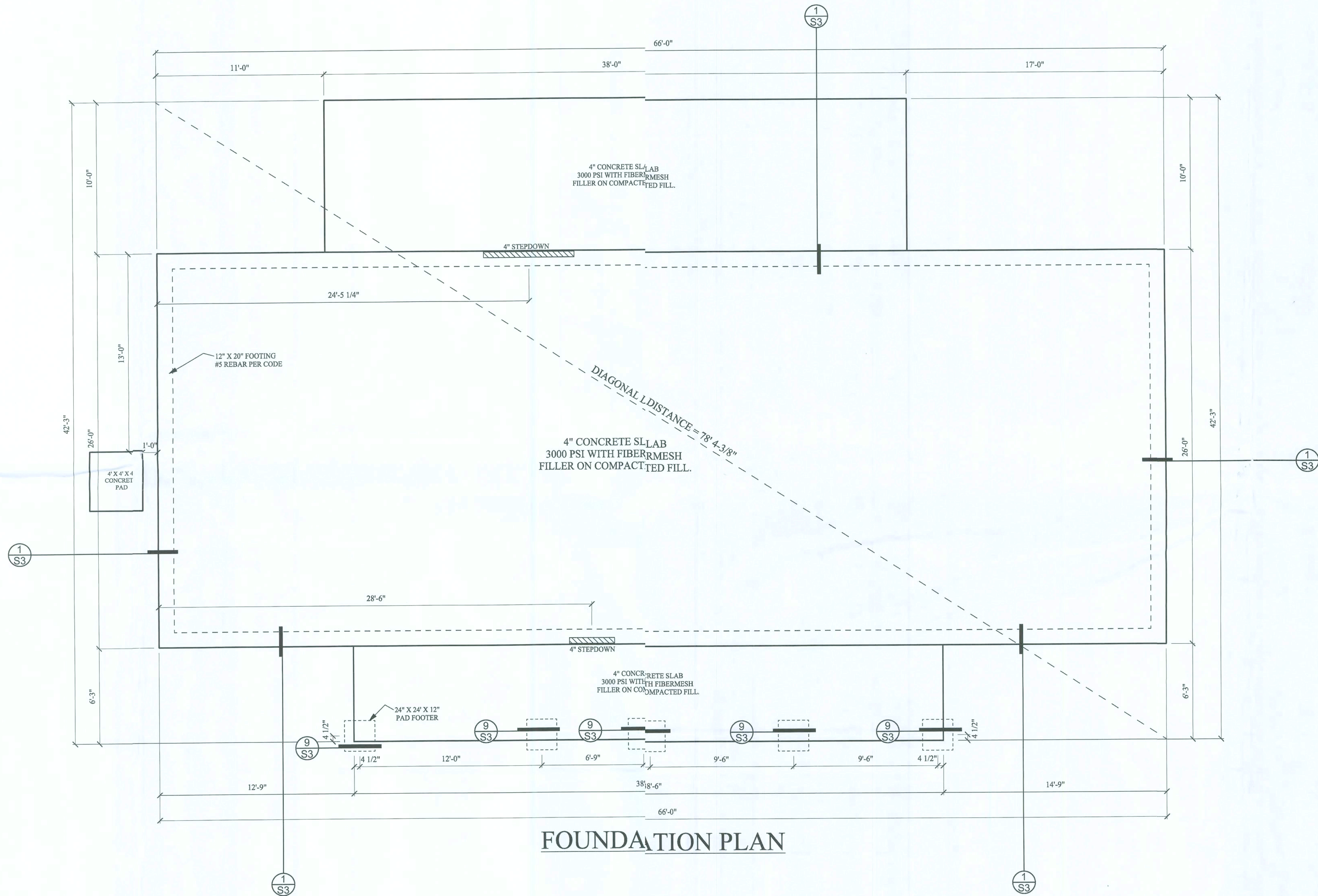
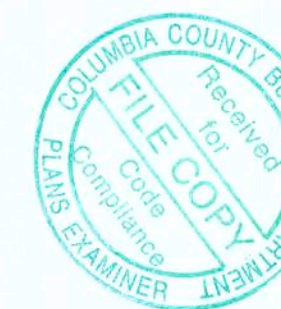


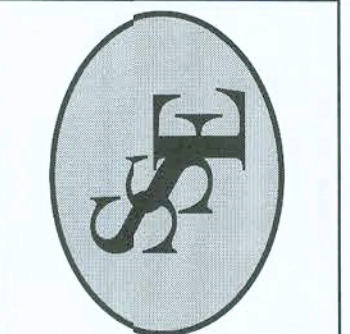
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FOUNDATION PLAN



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LICENSE #51870  
4/10/14

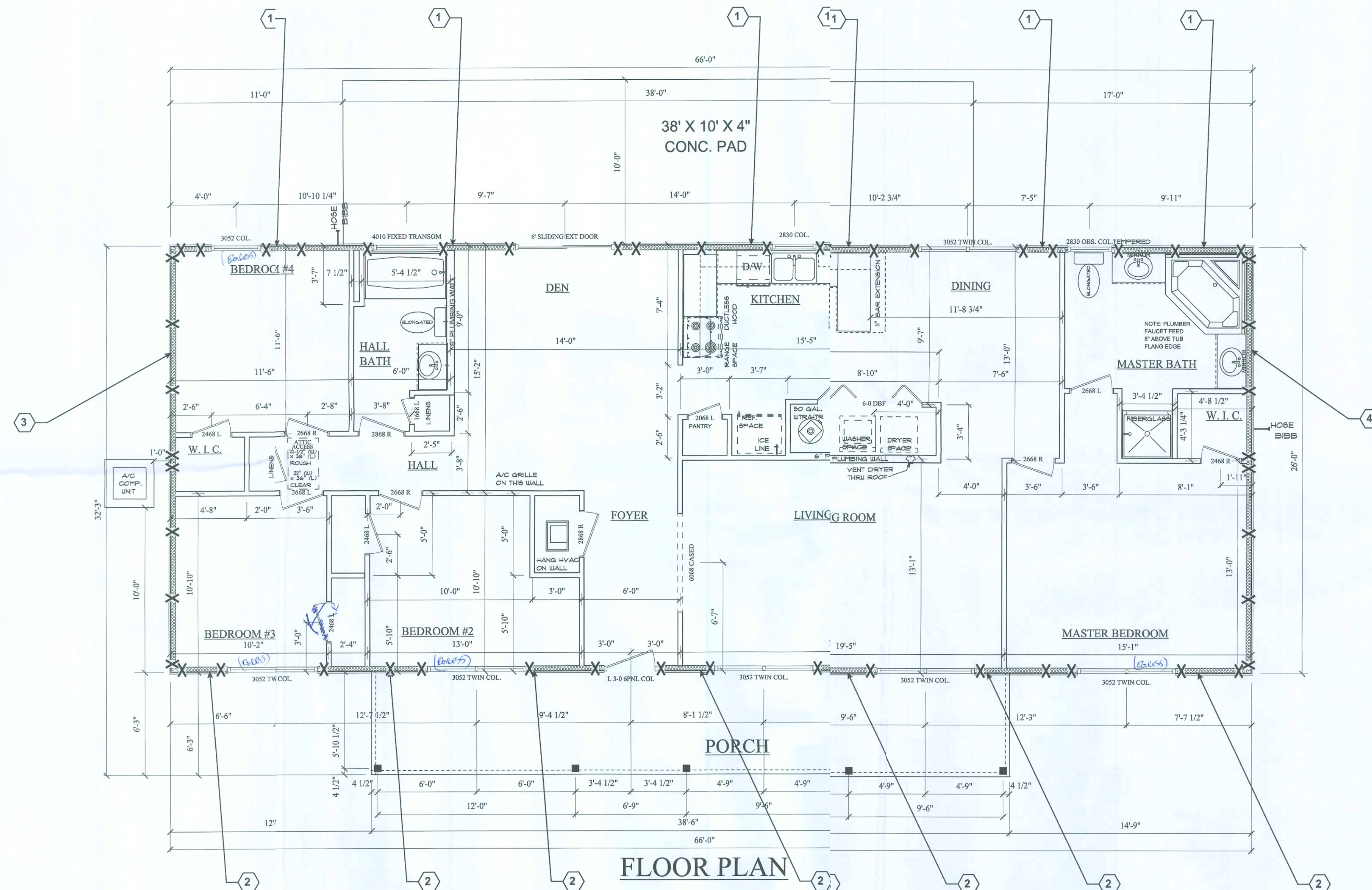


**Sound Structures Engineering, Inc.**  
Structural Engineering  
William E. Douglas P.E., President  
2467 Centerville Road, Tallahassee, FL 32308  
Phone: (850) 385-5288 Fax: (850) 386-7586

<b>PROJECT:</b> SW Blanton Lane, Lake City, FL - Crusaw Residence		<b>CLIENT:</b> Pennyworth Homes, Inc.	
<b>TITLE:</b> Structural Details and Wind Load		<b>SCALE:</b> Varies	
File Name:	08S-296.cdr	Revision By:	Date:
Designed:	TEB		
Drawn:	TEB		
Checked:	TEB		
Date:	4/7/09		
Sheet	S1	of	4
No.	08S-296		



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Shear Wall and Tie-Down Locations

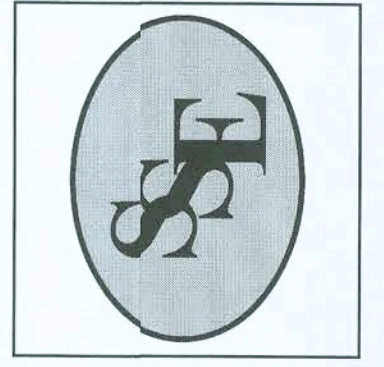
# Shear-Wall Identification Number  
See Sheet S4 for specifications

X — Approximate location of 1/2" dia. tie-rods

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4/10/09

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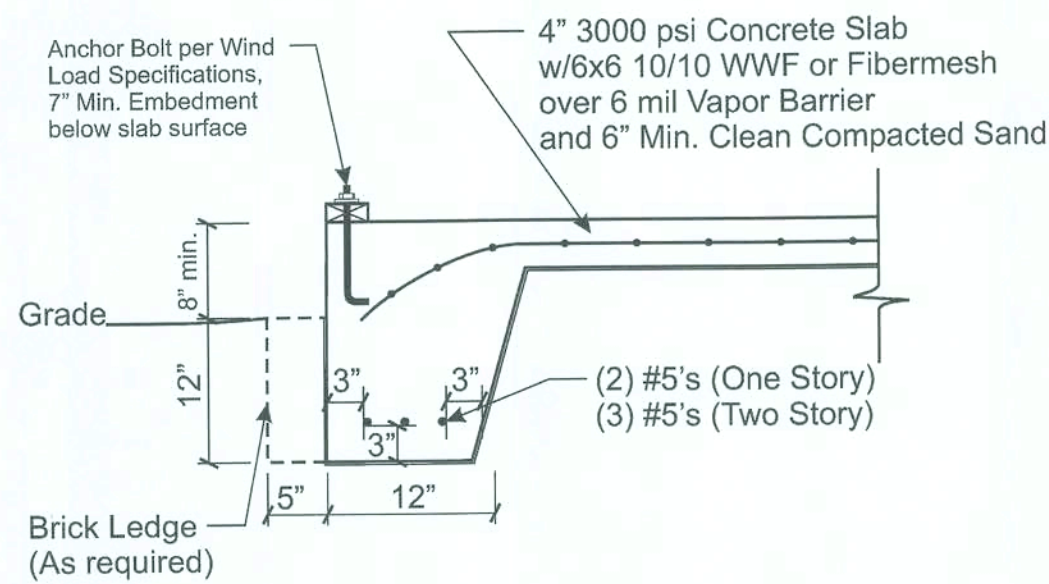
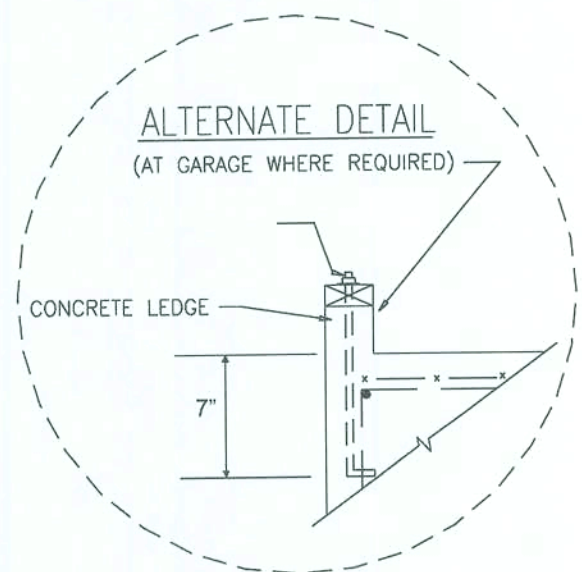
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File Name: 08S-296.cdr  
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Drawn: TEB  
Checked: TEB  
Date: 4/7/09

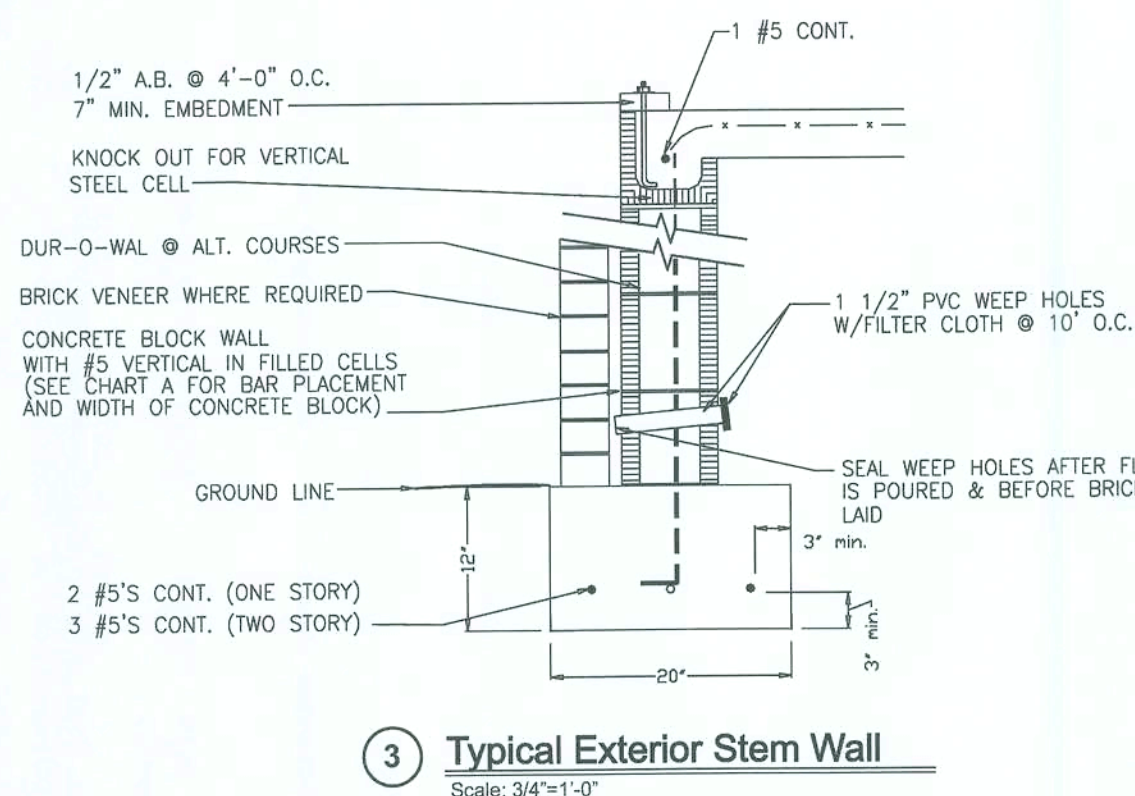
Sheet S2 of 4

No. 08S-296

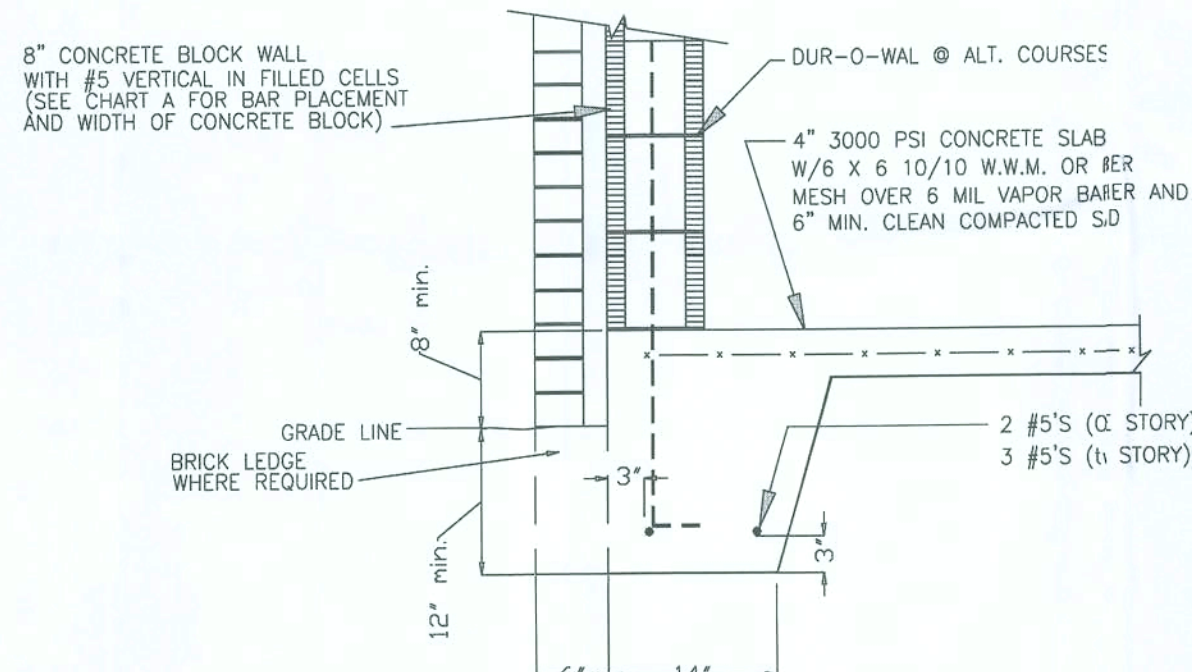




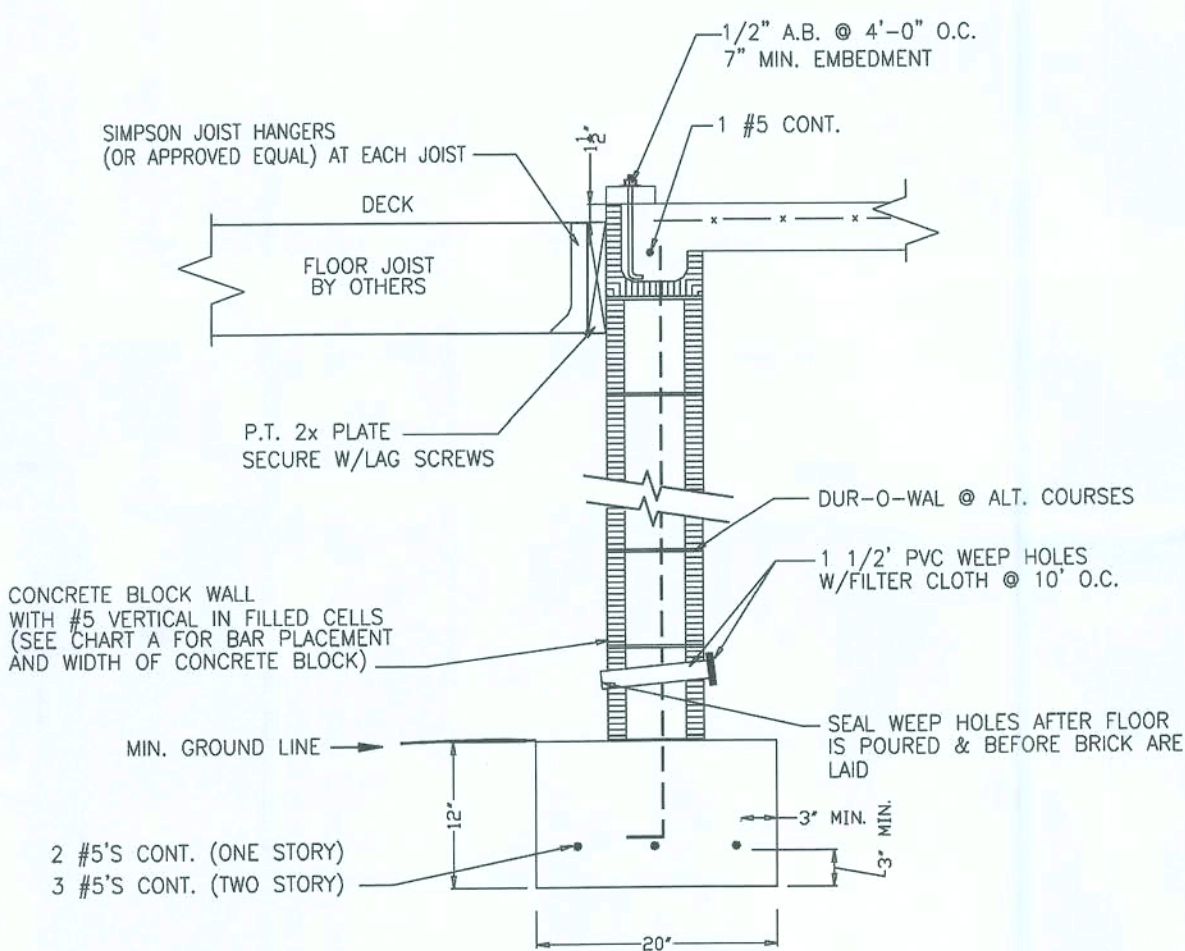
1 Typical Exterior Grade Beam  
Scale: 3/4"=1'-0"



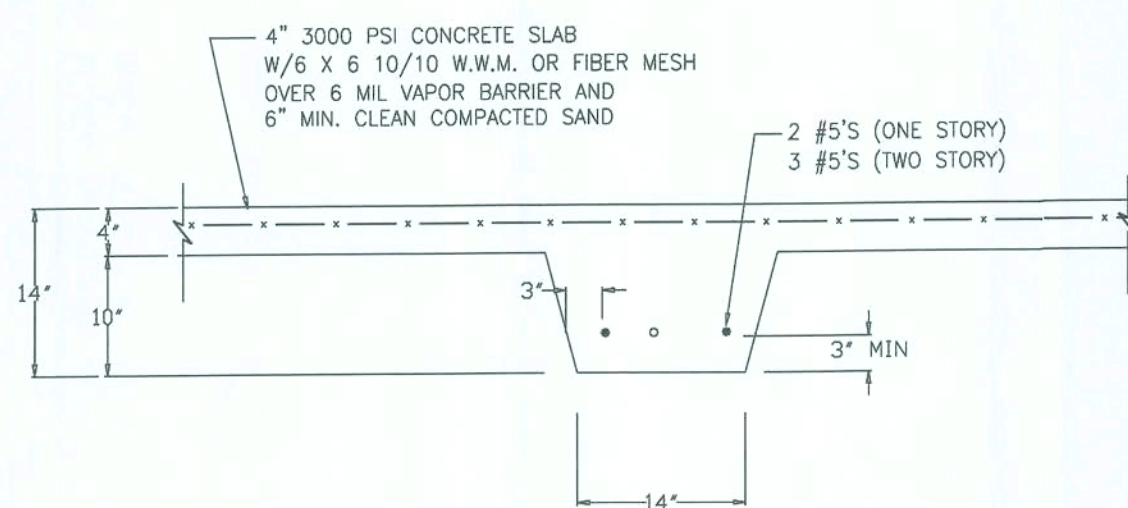
3 Typical Exterior Stem Wall  
Scale: 3/4"=1'-0"



2 Typical Exterior Grade Beam  
Scale: 3/4"=1'-0"

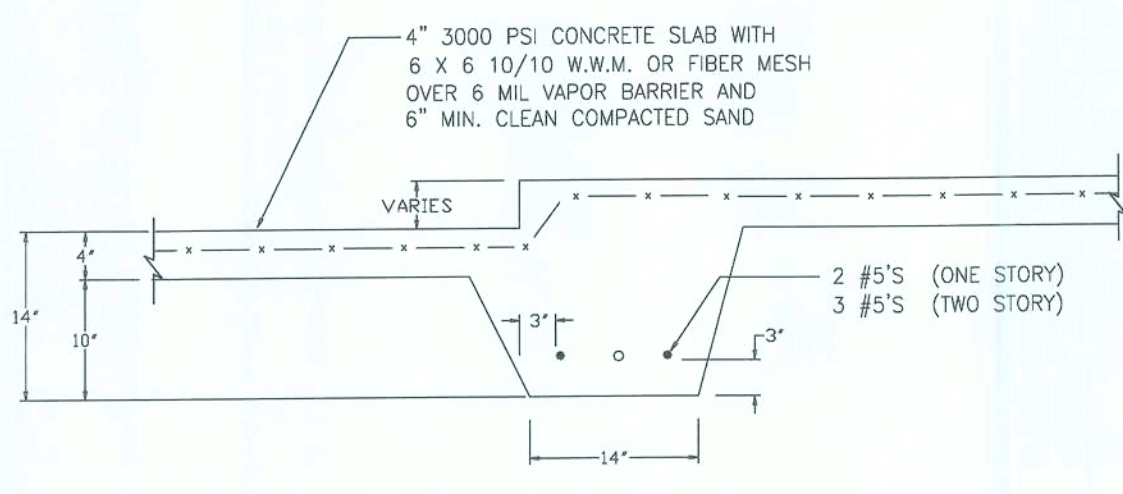


4 Typical Exterior Stem Wall at Attached Deck  
Scale: 3/4"=1'-0"



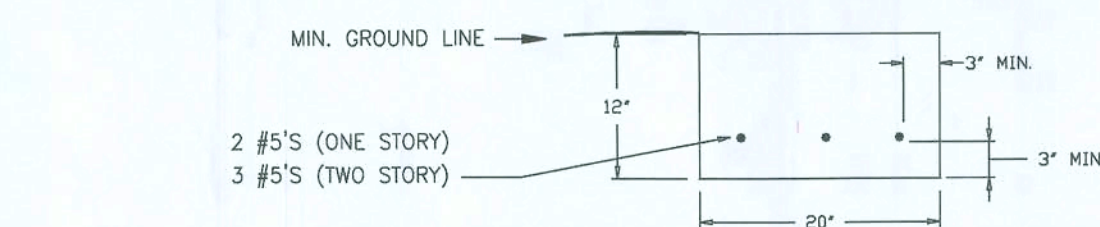
5 Typical Interior Grade Beam  
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.  
Install Anchor Bolts per Wind Load Specifications

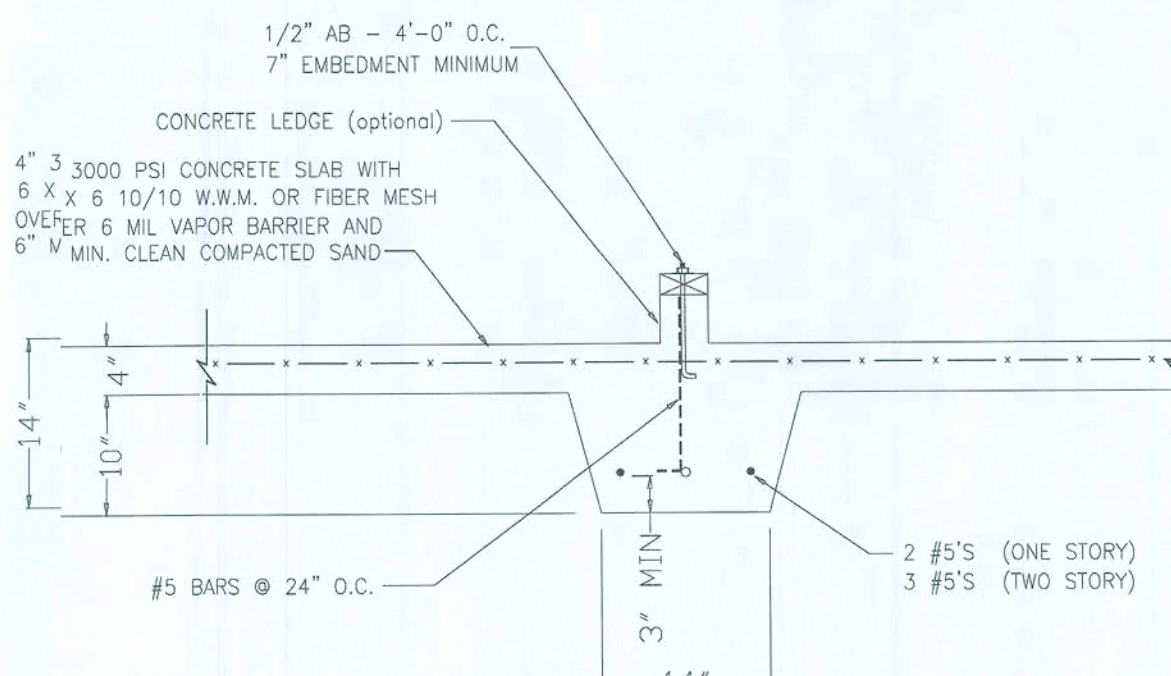


6 Step-Down Detail  
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.  
Install Anchor Bolts per Wind Load Specifications



9 Typical Grade Beam  
Scale: 3/4"=1'-0"



7 Typical Interior Grade Beam With Optional Curb  
Scale: 3/4"=1'-0"

Note: Where used with concrete block, turn (2) #5 bars down and tie to longitudinal reinforcement in footing.  
Install Anchor Bolts per Wind Load Specifications

### CHART A VERTICAL BAR PLACEMENT FOR BLOCK WALL WITH CONCRETE FLOOR SLAB OR JOIST DESIGN

For floor joist design use bond beam with (1) #5 reinforced bar continuous for slab floor, pour into block with welded wire mesh. (See chart below)

\*\*In all cases vertical bars shall be placed at either side of openings in wall and at each corner. Vertical bars shall be bent 24" into slab, each reinforced cell shall be filled with concrete.\*\*

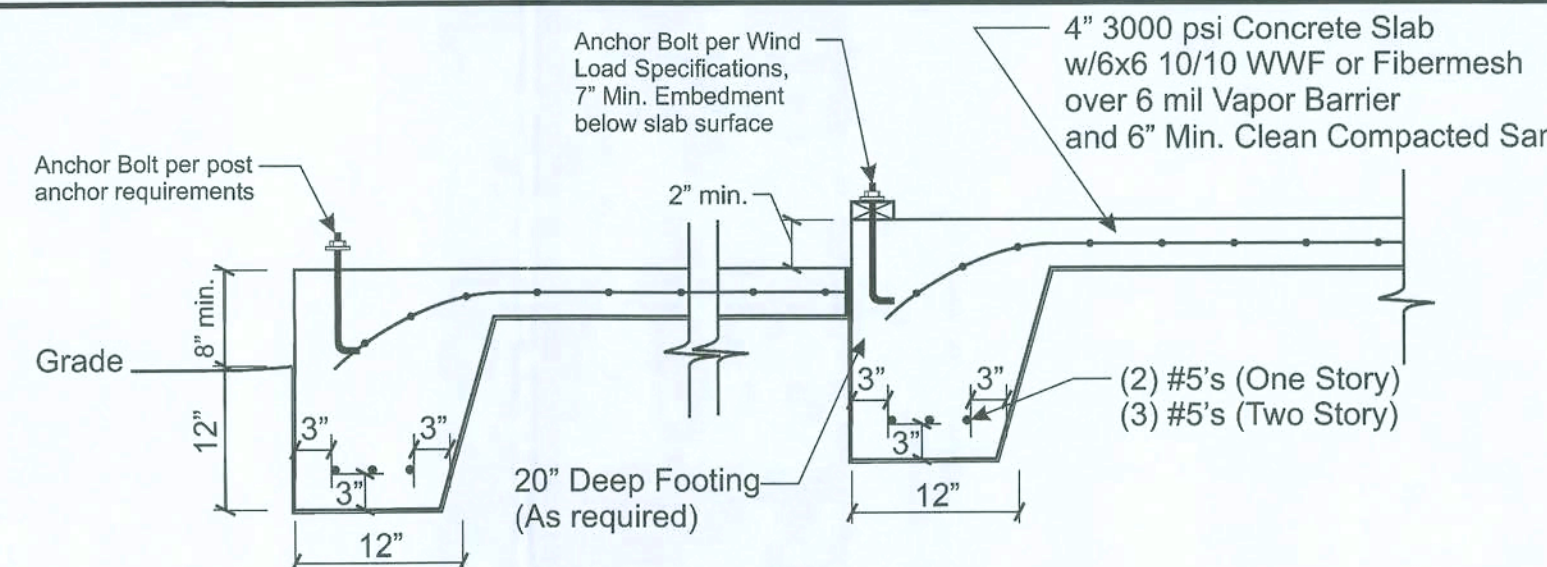
\*\*\*Floor system to be placed before backfilling

H (Height of wall)	Width of Block	Vertical Bar Spacing
H <= 32"	8"	No. 5 @ 72" O.C.
32 < H <= 56	8"	No. 5 @ 48" O.C.
56 < H <= 72	8"	No. 5 @ 32" O.C.
72 < H <= 88	12"	No. 5 @ 32" O.C. with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 32" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
88 < H <= 120	12"	No. 5 @ 24" O.C. with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
96 < H <= 120	12"	No. 5 @ 16" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.
120 < H <= 132	12"	No. 5 @ 8" O.C. (All cells filled with 3000 psi concrete) with bond beam with (1) #5 at mid-height
	8"	No. 5 @ 24" O.C. *(8" block may be used only if neither side of wall has soil bearing pressure. A bond beam with (1) #5 shall be provided at mid-height.

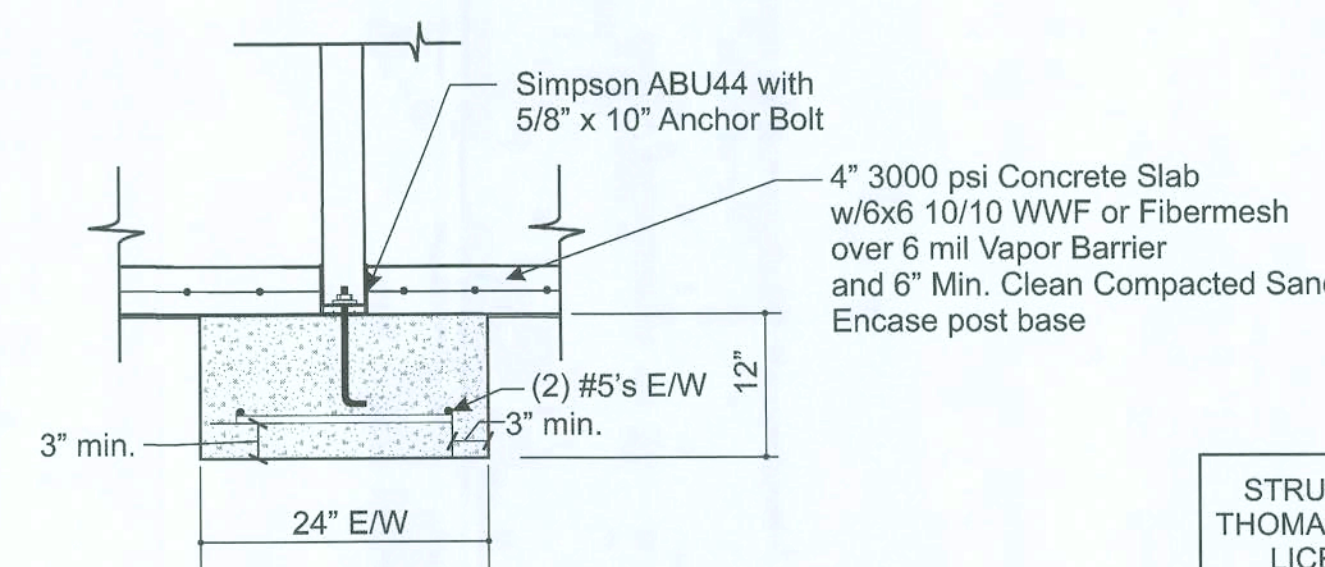
### CHART B PHYSICAL PROPERTIES OF MASONRY CEMENTS

Masonry Cement Type	N	*S	*M
Time of setting			
Initial set, minimum, hr.	2	1 1/2	1 1/2
Final set, maximum, hr.	24	24	24
Compressive strength (average of 3 cubes, min.)			
7 days, (psi)	500	1300	1800
28 days (psi)	900	2100	2900

\*For the purpose of these plans, use grade "S" or "M"



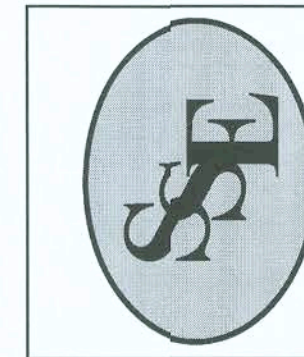
8 Typical Exterior Grade Beam  
Scale: 3/4"=1'-0"



9 Post Detail  
Scale: 3/4"=1'-0"

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Structural Engineering

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PROJECT: SW Blanton Lane, Lake City, FL - Crusaw Residence

CLIENT: Pennyworth Homes, Inc.

SCALE: Varies

FOUNDATION DETAILS

File Name: 08S-296.cdr

Designed: TEB

Drawn: TEB

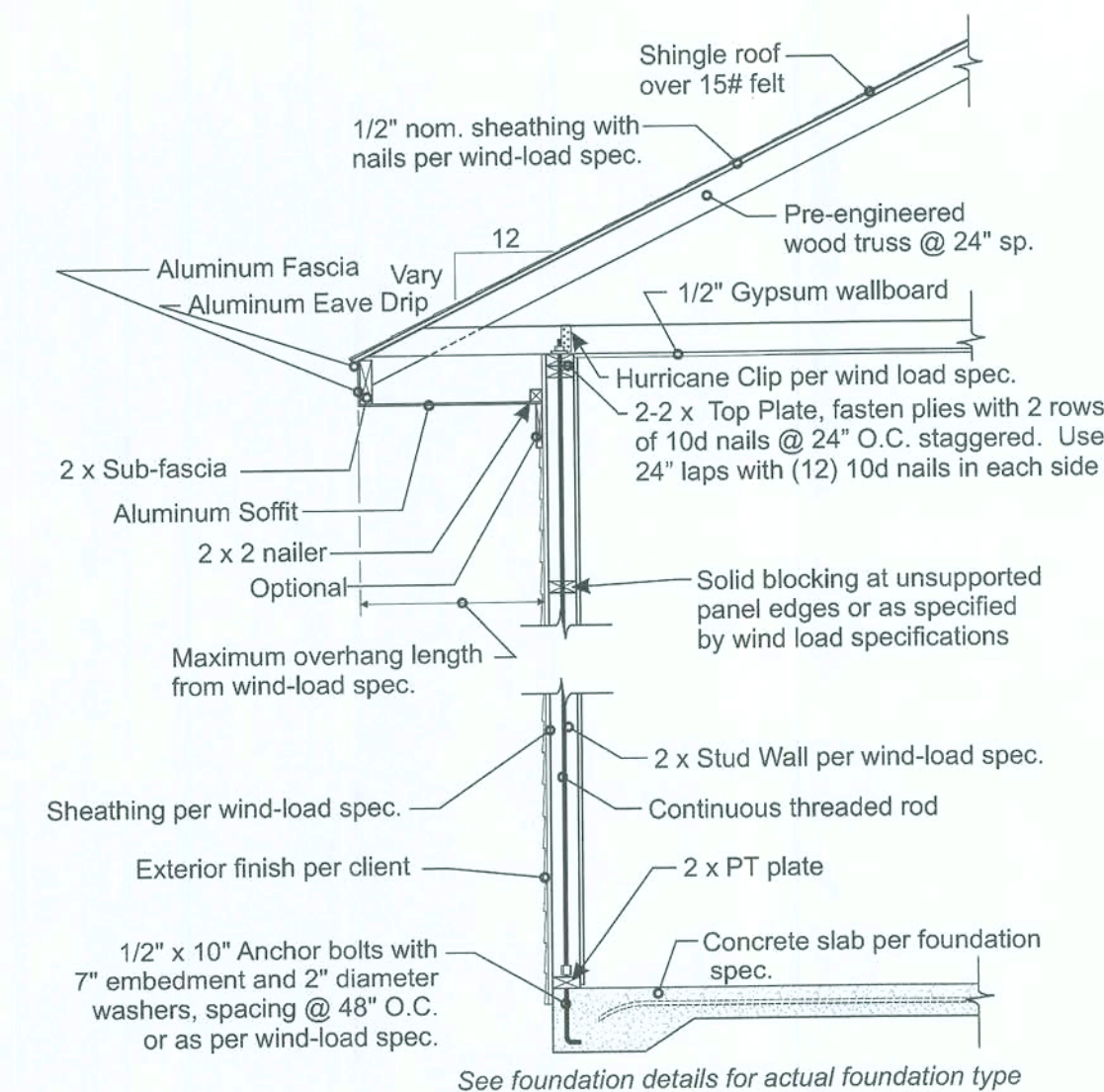
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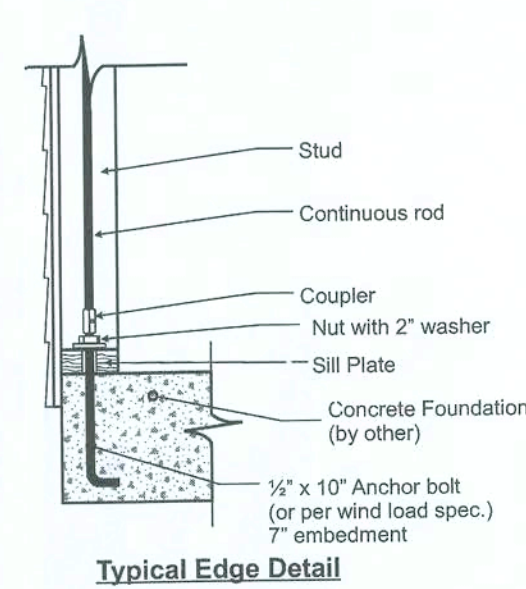
Sheet 33 of 4  
No. 08S-296



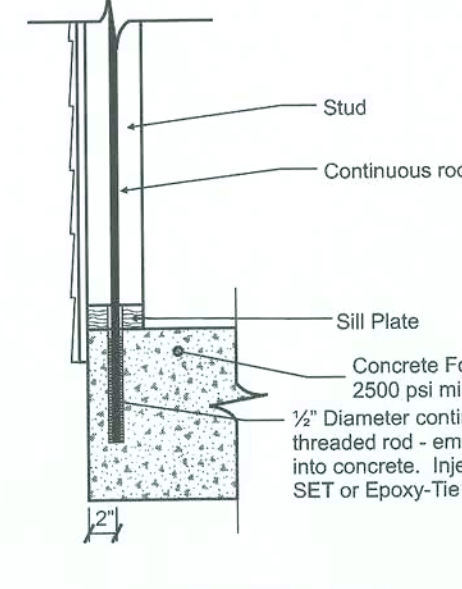
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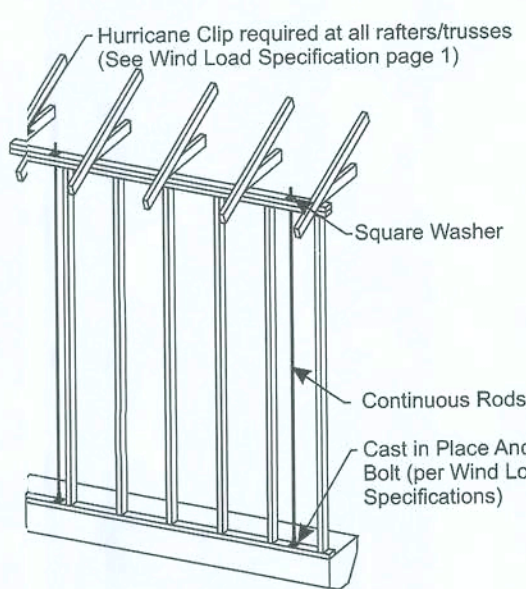
One Story Wall Section - For Walls With Continuous Threaded Rod  
1/2" = 1'-0"



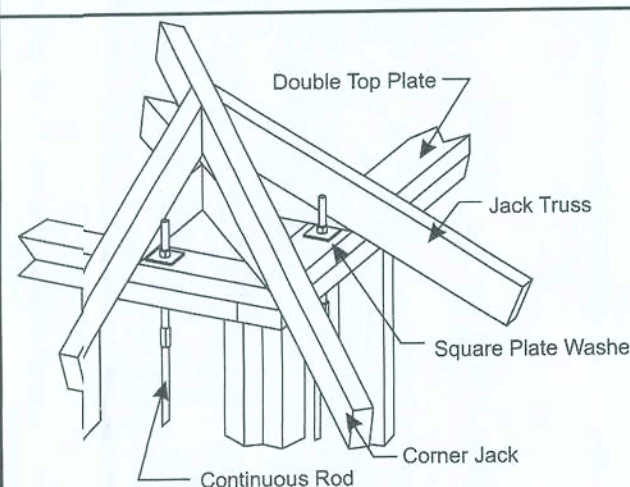
Typical Edge Detail



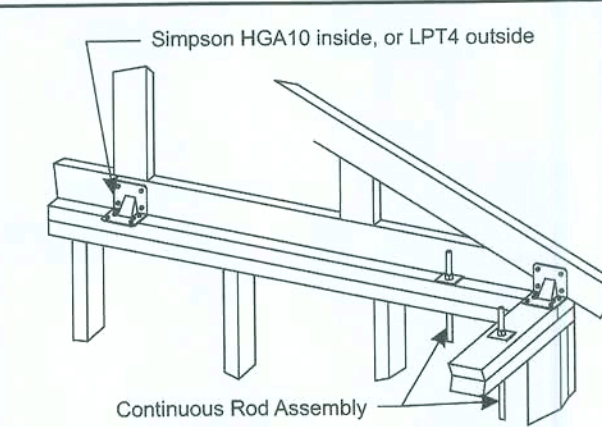
Alternate Edge Detail



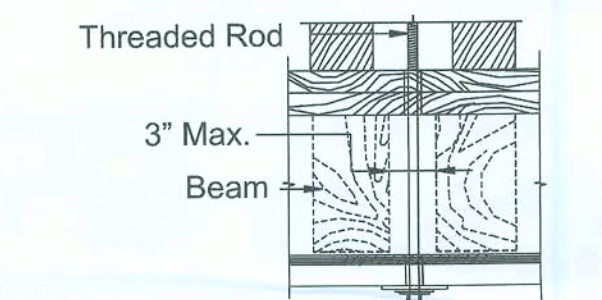
One Story Exterior Wall Detail



Typical Hip Tie-Down Exterior Corner Detail

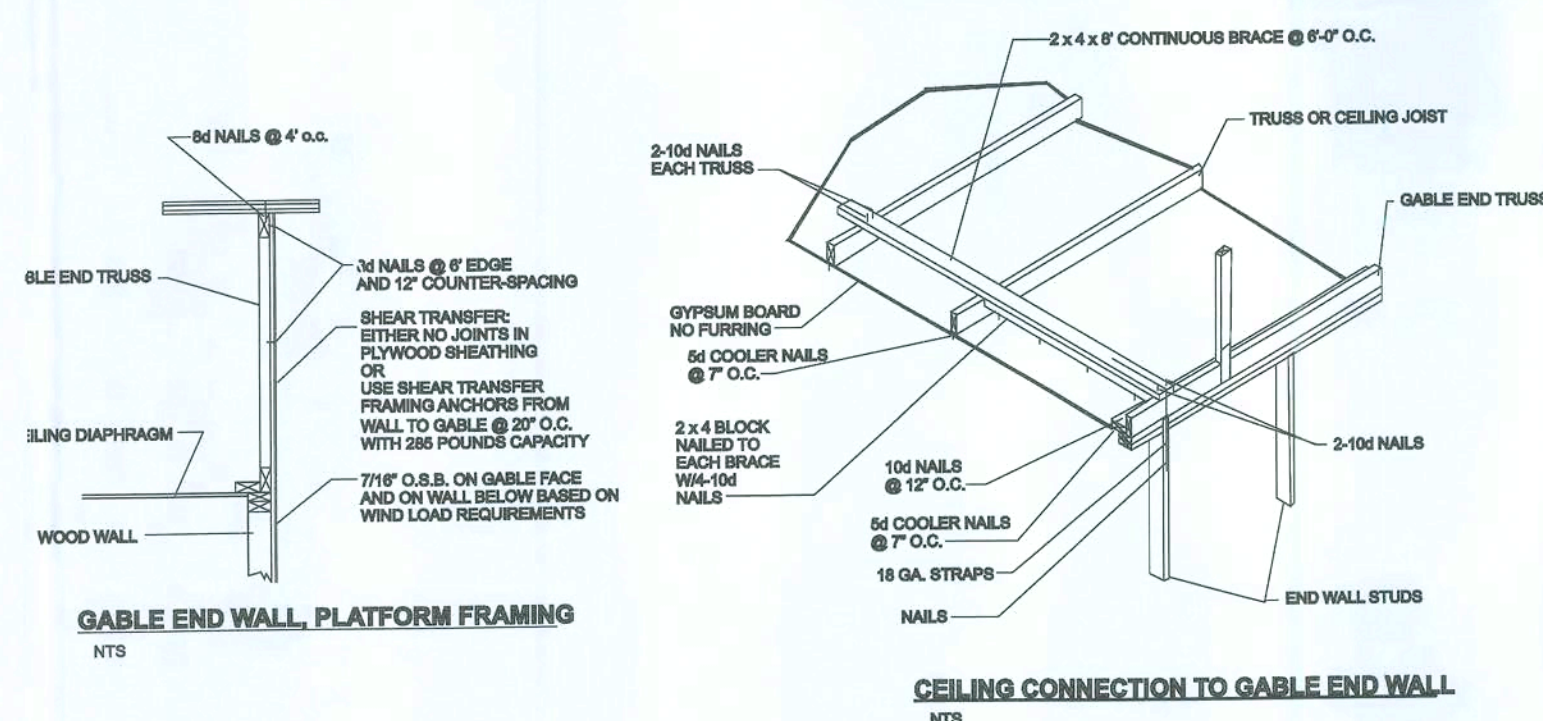


Continuous Rod Assembly

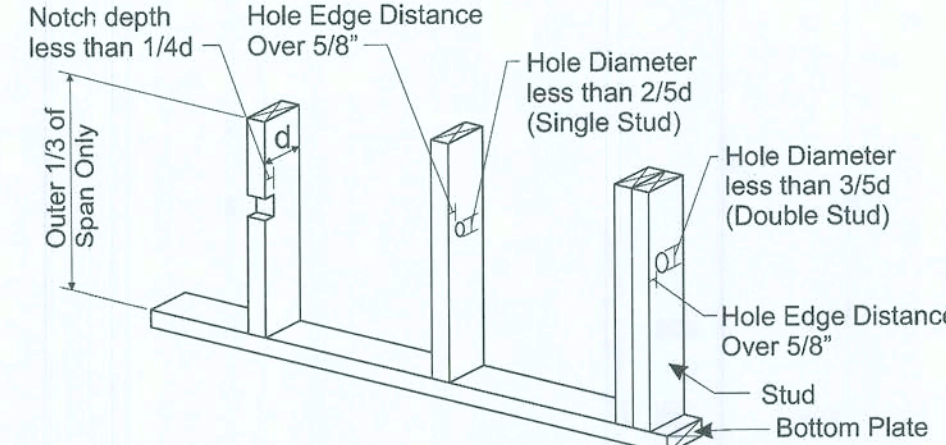


Typical Connection to Wood Girders

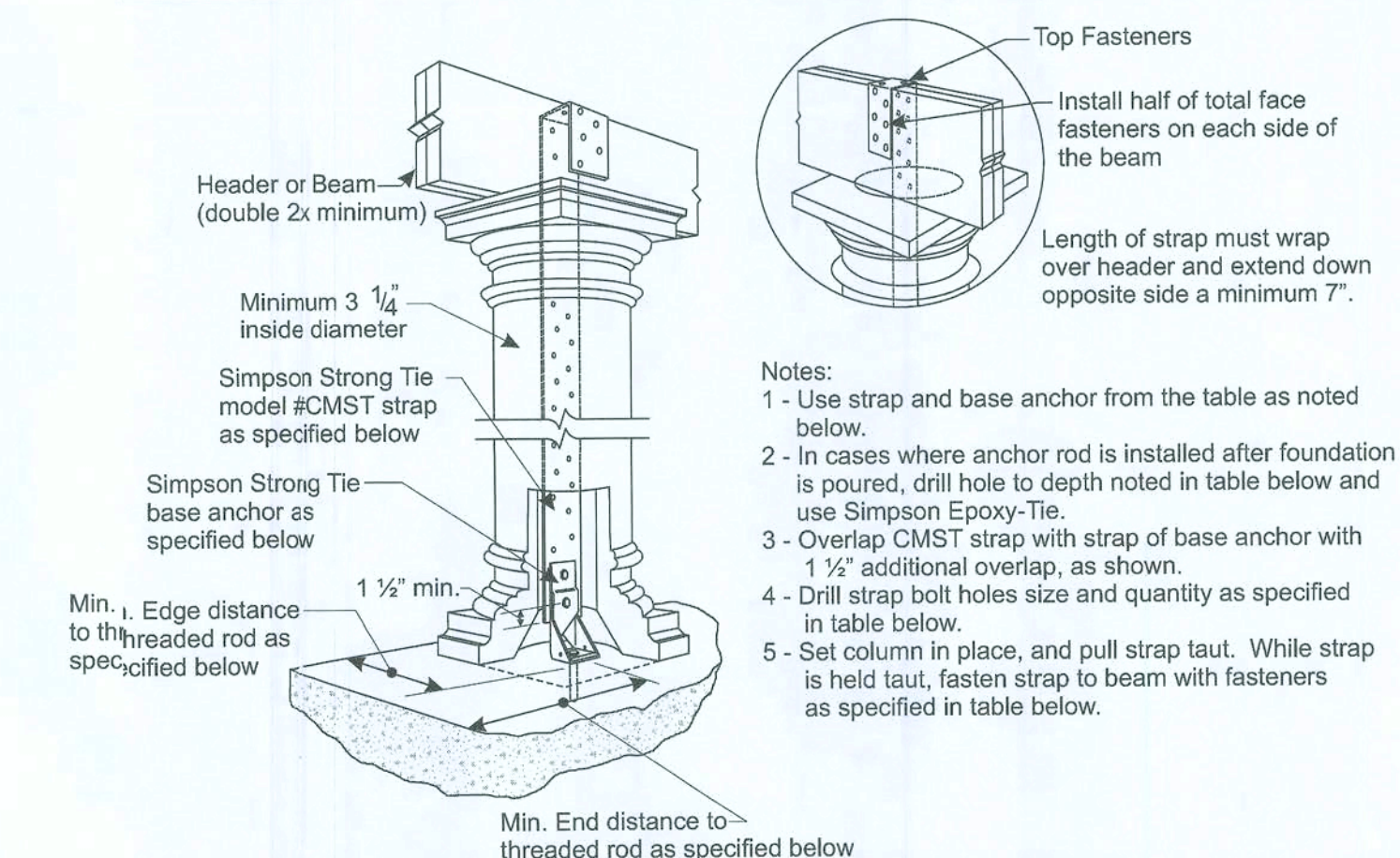
### Typical Threaded Rod Installation Details



GABLE DETAILS

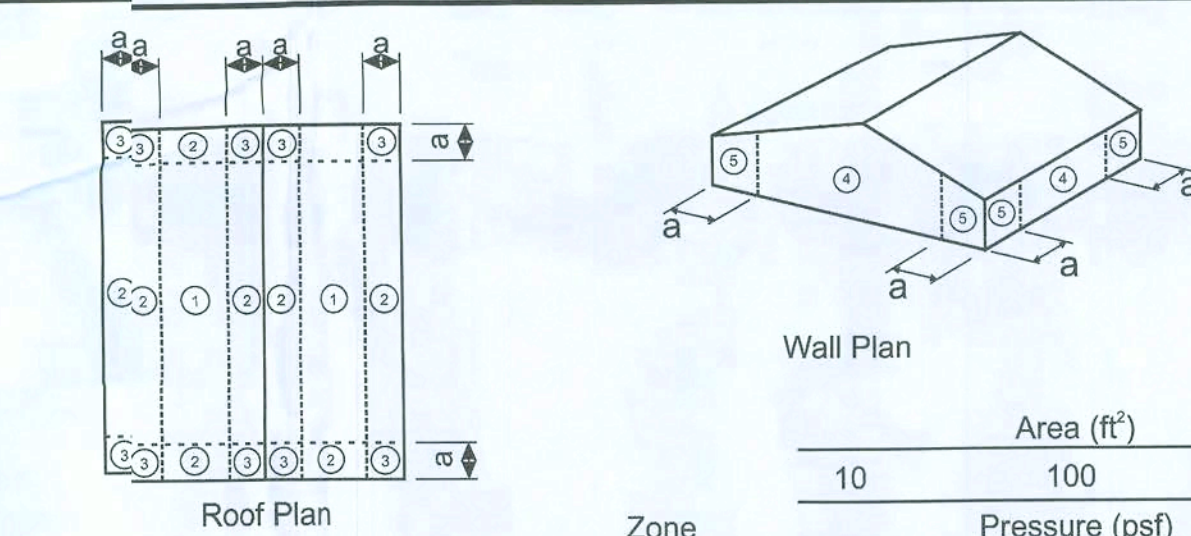


Stud Notching and Boring Limits  
NTS

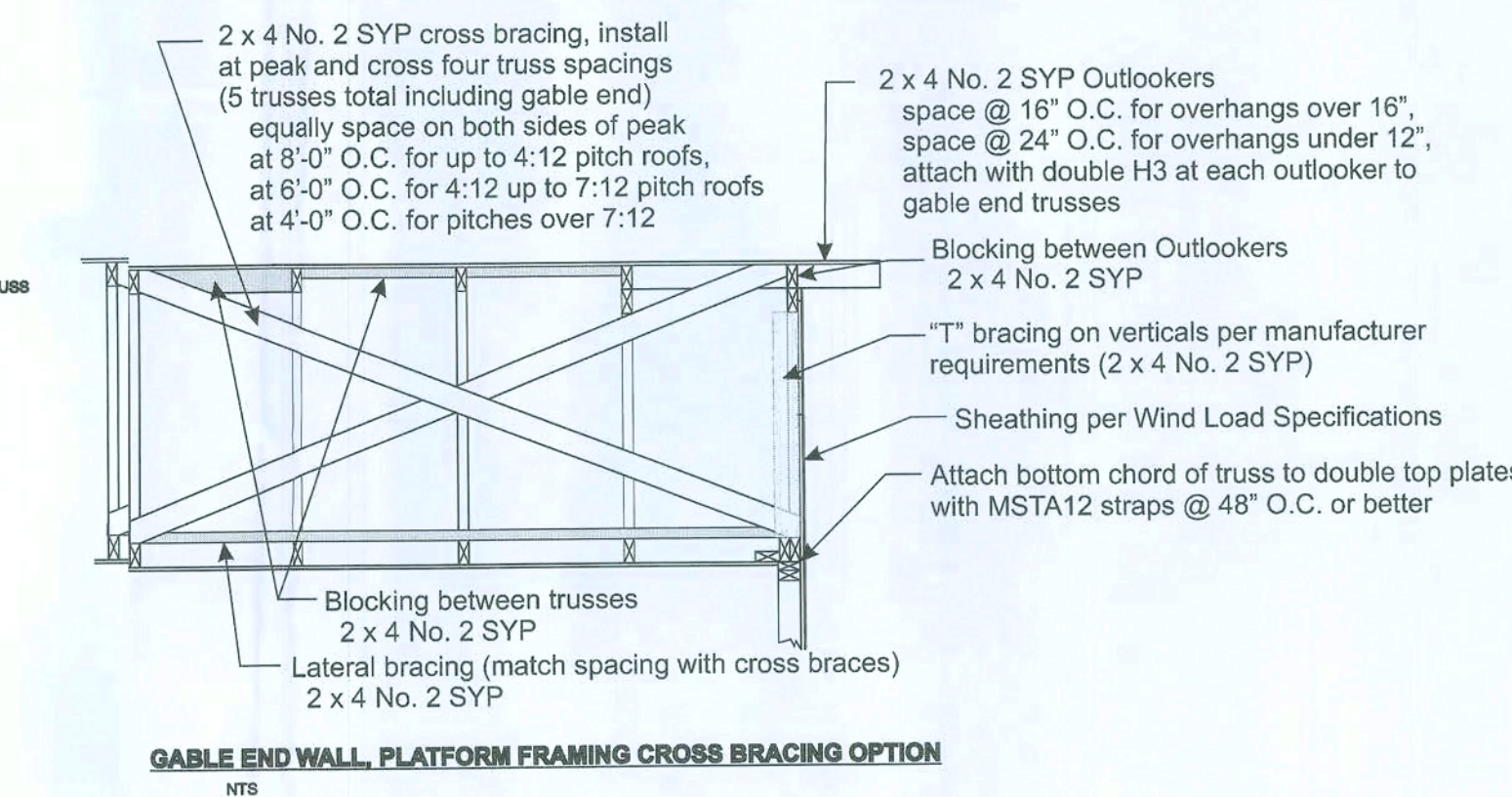


USE	Base Anchor Model No.	Base Anchor Dia. (in.)	Anchor Dia. (in.)	Min. Embed. (in.)	Min. Anchor Length (in.)	Min. Dist. (in.)	Min. Edge Dist. (in.)	Strap Model	Strap Qty	Strap Dia. (in.)	Drill Bit Dia. (in.)	Fasteners (Total)	Uplift (133 & 180)
1	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	2	1/2	9/16	4-10d 2-10d	1750
2	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	4	1/2	9/16	8-10d 2-10d	3530
3	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	2	5/8	11/16	4-10d 2-10d	2775
4	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	2	3/4	13/16	8-10d 2-10d	3375
5	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	3	7/8	15/16	8-10d 2-10d	3430
6	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	3	7/8	15/16	10-10d 2-10d	4865
7	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	4	7/8	15/16	10-10d 2-10d	4865
8	MT120B	3/4	7/8	6 3/4	8 3/4	10 1/8	5	CMST14	4	7/8	15/16	10-10d 2-10d	4865

Hollow Post Uplift Connection - Conventional Strapping  
NTS



### Component and Cladding Design Pressures (Worst Case Only)



GABLE END WALL, PLATFORM FRAMING CROSS BRACING OPTION  
NTS

### WIND ANALYSIS - 110 MPH, 3 Second Gust Wind Velocity

Calculations as per Section 16, FBC 2007 with 2009 supplements, ASCE 7-05, or as per ASCE 7-05 (see instructions below)

Prepared By: Thomas E. Beitelman Design Professional FL Lic. #: 51870  
Importance factor: 1 Building Category: II Wind Exposure (s): Exposure B  
Internal Pressure Coefficient: 0.18  
Plans may be used as a master plan by the above contractor: Yes ☒ No (circle one) Initials: TEB

Mean Roof Height: 11.9 ft Stud Species: ☒ SPF or ☐ SYP  
Species for Top Plate: ☒ SPF or ☐ SYP Max. Stud Ht. (excluding gable end): 8'  
End Zone Length: 6.0 ft Stud Spacing: 16"  
Roof Slope: 5 : 12 Max. Overhang Length (excluding porches): 12"

HURRICANE CLIPS (HC) Truss Span or Location All trusses Model # @ End Zone 1 - H2.5A Model # @ Interior Zone 1 - H2.5A

ROOF SHEATHING MATERIAL: 7/16" OSB Sheathing  
Fastener 8d Ring Shank NAILING Edges (perimeter) 6" o.c. Field 6" o.c.  
PATTERN: 6" o.c. 6" o.c.

WALL BRACING: 7/16" OSB Sheathing  
Fastener 8d NAILING Edges (perimeter) 3" o.c. Field 12" o.c.  
PATTERN: 3" o.c. 12" o.c.

ANCHOR BOLTS: 1/2" dia. X 10" LONG w/2" washers Spacing: Along Wall 48" o.c. From Each Corner 6" o.c.

### Wind Load Analysis Results

First Story Level						
Wall Number	Length (ft)	Unit Shear (plf)	Capacity (lbs)	Actual Load (lbs)	% Used	Location
Longitudinal Walls						
1	39.2	84.7	11679.5	3317.4	28.4	Exterior
2	33.0	88.4	9840.6	2915.7	29.6	Exterior
Transverse Walls						
3	26.0	185.0	7753.2	4810.6	62.0	Exterior
4	26.0	185.0	7753.2	4810.6	62.0	Exterior

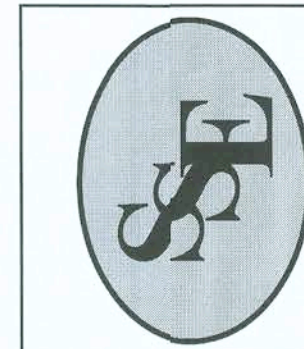
### Wall Bracing Panel Specifications:

Panel Code:	Shear Walls
Stud Spacing	16" O.C.
Exterior Panel Grade	OSB Sheathing
Minimum Panel Thickness (inch)	7/16
Minimum Nail Penetration in Framing (inch)	1/2
Nail Type	8d common
Edge Nail Spacing	6"
Intermediate Nail Spacing	12"
Interior Panel Grade	Gypsum Wallboard
Thickness of Material	1/2"
Wall Construction	Unblocked
Nail Spacing - Edge	7" O.C.
Nail Spacing - Intermediate	12" O.C.
Minimum Nail Size	3d cooler or wallboard
Total Panel Shear Capacity	298.2 plf

### General Notes: PLEASE READ!

- Roof sheathing will be a minimum of 7/16" in thickness with a nailing pattern specified on page 1.
- Exterior wall sheathing will be a minimum of 7/16" in thickness with the nailing pattern specified above, and locations referenced from the attached sheets.
- All exterior load-bearing and shear walls will have a stud spacing specified at 16" O.C. except as noted below.
- All load bearing and shear walls will be framed with 2 x 4 No. 2 grade SPF studs or better.
- Alternative hurricane clips are acceptable, provided they meet the minimum specification for those specified on page 1.
- Bearing wall and shear wall door and window headers are to be 2-2 x 10 SYP with 1/2" CDX fletch for lengths under 6 ft unless otherwise specified on plans.
- Simpson Strong Tie HH4 Header Hanger or equivalent should be provided on bearing wall and shear wall door and window openings over 6 ft.
- Simpson Strong Tie model #HD5A hold downs are acceptable alternatives to the specified PHD2-SPS3.
- 9 4" x 4" Posts will require Simpson Strong Tie Post Bases model #ABU44 or better and double LSTA18 straps on each beam at top.

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LICENSE #51870  
4/10/07



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Structural Engineering

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VARIES

SCALE:

Revision By:

Date:

Description:

File Name:

Desiged:

Drawn:

Checked:

Date:

Sheet S4 of 4

No. 08S-296



EXHIBIT "A"

PLAN: **QUINCY**

CUSTOMER NAME: **CRUSAW**

HEATED LIVING AREA

GROUND FLOOR: **1716**  
 SECOND FLOOR: **N/A**  
 OTHER: **N/A**  
 TOTAL HEATED: **1716**

NON-HEATED LIVING AREA

PORCH: **228**  
 GARAGE: **N/A**  
 OTHER: **N/A**  
 TOTAL U/R: **1944**

IMPORTANT-PLEASE READ BELOW CAREFULLY

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NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO ONLY MAKE CHANGES TO PLANS, REQUESTED BY BUYERS, THAT PENNYWORTH HOMES INC. DEEMS TO BE AESTHETICALLY, ARCHITECTURALLY, AND STRUCTURALLY SOUND.

SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

BUYER OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_

PENNYWORTH HOMES: \_\_\_\_\_ DATE: April 15, 2009  
 AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE

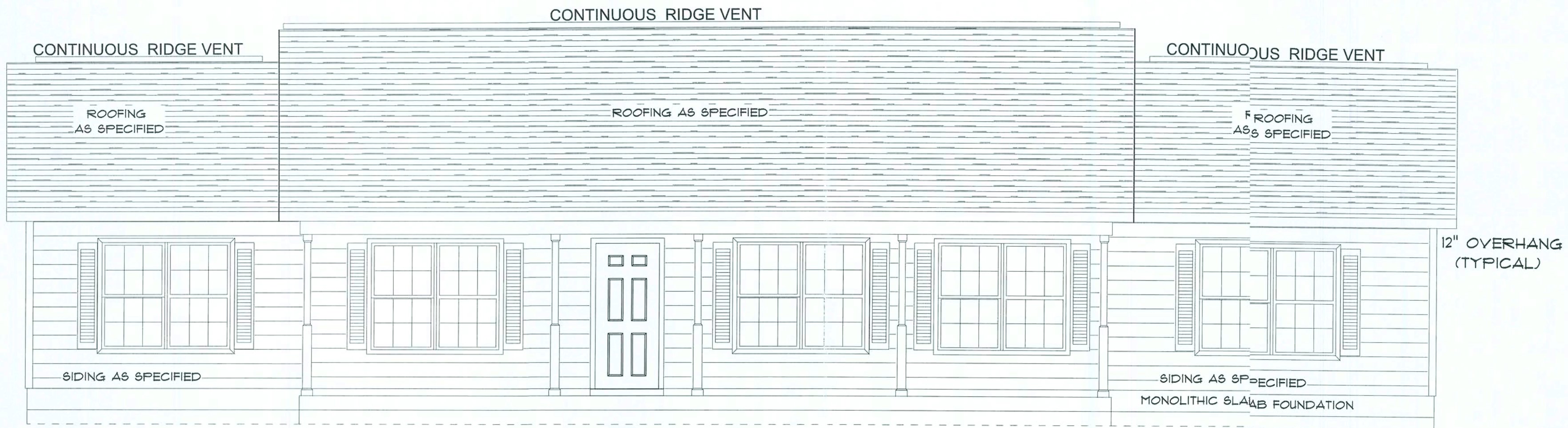
NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.

**JOB # 09-04-0009**

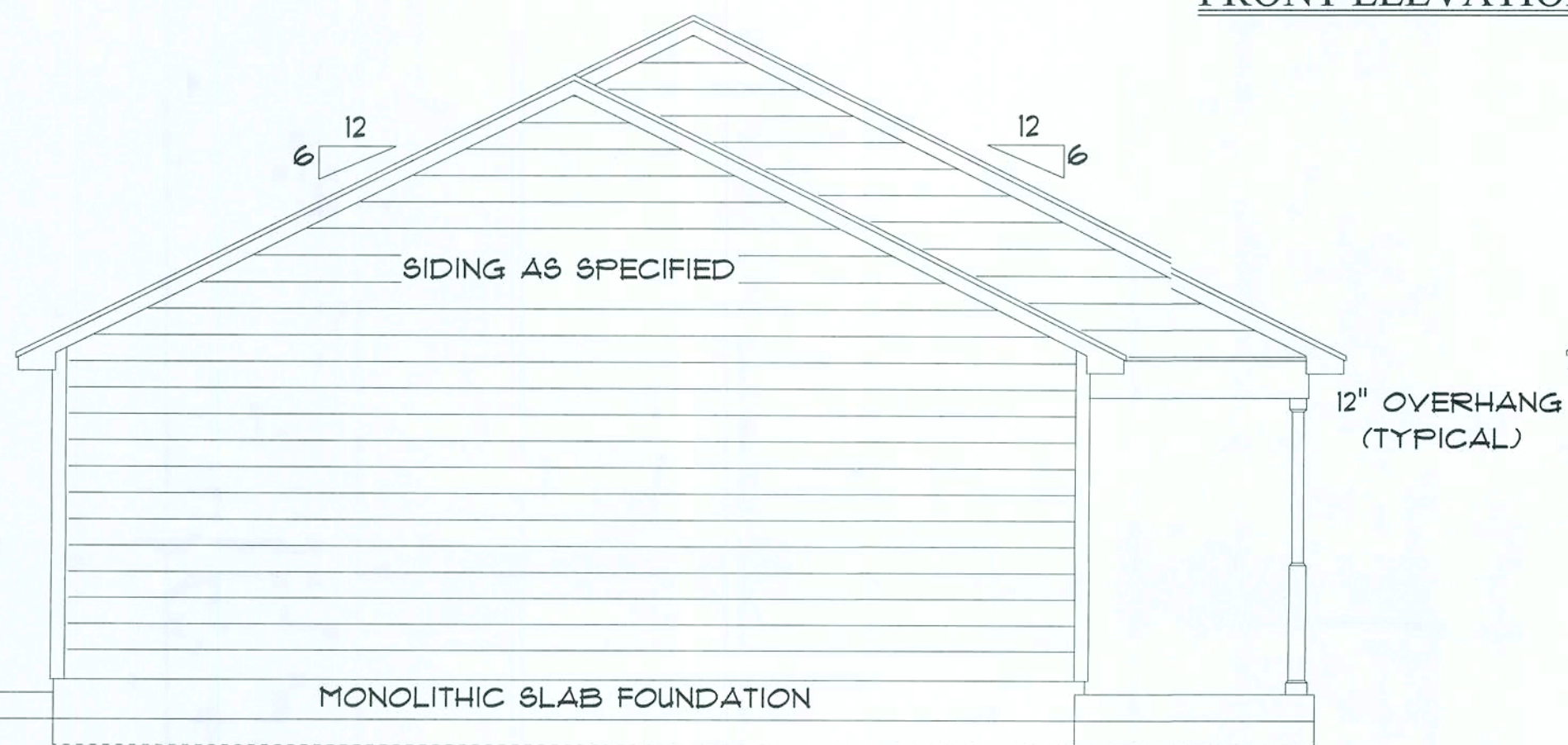
DRAWN BY: **JLB** PLAN DATE: April 15, 2009 PAGE **1**

SCALE: 1/4" = 1'0" OF **5**

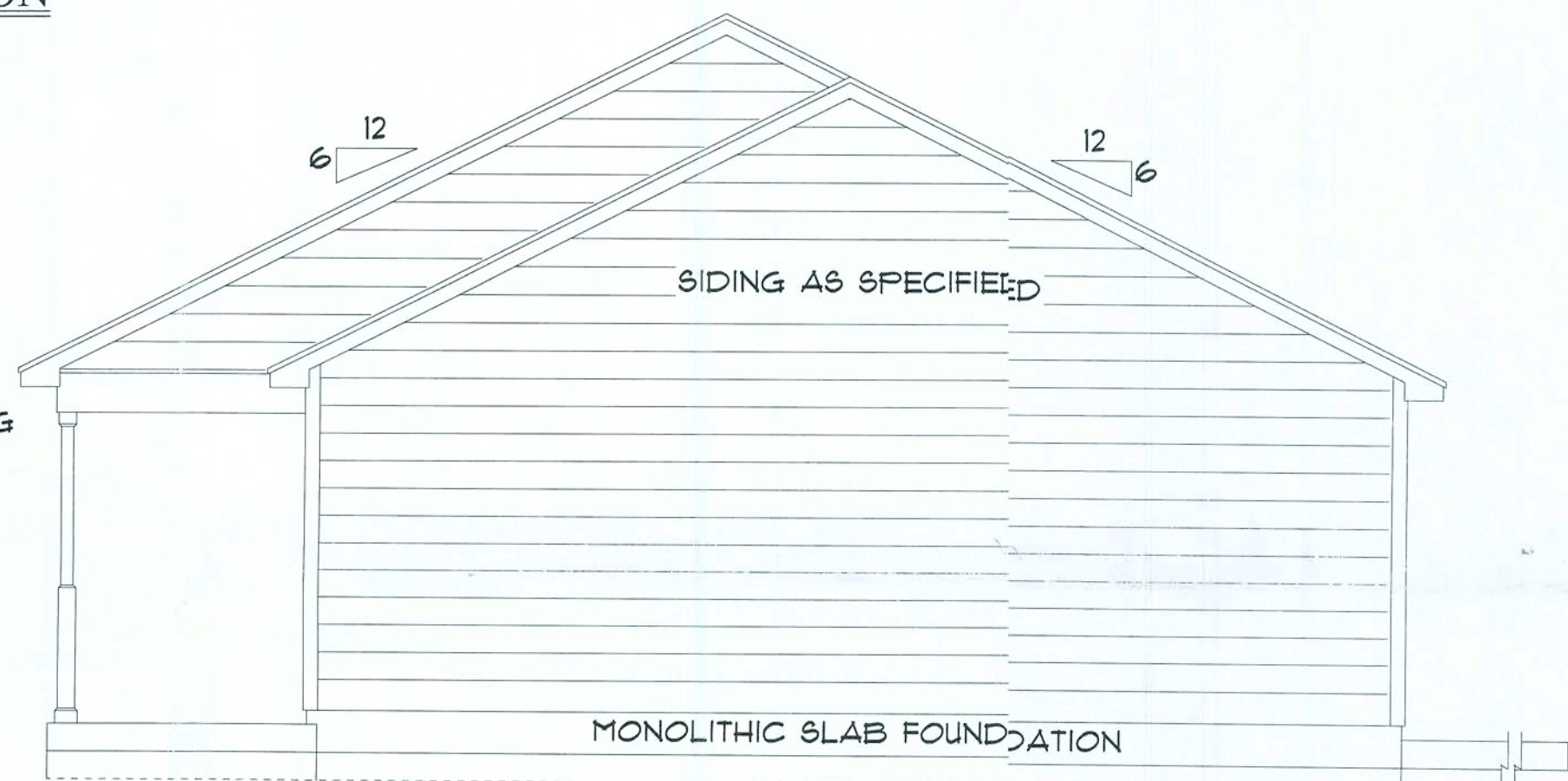
REV.# REV. DATE: DRAWN BY: DISCRPTION OF REVISION



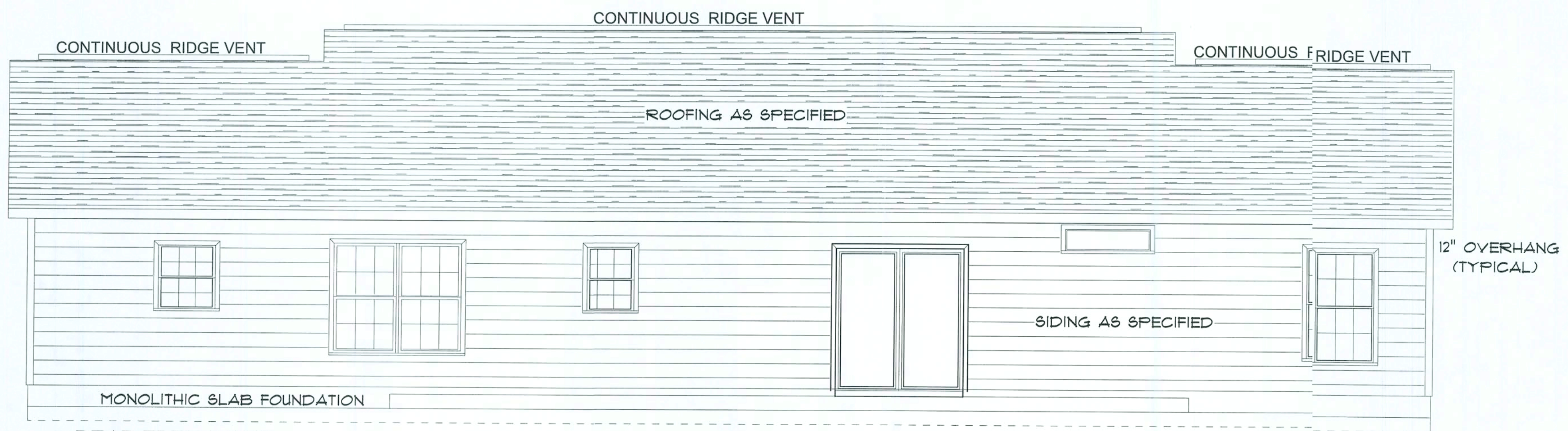
FRONT ELEVATION



LEFT ELEVATION



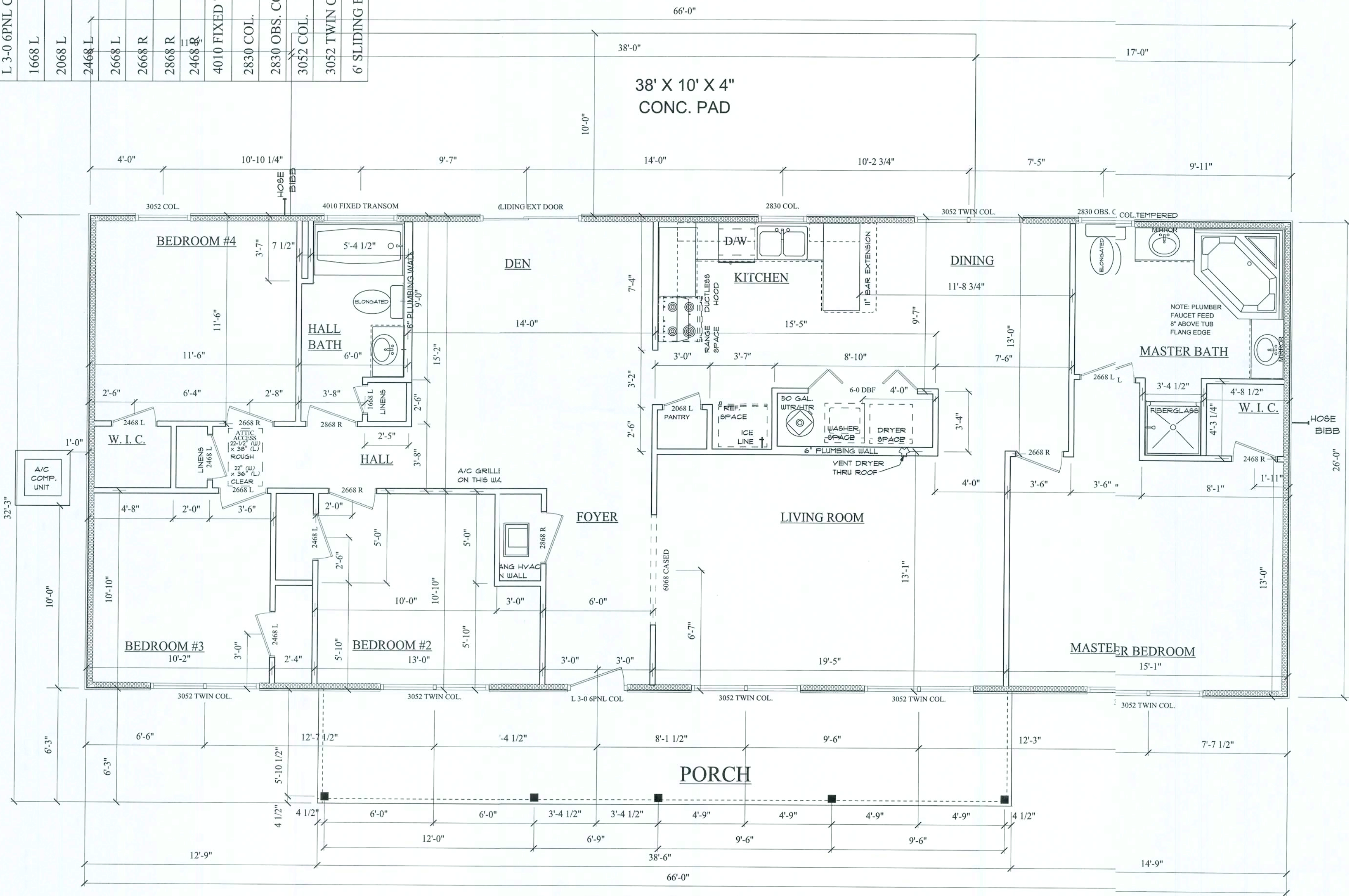
RIGHT ELEVATION



REAR ELEVATION



PRODUCT CODE	R.O. SIZE	COUNT
6068 CASED	R.O. 6'-0"	1
6-0 DBF	R.O. 6'-0"	1
L 3-0 6PNL COL	R.O. 3'-3"	1
1668 L	R.O. 1'-8"	1
2068 L	R.O. 2'-2"	1
2468 L	R.O. 2'-6"	4
2668 L	R.O. 2'-8"	2
2668 R	R.O. 2'-8"	3
2868 R	R.O. 2'-10"	2
2468 R	R.O. 2'-6"	1
4010 FIXED TRANSOM	R.O. 4'-0" x 1'-0"	1
2830 COL.	R.O. 2'-8" x 3'-0"	1
2830 OBS. COL.	R.O. 2'-8" x 3'-0"	1
3052 COL.	R.O. 3'-0" x 5'-2"	1
3052 TWIN COL.	R.O. 6'-0" x 5'-6 1/2"	6
6' SLIDING EXT DOOR	R.O. 6'-0"	1



FLOOR PLAN

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SIGNATURE INDICATES APPROVAL AND ACCEPTANCE:

BUYER OWNER:	DATE:
BUYER OWNER:	DATE:
PENNYWORTH HOMES:	DATE: April 15, 2009
AGENT OF PENNYWORTH HOMES INC. CORPORATE OFFICE	

NOTE: PENNYWORTH HOMES INC. RESERVES THE RIGHT TO MAKE MODIFICATIONS TO THESE PLANS AFTER THE BUYERS APPROVAL / SIGNATURE. DUE TO THE ENGINEER'S AND BUILDING DEPARTMENT REVIEW. THE BUYER SHALL BE NOTIFIED OF THESE MODIFICATIONS TO THE PLAN VIA. CHANGE ORDER.

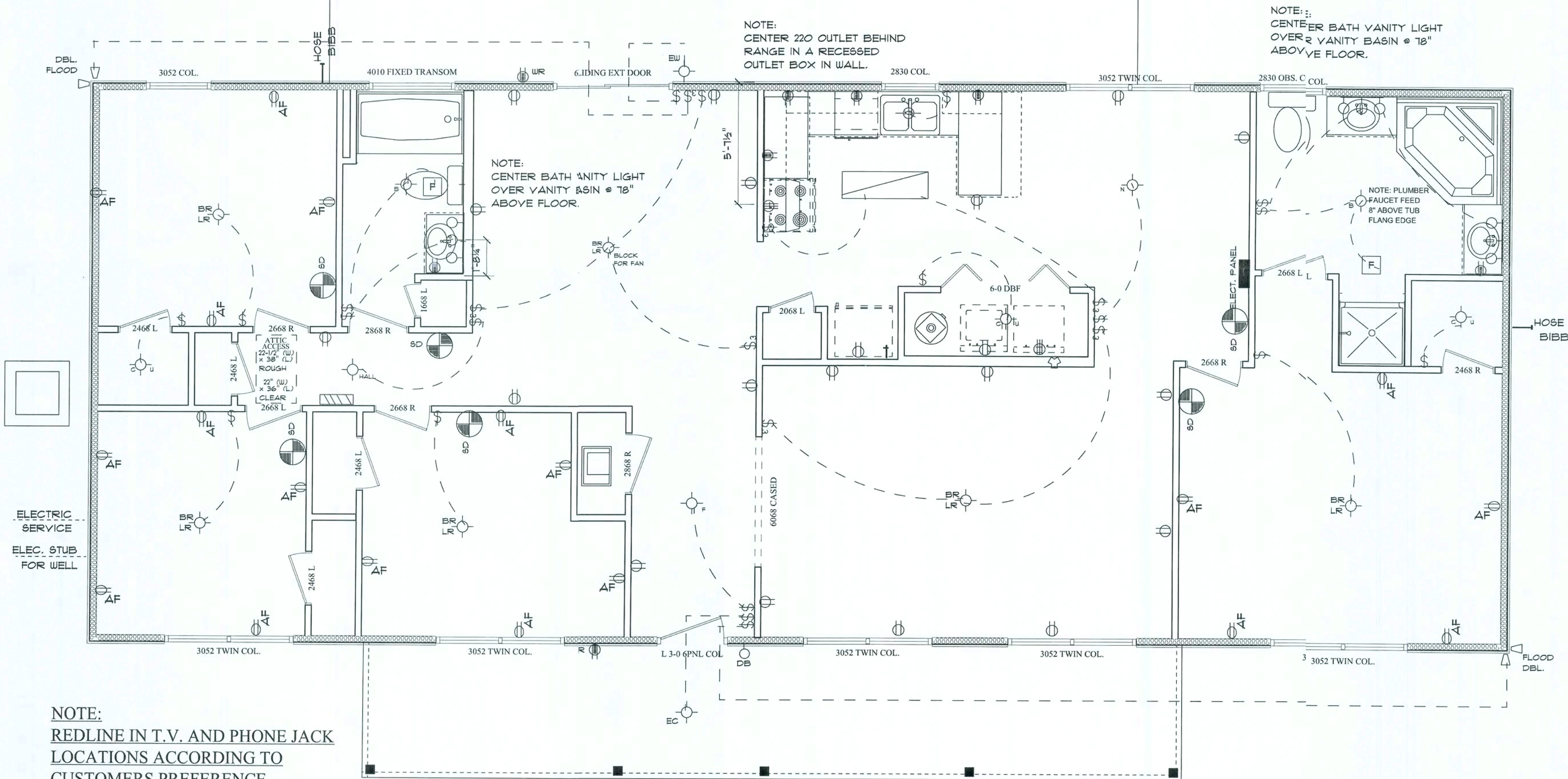
JOB # 09-04-0009

DRAWN BY: JLB	PLAN DATE: April 15, 2009	PAGE 2
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SCALE: 1/4" = 1'0"	OF 5
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ELECTRICAL	COUNT	SYMBOL
220 Volt Outlet	2	
3 Way Switch	7	
ARC FAULT	19	
BATH FAN	2	
BATH VANITY	1	
CHIMES	1	
DBL FLOOD	2	
DOOR BELL	1	
EXT. CLG.	1	
EXT. WALL	1	
GFI	6	
GFLWR	2	
KIT-FLORESCNT	1	
Outlet	20	
SMOKE DETECTOR	6	
Switch	19	
BATH MAIN	2	
BATH OVER MIRROR	2	
BED LIV FAN NO BLOCK	5	
BREAKFAST NOOK	1	
BR_LR BLOCK FOR FAN	1	
CLOSET UTILITY	3	
FOYER	1	
HALL	1	
KITCHEN SINK CEILING LIT	1	



## ELECTRICAL/HVAC PLAN

GROUND FLOOR:	1716
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1716

PORCH:	228
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1944

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HEATED LIVING AREA

GROUND FLOOR:	1716
SECOND FLOOR:	N/A
OTHER:	N/A
TOTAL HEATED:	1716

NON-HEATED LIVING AREA

PORCH:	228
GARAGE:	N/A
OTHER:	N/A
TOTAL U/R	1944

IMPORTANT-PLEASE READ BELOW CAREFULLY

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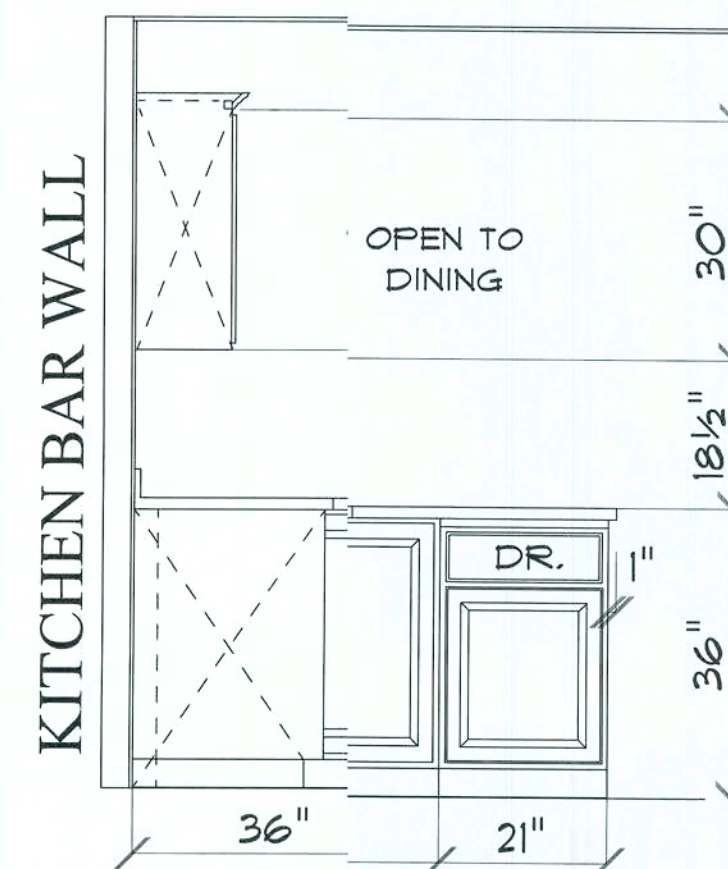
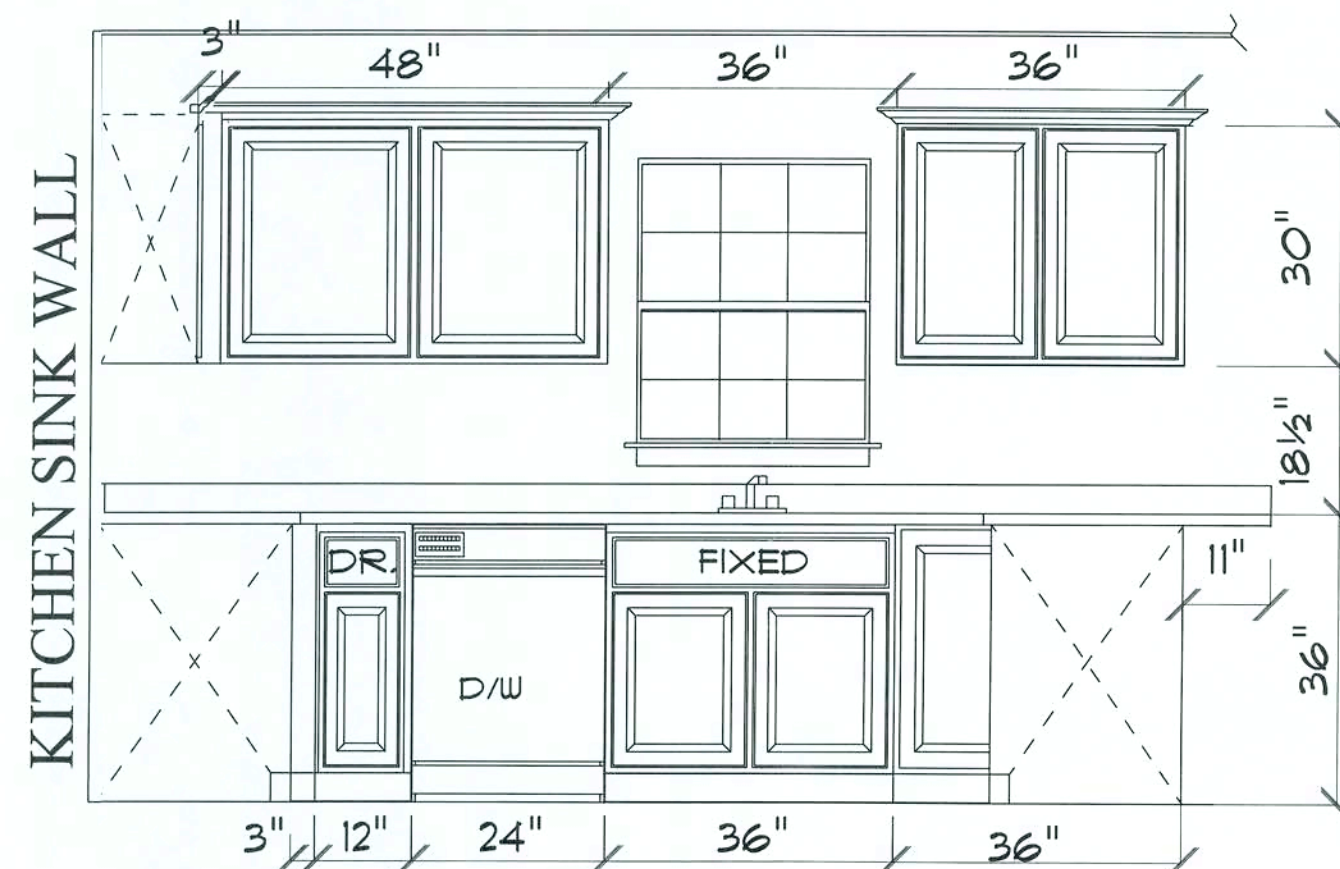
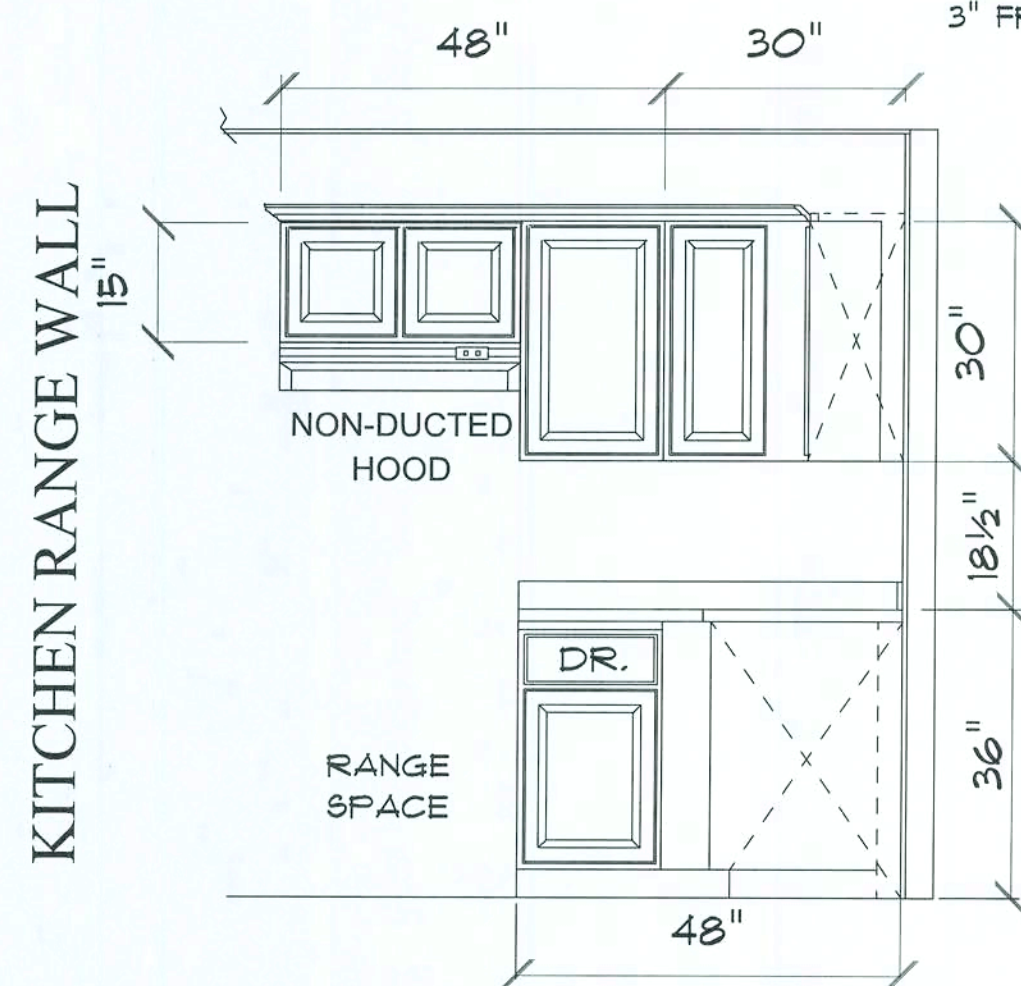
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**JOB # 09-04-0009**

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<b>JLB</b>	April 15, 2009	<b>4</b>

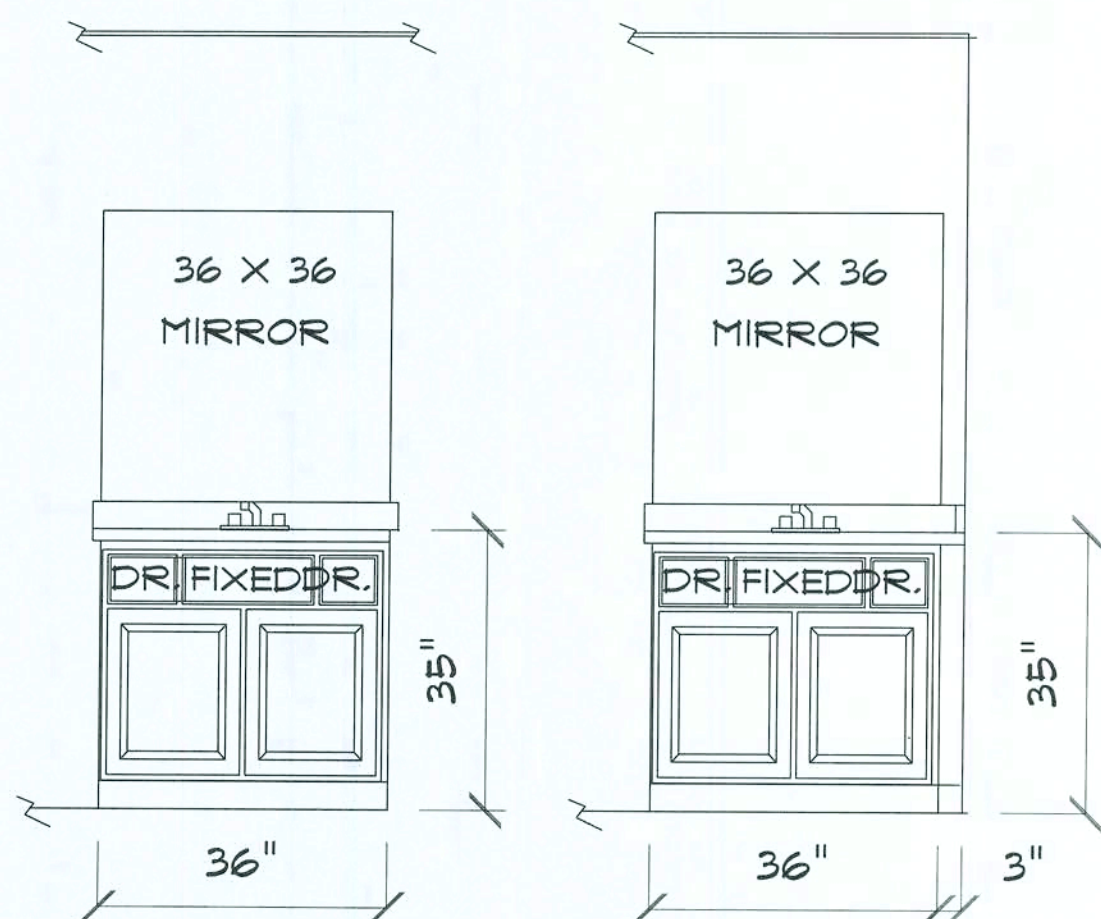
SCALE: 1/2" = 1'-0" OF **5**

NOTE:  
BLIND BASE & WALL CABINETS ARE 3" SHORTER THAN THE CALL-OUT SIZE. PULL 3" FROM WALL.

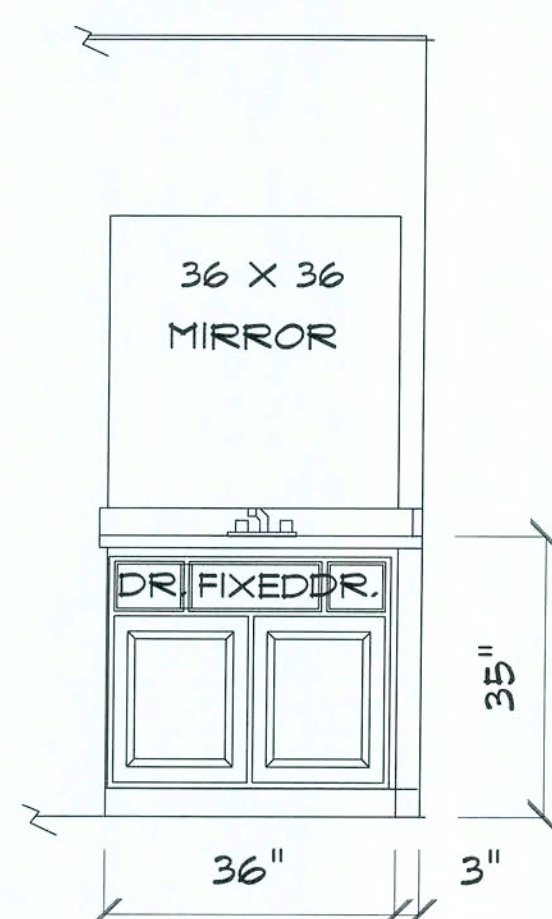


**KITCHEN CABINET ELEVATIONS**

SCALE: 1/2" = 1'-0"



**MASTER BATH**



**HALL BATH**

**VANITY CABINET ELEVATIONS**

SCALE: 1/2" = 1'-0"

CABINETS ARE SYMBOLIC,  
ACTUAL UNITS MAY VARY  
IN STYLE \*TO BE DETERMINED BY  
BUYER.



EXHIBIT "A"  
PLAN: **QUINCY**  
CUSTOMER NAME: **CRUSAW**

**HEATED LIVING AREA**  
GROUND FLOOR: **1716**  
SECOND FLOOR: **N/A**  
OTHER: **N/A**  
TOTAL HEATED: **1716**

**NON-HEATED LIVING AREA**  
PORCH: **228**  
GARAGE: **N/A**  
OTHER: **N/A**  
TOTAL U/R **1944**

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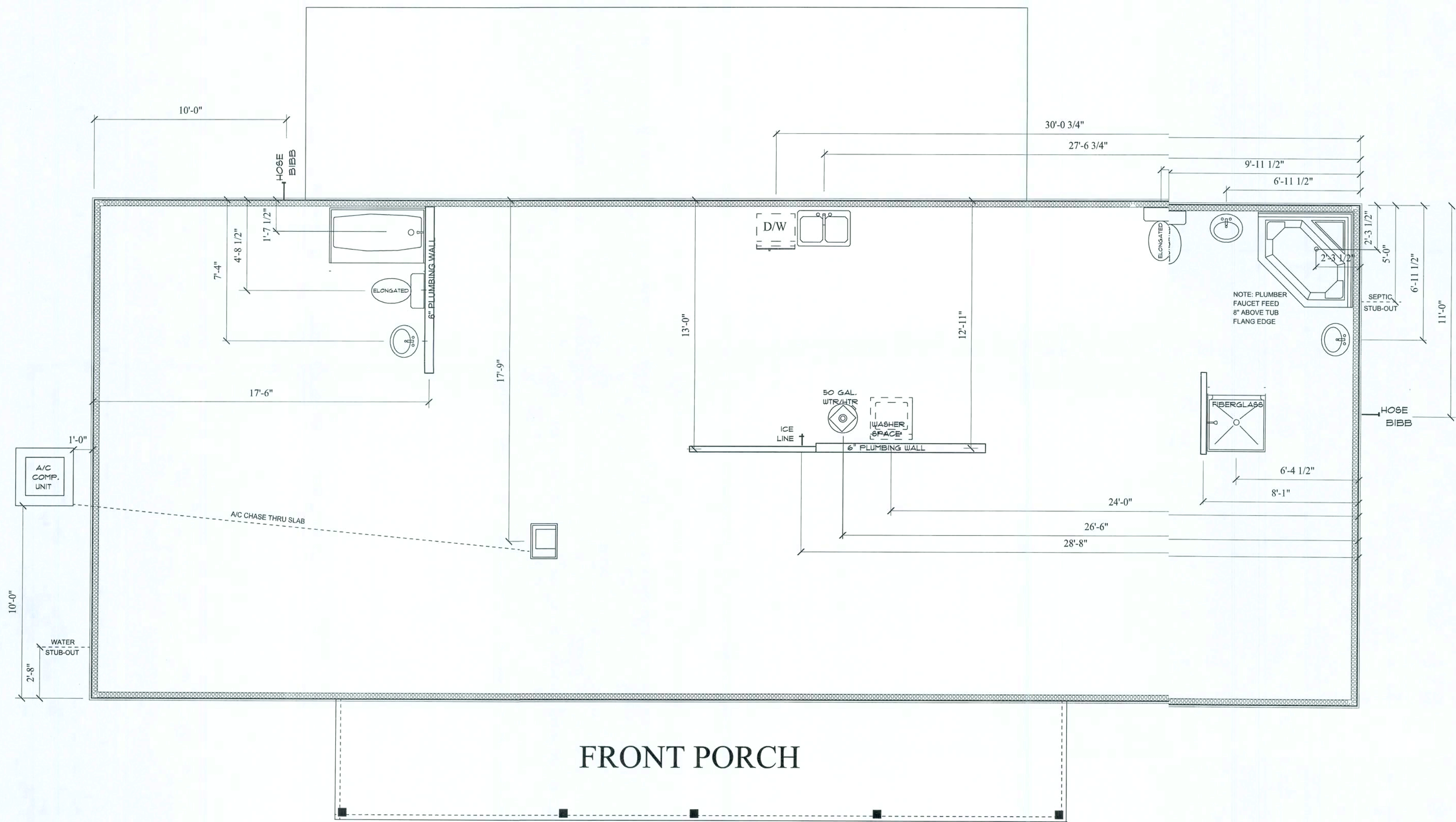
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SCALE: 1/4" = 1'0" OF **5**



**FRONT PORCH**  
**PLUMBING PLAN**