

DATE 15/2007

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026129

APPLICANT SUSAN SHORT PHONE 352 472-6371

ADDRESS P.O. BOX 367 NEWBERRY FL 32669

OWNER GARY CARTER PHONE 386 331-9014

ADDRESS 555 NW LONA LOOP LAKE CITY FL 32025

CONTRACTOR MAC JOHNSON PHONE 352 472-4943

LOCATION OF PROPERTY 90W, TR ON BROWN RD, TL ON HORIZON ST, GO TO THE END  
CURVES TO LEFT ON LAKE LONA LOOP, 5TH LOT ON RIGHT

TYPE DEVELOPMENT RE-ROOF ON SFD ESTIMATED COST OF CONSTRUCTION 4620.00

HEATED FLOOR AREA                      TOTAL AREA                      HEIGHT                      STORIES                     

FOUNDATION                      WALLS                      ROOF PITCH                      FLOOR                     

LAND USE & ZONING                      MAX. HEIGHT                     

Minimum Set Back Requirments: STREET-FRONT                      REAR                      SIDE                     

NO. EX.D.U.                      FLOOD ZONE NA DEVELOPMENT PERMIT NO.                     

PARCEL ID 29-3S-16-02391-011 SUBDIVISION FAIRFIELD WOODS

LOT 11 BLOCK                      PHASE                      UNIT                      TOTAL ACRES                     

                                          CCC1325497 Susan Short

Culvert Permit No.                      Culvert Waiver                      Contractor's License Number                      Applicant/Owner/Contractor                     

EXISTING                      X07-324 BK JH N

Driveway Connection                      Septic Tank Number                      LU & Zoning checked by                      Approved for Issuance                      New Resident                     

COMMENTS: NOC ON FILE

Check # or Cash 3600

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power                      Foundation                      Monolithic                       
date/app. by                      date/app. by                      date/app. by                     

Under slab rough-in plumbing                      Slab                      Sheathing/Nailing                       
date/app. by                      date/app. by                      date/app. by                     

Framing                      Rough-in plumbing above slab and below wood floor                       
date/app. by                      date/app. by                     

Electrical rough-in                      Heat & Air Duct                      Peri. beam (Lintel)                       
date/app. by                      date/app. by                      date/app. by                     

Permanent power                      C.O. Final                      Culvert                       
date/app. by                      date/app. by                      date/app. by                     

M/H tie downs, blocking, electricity and plumbing                      Pool                       
date/app. by                      date/app. by                     

Reconnection                      Pump pole                      Utility Pole                       
date/app. by                      date/app. by                      date/app. by                     

M/H Pole                      Travel Trailer                      Re-roof                       
date/app. by                      date/app. by                      date/app. by                     

BUILDING PERMIT FEE \$ 25.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$                      FIRE FEE \$ 0.00 WASTE FEE \$                     

FLOOD DEVELOPMENT FEE \$                      FLOOD ZONE FEE \$                      CULVERT FEE \$                      TOTAL FEE 25.00

INSPECTORS OFFICE                      CLERKS OFFICE                     

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

# NOTICE OF COMMENCEMENT

This Instrument Prepared By:

Name: Susan Short  
Address: P.O. Box 367 Newberry, FL 32669

Permit No:

Tax Folio No: 29-35-16-02391-011 HX

STATE OF: Florida

COUNTY OF: Columbia

Inst: 200712018516 Date: 8/15/2007 Time: 10:50 AM

17 DC, P. DeWitt Cason, Columbia County Page 1 of 1

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. DESCRIPTION OF PROPERTY: Street Address: 555 NW Lona Loop Lake City, FL 32055  
Legal Description: Lot 11 Fairfield Woods S/D - DRB 657-613, 955-2418

2. GENERAL DESCRIPTION OF IMPROVEMENT(S): Roof over metal w/purlins house

X 3. OWNER INFORMATION: a.) Name: Gary H Carter Address: 555 NW Lona Loop Lake City, FL 32055  
b.) Interest in Property: 100% owner

c.) Fee Simple Titleholder (if other than owner) Name: N/A Address: \_\_\_\_\_  
4. CONTRACTOR: a.) Name: Mac C Johnson Address: P.O. Box 367 Newberry, FL 32669 b.) Phone: 352-472-4943

5. SURETY: a.) Name: N/A Address: \_\_\_\_\_  
b.) Amount of bond \$: \_\_\_\_\_ c.) Phone: \_\_\_\_\_

6. LENDER: a.) Name: N/A Address: \_\_\_\_\_ b.) Phone: \_\_\_\_\_

7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a) 7., Florida Statutes:

a.) Name: N/A Address: \_\_\_\_\_ b.) Phone: \_\_\_\_\_

8. In addition to himself, Owner designates the following person(s) to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

a.) Name: N/A Address: \_\_\_\_\_ b.) Phone: \_\_\_\_\_

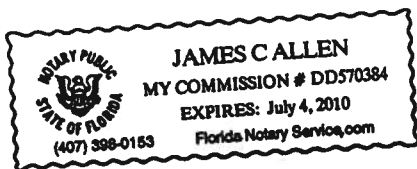
9. Expiration date of notice of commencement (the expiration date is one (1) year from the date of recording unless a different date is specified.) \_\_\_\_\_

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

Gary H Carter  
Signature of Owner or Owner's Authorized Officer/Director  
Partner/Manager

Signatory's Title/ Office \_\_\_\_\_

The foregoing instrument was acknowledged before me this 9 day of August 2007 (year)  
by Gary Carter (name of person) as Self (type of authority, e.g. officer,  
trustee, attorney in fact) for \_\_\_\_\_ (name of party on behalf of whom instrument was executed).



James C. Allen  
Signature of Notary Public - State of Florida  
Print, Type, or Stamp Commissioned Name of Notary Public  
Commission Number: \_\_\_\_\_  
Personally Known ☒ or Produced Identification \_\_\_\_\_

Verification Pursuant to Section 92.525, Florida Statutes

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

\_\_\_\_\_  
Signature of Natural Person Signing Above

# Columbia County Building Permit Application

**For Office Use Only** Application # 0708-38 Date Received 8/15/07 By GT Permit # 26129  
 Application Approved by - Zoning Official \_\_\_\_\_ Date \_\_\_\_\_ Plans Examiner \_\_\_\_\_ Date \_\_\_\_\_  
 Flood Zone \_\_\_\_\_ Development Permit \_\_\_\_\_ Zoning \_\_\_\_\_ Land Use Plan Map Category \_\_\_\_\_  
 Comments \_\_\_\_\_  
☐ NOC ☐ EH ☐ Deed or PA ☐ Site Plan ☐ State Road Info ☐ Parent Parcel # ☐ Development Permit

Name Authorized Person Signing Permit Susan Short Fax 352-472-6371  
 Address P.O. Box 367 Newberry, FL 32669 Phone 352-472-4943  
 Owners Name Gary Carter Phone 386-331-9014  
 911 Address 555 NW Long Loop Lake City, FL 32025  
 Contractors Name Mac C Johnson Phone 352-472-4943  
 Address P.O. Box 367 Newberry, FL 32669  
 Fee Simple Owner Name & Address \_\_\_\_\_  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address N/A  
 Mortgage Lenders Name & Address \_\_\_\_\_

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 29-35-16-02391-011 HX Estimated Cost of Construction 4620-

Division Name Fairfield Woods Lot 11 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions Go west on US 90 to Brown Rd T/R GO TO HORIZON ST.  
T/L Road curves to left and turns into Lake Long Loop 50yds down  
on right is house mailbox has 555 on it. 5th on right

Type of Construction Metal Roof over w/purlins house Number of Existing Dwellings on Property 1

Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Driv

Actual Distance of Structure from Property Lines - Front \_\_\_\_\_ Side \_\_\_\_\_ Side \_\_\_\_\_ Rear \_\_\_\_\_

Total Building Height \_\_\_\_\_ Number of Stories 2 Heated Floor Area \_\_\_\_\_ Roof Pitch 12/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

**OWNERS AFFIDAVIT:** I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Susan Short

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA  
 COUNTY OF COLUMBIA



Sworn to (or affirmed) and subscribed before me

this 14th day of August 2007

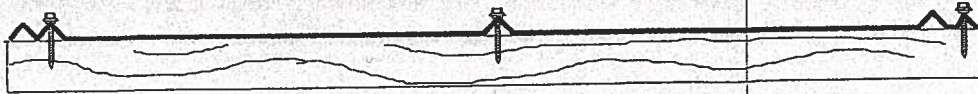
Personally known \_\_\_\_\_ or Produced Identification ✓

Contractor Signature  
 Contractors License Number CCC1325497  
 Competency Card Number \_\_\_\_\_  
 NOTARY STAMP/SEAL

Katherine P. Blumling  
 Notary Signature



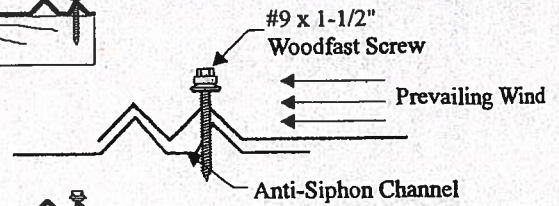
## 5V Crimp Panel



For all intermediate purlins or plywood

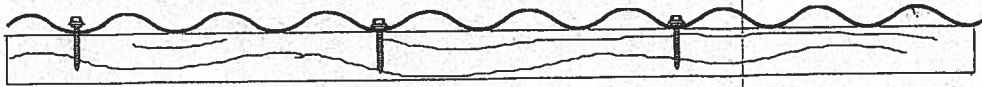


For eaves and valleys

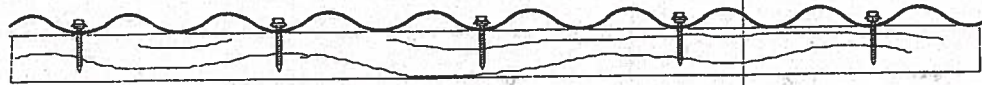


Minimum Pitch 3/12  
Nominal Coverage 24" (+/- 1/8")

## 2 - 1/2" Corrugated Panel



For all intermediate purlins or plywood



For eaves, ridges and valleys



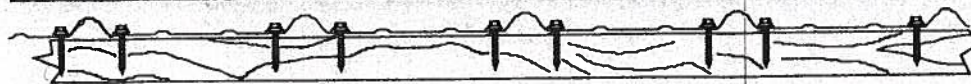
21-1/2" Coverage  
Sidelap Detail for Roofing



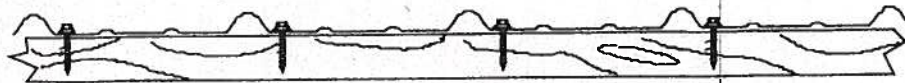
24" Coverage  
Sidelap Detail for Siding

Minimum Pitch 3/12  
Nominal Coverage 24" (+/- 1/8")

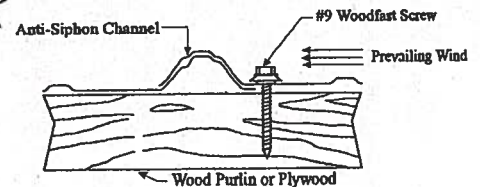
## SM Rib Panel



Fastening schedule for eaves, ridges and endlaps

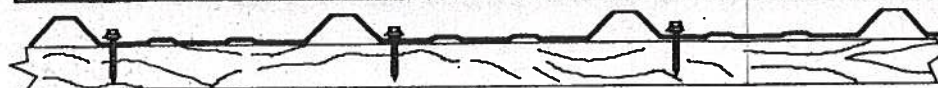


For all intermediate purlins or plywood

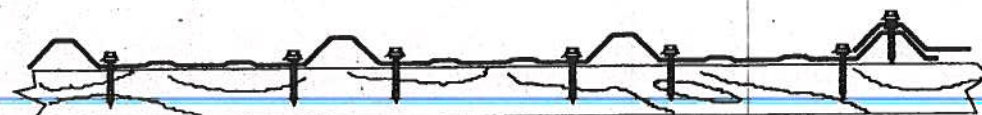


Minimum Pitch 3/12  
Nominal Coverage 36" (+/- 1/8")

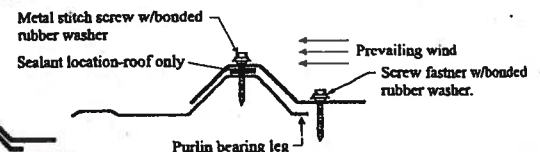
## PBR Panel



Fastening schedule for all intermediate locations



Fastening schedule for eaves, valleys and endlaps



Minimum Pitch 1/12  
Nominal Coverage 36" (+/- 1/8")



Customer # 27928

**MAC JOHNSON ROOFING, INC.**

Gainesville (352) 379-4752

Fax (352) 472-6371

Newberry (352) 472-4943

P. O. Box 367 • Newberry, Florida 32669

STATE CERTIFIED • LICENSED & BONDED • INSURED  
CCC-1325497 RC - 0061384

Lake City (386) 755-8311

Titusville (321) 385-3854

Tallahassee (866) 376-4943

**1-866-376-4943**

<b>PROPOSAL SUBMITTED TO:</b>		PHONE: 805-331-9014	DATE: 8.7.07
NAME: <u>BARRY CARTER</u>	JOB NAME:		
STREET: <u>555 NW LUNA LOOP</u>	STREET:		
CITY: <u>LAKE CITY</u>	CITY:		
STATE: <u>FLA 32025</u>			

**We hereby submit specifications and estimates for:**

Mac Johnson Roofing, Inc. agrees to install a metal roof system application by:

☐ Roof Over   
 ☒ Roof over with Purlins   
 ☐ Re-Roof

New roof will consist of:

- ☒ 1. New eave drip, rake trim and transition metal
- ☒ 2. New 24 Gauge SM Rib Metal Roof System; Color Choice FOREST GREEN
- ☒ 3. New pipe flashings
- ☒ 4. New continuous ridge cap
- ☒ 5. Panels to be secured with matching screws, according to code
- ☒ 6. Contractor shall provide all necessary permits and inspections
- ☒ 7. Metal roof has a 40 limited manufacturer's warranty

Roofover \$4340.00

Insulation: ADD \$700.00

ALL OF THE ABOVE WORK IS TO BE  
COMPLETED IN A SUBSTANTIAL AND  
WORKMANLIKE MANNER FOR THE SUM  
OF:

Galvalume Metal: \$

Painted Metal: \$

\$ 4620.00

Dry in with 15 lb. felt N/A Dry in with 30 lb. felt N/AOPTION: Optional ridge vents: \$ 444 each

NOTE: Any woodwork is additional, labor plus materials. Woodwork is \$ 38.00 per man, per hour.  
Plywood replacement is \$ 35.00 per sheet and covers labor and material. Yard will be cleaned daily. Grounds shall be magnetized.

We hereby propose to furnish labor and materials - complete in accordance with the above specifications, with payment to be made as follows:

PAYMENT TERMS: 1/2 of amount is due upon signing Contract.

5 year warranty on workmanship

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. This proposal subject to acceptance within 60 days and is void thereafter at the option of the undersigned.

Cell 352-339-2917

AUTHORIZED SIGNATURE

*Jim Allen*

A carrying charge of 1.5% per month will be added  
to the unpaid balance after thirty (30) days.

The customer will be responsible for all reasonable costs  
of collection including attorney's fees.

**ACCEPTANCE OF PROPOSAL**

The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified.  
Payment will be made as outlined above.

ACCEPTED: \_\_\_\_\_

SIGNATURE

*Barry Carter*

County  
house  
148

# Columbia County Property Appraiser

DB Last Updated: 8/2/2007

## 2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

New Super Homestead Taxable Value Calculator

Print

Parcel: 29-3S-16-02391-011 HX

Search Result: 1 of 1

### Owner & Property Info

<b>Owner's Name</b>	CARTER GARY H		
<b>Site Address</b>	LONA		
<b>Mailing Address</b>	555 NW LONA LOOP LAKE CITY, FL 32055		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Neighborhood</b>	29316.02	<b>Tax District</b>	3
<b>UD Codes</b>	MKTA01	<b>Market Area</b>	01
<b>Total Land Area</b>	2.410 ACRES		
<b>Description</b>	LOT 11 FAIRFIELD WOODS S/D. ORB 657-613, 955-2418.		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$56,394.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$42,325.00
<b>XFOB Value</b>	cnt: (2)	\$1,640.00
<b>Total Appraised Value</b>	\$100,359.00	

<b>Just Value</b>	\$100,359.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$56,474.00
<b>Exempt Value</b>	(code: HX) \$25,000.00
<b>Total Taxable Value</b>	\$31,474.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
6/12/2002	955/2418	WD	I	Q		\$53,000.00
7/20/1988	657/613	WD	V	Q		\$17,000.00
12/1/1980	460/1	WD	V	U	01	\$11,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1990	Average (05)	616	1400	\$42,325.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	0	\$840.00	1.000	0 x 0 x 0	(.00)
0296	SHED METAL	2005	\$800.00	1.000	0 x 0 x 0	(.00)

### Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
----------	------	-------	-------------	----------	-----------





# COLUMBIA COUNTY FLORIDA DEPARTMENT OF BUILDING AND ZONING

## OCCUPANCY

### COLUMBIA COUNTY, FLORIDA

#### Department of Building and Zoning Inspection

*This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.*

Parcel Number 29-3S-16-02391-011

Building permit No. 000026129

Use Classification RE-ROOF ON SFD

Fire: 0.00

Permit Holder MAC JOHNSON

Waste:           

Owner of Building GARY CARTER

Total: 0.00

Location: 555 NW LONA LOOP, LAKE CITY, FL

Date: 08/23/2007

*Gary Dick*

Building Inspector



POST IN A CONSPICUOUS PLACE  
(Business Places Only)