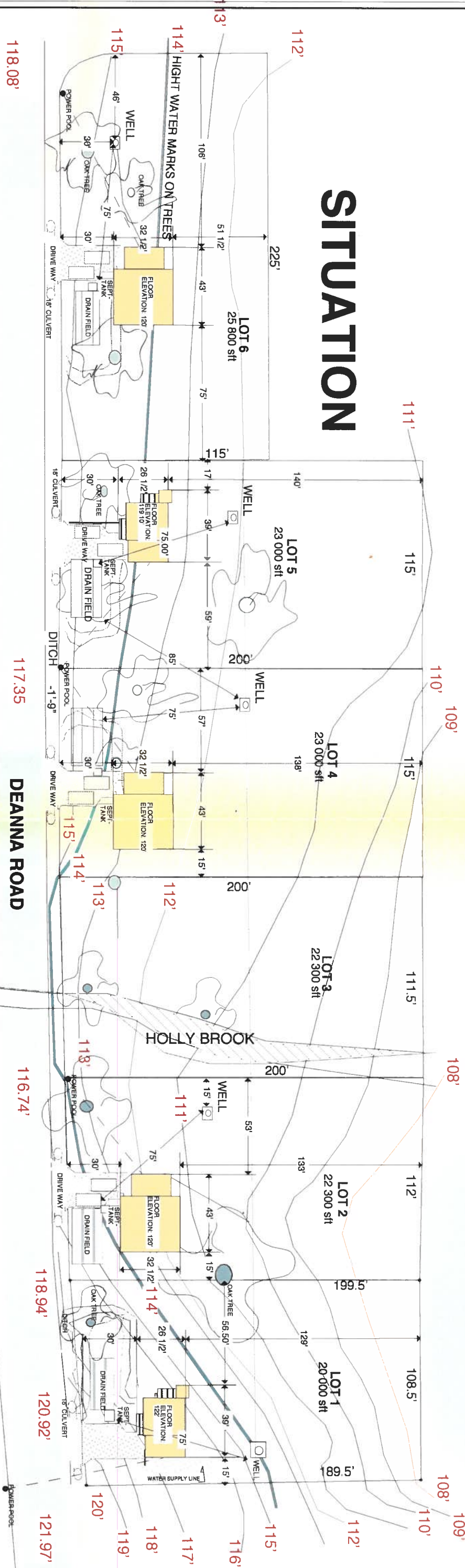


EXISTING NATURAL  
RETENTION AREA  
SEVERAL ACRES

# SITUATION



## NOTES:

1. TOTAL AREA = 5 X ~1/2 ACR = 2.5 ACR
2. HOUSES PROPOSED ARE TWO STORY HOUSES W/ 1 CAR GARAGE. TOTAL AREA BUILT ON IS APPROXIMATELY 1200 sft.... THIS IS 5% OF THE SINGLE LOT SIZE.
3. PROPOSED HOUSES ARE SET ON STEM WALLS, CONCRETE-PIILING OR WOODEN-STILTS ON CONCRETE FOOTERS TO AVOID FLOODING OF THE HOUSE STRUCTURE.
4. LOTS ARE NOT IN A "F.I.R.M." FLOOD ZONE, BUT ARE CONSIDERED IN PART OF IT AS FLOOD PRONE.
5. ALL BIG TREES SHOWN IN THE SITUATION PLAN SHALL BE KEPT AS FAR AS POSSIBLE. ONLY SOME TREES SHALL BE REMOVED IN THE REAR OF THE LOTS.
6. ALL DRIVE WAYS ARE BUILT UP WITH GRAVEL BUT THEREFOR A GRADING PLAN SHOULD NOT BE NECESSARY !  
IMPERVIOUS SURFACE CALCULATION:  
HOUSE & GARAGE = 31'x 28'x20%+12'x22' = 438 sft  
DRIVE WAY SLAB = 12'x 15' = 180 sft  
SEPT. TANK = 25 sft  
TOTAL = 643 sft
7. TOTAL FILL PER LOT : ~40 yards FOR DRAINFIELD, 35 yards FOR GARAGE AND 30 yards FOR THE DRIVE WAY... THE HOUSES HAVE A JOIST-FLOOR SYSTEM WITH CRAWL SPACE AND THEREFOR NO FILL IS USED.  
TOTAL OF APPROX. 105 yards OR 6 LOADS FILL ARE USED PER HOUSE.
8. THE "NON-FLOOD-PRONE" AREA ON LOT # 2 IS APPROX. 115' x 22' = 2500 sft, THE "IMPERVIOUS SURFACE DEVELOPMENT" AREA.. IS 643 sft THE RATIO IS 2500/ 643 = 3.9:1  
RESPECTIVELY LOT #4 IS APPROX. 115'x 26' = 2990sft THE "IMPERVIOUS SURFACE DEVELOPMENT" AREA.. IS 973 sft THE RATIO IS 2990/ 643 = 4.6:1  
RESPECTIVELY LOT #6 IS APPROX. 225'x 52' = 11700sft THE "IMPERVIOUS SURFACE DEVELOPMENT" AREA.. IS 973 sft THE RATIO IS 11700/ 643 = 18:1

WELL ...  
PUMP IN PUMP HOUSE 4'6"  
SITTING ON CONCRETE  
FOUNDATION TO AVOID  
FLOODING

TYPICAL  
TOP OF DRAIN FIELD  
APPROX. 2' ABOVE  
GRADE...~40 yards, FILL

18" CULVERT  
W/ MITERED  
END  
SECTIONS  
AT DRIVE  
WAYS  
TYPICAL HOUSE ON  
STEM WALLS OR STILTS  
TO AVOID FLOODING  
~35 yards FILL AT  
GARAGE  
CRAWL SPACE UNDER  
THE HOUSE, NO FILL

## TYPICAL CROSS SECTION OF LOTS

## SITUATION SITE PLAN

File #  
07-45-1708106-231-6

DEANNA ROAD  
HOLLY BROOK, LAKE CITY

WOLF SCHRUM  
GEN. CONTRACTOR  
GC#47190  
CELL:813-786-0730

