-48-16-02856-140 Estimated Cost of Construction 5660 ¹⁵/₁₀₀
 Subdivision Name Timberlands Lot 40 Block _____ Unit _____ Phase 1
 Driving Directions SW 247, L 2528, R to Timberlands, R 1st House
on L 60 to Jimbey Ridge, TL TO MULBERRY RD 1st Home on L
 Number of Existing Dwellings on Property 1

Construction of Pool enclosure Total Acreage 0.500 Lot Size _____
 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 14'
 Actual Distance of Structure from Property Lines - Front 105' Side 30' Side 28' Rear 35'
 Number of Stories 1 Heated Floor Area _____ Total Floor Area _____ Roof Pitch _____

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

SPOKE to Dee-Dee
9/18/09

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. It may be to your advantage to check and see if your property is encumbered by any restrictions.

(Owners Must Sign All Applications Before Permit Issuance.)

Robert M. Helms
Owners Signature

****OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

Mark de la Rosa
Contractor's Signature (Permitee)

Contractor's License Number SCC056689
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 21st day of Aug 2009.
Personally known ☒ or Produced Identification _____

Nadean G. McIntosh
State of Florida Notary Signature (For the Contractor)

SEAL:



931 SAVANNAH CIRCLE
LAKE CITY, FL 32056

REVISIO 8/4/09

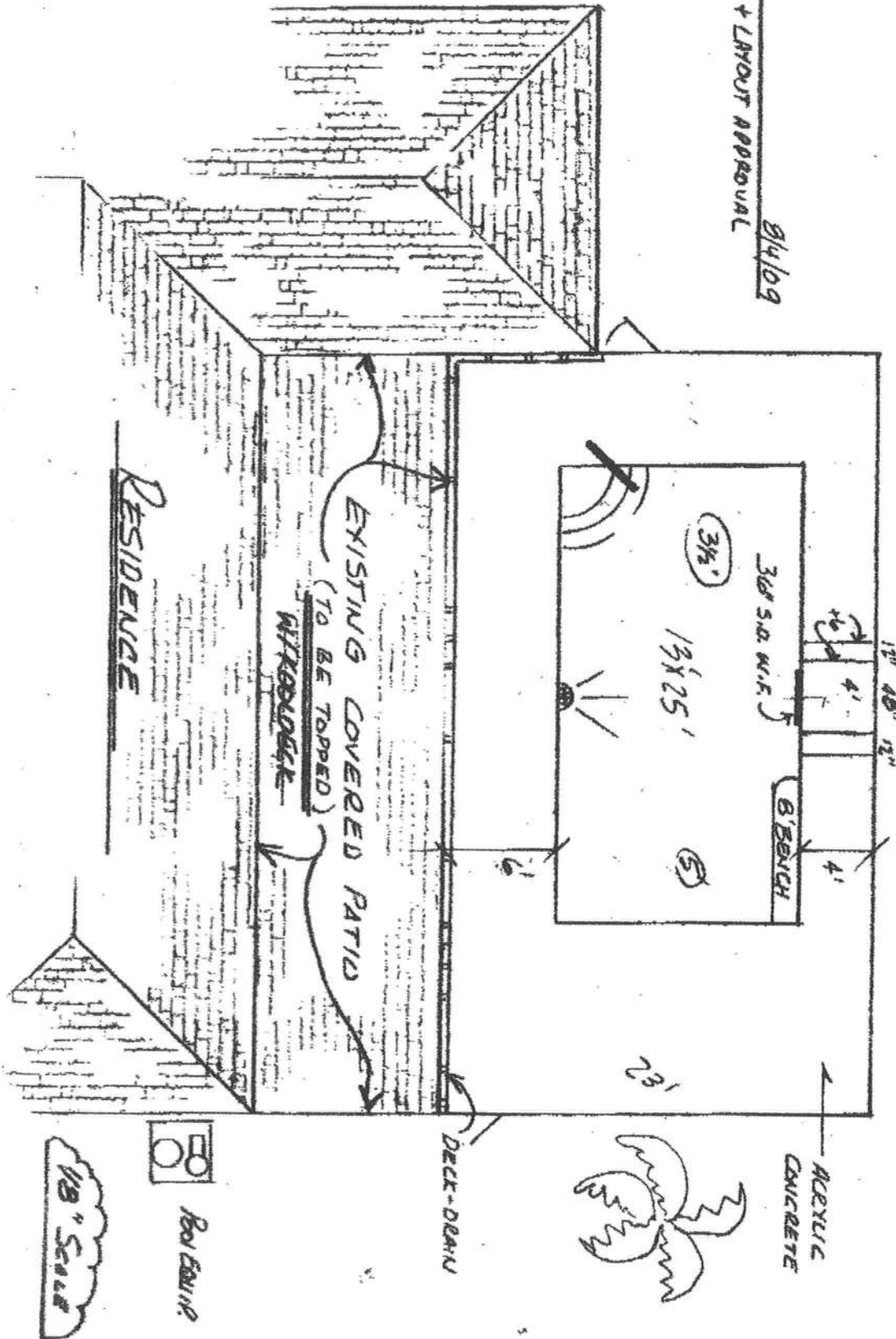
Pool Design For:

353 S.W. MULBERRY DR.

LAKE CITY, FL.

✓
OWNER DESIGN + LAYOUT APPROVAL

8/4/09



ACORD CERTIFICATE OF LIABILITY INSURANCE		OPID ET FLPOOLE	DATE (MM/DD/YYYY) 09/18/09
PRODUCER BB&T - J Rolfe Davis Insurance P.O. Box 4927 Orlando FL 32802-4927 Phone: 407-691-9600		THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.	
INSURED Florida Pool Enclosures, Inc. 927 Hickory Street Altamonte Springs FL 32701		INSURERS AFFORDING COVERAGE INSURER A: Amerisure Mutual Ins. Co. INSURER B: INSURER C: INSURER D: INSURER E:	NAIC # 23396

COVERAGES

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	ADDL	TYPE OF INSURANCE	POLICY NUMBER	POLICY EFFECTIVE DATE (MM/DD/YY)	POLICY EXPIRATION DATE (MM/DD/YY)	LIMITS
A		GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	GL2050936 BLKT ADDL INSD/WAIVER OF SUBRO IF WRITTEN CONTRACT	01/01/09	01/01/10	EACH OCCURRENCE \$ 1000000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 50000 MED EXP (Any one person) \$ 10000 PERSONAL & ADV INJURY \$ 1000000 GENERAL AGGREGATE \$ 2000000 PRODUCTS - COMP/OP AGG \$ 2000000
		AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> ALL OWNED AUTOS <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS				CA2059785
		GARAGE LIABILITY <input type="checkbox"/> ANY AUTO				AUTO ONLY - EA ACCIDENT \$ OTHER THAN EA ACC \$ AUTO ONLY: AGG \$
A		EXCESS/UMBRELLA LIABILITY <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> CLAIMS MADE <input type="checkbox"/> DEDUCTIBLE <input checked="" type="checkbox"/> RETENTION \$ 0	CU2050937	01/01/09	01/01/10	EACH OCCURRENCE \$ 2000000 AGGREGATE \$ 2000000 \$ \$ \$
A		WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? If yes, describe under SPECIAL PROVISIONS below OTHER	WC2050938	01/24/09	01/24/10	<input checked="" type="checkbox"/> WC STATUTORY LIMITS <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 100000 E.L. DISEASE - EA EMPLOYEE \$ 100000 E.L. DISEASE - POLICY LIMIT \$ 500000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS

CERTIFICATE HOLDER**CANCELLATION**

COLUC01 Columbia County 135 NE Hernando Avenue Suite B21 Lake City FL 32055	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, BUT FAILURE TO DO SO SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES. AUTHORIZED REPRESENTATIVE
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Inst. 200912015393 Date: 9/14/2009 Time: 11:07 AM
DC P DeWitt Cason, Columbia County Page 1 of 1 B:1180 P:1991

NOTICE OF COMMENCEMENT

County Clerk's Office Stamp or Seal

Tax Parcel Identification Number 10-45-16-02856-140

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- Description of property (legal description): Lot 40 Timberland S/D, Ph 1 SWD 1166-384
a) Street (job) Address: 353 SW Mulberry Dr
- General description of improvements: Pool Enclosure
- Owner Information
a) Name and address: Helvey, Robert M & Tracy Dr 353 SW Mulberry Dr LC
b) Name and address of fee simple titleholder (if other than owner) N/A
c) Interest in property Owner
- Contractor Information
a) Name and address: Mike DeHoz 289 NW Corinth Dr Lake City FL
b) Telephone No: 386-754-8678 Fax No. (Opt.): 386-555-3205
- Surety Information
a) Name and address: N/A
b) Amount of Bond: _____
c) Telephone No.: _____ Fax No. (Opt.): _____
- Lender
a) Name and address: N/A
b) Phone No.: _____
- Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:
a) Name and address: _____
b) Telephone No.: _____ Fax No. (Opt.): _____
- In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b) Florida Statutes:
a) Name and address: Florida Pool Enclosures Inc 289 NW Corinth Dr Lake City FL
b) Telephone No.: _____ Fax No. (Opt.): 386-555-3205
- Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified): _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

X Robert Helvey
Signature of Owner or Owner's Authorized Officer/Partner/Manager
Robert Helvey
Print Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 5 day of Aug, 2009, by:

as _____ (type of authority, e.g. officer, trustee, attorney
fact) for _____ (name of party on behalf of whom instrument was executed).

Personally Known _____ OR Produced Identification _____ Type _____

Notary Signature [Signature] Notary Stamp or Seal:



—AND—

11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

Signature of Natural Person Signing (in line #10 above.)

Columbia County Property Appraiser

DB Last Updated: 7/22/2009

Parcel: 10-4S-16-02856-140

2009 Preliminary Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	HELVEY ROBERT M & TRECY D		
Site Address	MULBERRY		
Mailing Address	353 SW MULBERRY DR LAKE CITY, FL 32024		
Use Desc. (code)	VACANT (000000)		
Neighborhood	010416.00	Tax District	3
UD Codes	MKTA06	Market Area	06
Total Land Area	0.500 ACRES		
Description	LOT 40 TIMBERLANDS S/D PHASE 1 SWD 1166-384		

GIS Aerial**Property & Assessment Values**

Mkt Land Value	cnt: (1)	\$25,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$25,000.00

Just Value	\$25,000.00
Class Value	\$0.00
Assessed Value	\$25,000.00
Exemptions	\$0.00
Total Taxable Value	County: \$25,000.00 City: \$25,000.00 Other: \$25,000.00 School: \$25,000.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
1/26/2009	1166/384	WD	I	Q	01	\$213,600.00
5/27/2008	1151/2385	WD	V	U	02	\$899,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
NONE						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	0000001.000 LT - (0000000.500AC)	1.00/1.00/1.00/1.00	\$25,000.00	\$25,000.00

Columbia County Property Appraiser

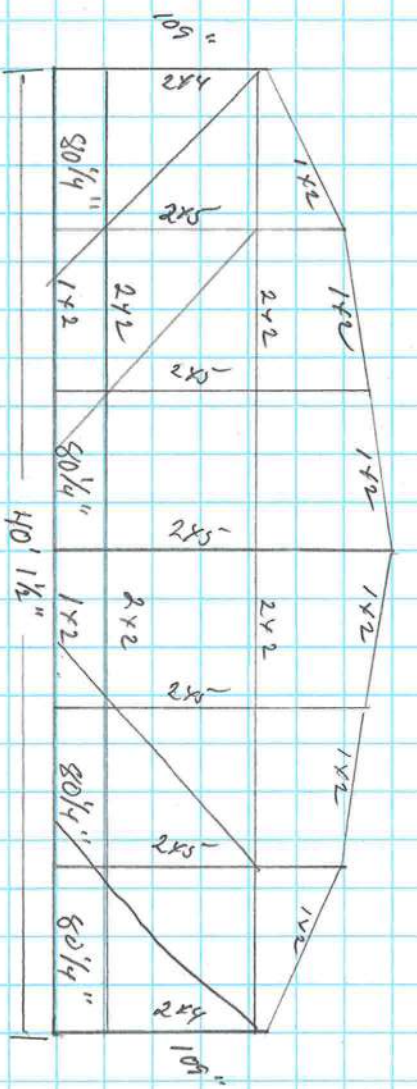
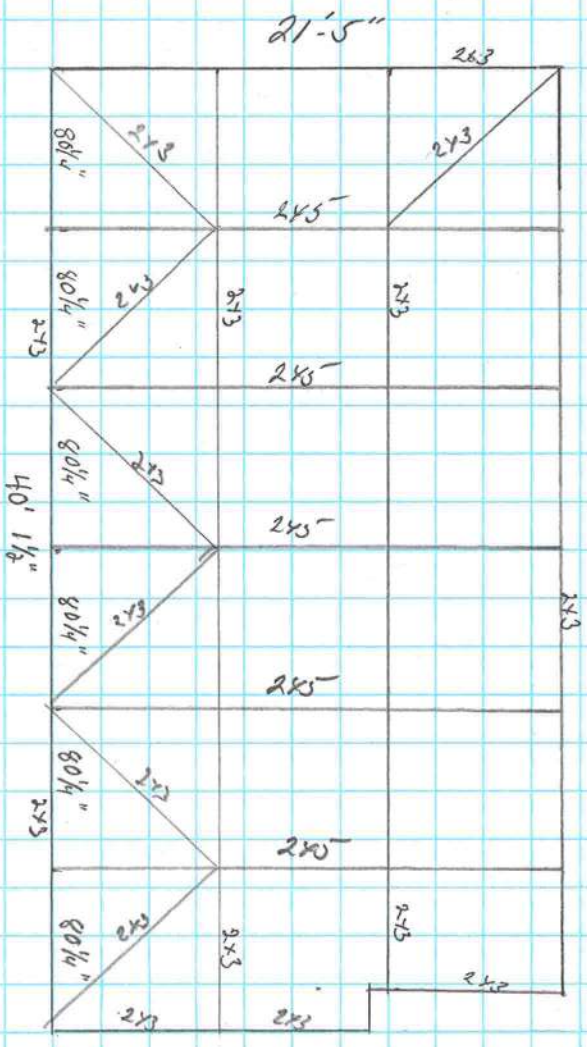
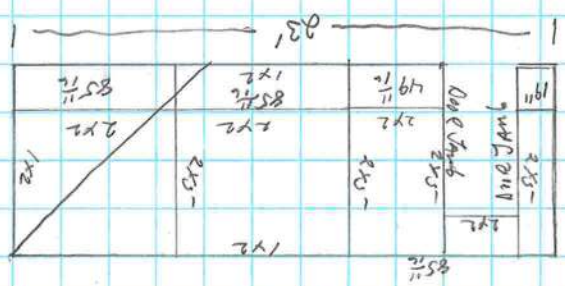
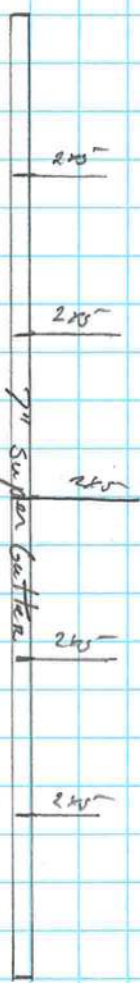
DB Last Updated: 7/22/2009

1 of 1

Disclaimer

This information was derived from data which was compiled by the Columbia County Property Appraiser's Office solely for the government purpose of property assessment. The information shown is a **work in progress** and should not be relied upon by anyone as a determination of the

Harvey



DO KIM
& ASSOCIATES, LLC

CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev./Date	Description
5/05 2006	ISSUED

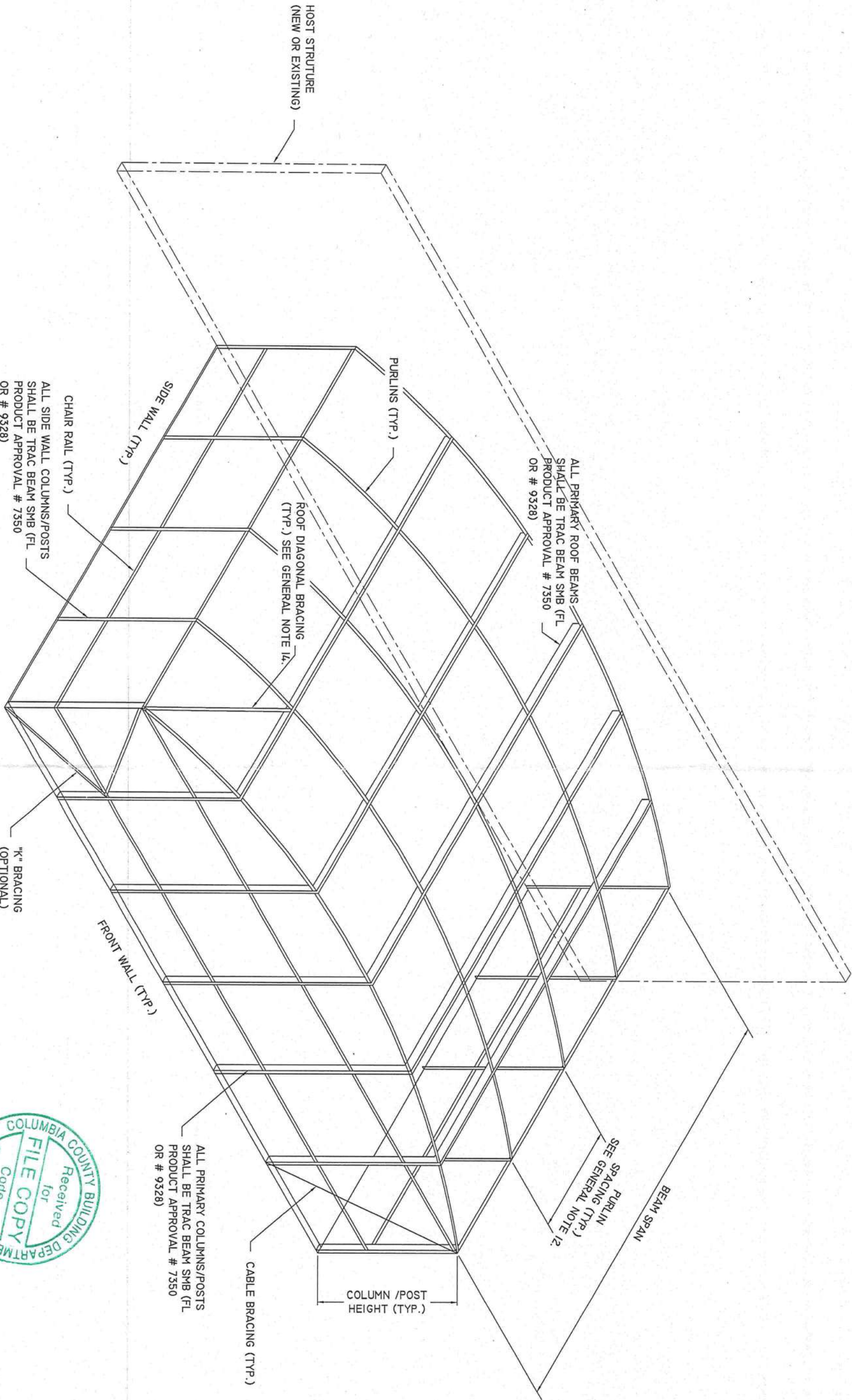
CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/05

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
P.O. # 26887
3300 HENDERSON BLVD.,
SUITE 106
TAMPA, FL 33684

Drawing No. - 060905

SHEET 1 OF 7



TYPICAL DOME ROOF

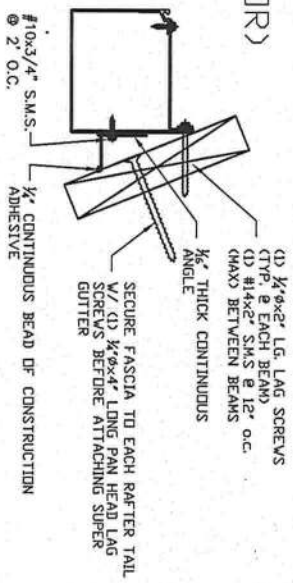
NOTE: Sketch is only a representation of a Dome Style Enclosure.
Contractor shall provide detailed layout drawings.



CLIENT: Florida Pool Enclosures, INC

DESCRIPTION:

Screen Enclosure Details



DIAGONAL CONNECTION

6'-0" MAX. SPAN

COLUMN

-

[illegible]

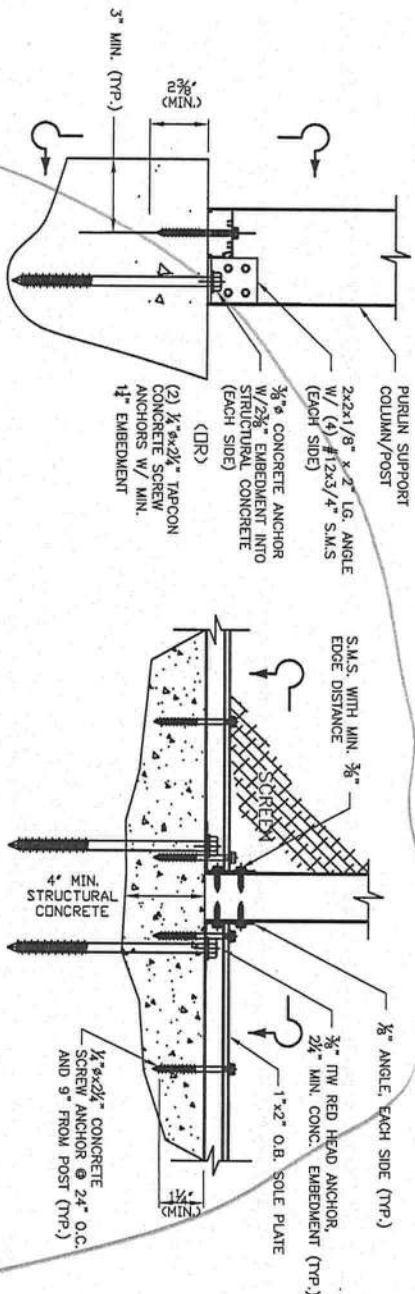
- NON-GABLE ROOF TRANSOM (RISER) WALL
CONNECTION DETAIL

Diagram illustrating a connection detail for a steel beam to a concrete slab. The detail shows a steel beam (labeled 'STEEL' on the left) connected to a concrete slab. A clip angle is shown attached to the beam, with a dimension of $15^{\circ} \pm 15^{\circ}$ indicating the angle of the clip. The clip angle is labeled '3" STEEL "CLIP BACK" CLIP (TYP.)'. The concrete slab is labeled '(2) - $\frac{1}{2}$ " x 2" CONCRETE SCREW ANCHOR (TYP.)'. A note states: 'THIS CLIP MAY BE INSTALLED ON T/C OR ON SIDE OF CONC. SLAB (2" MIN. CONCRETE EDGE DISTANCE)'.

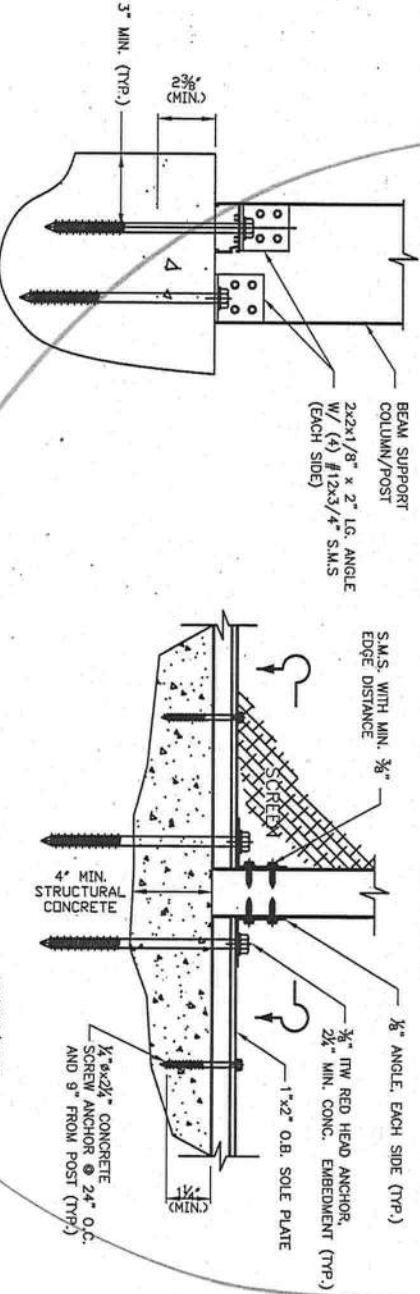
Beam Switching Screw for all Legacy S.M.B.s (NOT FOR TRAC BEAMS)	
Beam Size	Beam Switching Screw @ 24" o.c.
2" x 4" x 0.046 x 0.100	#8 x ½"
2" x 5" x 0.050 x 0.116	#8 x ¾"
2" x 6" x 0.050 x 0.120	#10 x ¾"
2" x 7" x 0.055 x 0.120	#10 x ¾"
2" x 8" x 0.072 x 0.224	#12 x ¾"
2" x 9" x 0.072 x 0.224	#12 x ¾"
2" x 9" x 0.082 x 0.306	#14 x ¾"
2" x 10" x 0.092 x 0.389	#14 x ¾"

DRAWN BY: DYK		CLIENT: Florida Pool Enclosures, INC DESCRIPTION: Screen Enclosure Details
CHECKED BY: DYK		
SCALE: AS SHOWN		
DATE: 9/05/06		

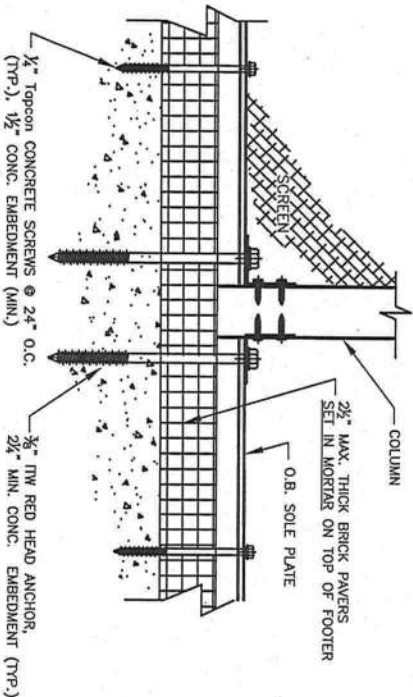
DO KIM & ASSOCIATES, LLC
CA# 26887
330 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33684
7.5.09



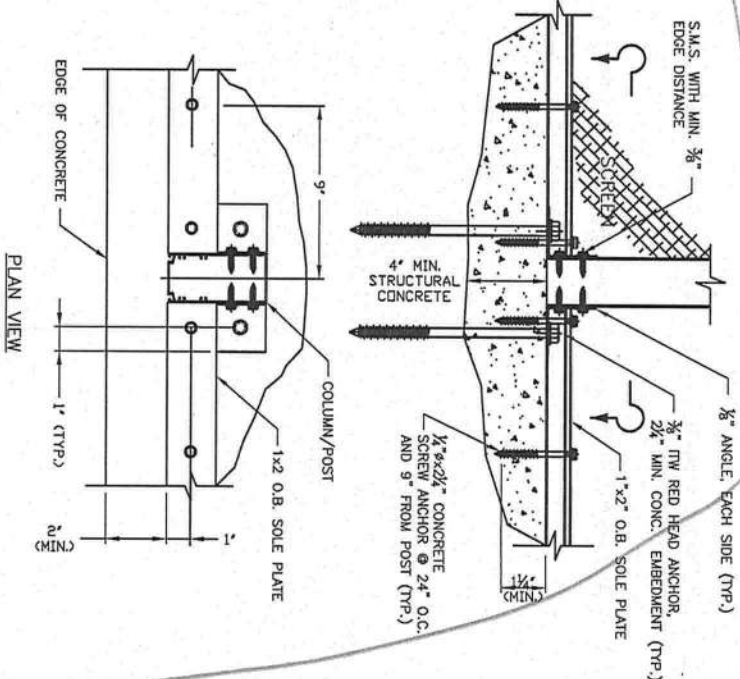
SIDEWALL COLUMN TO FOUNDATION CONNECTION DETAIL



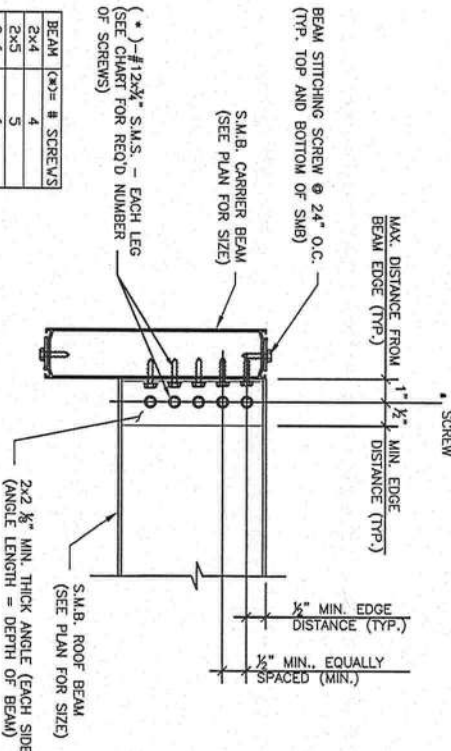
MAIN COLUMN TO FOUNDATION CONNECTION DETAIL



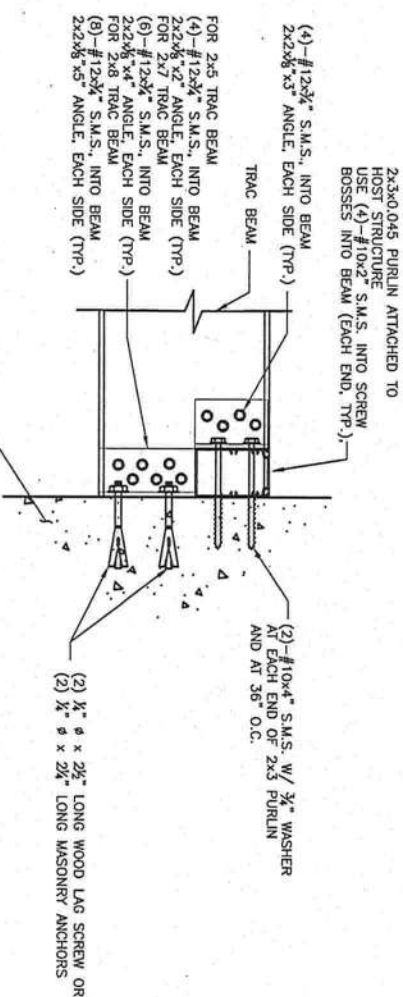
TYPICAL FRONT VIEW OF POST TO FOUNDATION CONNECTION WITH PAVERS



CARRIER BEAM TO BEAM CONNECTION DETAIL

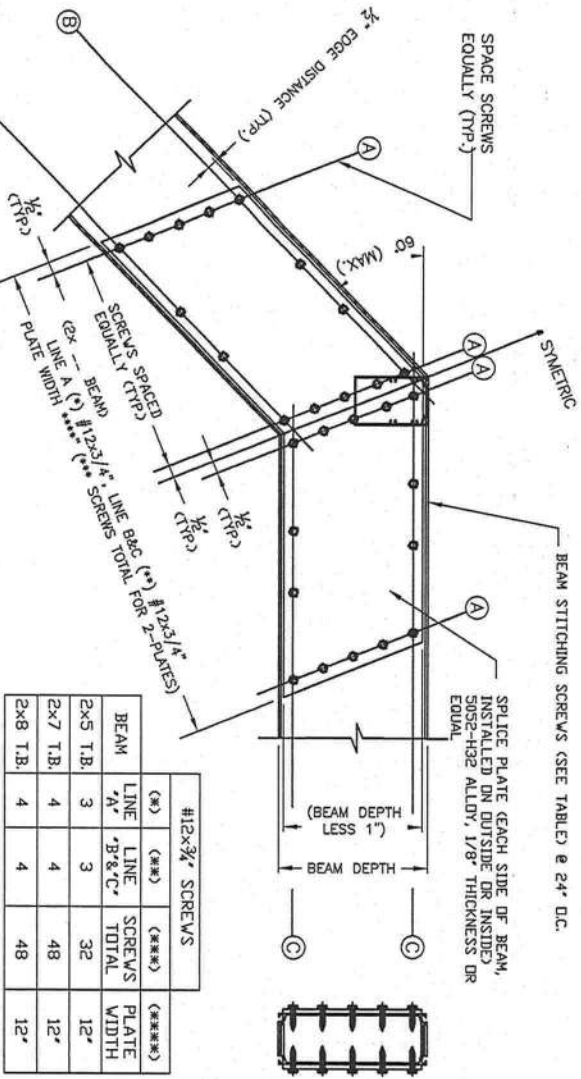


BEAM TO HOST STRUCTURE DETAIL



MANSARD ROOF BEAM CONNECTION DETAIL

BEAM	(*) = # SCREWS
2x4	4
2x5	5
2x6	6
2x7	7
2x8	8
2x9	9
2x10	10



BEAM	LINE	LINE	SCREWS	PLATE
2x5 T.B.	3	3	32	12"
2x7 T.B.	4	4	48	12"
2x8 T.B.	4	4	48	12"

DO KIM & ASSOCIATES, LLC
CONSULTING STRUCTURAL ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
6/05	ISSUED
2/08	

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

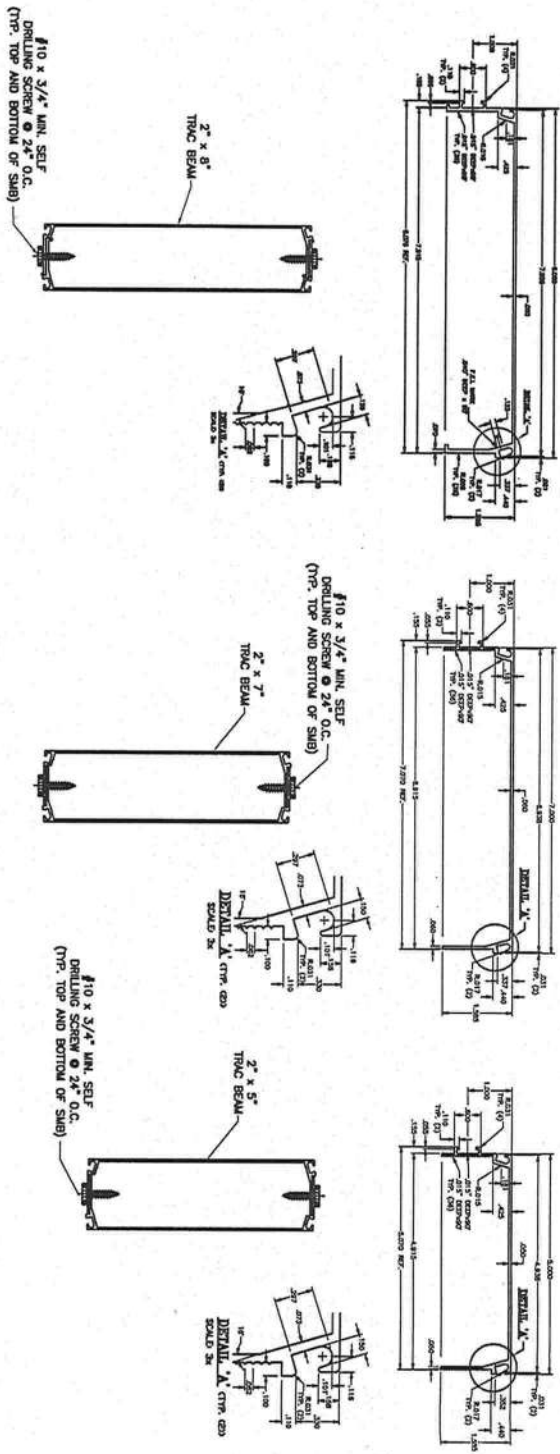
DRAWN BY:	DYK
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SCALE:	AS SHOWN
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DO YEON KIM, P.E.
FLA. REG. NUMBER 49497

DO KIM & ASSOCIATES, LLC
C/ # 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33694

Drawing No. - 060905
SHEET 4 OF 7

Pool Enclosure Collective, LLC
Trac Beam (FL State Product Approval #7350 & #9328)



Trac Beam Notes:

1. Refer to Florida Product Approval #FL7350 & #FL9328 for project specific requirements
2. Drawings are illustrative purposes only.
3. Spans are based on ten feet wall height. For wall heights exceeding ten feet, allowable column spans shall be reduce 7% for each five feet increment. Then reduce spans by 10% for Exposure C.
4. Allowable point loads and deflections are converted to allowable uniform loads and deflections using analytic and comparative analysis.
5. Allowable spans tables are based on 2007 FBC w/ 2009 Supplement.
6. Wind loads are based on Chapter 20 and Table 2004.4.
7. Maximum allowable deflections limits of L/60 shall be considered by design professional. L/80 in HVHZ.

2x8 TRAC SPAN (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	32.5'	30.0'	28.9'	27.7'	26.3'
6' O.C.	29.5'	28.7'	27.6'	26.3'	25.0'
7' O.C.	28.7'	27.8'	26.7'	24.9'	23.5'
8' O.C.	27.8'	26.5'	25.2'	23.4'	21.8'

2x8 TRAC BEAM CLEAR SPAN (FLAT ROOF)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	40.0'	40.0'	40.0'	40.0'	36.0'
6' O.C.	40.0'	40.0'	40.0'	37.0'	35.0'
7' O.C.	40.0'	40.0'	38.0'	35.5'	34.0'
8' O.C.	40.0'	38.0'	36.0'	34.2'	32.0'

2x8 TRAC BEAM SPAN (MANSARD ROOF)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	52.0'	52.0'	52.0'	52.0'	47.0'
6' O.C.	52.0'	52.0'	52.0'	50.0'	46.0'
7' O.C.	52.0'	52.0'	52.0'	47.5'	44.8'
8' O.C.	52.0'	50.0'	47.0'	45.0'	42.8'

2x5 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	25'	25'	25'	24.12'	23.27'
6' O.C.	25'	25'	25'	23.06'	22.12'
7' O.C.	25'	25'	23.51'	22.16'	21.33'
8' O.C.	25'	25'	22.94'	21.36'	20.35'

2x5 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	20.31'	19.00'	17.01'	15.00'	13.33'
6' O.C.	18.57'	17.00'	14.57'	13.07'	12.28'
7' O.C.	16.89'	15.00'	13.00'	12.15'	11.24'
8' O.C.	15.11'	13.52'	12.28'	11.13'	10.12'

2x7 TRAC BEAM (ROOF BEAM SPAN)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	37.82'	37.62'	34.63'	31.23'	28.00'
6' O.C.	35.18'	35.01'	31.23'	27.37'	23.61'
7' O.C.	32.65'	32.43'	28.00'	23.48'	23.05'
8' O.C.	30.00'	29.82'	24.76'	23.21'	22.61'

2x7 TRAC BEAM (COLUMN HEIGHT)					
BEAM TO BEAM SPACING (ft)	110 mph	120 mph	130 mph	140 mph	150 mph
5' O.C.	23.04'	22.42'	21.48'	20.53'	19.59'
6' O.C.	22.22'	21.47'	20.34'	19.21'	18.08'
7' O.C.	21.41'	20.53'	19.20'	17.80'	16.68'
8' O.C.	20.55'	19.59'	18.08'	16.58'	15.08'

DO KIM & ASSOCIATES, LLC

CONSULTING
STRUCTURAL
ENGINEERS

3300 Henderson Blvd., Suite 106
Tampa, FL 33609
Tel: (813) 874-5900
Fax: (813) 874-5959

Rev/Date	Description
6/05 2008	ISSUED

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△	
△	
△	

CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

DRAWN BY:	DYK
CHECKED BY:	DYK
SCALE:	AS SHOWN
DATE:	9/05/06

DO YEON KIM, P.E.
FLA. REG. NUMBER 49497
DO KIM & ASSOCIATES, LLC
CA# 26887
3300 HENDERSON BLVD.,
SUITE 106
Tampa, FL 33604
2-5-09

Drawing No. - 060905

DO KIM
& ASSOCIATES, LLC

3300 Henderson Blvd., Suite 106

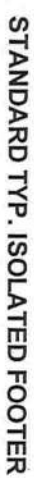
Rev./Date	Description
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DRAWN BY:	DYK
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DO YEON KIM, P.E.
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Drawing No. - 060905



Fax: (813) 874-5955

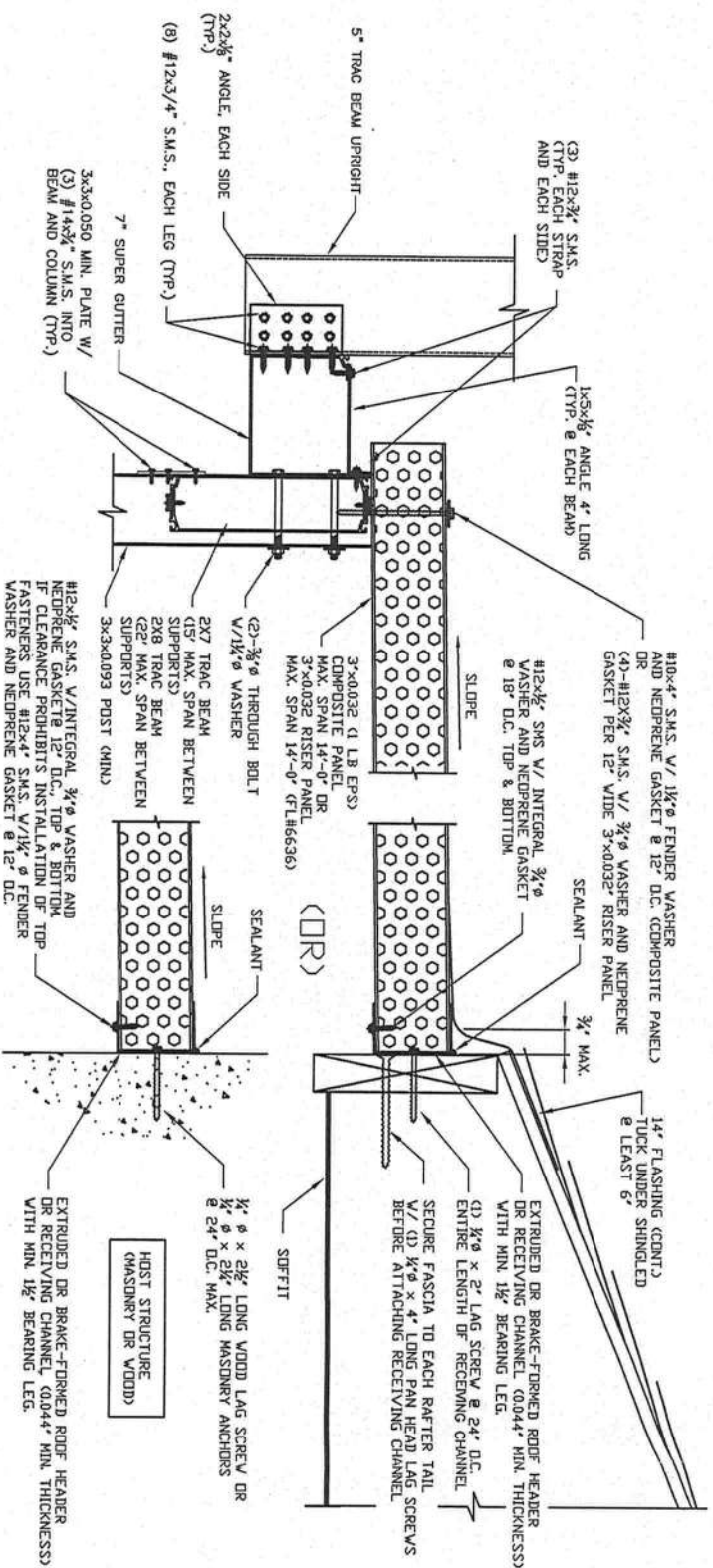
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CLIENT: Florida Pool Enclosures, INC
DESCRIPTION:
Screen Enclosure Details

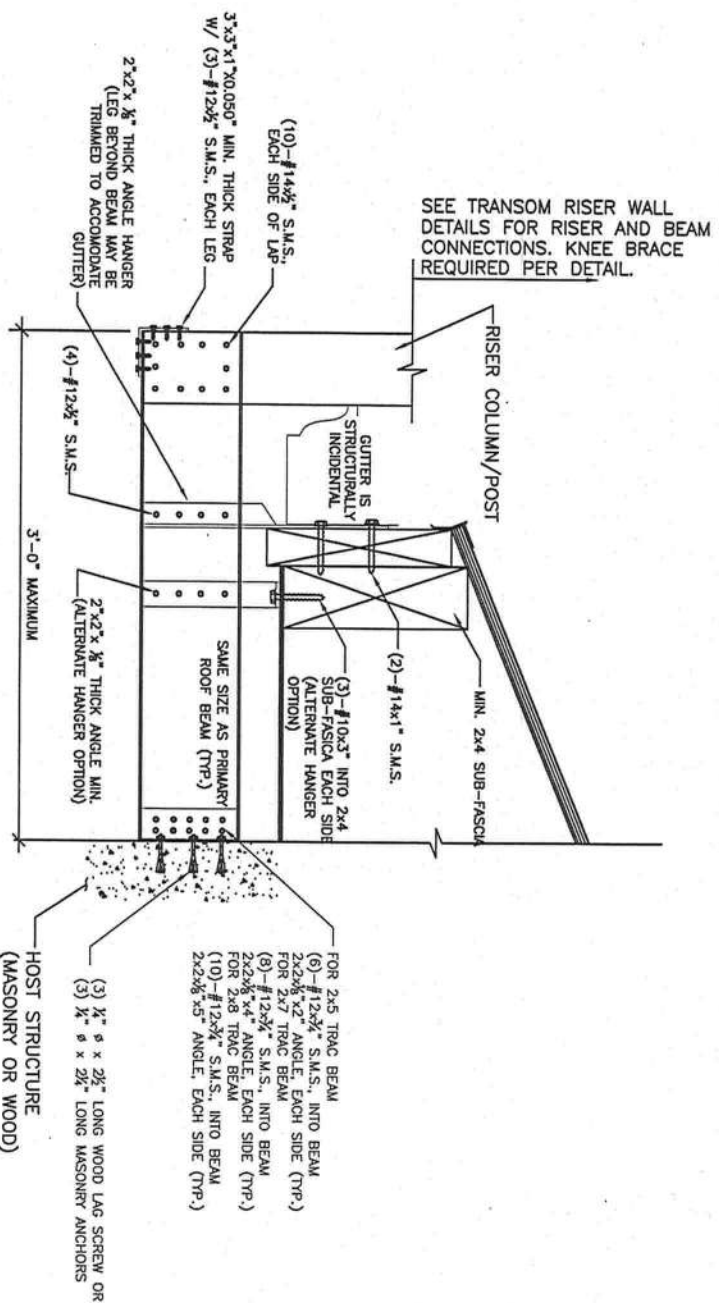
DATE: 9/05

Tampa, FL 33684

Drawing No. - 060905



SCREEN ROOF TO
PANEL OR COMPOSITE ROOF
CONNECTION DETAIL



TYP. FRONT WALL KNEE BRACE CONNECTION DETAIL

KNEE BRACE SECTION	MAY 1 LENGTH	#100K" SMC
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