

Columbia County Building Permit Application

Revised 9-20

For Office Use Only Application # 050185 Date Received 10/31/05 By JN Permit # 1019/2426
 Application Approved by - Zoning Official BLK Date 3-17-06 Plans Examiner OK JH Date 11-1-05
 Flood Zone X Per PLAT Development Permit NIA Zoning R8F-2 Land Use Plan Map Category RES. Low D
 Comments Meets Requirements of Resolution 2005R-26
(NOC) SEE Q&A - CHANGE from LOT 4 to LOT 5-B

Applicants Name WOLF SCHROTH (EEC: 813-786-0730) Phone 386-364-4793
 Address PO BOX 656 LIVE OAK, FL 32064
 Owners Name VERONICA BAIRD Phone 386-364-4793
 911 Address 498 SUWANNEE VALLEY, L.P., FL 32025
 Contractors Name WOLF SCHROTH, BAUHUS INC Phone 386-364-4793
 Address PO BOX 656, LIVE OAK, FL 32064 + FAX
 Fee Simple Owner Name & Address BAIRD VERONICA
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address MARK DISOSWAY, PO BOX 868 LAKE CITY, FL 32056
 Mortgage Lenders Name & Address N/A

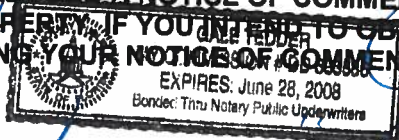
Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Ener.
 Property ID Number 07-45-17-08106-235 Estimated Cost of Construction \$ 65,000.-
 Subdivision Name HOLLY BROOK Lot 5 Block B Unit Phase
 Driving Directions FROM BASCOM NORRIS TURN WEST ON DEANNA RD
LOT IS ON RIGHT (SEE "BAUHUS INC" SIGN)
16 on right

Type of Construction FRAMED S.F.D. Number of Existing Dwellings on Property NONE
 Total Acreage 1/2 Lot Size 1/2 ACR Do you need a Culvert Permit or Culvert Waiver or Have an Existing Dri
 Actual Distance of Structure from Property Lines - Front 30' Side 17' Side 59' Rear 140'
 Total Building Height 25' Number of Stories 2 Heated Floor Area 1306 Roof Pitch 4/12
PORCHES 86 GARCIA 265 TOTAL 1657

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.



Owner Builder or Agent (Including Contractor)

STATE OF FLORIDA
 COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me
 this 31st day of October 2005
 Personally known or Produced Identification

Contractor Signature OKC 47190
 Contractors License Number
 Competency Card Number
 NOTARY STAMP/SEAL

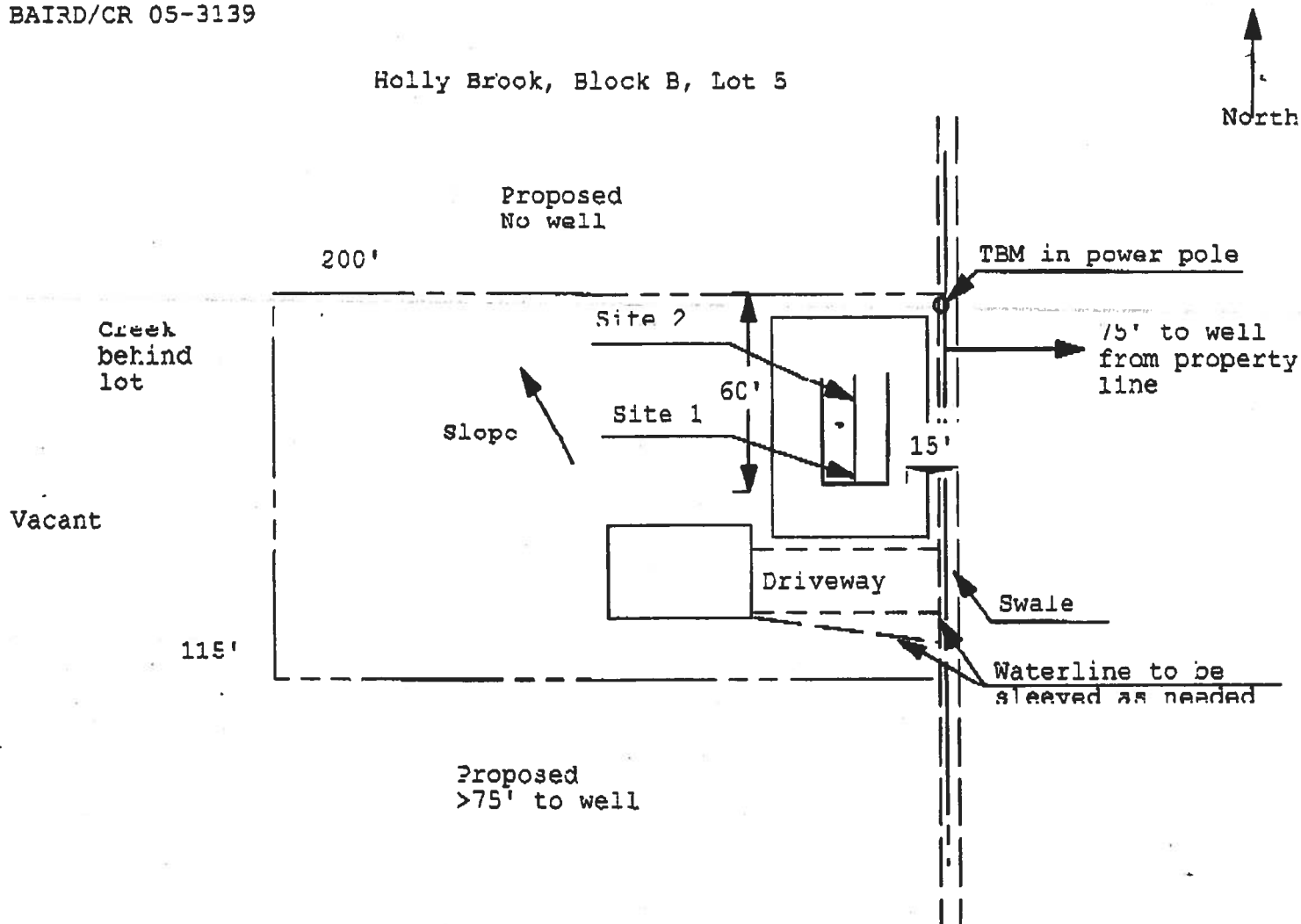
Notary Signature
 Notary Signature

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 05-1056 N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

BAIRD/CR 05-3139

Holly Brook, Block B, Lot 5



1 inch = 50 feet

Site Plan Submitted By Paul Lloyd Date 10/26/05
Plan Approved ✓ Not Approved _____ Date 10/26/05
By MT m Columbin CPHU

Notes: _____

REVISED
10-26-05



Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

P.O. Box 1625 • Lake City, FL 32056-1625
6919 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456
Tel. (904) 262-4046 • Fax (904) 262-4047

December 7, 2005

Bauhus, Inc.
P. O. Box 656
Live Oak, Florida 32064

Attention: Wolf Schrom

Reference: Holly Brook Subdivision
S. W. Deanna Terrace
Lake City, Florida
Cal-Tech Project No. 05-623

Dear Mr. Schrom,

Cal-Tech Testing, Inc. has completed the subsurface investigation and engineering evaluation of the sites for five residences to be constructed on lots 1, 2, 4, 5, and 6-of Holly Brook in Lake City, Florida. Our work was performed in conjunction with and authorized by you.

Introduction

We were provided a site plan and understand you will construct five, elevated, two-story residences each having a plan area of approximately 1,200 square feet. Support for the structures is to be provided by concrete or wooden piles, by piers and shallow footings or by stem walls and shallow footings. If stem walls are used a crawl space is to be provided below the structures. Anticipated foundation loads were not provided.

Site Investigation

The subsurface conditions were investigated by performing five (5) Standard Penetration Test boring advanced to depths of 15 feet. The borings were performed at the approximate locations indicated on the attached Boring Location Plan. These locations were selected and staked by you.

The Standard Penetration Test (ASTM D-1586) is performed by driving a standard split-barrel sampler into the soil by blows of a 140-pound hammer falling 30 inches. The number of blows required to drive the sampler 1 foot, after seating 6 inches, is designated the penetration resistance, or N-value; this value is an index to soil density or consistency.

Findings

The soil borings generally encountered two soil strata. The first layer consists of 2.5 to 5.5 feet of generally loose to medium dense, dark gray, tannish gray or grayish tan sand with silt (SP/SM). The N-values of this layer range from 3 to 22 blows per foot.

The second layer consists of an undetermined thickness of medium dense to dense, generally gray and orange, clayey sand (SC), sand with clay (SP/SC) and very stiff, sandy clay (CL). The N-values of this layer range from 11 to 40 blows per foot.

Groundwater was not encountered at any boring location at the time of our investigation.

For a more detailed description of the subsurface conditions encountered, please refer to the attached Boring Logs.

Discussion

Based upon our findings, we believe support for each of the five residences can be provided by piers and conventional, shallow spread footings. Footings should be sized to exert a maximum soil bearing pressure of 2,500 pounds per square foot. The bottoms of footings should be embedded a minimum of 24 inches below the finished surface grade.

Only normal, good practice site preparation procedures should be required to prepare bearing areas. These procedures include excavation as required to establish the appropriate bearing grades, proof-compaction of the subgrade, and compaction of all backfill materials. The subgrade should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density to a minimum depth of 1 foot below the bottoms of foundations.

Fill materials, if required, should consist of clean, fine sand containing less than 10% passing the No. 200 sieve. Fill should be placed in maximum 12-inch, loose lifts, and each lift should be proof-compacted to a minimum of 95% of the Modified Proctor maximum dry density.

Zero Rise

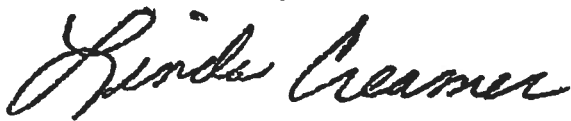
We were provided a survey prepared by Britt Surveying indicating high water at the site occurs at elevation 114.0 feet. The finished floor of each residence is to be located above this elevation, and only the supports for the structures and fill materials placed at the sites will contribute to raising the elevation of flood water.

Based upon the U.S.G.S. quadrangle map, that portion of the site and adjoining properties located below elevation 114.0 feet is estimated to be approximately 2,800,000 square feet. The volume of fill materials and structural elements to be

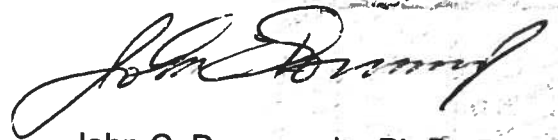
located below elevation 114.0 feet is estimated to be about 535 cubic yards. Should flooding to an elevation of 114.0 feet occur, the fill and structural elements placed at these building sites would cause an increase in flood elevation of about 0.05 inch or about the thickness of a dime. This increase in flood elevation is negligible.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,
Cal-Tech Testing, Inc.



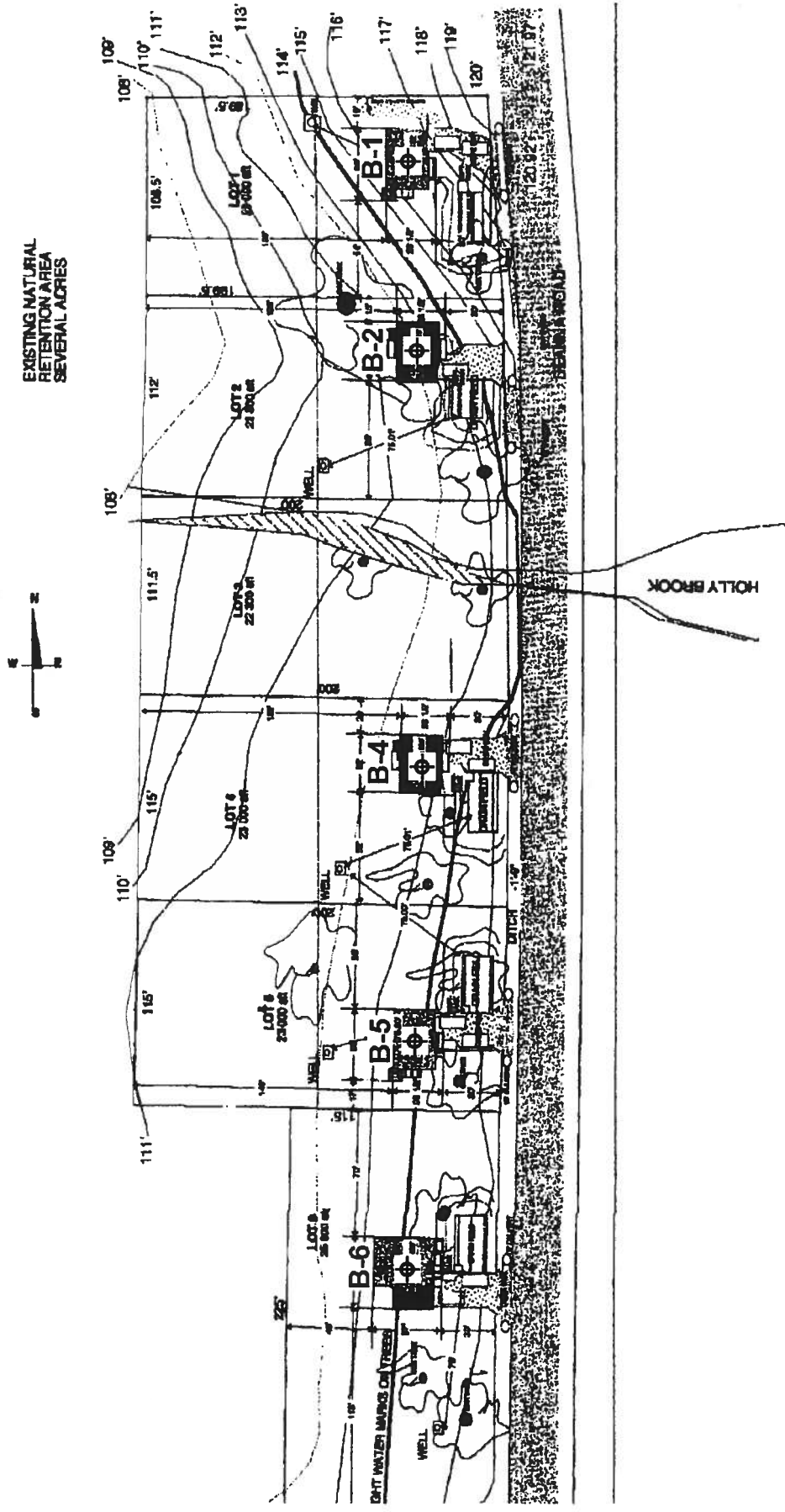
Linda Creamer
President / CEO



John C. Dorman, Jr., Ph.D., P.E.
Geotechnical Engineer

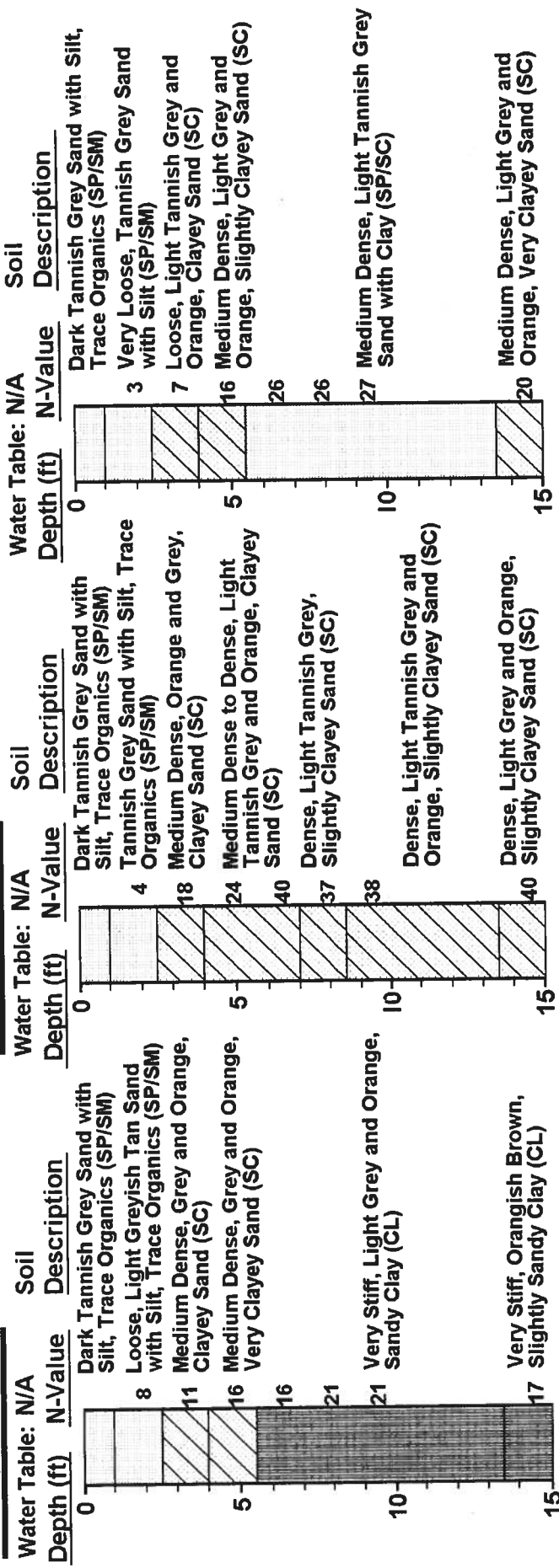
12/7/05

52612

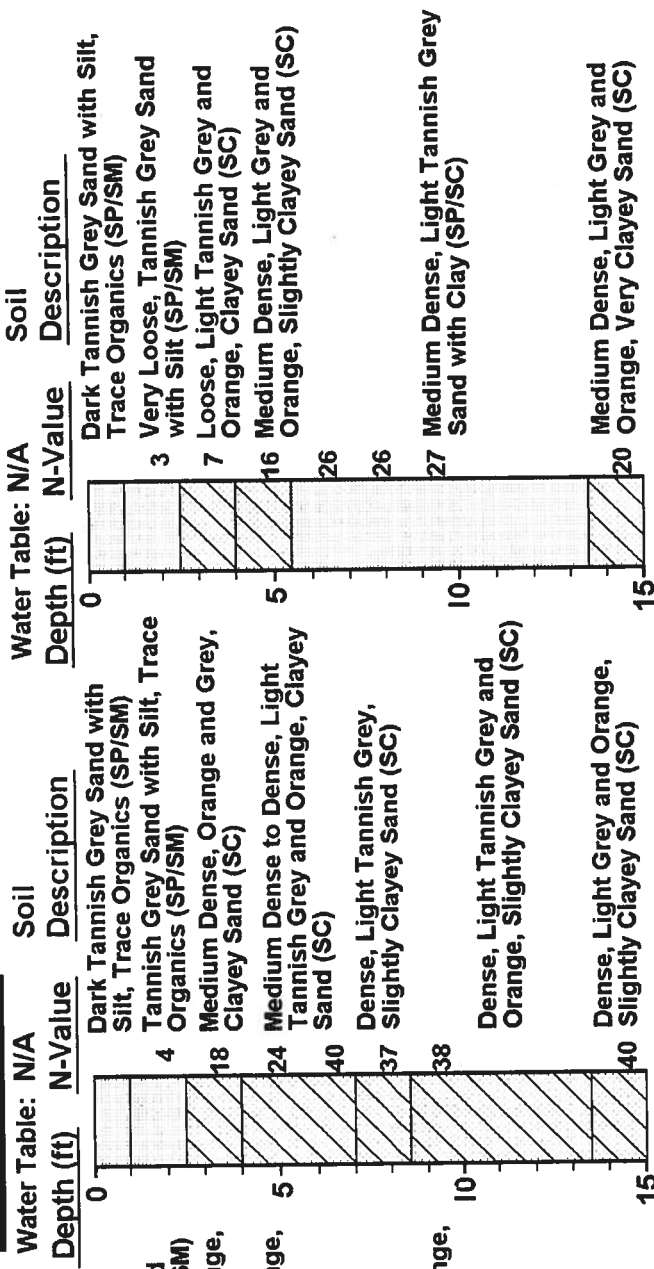


**Boring Location Plan: Holly Brook
Lake City, Florida**

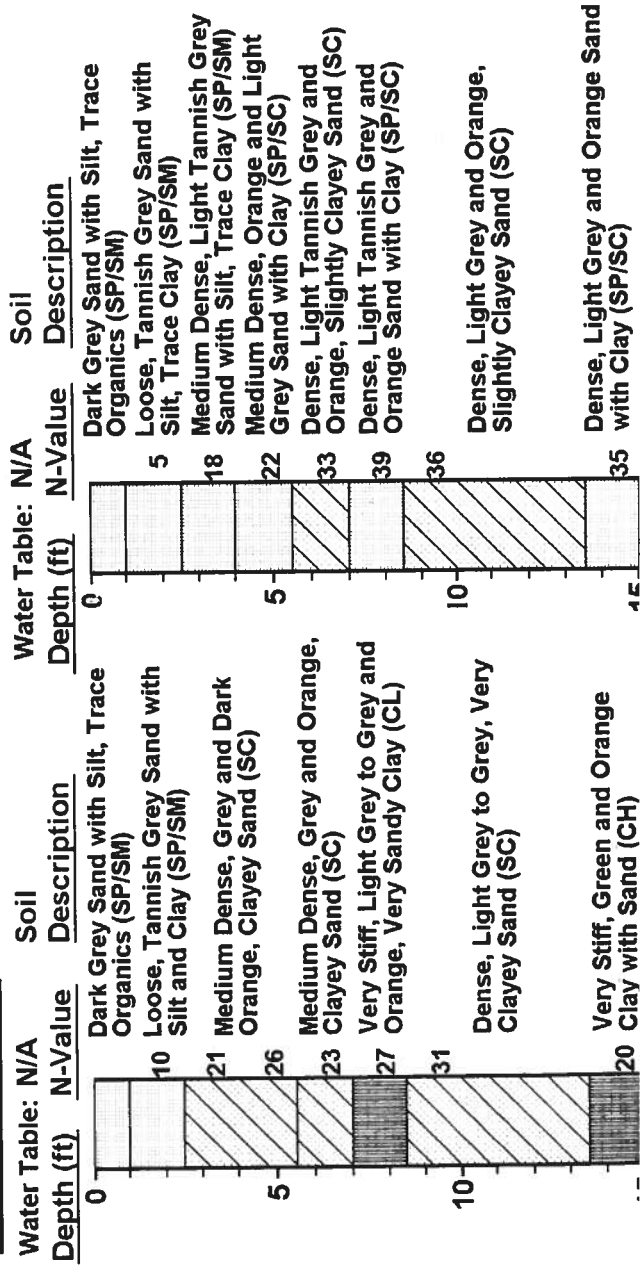
B-1, Lot-1



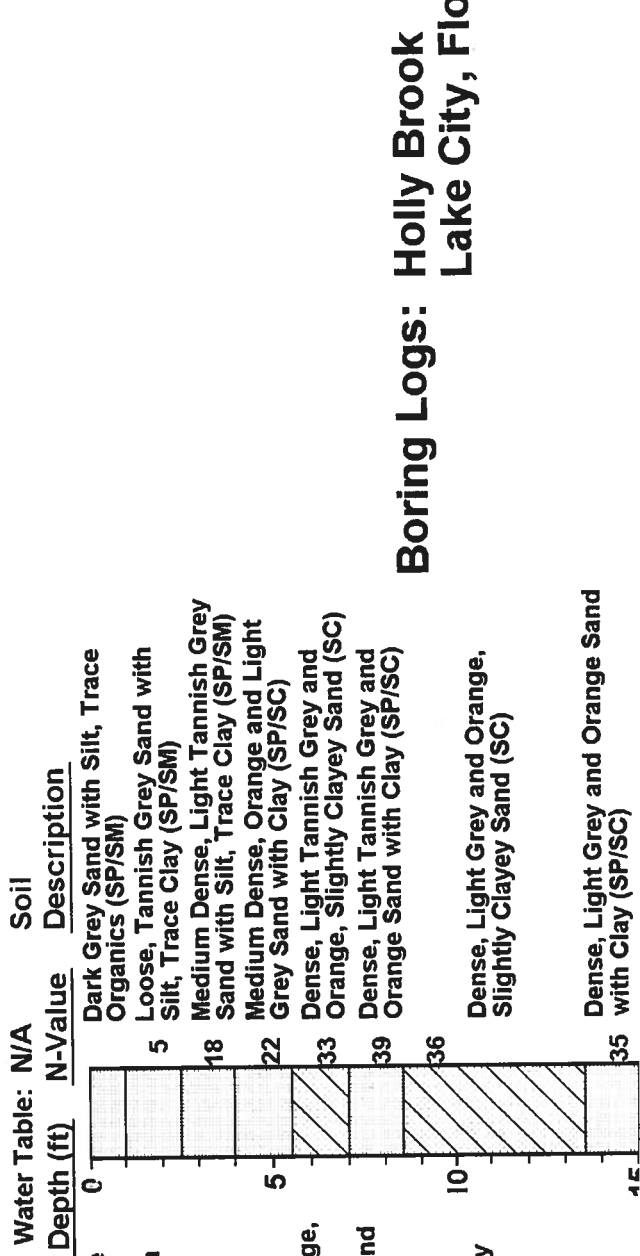
B-2, Lot-2



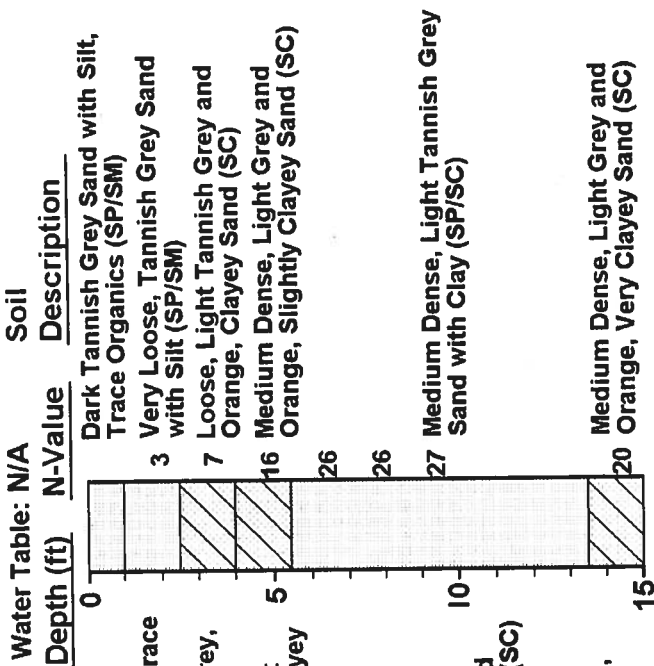
B-5, Lot-5



B-6, Lot-6



B-4, Lot-4



Boring Logs: Holly Brook
Lake City, Florida

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COPYRIGHT
HOUSE PLANS BY BAUHUS INC.
These drawings are not to be reproduced
or copied in any form or manner whatsoever
without the written permission of BAUHUS INC.



VERONICA BAIRD

PO BOX 656
LIVE OAK, FL 32064
TEL/FAX 386-364-4793

OWNER:

LIVE OAK, Oct. 2005

DESIGNED BY:

WOLF SCHROM
GEN. CONTRACTOR
GC#47190

RESIDENCIAL HOUSE

LOT# 5 DEANNA ROAD
HOLLY BROOK LAKE CITY

Folio #

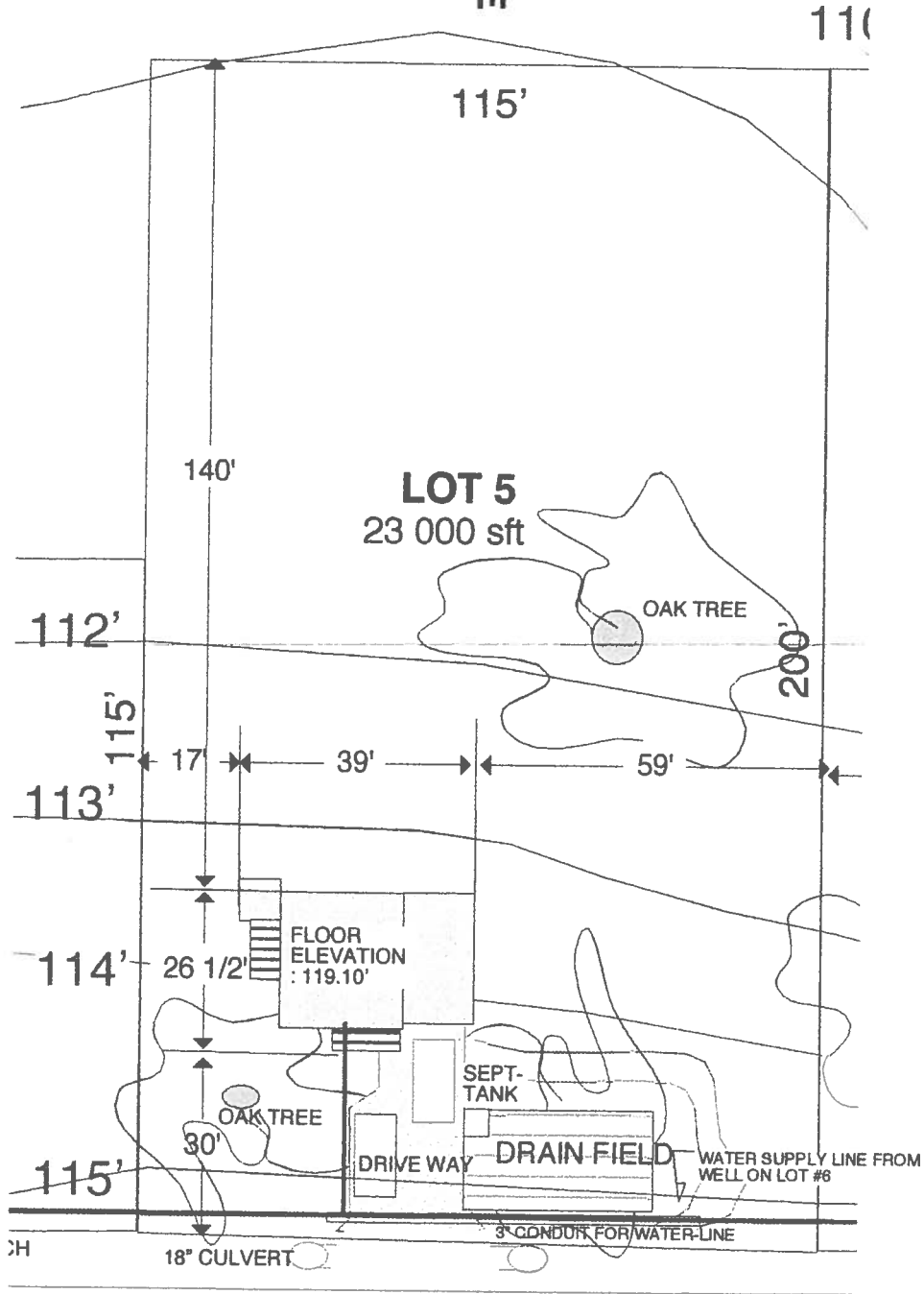
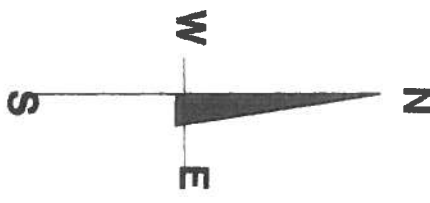
07-45-17-08106-235

SCALE
1"=20'

SHEET

0

SITE PLAN



DEANNA ROAD 117.35

NOTE:
CONTRACTORS TO VERIFY ALL DIMENSIONS
AND STRUCTURAL DESIGN TO COMPLY WITH CODES.

From: The Columbia County Building Department
Plans Review
135 NE Hernando Av.
P. O Box 1529
Lake City Florida, 32056-1529

Reference to: Build permit application Number: **0507-85**

**Wolf Schrom Owner Veronica Baird Lot 5 of Holly Brook
Subdivision.**

On the date of October 31, 2005 application 0507-85 and plans for construction of a single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

**Please include application number 0507-85 when making
reference to this application.**

ck 1. The elevation of the decks and porch entry finished floor will be 30" above the finished grade please show compliance with sections R312.1 of the FRC-2004 Guards required: Porches, balconies or raised floor surfaces located more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 36 inches (914 mm) in height. Open sides of stairs with a total rise of more than 30 inches (762 mm) above the floor or grade below shall have guards not less than 34 inches (864 mm) in height measured vertically from the nosing of the treads.

R312.2 Guard opening limitations.

Required guards on open sides of stairways, raised floor areas, balconies and porches shall have intermediate rails or ornamental closures which do not allow passage of a sphere 4 inches (102mm) or more in diameter.

Exceptions: The triangular openings formed by the riser, tread and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a sphere 6 inches (152 mm) cannot pass through.

1607.7.1.1 Concentrated load.

Handrail assemblies and guards shall be able to resist a single concentrated load of 200 pounds (0.89 kN), applied in any direction at any point along the top, and have attachment devices and supporting structure to transfer this loading to appropriate structural elements of the building. Please show on the plans a design detail drawing of both interior and exterior guards to comply with the above code requirement.

OK 2. Please verify on the plans that the emergency escape windows on the second floor of the dwelling will comply with requirements of sections R310 of the FRC-2004: R310.1.1 Minimum opening area. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m²).

OK 3. Please show on the electrical plans compliance with sections R313.1 of the FRC-2004
Smoke alarms: Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level. When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected

in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.

OK 4. Please show compliance with section R322.1.1 of the FRC-2004. All new single-family houses, duplexes, triplexes, condominiums and townhouses shall provide at least one bathroom, located with maximum possible privacy, where bathrooms are provided on habitable grade levels, with a door that has a 29-inch (737 mm) clear opening. However, if only a toilet room is provided at grade level, such toilet rooms shall have a clear opening of not less than 29 inches (737 mm).

OK 5. Please show compliance with sections R309.1 of the FBC-2004: Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 13/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 13/8 inches (35 mm) thick, or 20-minute fire-rated doors.

Please submit a recorded notice of commencement with this department prior to requesting any inspections on this dwelling. R309.2 Separation required.

The garage shall be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2-inch (12.7 mm) gypsum board or equivalent.

OK 6. Show compliance with R311.2.2 of the FRC-2004: Under stair protection.

Enclosed accessible space under stairs shall have walls, under stair surface and any soffits protected on the enclosed side with ½-inch (12.7 mm) gypsum board.

Thank you,

A handwritten signature in cursive script, appearing to read "Joe Haltiwanger".

Joe Haltiwanger
Plan Examiner
Columbia County Building Department

Prepared by:
Michael H. Harrell
Abstract & Title Services, Inc.
111 East Howard Street
Live Oak, Florida 32064

ATSF 14899

Inst: 2005016819 Date: 07/15/2005 Time: 15:18
Loc Stamp-Deed : 210.00

MK DC, P. DeWitt Cason, Columbia County B: 1051 P: 2860

Warranty Deed

Individual to Individual

THIS WARRANTY DEED made the 11th day of July, 2005, Daniel Crapps, A Married Man and Donald Dix, A Married Man, hereinafter called the grantor, to **Veronica Baird** whose post office address is: PO Box 656, Live Oak, FL 32064 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the grantee, all that certain land situate in COLUMBIA County, Florida, viz: Parcel ID# R08106234-236

Lots 4,5, and 6, Block B, of Holly Brook Subdivision, according to the plat thereof, as recorded in Plat Book 6, Page 109, Public Records of Columbia County, Florida.

The above-described property does not constitute the homestead of the Grantor nor any member of the Grantor's Family.

TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2004.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:


Candy Maddalino
Witness: CANDY MADDALINO

Daniel Crapps
Daniel Crapps

Mary Lyons
Witness: MARY LYONS

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 11th day of July, 2005 by DANIEL CRAPPS, A MARRIED MAN personally known to me or, if not personally known to me, who produced Driver's License No. _____ for identification and who did not take an oath.

(Notary Seal)  CANDY ANN MADDALINO
MY COMMISSION #DD167344
EXPIRES NOV 24, 2006
Bonded through Advantage Notary

Candy Ann Maddalino
Notary Public

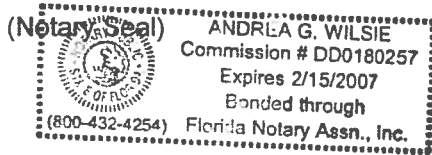
Travis Dix
Witness:
[Signature]
Witness:

[Signature]
Donald Dix

STATE OF FLORIDA
COUNTY OF Duval

The foregoing instrument was acknowledged before me this _____th day of July, 2005 by DONALD DIX, A MARRIED MAN personally known to me or, if not personally known to me, who produced Driver's License No. _____ for identification and who did not take an oath.

[Signature]
Notary Public



Inst:2005016819 Date:07/15/2005 Time:15:18
Doc Stamp-Deed : 210.00
____DC,P.DeWitt Cason,Columbia County B:1051 P:2861

AMERICAN LAND TITLE ASSOCIATION
OWNER'S POLICY (10-17-92)
(WITH FLORIDA MODIFICATIONS)

Policy No. 7210609- 330993

CHICAGO TITLE INSURANCE COMPANY

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE EXCEPTIONS FROM COVERAGE CONTAINED IN SCHEDULE B AND THE CONDITIONS AND STIPULATIONS, CHICAGO TITLE INSURANCE COMPANY, a Missouri corporation, herein called the Company, insures, as of Date of Policy shown in Schedule A, against loss or damage, not exceeding the Amount of Insurance stated in Schedule A, sustained or incurred by the insured by reason of:

1. Title to the estate or interest described in Schedule A being vested other than as stated therein,
2. Any defect in or lien or encumbrance on the title;
3. Unmarketability of the title;
4. Lack of a right of access to and from the land.

The Company will also pay the costs, attorneys' fees and expenses incurred in defense of the title, as insured, but only to the extent provided in the Conditions and Stipulations.

In Witness Whereof, CHICAGO TITLE INSURANCE COMPANY has caused this policy to be signed and sealed as of the Date of Policy shown in Schedule A, the policy to become valid when countersigned by an authorized signatory.

CHICAGO TITLE INSURANCE COMPANY

By:



[Signature]

President

ATTEST:

[Signature]

Secretary

Chicago Title Insurance Company

SCHEDULE A

File Number: 14899

Amount of Insurance: \$ 30,000.00

Policy Number: 7210609-330993

Premium:

Date of Policy: **Date/Time of Recording.**

1. Name of Insured:

Veronica Baird

2. The estate or interest in the land which is covered by this policy is:

Fee Simple

3. Title to the estate or interest in the land is vested in:

Veronica Baird

4. The land referred to in this policy is described as follows:

Lots 4,5, and 6, Block B, of Holly Brook Subdivision, according to the plat thereof, as recorded in Plat Book 6, Page 109, Public Records of Columbia County, Florida.

ABSTRACT & TITLE SERVICES, INC.

By: _____

MICHAEL H. HARRELL, PRESIDENT

SCHEDULE B

File Number
14899

Policy Number
7210609-330993

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

1. Standard Exceptions:

- (a) Rights or claims of parties in possession not shown by the public records.
- (b) Easements, or claims of easements, not shown by the public records.
- (c) Encroachments, overlaps, boundary line disputes, or other matters which would be disclosed by an accurate survey and inspection of the premises.
- (d) Any lien or right to a lien, for service, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
- (e) Taxes or special assessments which are not shown as existing liens by the public records.
- (f) Any claim that any portion of said lands are sovereign lands of the State of Florida, including submerged, filled or artificially exposed lands and lands accreted to such lands.

- 2. Subject to 2005 Real Estate Taxes and all subsequent years which are now due and payable.
- 3. Land use restrictions as recorded in OR Book 796, Page 2068, Public Records of Columbia County, Florida.
- 4. Subject to easements, restrictions, covenants and other matters common to the plat recorded in Plat Book 6, Page 109, of the Public Records of Columbia County, Florida.
- 5. Utility easements in favor of Clay Electric Cooperative, Inc., as recorded in OR Book 748, Page 663; OR Book 808, Page 150; and OR Book 808, Page 2093, Public Records of Columbia County, Florida.
- 6. Subject to any Homeowner's Association dues, which may be due and payable.

1. DEFINITION OF TERMS

The following terms when used in this policy mean:

CONDITIONS AND STIPULATIONS

- (a) "insured": the insured named in Schedule A, and, subject to any rights or defenses the Company would have had against the named insured, those who succeed to the interest of the named insured by operation of law as distinguished from purchase including, but not limited to, heirs, distributees, devisees, survivors, personal representatives, next of kin, or corporate or fiduciary successors.
- (b) "insured claimant": an insured claiming loss or damage.
- (c) "knowledge" or "known": actual knowledge, not constructive knowledge or notice which may be imputed to an insured by reason of the public records as defined in this policy or any other records which impart constructive notice of matters affecting the land.
- (d) "land": the land described or referred to in Schedule A, and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area described or referred to in Schedule A, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways, but nothing herein shall modify or limit the extent to which a right of access to and from the land is insured by this policy.
- (e) "mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- (f) "public records": records established under state statutes at Date of Policy for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge. With respect to Section 1(f)(iv) of the Exclusions From Coverage, "public records" shall also include environmental protection liens filed in the records of the clerk of the United States district court for the district in which the land is located.
- (g) "unmarketability of the title": an alleged or apparent matter affecting the title to the land, not excluded or excepted from coverage, which would entitle a purchaser of the estate or interest described in Schedule A to be released from the obligation to purchase by virtue of a contractual condition requiring the delivery of marketable title.

2. CONTINUATION OF INSURANCE AFTER CONVEYANCE OF TITLE

The coverage of this policy shall continue in force as of Date of Policy in favor of an insured only so long as the insured retains an estate or interest in the land, or holds an indebtedness secured by a purchase money mortgage given by a purchaser from the insured, or only so long as the insured shall have liability by reason of covenants of warranty made by the insured in any transfer or conveyance of the estate or interest. This policy shall not continue in force in favor of any purchaser from the insured of either (i) an estate or interest in the land, or (ii) an indebtedness secured by a purchase money mortgage given to the insured.

3. NOTICE OF CLAIM TO BE GIVEN BY INSURED CLAIMANT

The insured shall notify the Company promptly in writing (i) in case of any litigation as set forth in Section 4(a) below, (ii) in case knowledge shall come to an insured hereunder of any claim of title or interest which is adverse to the title to the estate or interest, as insured, and which might cause loss or damage for which the Company may be liable by virtue of this policy, or (iii) if title to the estate or interest, as insured, is rejected as unmarketable. If prompt notice shall not be given to the Company, then as to the insured all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any insured under this policy unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

4. DEFENSE AND PROSECUTION OF ACTIONS; DUTY OF INSURED CLAIMANT TO COOPERATE

(a) Upon written request by the insured and subject to the options contained in Section 6 of these Conditions and Stipulations, the Company, at its own cost and without unreasonable delay, shall provide for the defense of an insured in litigation in which any third party asserts a claim adverse to the title or interest as insured, but only as to those stated causes of action alleging a defect, lien or encumbrance or other matter insured against by this policy. The Company shall have the right to select counsel of its choice (subject to the right of the insured to object for reasonable cause) to represent the insured as to those stated causes of action and shall not be liable for and will not pay the fees of any other counsel. The Company will not pay any fees, costs or expenses incurred by the insured in the defense of those causes of action which allege matters not insured against by this policy.

(b) The Company shall have the right, at its own cost, to institute and prosecute any action or proceeding or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest, as insured, or to prevent or reduce loss or damage to the insured. The Company may take any appropriate action under the terms of this policy, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this policy. If the Company shall exercise its rights under this paragraph, it shall do so diligently.

(c) Whenever the Company shall have brought an action or interposed a defense as required or permitted by the provisions of this policy, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from any adverse judgment or order.

(d) In all cases where this policy permits or requires the Company to prosecute or provide for the defense of any action or proceeding, the insured shall secure to the Company the right to so prosecute or provide defense in the action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of the insured for this purpose. Whenever requested by the Company, the insured, at the Company's expense, shall give the Company all reasonable aid (i) in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or proceeding, or effecting settlement, and (ii) in any other lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest as insured. If the Company is prejudiced by the failure of the insured to furnish the required cooperation, the Company's obligations to the insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such cooperation.

5. PROOF OF LOSS OR DAMAGE

In addition to and after the notices required under Section 3 of these Conditions and Stipulations have been provided the Company, a proof of loss or damage signed and sworn to by the insured claimant shall be furnished to the Company within 90 days after the insured claimant shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the defect in, or lien or encumbrance on the title, or other matter insured against by this policy which constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of the insured claimant to provide the required proof of loss or damage, the Company's obligations to the insured under the policy shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, with regard to the matter or matters requiring such proof of loss or damage.

In addition, the insured claimant may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Policy, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the insured claimant shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the insured claimant provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the insured claimant to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in this paragraph shall terminate any liability of the Company under this policy as to that claim.

6. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS; TERMINATION OF LIABILITY

In case of a claim under this policy, the Company shall have the following additional options:

(a) To Pay or Tender Payment of the Amount of Insurance.

To pay or tender payment of the amount of insurance under this policy together with any costs, attorneys' fees and expenses incurred by the insured claimant, which were authorized by the Company, up to the time of payment or tender of payment and which the Company is obligated to pay.

Upon the exercise by the Company of this option, all liability and obligations to the insured under this policy, other than to make the payment required, shall terminate, including any liability or obligation to defend, prosecute, or continue any litigation, and the policy shall be surrendered to the Company for cancellation.

(b) To Pay or Otherwise Settle With Parties Other than the Insured or With the Insured Claimant.

(i) to pay or otherwise settle with other parties for or in the name of an insured claimant any claim insured against under this policy, together with any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay; or

(ii) to pay or otherwise settle with the insured claimant the loss or damage provided for under this policy, together with any costs, attorneys' fees and expenses incurred by the insured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in paragraphs (b)(i) or (ii), the Company's obligations to the insured under this policy for the claimed loss or damage, other than the payments required to be made, shall terminate, including any liability or obligation to defend, prosecute or continue any litigation.

7. DETERMINATION, EXTENT OF LIABILITY AND COINSURANCE

This policy is a contract of indemnity against actual monetary loss or damage sustained or incurred by the insured claimant who has suffered loss or damage by reason of matters insured against by this policy and only to the extent herein described.

(a) The liability of the Company under this policy shall not exceed the least of:

- (i) the Amount of Insurance stated in Schedule A; or,
- (ii) the difference between the value of the insured estate or interest as insured and the value of the insured estate or interest subject to the defect, lien or encumbrance insured against by this policy.

(b) *This paragraph removed in Florida policies.*

(c) The Company will pay only those costs, attorneys' fees and expenses incurred in accordance with Section 4 of these Conditions and Stipulations.

8. APPORTIONMENT

If the land described in Schedule A consists of two or more parcels which are not used as a single site, and a loss is established affecting one or more of the parcels but not all, the loss shall be computed and settled on a pro rata basis as if the amount of insurance under this policy was divided pro rata as to the value on Date of Policy of each separate parcel to the whole, exclusive of any improvements made subsequent to Date of Policy, unless a liability or value has otherwise been agreed upon as to each parcel by the Company and the insured at the time of the issuance of this policy and shown by an express statement or by an endorsement attached to this policy.

9. LIMITATION OF LIABILITY

(a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures the lack of a right of access to or from the land, or cures the claim of unmarketability of title, all as insured, in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.

(b) In the event of any litigation, including litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title as insured.

(c) The Company shall not be liable for loss or damage to any insured for liability voluntarily assumed by the insured in settling any claim or suit without the prior written consent of the Company.

10. REDUCTION OF INSURANCE; REDUCTION OR TERMINATION OF LIABILITY

All payments under this policy, except payments made for costs, attorneys' fees and expenses, shall reduce the amount of the insurance pro tanto.

11. LIABILITY NONCUMULATIVE

It is expressly understood that the amount of insurance under this policy shall be reduced by any amount the Company may pay under any policy insuring a mortgage to which exception is taken in Schedule B or to which the insured has agreed, assumed, or taken subject, or which is hereafter executed by an insured and which is a charge or lien on the estate or interest described or referred to in Schedule A, and the amount so paid shall be deemed a payment under this policy to the insured owner.

12. PAYMENT OF LOSS

(a) No payment shall be made without producing this policy for endorsement of the payment unless the policy has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.

(b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within 30 days thereafter.

13. SUBROGATION UPON PAYMENT OR SETTLEMENT

(a) **The Company's Right of Subrogation.**

Whenever the Company shall have settled and paid a claim under this

policy, all right of subrogation shall vest in the Company unaffected by any act of the insured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the insured claimant would have had against any person or property in respect to the claim had this policy not been issued. If requested by the Company, the insured claimant shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The insured claimant shall permit the Company to sue, compromise or settle in the name of the insured claimant and to use the name of the insured claimant in any transaction or litigation involving these rights or remedies.

If a payment on account of a claim does not fully cover the loss of the insured claimant, the Company shall be subrogated to these rights and remedies in the proportion which the Company's payment bears to the whole amount of the loss.

If loss should result from any act of the insured claimant, as stated above, that act shall not void this policy, but the Company, in that event, shall be required to pay only that part of any losses insured against by this policy which shall exceed the amount, if any, lost to the Company by reason of the impairment by the insured claimant of the Company's right of subrogation.

(b) **The Company's Rights Against Non-insured Obligors.**

The Company's right of subrogation against non-insured obligors shall exist and shall include, without limitation, the rights of the insured to indemnities, guaranties, other policies of insurance or bonds, notwithstanding any terms or conditions contained in those instruments which provide for subrogation rights by reason of this policy.

14. ARBITRATION

Unless prohibited by applicable law, arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association may be demanded if agreed to by both the Company and the insured. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the insured arising out of or relating to the policy, any service of the Company in connection with its issuance or the breach of a policy provision or other obligation. Arbitration pursuant to this policy and under the Rules in effect on the date the demand for arbitration is made or, at the option of the insured, the Rules in effect at Date of Policy shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permit a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

15. LIABILITY LIMITED TO THIS POLICY; POLICY ENTIRE CONTRACT

(a) This policy together with all endorsements, if any, attached hereto by the Company is the entire policy and contract between the insured and the Company. In interpreting any provision of this policy, this policy shall be construed as a whole.

(b) Any claim of loss or damage, whether or not based on negligence, and which arises out of the status of the title to the estate or interest covered hereby or by any action asserting such claim, shall be restricted to this policy.

(c) No amendment of or endorsement to this policy can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or a validating officer or authorized signatory of the Company.

16. SEVERABILITY

In the event any provision of the policy is held invalid or unenforceable under applicable law, the policy shall be deemed not to include that provision and all other provisions shall remain in full force and effect.

17. NOTICES, WHERE SENT

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this policy and shall be addressed to the Company at the issuing office or to:

Chicago Title Insurance Company • Claims Department
171 North Clark Street • Chicago, Illinois 60601-3294
In Florida Call 1-800-883-2020



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

May 19, 2005

Ms. Veronica Baird
Post Office Box 656
Live Oak, Florida 32064

Subject: ERP05-0235, Holly Brook, Lots 1-6, Columbia County

Dear Ms Baird:

Per your request, dated May 13, 2005, the Suwannee River Water Management District (District) has determined that wetlands, as defined in subsection 62-340.200 (19), Florida Administrative Code (F.A.C.), do not exist within the subject properties. The determination was based upon the site plan received with your request, indicating that the maximum depth of the lots was 189.5 feet from the property corner on Deanna Road.

If you have additional questions, I can be reached at 800.226.1066, or 386.362.1001. My cell phone number is 386.647.6990.

Sincerely,

A handwritten signature in dark ink, appearing to read "Louis Mantini".

Louis Mantini
Environmental Specialist

LM/rl

DAVID POPE
Chairman
Alachua, Florida

SYLVIA J. TATUM
Vice Chairman
Lawtey, Florida

C. LINDEN DAVIDSON
Secretary/Treasurer
Lamont, Florida

KELBY ANDREWS
Chiefland, Florida

DON R. EVERETT, JR.
Perry, Florida

GEORGIA JONES
Lake City, Florida

OLIVER J. LAKE
Lake City, Florida

JOHN P. MAULTSBY
Madison, Florida

LOUIS SHIVER
Mayo, Florida

JERRY A. SCARBOROUGH
Executive Director
Live Oak, Florida

COLUMBIA COUNTY 9-1-1 ADDRESSING

263 NW Lake City Ave. * P. O. Box 1787 * Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE ISSUED: November 07, 2005

ENHANCED 9-1-1 ADDRESS:

498 SW DEANNA TER (LAKE CITY, FL 32025)

Addressed Location 911 Phone Number: NOT AVAIL.

OCCUPANT NAME: NOT AVAIL.

OCCUPANT CURRENT MAILING ADDRESS: _____

PROPERTY APPRAISER PARCEL NUMBER: 07-4S-17-08106-235

Other Contact Phone Number (If any): _____

Building Permit Number (If known): _____

Remarks: LOT 5 BLOCK B HOLLY BROOK S/D

Address Issued By: _____

Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

COLUMBIA COUNTY
9-1-1 ADDRESSING
APPROVED



Slig
Brian K -
file

RECEIVED
FEB 16 2006

Board of County Commissioners
Columbia County



Designer & Builder of fine Custom Homes, Ecological & Biological Houses available
General Contractor GC# 47190

February 14, 2006

Dear Dale,

We appreciated yesterday's meeting regarding the building permits for our five lots in Holly Brook. After listening to peoples' concerns we would like to give you our impression of the meeting. The real concern should have been flooding, which we have shown will not be affected by our houses. You confirmed that Mr. Colson, your county engineer had checked the 0-Rise calculation of our engineer, John Dorman, and had agreed that the increase in flood elevation is negligible.

The other issues the neighbors have is that there will be more neighbors. They complained that homes will bring (horrors!) children and pets and cars. In other words there will be more people just like them. As to the designs; houses built on fill and slabs should not be allowed in flood prone areas, which leaves us with raised buildings. We feel our designs are in keeping with the neighborhood.

Until yesterday we were unaware of the problem with the private road to the west contributing to the flooding and have come up with a possible solution. We have already sent the attached letter to every land owner in Holly Brook. This should help and we would like to get going on this immediately, with your help.

We don't believe the home owners association has a legitimate complaint. We have always shown willing to do whatever is necessary to comply with new rules and wishes and feel we have all just about come to the end of the road.

We therefore respectfully request that the building permits for our five lots be issued without delay.

Sincerely,


Veronica Baird


Wolf Schrom

P.O.. Box. # 656, Live Oak, Florida 32064, Tel/Fax: 386-364-4793 * Suwannee County *

Cell: 813-786-0730

e-mail: wolf@bauhus.com * visit my Web Page: www.bauhus.com



EXPERT
CRAFTSMANSHIP



BAUHUS
INC

Designer & Builder of fine Custom Homes, Ecological & Biological Houses available
General Contractor GC# 47190

February 14, 2006

Dear Neighbors,

Yesterday there was a special meeting of the Holly Brook Neighborhood Association and the County Commissioners Board regarding the issuing of building permits on our five lots in the neighborhood. We were glad we attended and appreciated hearing the concerns expressed, specifically the problem of the private road on the west side of Holly Brook. Apparently this has increased flooding problems. We think there is a solution. We would like to approach the owners of the road and ask them if we can put in a culvert to drain the water back to the creek as it had previously done. This two day project would involve digging up the road, placing the culvert and then repaving this section. The cost, just over \$2000. and at most well under \$3000., would be paid by the Holly Brook Homeowners Association. With a total of 30 properties, this is less than \$100. per lot. Of course we would get the proper permitting and ask Dale Williams, County Manager; who has already promised to look in to the problem, to speed up the processing.

Another cause of flooding is the destruction of the natural environment to build houses. Cutting down trees and putting houses on fill and cement slabs has made the problem much worse. Other communities have put in their deeds of restriction that one or both of these activities not be allowed. There are more and more people wanting more and more places to live. They must be accommodated but we do understand the reluctance of the neighbors to allow them into their community. Perhaps some simple rules to protect the environment will also protect the neighborhood.

Please call us if you would like to discuss or help with the culvert issue.

Sincerely,

Veronica Baird

Wolf Schrom

cc: Dale Williams

P.O.. Box. # 656, Live Oak, Florida 32064, Tel/Fax: 386-364-4793 * Suwannee County *
Cell: 813-786-0730

e-mail: wolf@bauhus.com * visit my Web Page: www.bauhus.com



Cal-Tech Testing, Inc.

- Engineering
- Geotechnical
- Environmental

LABORATORIES

P.O. Box 1625 • Lake City, FL 32056-1625
6919 Distribution Avenue S., Unit #5 • Jacksonville, FL 32257

Tel. (386) 755-3633 • Fax (386) 752-5456
Tel. (904) 262-4046 • Fax (904) 262-4047

March 15, 2006

Bauhus, Inc.
P. O. Box 656
Live Oak, Florida 32064

Attention: Wolf Schrom

Reference: Holly Brook Subdivision
S. W. Deanna Terrace
Lake City, Florida
Cal-Tech Project No. 05-623

Dear Mr. Schrom,

You requested Cal-Tech Testing, Inc. review changes to the building plans for two residences to be constructed at Holly Brook subdivision in Columbia County, Florida. The purpose of this review was to determine if proposed increases in plan area for the residences to be constructed on lots 1 and 5 would cause an increase in the elevation of floodwater at these home sites should flooding occur. Also, does the proposed increase in plan area for these homes alter our previous evaluation of flood levels at the site.

We were provided plans for the two residences, and these plans indicate the square footage for each residence is to be increased from 1,306 square feet to 1,400 square feet. No changes to the pier foundation system or to the volume of fill materials to be placed at the sites were made.

Based upon our review, the changes in plan area proposed for the two residences will cause no difference in the level of flood water at the sites should flooding occur. Our previous evaluation remains the same and is provided essentially in the same form below.

We were provided a survey prepared by Britt Surveying indicating high water at the home sites occurs at elevation 114.0 feet. The finished floor of each residence is to be located above this elevation, and only the supports for the structures and fill materials placed at the sites will contribute to raising the elevation of floodwater.

Based upon the U.S.G.S. quadrangle map, that portion of the building sites and adjoining properties located below elevation 114.0 feet is estimated to be approximately 2,800,000 square feet. The volume of fill materials and structural elements to be located below elevation 114.0 feet is estimated to be about 535 cubic yards. Should

flooding to an elevation of 114.0 feet occur, the fill and structural elements placed at these building sites would cause an increase in flood elevation of about 0.05 inch or about the thickness of a dime. This increase in flood elevation is negligible.

We appreciate the opportunity to be of service on this project and look forward to a continued association. Please do not hesitate to contact us should you have questions concerning this report or if we may be of further assistance.

Respectfully submitted,
Cal-Tech Testing, Inc.



Linda Creamer
President / CEO

CC: Dale Williams



John C. Dorman, Jr., Ph.D., P.E.
Geotechnical Engineer

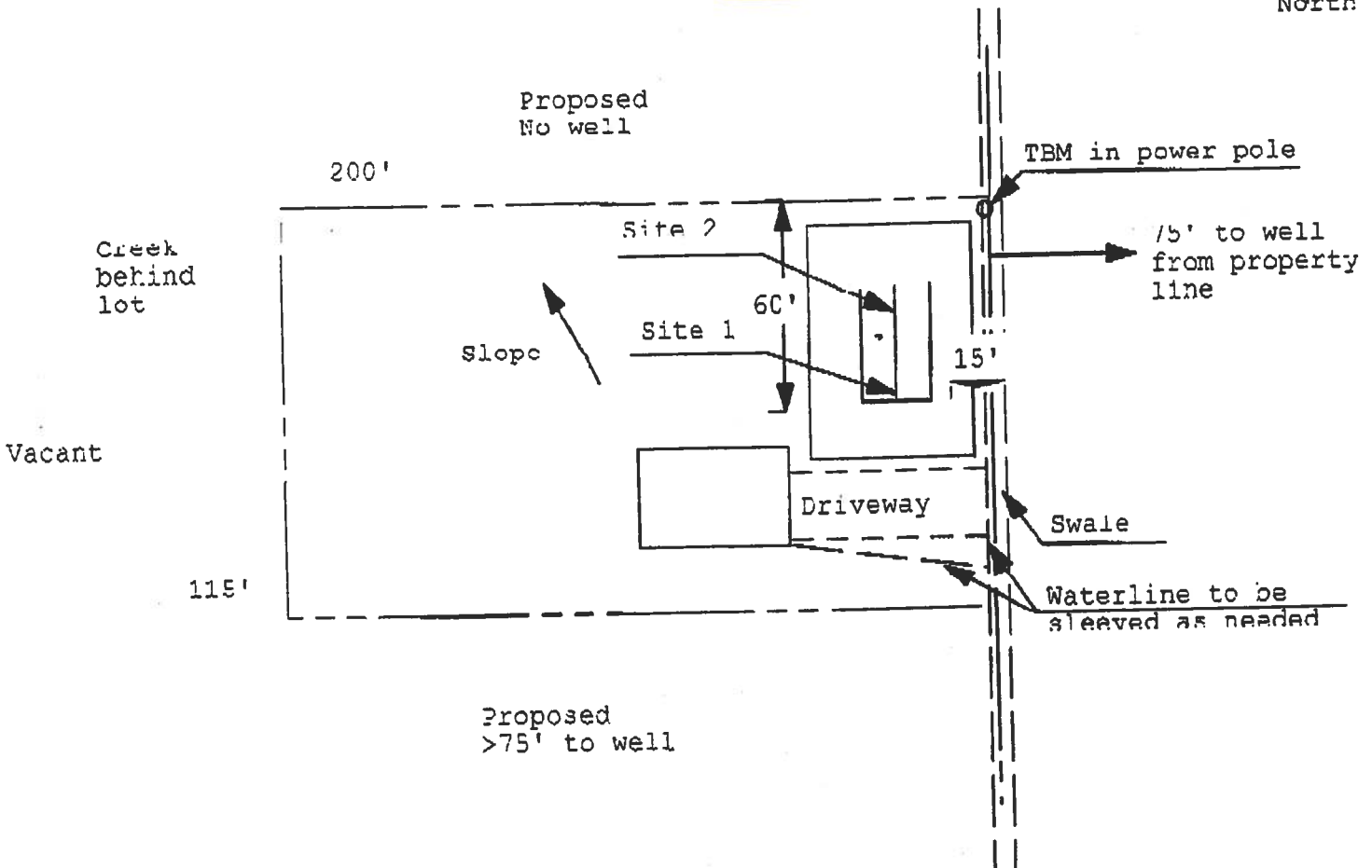
3/15/06
52612

**Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan**
Permit Application Number: 05-1056N

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT

BAIRD/CR 05-3139

Holly Brook, Block B, Lot 5



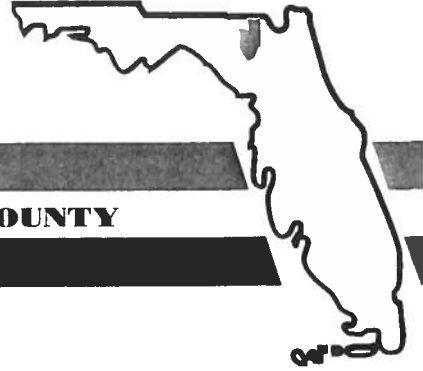
1 inch = 50 feet

Site Plan Submitted By Paul L. [Signature] Date 10/26/05
Plan Approved ☒ Not Approved ☐ Date 10/26/05
By [Signature] Columbin CPHU
Notes: _____

REVISED
10-26-05

District No. 1 - Ronald Williams
District No. 2 - Dewey Weaver
District No. 3 - George Skinner
District No. 4 - Jennifer Flinn
District No. 5 - Elizabeth Porter

BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY



10 February 2006

Wolf Schrom
BAUHUS Inc.
P. O. Box 656
Live Oak, FL 32064

RE: Building Applications in Holly Brook Subdivision

Dear Wolf:

This letter is to let you know that the Columbia County Board of County Commissioners is holding a special meeting with the home owners of Holly Brook Subdivision concerning your building permit applications. The meeting is scheduled for Monday, 13 February 2006 at 6:00 P.M. and located at the School Board Administration Complex, 372 West Duval Street, Lake City, Florida.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian L. Kepner".

Brian L. Kepner
Land Development Regulation Administrator,
County Planner

BOARD MEETS FIRST THURSDAY AT 7:00 P.M.
AND THIRD THURSDAY AT 7:00 P.M.

P. O. BOX 1529 ▼

LAKE CITY, FLORIDA 32056-1529 ▼

PHONE (386) 755-4100

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name:	507253BauhusInc	Builder:	Wolf Schrom
Address:	Lot: 5, Sub: Holly Brock, Plat:	Permitting Office:	Columbia
City, State:	Lake City, FL	Permit Number:	24265
Owner:	Veronica Baird	Jurisdiction Number:	221008
Climate Zone:	North		

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 25.0 kBtu/hr SEER: 10.00
3. Number of units, if multi-family	1	b. N/A	
4. Number of Bedrooms	3	c. N/A	
5. Is this a worst case?	Yes	13. Heating systems	
6. Conditioned floor area (ft²)	1306 ft²	a. Electric Heat Pump	Cap: 25.0 kBtu/hr HSPF: 7.20
7. Glass area & type	Single Pane Double Pane	b. N/A	
a. Clear glass, default U-factor	0.0 ft² 145.0 ft²	c. N/A	
b. Default tint, default U-factor	0.0 ft² 0.0 ft²	14. Hot water systems	
c. Labeled U-factor or SHGC	0.0 ft² 0.0 ft²	a. Electric Resistance	Cap: 40.0 gallons EF: 0.89
8. Floor types		b. N/A	
a. Raised Wood, Stem Wall	R=19.0, 509.0ft²	c. N/A	
b. Raised Wood, Adjacent	R=19.0, 265.0ft²	15. HVAC credits	
c. N/A		(CF-Ceiling fan, CV-Cross ventilation,	
9. Wall types		HF-Whole house fan,	
a. Frame, Wood, Exterior	R=13.0, 1769.0 ft²	PT-Programmable Thermostat,	
b. Frame, Wood, Adjacent	R=13.0, 176.0 ft²	MZ-C-Multizone cooling,	
c. N/A		MZ-H-Multizone heating)	
d. N/A			
e. N/A			
10. Ceiling types			
a. Single Assembly	R=19.0, 780.0 ft²		
b. N/A			
c. N/A			
11. Ducts			
a. Sup: Con. Ret: Con. AH: Interior	Sup. R=6.0, 200.0 ft		
b. N/A			

Glass/Floor Area: 0.11

Total as-built points: 22935

Total base points: 24312

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: Ben Sparks

DATE: 9-15-05 Ben Sparks

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT:

DATE: 10.22.05

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL:

DATE:

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT										
GLASS TYPES .18 X Conditioned X BSPM = Points Floor Area				Type/SC Overhang Ornt Len Hgt Area X SPM X SOF = Points										
.18	1306.0	20.04	4711.0	Double, Clear	W	0.0	0.0	24.0	38.52	1.00	924.6			
				Double, Clear	E	2.0	4.0	9.0	42.06	0.73	274.6			
				Double, Clear	S	6.8	8.0	20.0	35.87	0.54	389.5			
				Double, Clear	E	11.0	3.0	6.0	42.06	0.36	90.1			
				Double, Clear	S	1.5	3.0	6.0	35.87	0.66	142.0			
				Double, Clear	W	1.5	4.0	31.5	38.52	0.82	992.1			
				Double, Clear	N	0.0	0.0	10.5	19.20	1.00	201.6			
				Double, Clear	E	1.5	4.0	12.0	42.06	0.82	411.7			
				Double, Clear	E	1.5	4.0	5.0	42.06	0.82	171.5			
				Double, Clear	E	1.5	4.0	10.5	42.06	0.82	360.2			
				Double, Clear	S	0.0	0.0	10.5	35.87	1.00	376.6			
				As-Built Total:				145.0				4334.5		
				WALL TYPES Area X BSPM = Points				Type R-Value Area X SPM = Points						
Adjacent	176.0	0.70	123.2	Frame, Wood, Exterior		13.0	1769.0	1.50	2653.5					
Exterior	1769.0	1.70	3007.3	Frame, Wood, Adjacent		13.0	176.0	0.60	105.6					
Base Total:		1945.0	3130.5	As-Built Total:		1945.0		2759.1						
DOOR TYPES Area X BSPM = Points				Type Area X SPM = Points										
Adjacent	0.0	0.00	0.0	Exterior Insulated			20.0	4.10	82.0					
Exterior	40.0	6.10	244.0	Exterior Insulated			20.0	4.10	82.0					
Base Total:		40.0	244.0	As-Built Total:		40.0		164.0						
CEILING TYPES Area X BSPM = Points				Type R-Value Area X SPM X SCM = Points										
Under Attic	780.0	1.73	1349.4	Single Assembly		19.0	780.0	5.64 X 1.00	4399.2					
Base Total:		780.0	1349.4	As-Built Total:		780.0		4399.2						
FLOOR TYPES Area X BSPM = Points				Type R-Value Area X SPM = Points										
Slab	0.0(p)	0.0	0.0	Raised Wood, Stern Wall		19.0	509.0	-1.50	-763.5					
Raised	774.0	-3.99	-3088.3	Raised Wood, Adjacent		19.0	265.0	0.40	106.0					
Base Total:		-3088.3	As-Built Total:		774.0		-657.5							
INFILTRATION Area X BSPM = Points				Area X SPM = Points										
		1306.0	10.21	13334.3			1306.0	10.21	13334.3					

SUMMER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT											
Summer Base Points:		19680.9		Summer As-Built Points:			24333.5								
Total Summer Points	X	System Multiplier	=	Cooling Points	Total Component	X	Cap Ratio	X	Duct Multiplier	X	System Multiplier	X	Credit Multiplier	=	Cooling Points
					(DM x DSM x AHU)										
19680.9		0.4266		8395.9	24333.5		1.000		(1.000 x 1.147 x 0.91)		0.341		1.000		8668.5
					24333.5		1.00		1.044		0.341		1.000		8668.5

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT										
GLASS TYPES .18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points							
.18	1306.0	12.74	2994.9	Double, Clear	W	0.0	0.0	24.0	20.73	1.00	497.5			
				Double, Clear	E	2.0	4.0	9.0	18.79	1.12	189.4			
				Double, Clear	S	6.8	8.0	20.0	13.30	2.48	658.7			
				Double, Clear	E	11.0	3.0	6.0	18.79	1.51	169.9			
				Double, Clear	S	1.5	3.0	6.0	13.30	1.64	130.8			
				Double, Clear	W	1.5	4.0	31.5	20.73	1.05	687.5			
				Double, Clear	N	0.0	0.0	10.5	24.58	1.00	258.1			
				Double, Clear	E	1.5	4.0	12.0	18.79	1.07	242.3			
				Double, Clear	E	1.5	4.0	5.0	18.79	1.07	101.0			
				Double, Clear	E	1.5	4.0	10.5	18.79	1.07	212.0			
				Double, Clear	S	0.0	0.0	10.5	13.30	1.00	139.6			
				As-Built Total:							145.0	3286.7		
				WALL TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points			
Adjacent	176.0	3.60	633.6	Frame, Wood, Exterior	13.0		1769.0	3.40	6014.6					
Exterior	1769.0	3.70	6545.3	Frame, Wood, Adjacent	13.0		176.0	3.30	580.8					
Base Total:		1945.0	7178.9	As-Built Total:				1945.0	6595.4					
DOOR TYPES Area X BWPM = Points				Type			Area X WPM = Points							
Adjacent	0.0	0.00	0.0	Exterior Insulated			20.0	8.40	168.0					
Exterior	40.0	12.30	492.0	Exterior Insulated			20.0	8.40	168.0					
Base Total:		40.0	492.0	As-Built Total:				40.0	336.0					
CEILING TYPESArea X BWPM = Points				Type	R-Value		Area X WPM X WCM = Points							
Under Attic	780.0	2.05	1599.0	Single Assembly	19.0		780.0	1.86 X 1.00	1450.8					
Base Total:		780.0	1599.0	As-Built Total:				780.0	1450.8					
FLOOR TYPES Area X BWPM = Points				Type	R-Value		Area X WPM = Points							
Slab	0.0(p)	0.0	0.0	Raised Wood, Stem Wall	19.0		509.0	0.80	407.2					
Raised	774.0	0.96	743.0	Raised Wood, Adjacent	19.0		265.0	2.20	583.0					
Base Total:			743.0	As-Built Total:				774.0	990.2					
INFILTRATION Area X BWPM = Points				Area X WPM = Points										
		1306.0	-0.59					1306.0	-0.59	-770.5				

WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT							
Winter Base Points:		12237.3		Winter As-Built Points:				11888.6			
Total Winter Points	X	System Multiplier	= Heating Points	Total Component	X	Cap Ratio	X Duct Multiplier	X System Multiplier	X Credit Multiplier	= Heating Points	
				(DM x DSM x AHU)							
12237.3		0.6274	7677.7	11888.6	1.000	1.000	(1.169 x 0.93)	0.474	1.000	6121.4	
				11888.6	1.00		1.087	0.474	1.000	6121.4	

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

BASE				AS-BUILT					
WATER HEATING									
Number of Bedrooms	X	Multiplier	= Total	Tank Volume	EF	Number of Bedrooms	X	Tank X Ratio	Multiplier X Credit = Total Multiplier
3		2746.00	8238.0	40.0	0.89	3		1.00	2715.15
				As-Built Total:					8145.4

CODE COMPLIANCE STATUS											
BASE						AS-BUILT					
Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points	Cooling Points	+	Heating Points	+	Hot Water Points	= Total Points
8396		7678		8238	24312	8669		6121		8145	22935

PASS

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 83.2

The higher the score, the more efficient the home.

Bauhus, Lot: 7, Sub: Holly Brock, Plat: , Lake City, FL,

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 25.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 10.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft ²)	1306 ft ²		
7. Glass area & type	Single Pane Double Pane	13. Heating systems	
a. Clear glass, default U-factor	0.0 ft ² 145.0 ft ²	a. Electric Heat Pump	Cap: 25.0 kBtu/hr
b. Default tint, default U-factor	0.0 ft ² 0.0 ft ²		HSPF: 7.20
c. Labeled U-factor or SHGC	0.0 ft ² 0.0 ft ²	b. N/A	
8. Floor types		c. N/A	
a. Raised Wood, Stem Wall	R=19.0, 509.0ft ²		
b. Raised Wood, Adjacent	R=19.0, 265.0ft ²	14. Hot water systems	
c. N/A		a. Electric Resistance	Cap: 40.0 gallons
9. Wall types			EF: 0.89
a. Frame, Wood, Exterior	R=13.0, 1769.0 ft ²	b. N/A	
b. Frame, Wood, Adjacent	R=13.0, 176.0 ft ²	c. Conservation credits	
c. N/A		(HR-Heat recovery, Solar	
d. N/A		DHP-Dedicated heat pump)	
e. N/A		15. HVAC credits	
10. Ceiling types		(CF-Ceiling fan, CV-Cross ventilation,	
a. Single Assembly	R=19.0, 780.0 ft ²	HF-Whole house fan,	
b. N/A		PT-Programmable Thermostat,	
c. N/A		MZ-C-Multizone cooling,	
11. Ducts		MZ-H-Multizone heating)	
a. Sup: Con. Ret: Con. AH: Interior	Sup. R=6.0, 200.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: [Signature] Date: 10.22.05
Address of New Home: DEANNA Rd City/FL Zip: LAKE CITY



*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs Energy Gauge Office (Version: FLR2PB v3.4)

24265

Columbia County Building Department Culvert Permit

Culvert Permit No.
000001019

DATE 03/17/2006 PARCEL ID # 07-4S-17-08106-235
 APPLICANT WOLF SCHROM PHONE 386 364-4793
 ADDRESS P.O. BOX 656 LIVE OAK FL 32064
 OWNER VERONICA BAIRD PHONE 386 364-4793
 ADDRESS SW DEANNA ROAD LAKE CITY FL 32055
 CONTRACTOR BAUHUS, INC/WOLF SCHROM PHONE 386 364-4793
 LOCATION OF PROPERTY 47S, TR ON MARVIN BURNETT, TL ON DEANNA ROAD, 16TH LOT ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT HOLLY BROOK 5

SIGNATURE _____

INSTALLATION REQUIREMENTS



Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.



Culvert installation shall conform to the approved site plan standards.



Department of Transportation Permit installation approved standards.



Other _____

**ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALATION OF THE CULVERT.**

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

24265
***THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.***

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Parcel ID Number 07-48-17-08106-235

Description of property: (legal description of the property and street address or 911 address)

48P SW DEANNA TERR., LAKE CITY
LOT # 5

Inst: 2006067581 Date: 03/28/2006 Time: 14:43

Doc: P. DeWitt Cason, Columbia County B: 1079 P: 2004

General description of improvement: RESIDENTIAL HOUSE

Owner Name & Address VERONICA BIRD, PO BOX 656, LIVE OAK, FL 32064

Interest in Property WARR. DEED

Name & Address of Fee Simple Owner (if other than owner):

N/A

Contractor Name WOLF SCHROM

Phone Number 386-364-4793

Address PO BOX 656, LIVE OAK, FL 32064

CELL 813-786-0730

Surety Holders Name

Phone Number

Address

N/A

Amount of Bond

Lender Name

Phone Number

Address

N/A

Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name WOLF SCHROM

Phone Number 386-364-4793

Address PO BOX 656, LIVE OAK, FL 32064

In addition to himself/herself the owner designates

of

to receive a copy of the Lianor's Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee

N/A

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified))

STATE of Florida

Suwannee Co

NOTICE AS PER CHAPTER 713, Florida Statutes;

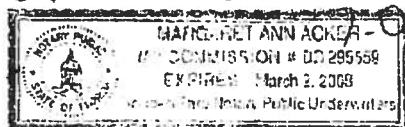
The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Sworn to (or affirmed) and subscribed before
day of December 16, 2005

Signature of Owner

NOTARY STAMP/SEAL

FL Dr license B630.873-52.835-0



Margaret Ann Ackor
Signature of Notary



FOUNDED 1949

CORPORATE HEADQUARTERS:

P.O. BOX 5369
116 N.W. 16TH AVENUE
GAINESVILLE, FL 32602-5369

(352) 376-2661
FAX (352) 376-2791

SCIENTIFIC PEST CONTROL DIRECTED BY GRADUATE ENTOMOLOGISTS

*Complete Pest Control Service
Member Florida & National Pest Control Associations*

F-12063

Reply to: 536 SE Baya Dr
Lake City, FL 32025
Phone (386) 752-1703 Fax (386) 752-0171

TERMITE TREATMENT CERTIFICATION

Owner:	Permit Number:
Bauhaus Construction	24265
Lot:	Block:
5	
Subdivision:	Street Address:
Holly Brook	498 SW Deanna Ter
City:	County:
Lake City	Columbia
General Contractor:	Area Treated:
Bauhaus Construction	wood members
Date:	Time:
07/05/06	1:00
Name of applicator	Applicator ID Number:
James Parker	55238
Product Used: Active Ingredient: % Concentration	Number of gallons used:
Bora-Care: Disodium Octaborate Tetrahydrate: 23.0%	6
Method of termite prevention treatment: Wood Treatment	

The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services.

This form is proof of complete treatment for Certificate of Occupancy or Closing.

THIS IS PROOF OF WARRANTY

Warranty and Treatment Certifications Have Been Issued.

Authorized Signature:	Date:
Chris Davis	10/27/06

0496
24265

BRANCHES:

• Crystal River • Daytona Beach • Ft. Walton Beach • Jacksonville South • Jacksonville West • Lake City • Milton • Ocala • Orlando • Palatka • Panama City • Pensacola • Starke • St. Augustine • Tallahassee • Winter Haven • Leesburg • Kissimmee •

COLUMBIA COUNTY OFFICE OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 07-4S-17-08106-235

Building permit No. 000024265

Use Classification SFD, UTILITY

Fire: 61.38

Permit Holder BAUHUS, INC/WOLF SCHROM

Waste: 184.25

Owner of Building VERONICA BAIRD

Total: 245.63

Location: 498 DEANNA ROAD, LAKE CITY, FL 32055

Date: 11/07/2006

Harry Dickie

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

Notice of Treatment

12063

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 134 VA HILL

City LC Phone 752-1703

Site Location: Subdivision HOLLY BROOK

Lot # 5 Block# Permit # 24265

Address 498 SW Deanna Ter

Product used	Active Ingredient	% Concentration
--------------	-------------------	-----------------

<input type="checkbox"/> Premise	Imidacloprid	0.1%
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<input type="checkbox"/> Termidor	Fipronil	0.12%
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<input checked="" type="checkbox"/> Bora-Care	Disodium Octaborate Tetrahydrate	23.0%
---	----------------------------------	-------

Type treatment:

☐ Soil

☐ Wood

Area Treated

Square feet

Linear feet

Gallons Applied

<u>Dwelling/CRAWL</u>	<u>868</u>	<u>600</u>	<u>4</u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>

As per Florida Building Code 104.2.6 – If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____.

7/5/06

Date

1100

Time

FZ54

Print Technician's Name

Remarks: _____

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05

©

Lot 5

COLUMBIA COUNTY BUILDING DEPARTMENT

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2001

ONE (1) AND TWO (2) FAMILY DWELLINGS

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

EFFECTIVE MARCH 1, 2002

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1606 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE ----- 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant

Plans Examiner

☒

☒

All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.

☒

☒

Designers name and signature on document (FBC 104.2.1). If licensed architect or engineer, official seal shall be affixed.

☒

☒

Site Plan including:

- a) Dimensions of lot
- b) Dimensions of building set backs
- c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
- d) Provide a full legal description of property.

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Wind-load Engineering Summary, calculations and any details required

- a) Plans or specifications must state compliance with FBC Section 1606
- b) The following information must be shown as per section 1606.1.7 FBC
 - a. Basic wind speed (MPH)
 - b. Wind importance factor (I) and building category
 - c. Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
 - d. The applicable internal pressure coefficient
 - e. Components and Cladding. The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional

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☒

Elevations including:

- a) All sides
- b) Roof pitch
- c) Overhang dimensions and detail with attic ventilation
- d) Location, size and height above roof of chimneys
- e) Location and size of skylights
- f) Building height
- e) Number of stories 2

☒

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Floor Plan including:

- ☒ a) Rooms labeled and dimensioned
- ☒ b) Shear walls
- ☒ c) Windows and doors (including garage doors) showing size, mfg., approval listing and attachment specs. (FBC 1707) and safety glazing where needed (egress windows in bedrooms to be shown)
- ☒ d) Fireplaces (gas appliance) (vented or non-vented) or wood burning with hearth
- ☒ e) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails
- ☒ f) Must show and identify accessibility requirements (accessible bathroom)

Foundation Plan including:

- ☒ a) Location of all load-bearing wall with required footings indicated as standard Or monolithic and dimensions and reinforcing
- ☒ b) All posts and/or column footing including size and reinforcing
- ☒ c) Any special support required by soil analysis such as piling
- ☒ d) Location of any vertical steel

Roof System:

- ☒ a) Truss package including:
 - 1. Truss layout and truss details signed and sealed by FI. Pro. Eng.
 - 2. Roof assembly (FBC 104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- ☒ b) Conventional Framing Layout including:
 - 1. Rafter size, species and spacing
 - 2. Attachment to wall and uplift
 - 3. Ridge beam sized and valley framing and support details
 - 4. Roof assembly (FBC 104.2.1 Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)

Wall Sections including:

- ☒ a) Masonry wall
 - 1. All materials making up wall
 - 2. Block size and mortar type with size and spacing of reinforcement
 - 3. Lintel, tie-beam sizes and reinforcement
 - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation
 - 6. Roof assembly shown here or on roof system detail (FBC 104.2.1 Roofing system materials, manufacturer, fastening requirements and product evaluation with resistance rating)
 - 7. Fire resistant construction (if required)
 - 8. Fireproofing requirements
 - 9. Shoe type of termite treatment (termicide or alternative method)
 - 10. Slab on grade
 - a. Vapor retardant (6mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
 - 11. Indicate where pressure treated wood will be placed
 - 12. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

☒ **b) Wood frame wall**

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
7. Roof assembly shown here or on roof system detail (FBC104.2.1 Roofing system materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termicide or alternative method)
11. Slab on grade
 - a. Vapor retardant (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

☐ c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

☒ **Floor Framing System:**

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable

☐ **Plumbing Fixture layout**

☐ **Electrical layout including:**

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms

☐ **HVAC information**

- a) Manual J sizing equipment or equivalent computation
- b) Exhaust fans in bathroom

☐ **Energy Calculations** (dimensions shall match plans)

☐ **Gas System** Type-(LP or Natural) Location and BTU demand of equipment

☐ **Disclosure Statement for Owner Builders**

☐ *****Notice Of Commencement Required Before Any Inspections Will Be Done**

☐ **Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued.
(386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK

NOTICE:

ADDRESSES BY APPOINTMENT ONLY!

TO OBTAIN A 9-1-1 ADDRESS THE REQUESTER MUST CONTACT THE COLUMBIA COUNTY 9-1-1 ADDRESSING DEPARTMENT AT (386) 752-8787 FOR AN APPOINTMENT TIME AND DATE:

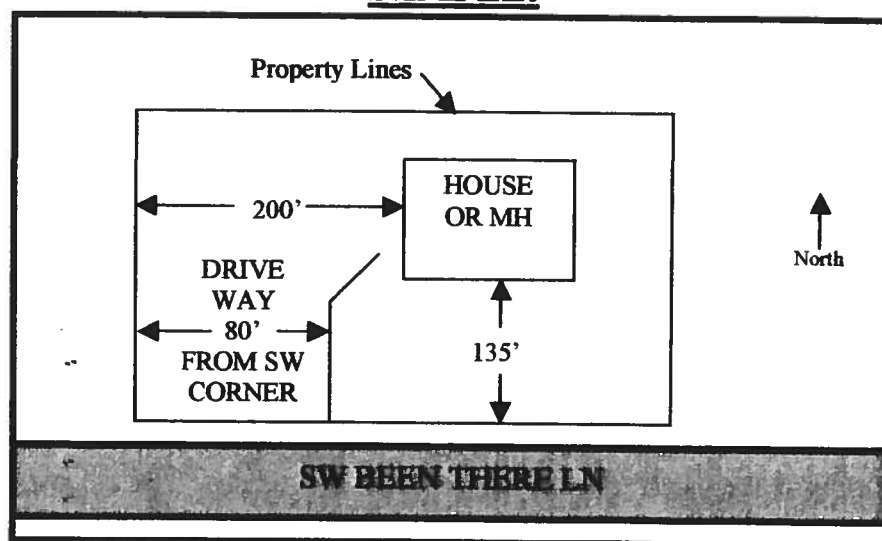
YOU CAN NOT OBTAIN A NEW ADDRESS OVER THE TELEPHONE. MUST MAKE AN APPOINTMENT!

THE ADDRESSING DEPARTMENT IS LOCATED AT 263 NW LAKE CITY AVENUE (OFF OF WEST U.S. HIGHWAY 90 WEST OF INTERSTATE 75 AT THE COLUMBIA COUNTY EMERGENCY OPERATIONS CENTER).

THE REQUESTER WILL NEED THE FOLLOWING:

1. THE PARCEL OR TAX ID NUMBER (SAMPLE: "25-4S-17-12345-123" OR "R12345-123") FOR THE PROPERTY.
2. A PLAT, PLAN, SITE PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
 - a. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
 - b. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND OR PROPERTY CORNER (SEE SAMPLE BELOW).
 - c. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



NOTE: 5 TO 7 WORKING DAYS MAY BE REQUIRED IF ADDRESSING DEPARTMENT NEEDS TO CONDUCT AN ON SITE SURVEY.

Residential System Sizing Calculation

Summary

Bauhus

Project Title:
507253BauhusInc

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

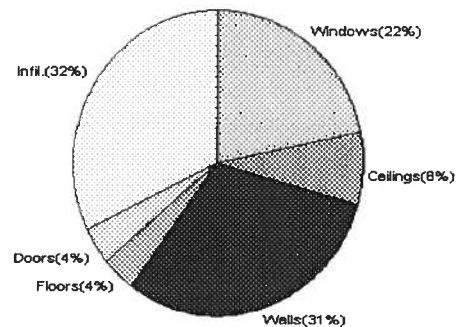
9/15/2005

Location for weather data: Gainesville - Defaults: Latitude(29) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)			
Winter design temperature	31 F	Summer design temperature	93 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	39 F	Summer temperature difference	18 F
Total heating load calculation	18769 Btuh	Total cooling load calculation	21314 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	133.2 25000	Sensible (SHR = 0.5)	79.6 12500
Heat Pump + Auxiliary(0.0kW)	133.2 25000	Latent	222.6 12500
		Total (Electric Heat Pump)	117.3 25000

WINTER CALCULATIONS

Winter Heating Load (for 1306 sqft)

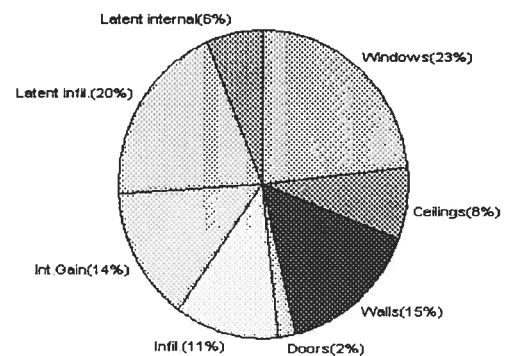
Load component	Load
Window total 145 sqft	4104 Btuh
Wall total 1945 sqft	5766 Btuh
Door total 40 sqft	733 Btuh
Ceiling total 780 sqft	1482 Btuh
Floor total See detail report	697 Btuh
Infiltration 140 cfm	5988 Btuh
Subtotal	18769 Btuh
Duct loss	0 Btuh
TOTAL HEAT LOSS	18769 Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1306 sqft)

Load component	Load
Window total 145 sqft	4991 Btuh
Wall total 1945 sqft	3261 Btuh
Door total 40 sqft	406 Btuh
Ceiling total 780 sqft	1622 Btuh
Floor total	0 Btuh
Infiltration 122 cfm	2418 Btuh
Internal gain	3000 Btuh
Subtotal(sensible)	15698 Btuh
Duct gain	0 Btuh
Total sensible gain	15698 Btuh
Latent gain(infiltration)	4236 Btuh
Latent gain(internal)	1380 Btuh
Total latent gain	5616 Btuh
TOTAL HEAT GAIN	21314 Btuh



EnergyGauge® System Sizing based on ACCA Manual J

PREPARED BY:

DATE: 9-13-09

System Sizing Calculations - Winter

Residential Load - Component Details

Bauhus

Project Title:
507253BauhusInc

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

Reference City: Gainesville (Defaults) Winter Temperature Difference: 39.0 F

9/15/2005

Window	Panes/SHGC/Frame/U	Orientation	Area X	HTM=	Load
1	2, Clear, Metal, DEF	N	24.0	28.3	679 Btuh
2	2, Clear, Metal, DEF	S	9.0	28.3	255 Btuh
3	2, Clear, Metal, DEF	W	20.0	28.3	566 Btuh
4	2, Clear, Metal, DEF	S	6.0	28.3	170 Btuh
5	2, Clear, Metal, DEF	W	6.0	28.3	170 Btuh
6	2, Clear, Metal, DEF	N	31.5	28.3	891 Btuh
7	2, Clear, Metal, DEF	E	10.5	28.3	297 Btuh
8	2, Clear, Metal, DEF	S	12.0	28.3	340 Btuh
9	2, Clear, Metal, DEF	S	5.0	28.3	142 Btuh
10	2, Clear, Metal, DEF	S	10.5	28.3	297 Btuh
11	2, Clear, Metal, DEF	W	10.5	28.3	297 Btuh
Window Total			145		4104 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Exterior	13.0	1769	3.1	5484 Btuh
2	Frame - Adjacent	13.0	176	1.6	282 Btuh
Wall Total			1945		5766 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exter		20	18.3	367 Btuh
2	Insulated - Exter		20	18.3	367 Btuh
Door Total			40		733Btuh
Ceilings	Type	R-Value	Area X	HTM=	Load
1	Single Assembly	19.0	780	1.9	1482 Btuh
Ceiling Total			780		1482Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Raised Wood/Enclosed	19	509.0 sqft	0.9	458 Btuh
2	Raised Wood/Enclosed	19	265.0 sqft	0.9	239 Btuh
Floor Total			774		697 Btuh
Infiltration	Type	ACH X	Building Volume	CFM=	Load
	Natural	0.80	10448(sqft)	140	5988 Btuh
	Mechanical			0	0 Btuh
Infiltration Total				140	5988 Btuh

Totals for Heating	Subtotal	18769 Btuh
	Duct Loss(using duct multiplier of 0.00)	0 Btuh
	Total Btuh Loss	18769 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Bauhus

Project Title:
507253BauhusInc

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

9/15/2005

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)

(Frame types - metal, wood or insulated metal)

(U - Window U-Factor or 'DEF' for default)

(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)

System Sizing Calculations - Summer

Residential Load - Component Details

Bauhus

Project Title:
507253BauhusInc

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

Reference City: Gainesville (Defaults)

Summer Temperature Difference: 18.0 F

9/15/2005

Window	Type	Overhang	Window Area(sqft)			HTM		Load
	Panes/SHGC/U/InSh/ExSh Ornt		Len	Hgt	Gross	Shaded	Unshaded	
1	2, Clear, DEF, N, N	N	0	0	24.0	0.0	24.0	528 Btuh
2	2, Clear, DEF, N, N	S	2	4	9.0	9.0	0.0	198 Btuh
3	2, Clear, DEF, N, N	W	6.75	8	20.0	9.3	10.7	976 Btuh
4	2, Clear, DEF, N, N	S	11	3	6.0	6.0	0.0	132 Btuh
5	2, Clear, DEF, N, N	W	1.5	3	6.0	1.7	4.3	347 Btuh
6	2, Clear, DEF, N, N	N	1.5	4	31.5	0.0	31.5	693 Btuh
7	2, Clear, DEF, N, N	E	0	0	10.5	0.0	10.5	756 Btuh
8	2, Clear, DEF, N, N	S	1.5	4	12.0	12.0	0.0	264 Btuh
9	2, Clear, DEF, N, N	S	1.5	4	5.0	5.0	0.0	110 Btuh
10	2, Clear, DEF, N, N	S	1.5	4	10.5	10.5	0.0	231 Btuh
11	2, Clear, DEF, N, N	W	0	0	10.5	0.0	10.5	756 Btuh
Window Total					145			4991 Btuh
Walls	Type	R-Value		Area		HTM		Load
	1	Frame - Exterior		13.0		1769.0		3078 Btuh
	2	Frame - Adjacent		13.0		176.0		183 Btuh
Wall Total					1945.0			3261 Btuh
Doors	Type	R-Value		Area		HTM		Load
	1	Insulated - Exter		20.0		10.1		203 Btuh
	2	Insulated - Exter		20.0		10.1		203 Btuh
Door Total					40.0			406 Btuh
Ceilings	Type/Color	R-Value		Area		HTM		Load
	1	Single Assembly/Dark		19.0		780.0		1622 Btuh
Ceiling Total					780.0			1622 Btuh
Floors	Type	R-Value		Size		HTM		Load
	1	Raised Wood		19.0		509.0 sqft		0 Btuh
	2	Raised Wood		19.0		265.0 sqft		0 Btuh
Floor Total					774.0			0 Btuh
Infiltration	Type	ACH		Volume		CFM=		Load
	Natural	0.70		10448		122.1		2418 Btuh
	Mechanical					0		0 Btuh
Infiltration Total						122		2418 Btuh

Internal gain	Occupants	Btuh/occupant	Appliance	Load
	6	X 300 +	1200	3000 Btuh

Manual J Summer Calculations

Residential Load - Component Details (continued)

Bauhus

Project Title:
507253BauhusInc

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

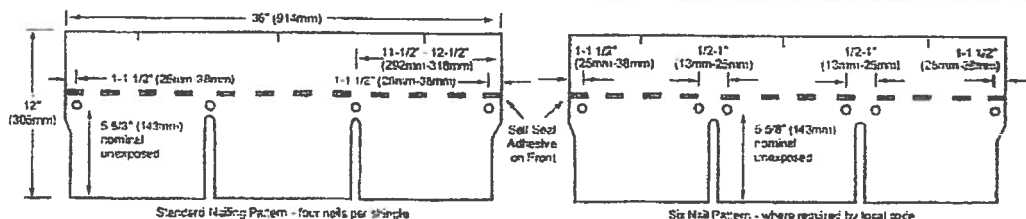
9/15/2005

Totals for Cooling	Subtotal	15698 Btuh
	Duct gain(using duct multiplier of 0.00)	0 Btuh
	Total sensible gain	15698 Btuh
	Latent infiltration gain (for 51 gr. humidity difference)	4236 Btuh
	Latent occupant gain (6 people @ 230 Btuh per person)	1380 Btuh
	Latent other gain	0 Btuh
	TOTAL GAIN	21314 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(U - Window U-Factor or 'DEF' for default)
(InSh - Interior shading device: none(N), Blinds/Daperies(B) or Roller Shades(R))
(ExSh - Exterior shading device: none(N) or numerical value)
(Ornt - compass orientation)

APPLICATION INSTRUCTIONS

Note: These shingles must be nailed a nominal 5 5/8" (143mm) from bottom of shingles, not in or above self seal, as shown. Nails should remain unexposed.



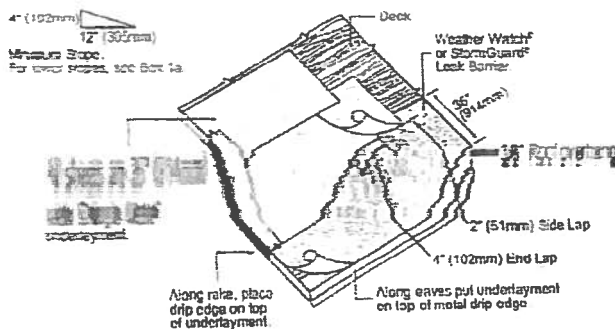
GENERAL INSTRUCTIONS

- ROOF DECKS:** For use on new or reroofing work over well-seasoned, supported wood deck, tightly-constructed with maximum 6" (152mm) wide lumber, having adequate nail-holding capacity and smooth surface. Plywood decking as recommended by The Engineered Wood Assn. is acceptable. Plywood decks for Class A installations must be 3/8" (10mm) thick or greater with underlayment as noted below. Shingles must not be fastened directly to insulation or insulated deck unless authorized in writing by GAF Materials Corporation. Roof decks and existing surfacing material must be dry prior to application of shingles.
- UNDERLAYMENT:** Underlayment is required on new construction and required for reroofing when old underlayment is removed from the deck. Use only "Shingle-Mate" material for GAF Materials Corporation Shingle-Mate Underlayment or equivalent. Underlayment must be installed flat, without wrinkles.
- FASTENERS:** Use of nails is recommended. (Sample specifications and application instructions are available from GAF Materials Corporation, Contractor Services Dept., 1361 Alps Road, Wayne, NJ 07470.) Use only zinc coated steel or aluminum, 10-12 gauge, barbed, deformed or smooth shank roofing nails with heads 3/8" (10mm) to 7/16" (12mm) in diameter. Fasteners should be long enough to penetrate at least 3/4" (19mm) into wood decks or just through the plywood decks. Fasteners must be driven flush with the surface of the shingle. Over driving will damage the shingle. Raised fasteners will interfere with the sealing of the shingles. For normal installation, four fasteners must be installed per shingle, a nominal 5 5/8" (143mm) up from the bottom of the shingle. Fasteners must be installed approximately 11-1 1/2" (292-318mm) and 11 1/2" (292-318mm) from each side.
- WIND RESISTANT:** These shingles have a special thermal sealant that firmly bonds the shingles together after application when exposed to sun and warm temperatures. Shingles installed in Fall or Winter may not seal until the following Spring. If shingles are damaged by winds before sealing or are not exposed to adequate surface temperatures, or if the self-sealant gets dirty, the shingles may never seal. Failure to seal under these circumstances results from the nature of self-sealing shingles and is not a manufacturing defect. To insure immediate sealing,

- apply 2 quarter-sized dabs of shingle tab adhesive on the back of each tab, approximately 1" (25mm) from end and 1" (25mm) up from bottom of each tab corner. The shingle must be pressed firmly into the adhesive.
- NOTE:** Application of excess tab adhesive can cause blistering of the shingle.
- For maximum wind resistance along rakes, cement shingles to underlayment and each other in a 4" (102mm) width of asphalt plastic roof cement.
- NOTE:** The film strips on the back of each shingle are to prevent sticking together of the shingles while in the bundle. Their removal is NOT required during application.
- CANADIAN COLD WEATHER APPLICATIONS:** CSA A123.5-M90 mandates that shingles applied between September 1 and April 30 shall be adhered with a compatible field-applied adhesive. See Wind Resistant for GAF Materials Corporation's recommendations for the application of that adhesive.
- MANSARD AND STEEP SLOPE APPLICATIONS:** For roof slopes greater than 21° (1750mm/m) per foot (do NOT use on vertical side walls), shingle sealing must be enhanced by hand sealing. After fastening the shingle in place, apply 2 quarter-sized dabs of shingle tab adhesive as indicated in Wind Resistant above. The shingle must be pressed firmly into the adhesive.
- EXPOSURE:** 5" (127mm)
- THROUGH VENTILATION:** All roof structures must be provided with through ventilation to prevent entrapment of moisture laden air behind roof sheathing. Ventilation provisions must at least meet or exceed current F.H.A., H.U.D. or local code minimum requirements.
- NON-CORRODING METAL DRIP EDGES:** Recommended along rake and eave edges on all decks, especially plywood decks.
- ASPHALT PLASTIC CEMENT:** For use as shingle tab adhesive. Must conform to ASTM D4586 Type I or II.

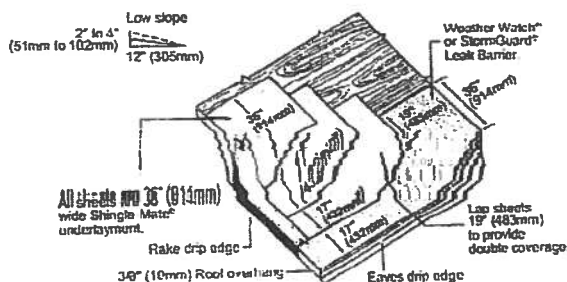
1 Underlayment: Standard Slope-4/12 (333mm/m) or more

Application of underlayment: Cover deck with one layer of underlayment installed without wrinkles. Use only enough nails to hold underlayment in place until covered by shingles. Application of eave flashing: Install eave flashing such as GAF Materials Corporation Weather Watch® or StormGuard® Leak Barrier in localities where leaks may be caused by water backing up behind ice or debris dams. Eave flashing must overhang the roof edge by 3/8" (10mm) and extend 24" (610mm) beyond the inside wall line.



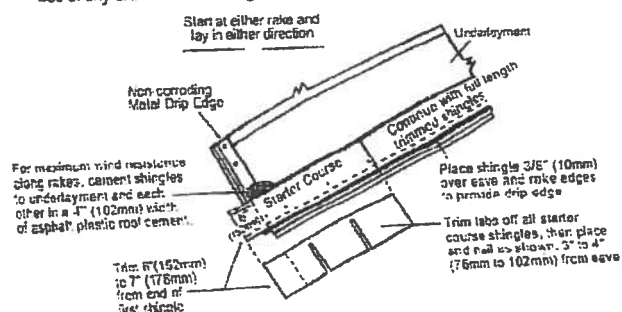
1a Underlayment: Low Slope 2/12-4/12 (167mm-333mm/m)

Application of underlayment and eave flashing: Completely cover the deck with two layers of underlayment as shown. Use only enough nails to hold underlayment in place until covered by shingles. Use blind nailing for eave flashings. At eaves and where ice dams can be expected, use one layer of GAF Materials Corporation Weather Watch® or StormGuard® Leak Barrier. Eave flashing must overhang the roof edge by 3/8" (10mm) and extend 24" (610mm) beyond the inside wall line. Where ice dams or debris dams are not expected, install 2 plies of Shingle-Mate® underlayment.



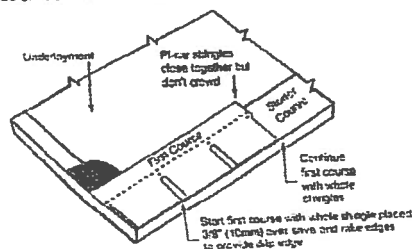
2 Starter Course

Use of any GAF MC 3-tab Shingle is recommended. Apply as shown.



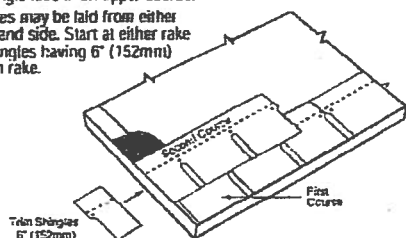
3 First Course

Start and continue with full shingles laid flush with the starter course. Shingles may be laid from left to right or right to left. DO NOT lay shingles straight up the roof since this procedure can cause an incorrect color blend on the roof and may damage the shingles.

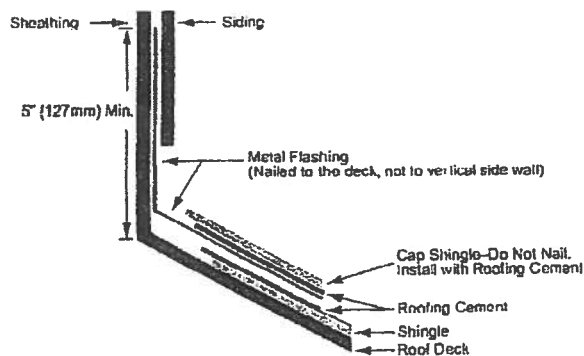


5" (127mm) of each shingle exposed. Strike a chalk line about every 6 courses to check parallel alignment with eaves. Factory applied self-sealing dots on lower courses are designed to seal down the shingle tabs in an upper course.

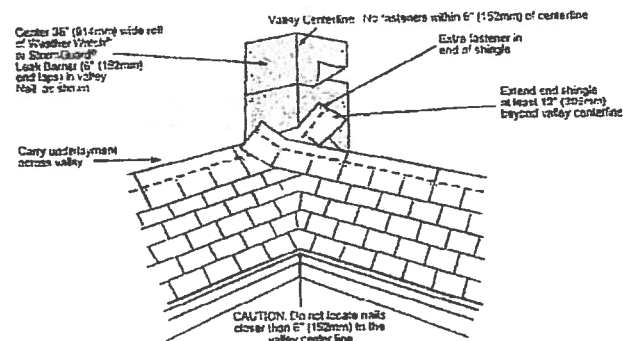
NOTE: Shingles may be laid from either left or right hand side. Start at either rake edge with shingles having 6" (152mm) trimmed from rake.



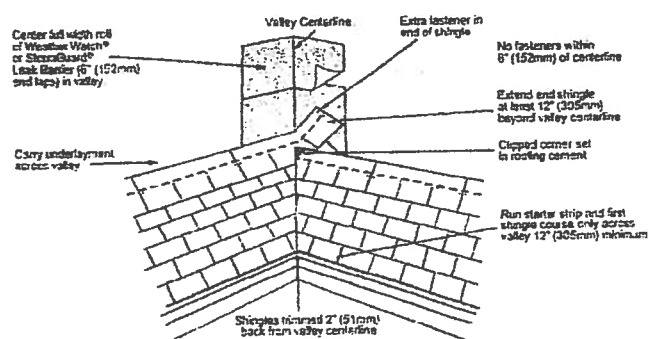
6 Wall Flashing (Sloped Roof to Vertical Wall)



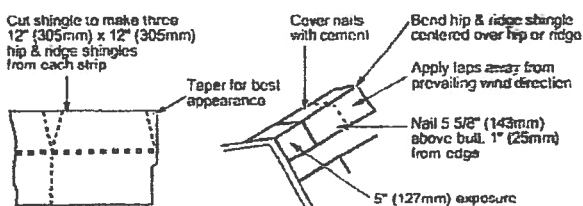
8 Valley Construction - Closed or Woven Valley



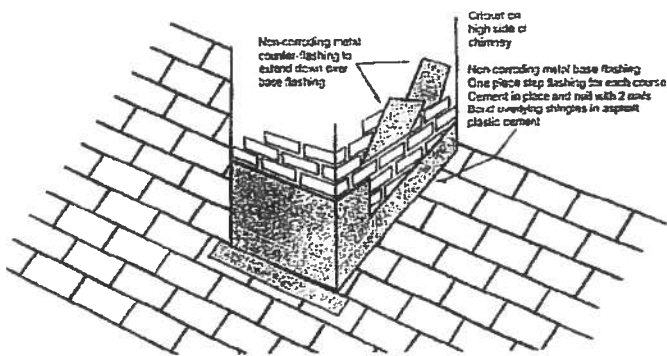
10 Valley Construction-Closed Cut



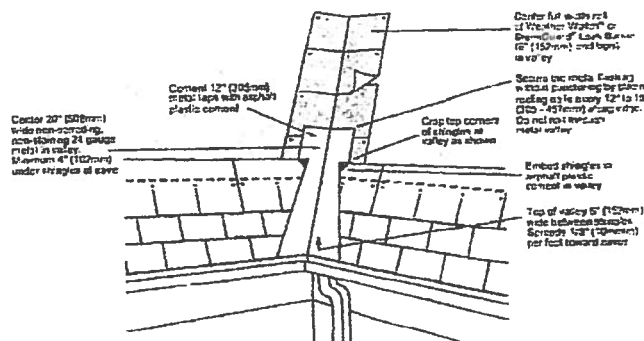
apply as shown. Fusion laps away from prevailing wind direction.



7 Chimney Flashing



9 Valley Construction-Open Cut



Precautionary Notes

These shingles are fiberglass, self-sealing asphalt shingles. Because of the natural characteristics of the high quality waterproofing material used, these shingles will be stiff in cold weather and flexible in hot weather.

1. Bundles should not be dropped on edge nor should attempt be made to separate shingles by "breaking" over ridge or other bundles.
2. Handle carefully. Shingles can easily be broken in cold weather or their edges damaged in hot weather.
3. All exposed materials must be of Class A type.
4. Storage should be in a covered, ventilated area-maximum temperature 110°F (43°C). Store on flat surface and use weight equalization boards if pallets are to be double stacked. Shingles must be protected from weather when stored at job site. Do not store near steam pipes, radiators, etc., or in sunlight. All rolled product must be stored on ends.
5. If shingles are to be applied during PROLONGED COLD periods or in areas where airborne dust or sand can be expected before sealing occurs, the shingles MUST be hand sealed. See Wind Resistant instructions.

Re-Roofing

If old asphalt shingles are to remain in place, nail down or cut away all loose, curled or lifted shingles; replace with new; and just before applying the new roofing, sweep the surface clean of all loose debris. Since any irregularities may show through the new shingles, be sure the underlying shingles provide a smooth surface. Fasteners must be of sufficient length to penetrate the wood deck at least 3/4" (19mm) or just through plywood. Follow other above instructions for application.

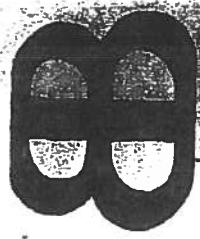
Note: Shingles can be applied over wood shingles when precautions have been taken to provide an acceptable smooth surface. This includes cutting back old shingles at eaves and rakes and installing new wood edging strips as needed. Make surface smooth and use beveled wood strips if necessary. Install #30 underlayment to maintain Class A rating.

This product is sold with an express LIMITED WARRANTY only. A copy of the LIMITED WARRANTY stating its terms and restrictions is printed on the product wrapper or may be obtained from the distributor of this product or directly from GAF Materials Corporation. Any deviation from printed instructions shall be the responsibility of applicator and/or specifier.

©2000 GAF Materials Corporation

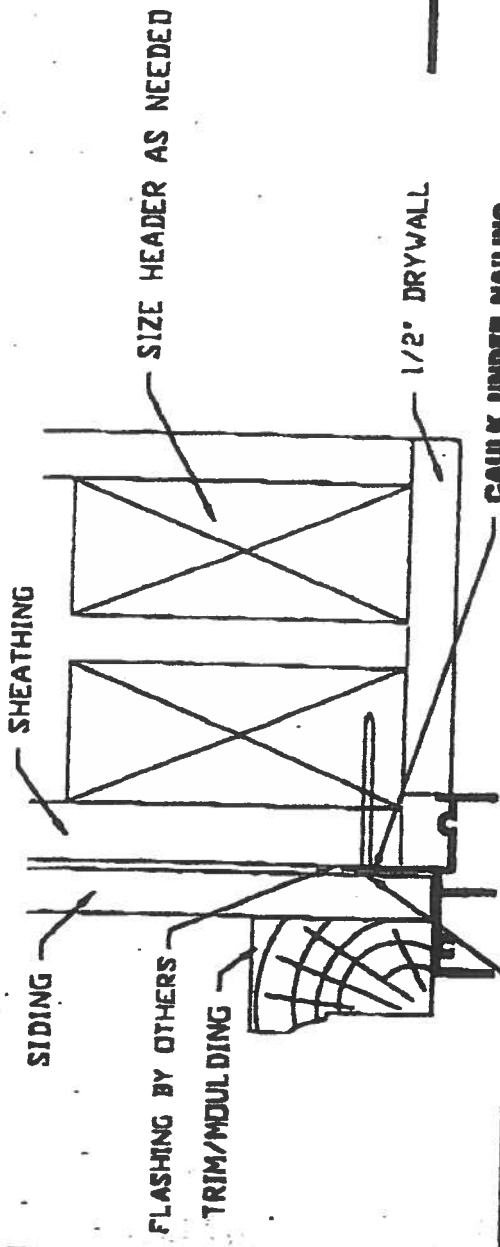
ENGLISH 110600

WOOD CONSTRUCTION INSTALLATION CONVENTIONAL NAIL-FIN SINGLE HUNG



Betterwin
DOORS AND WINDOWS

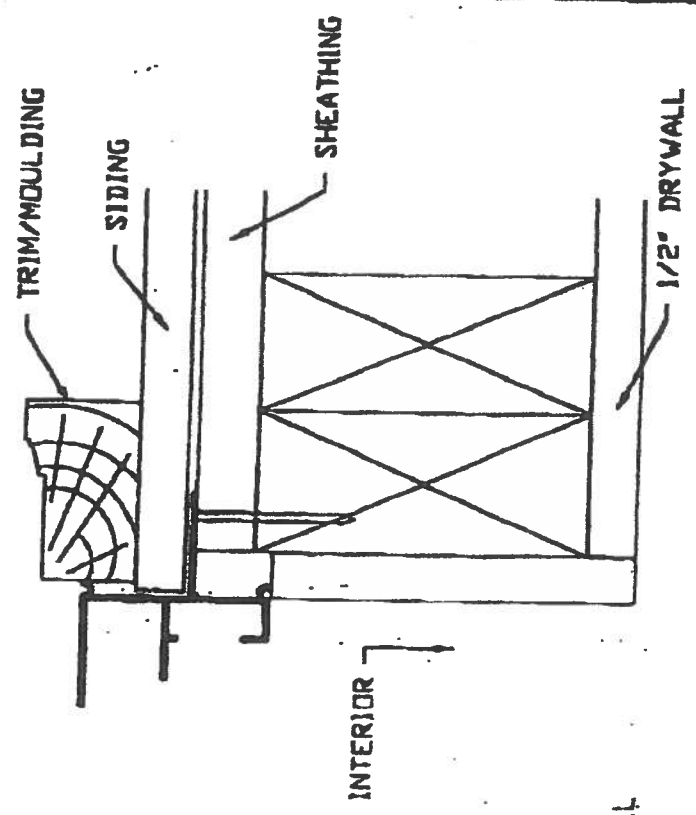
HEAD DETAIL



CAULK UNDER NAILING
FIN ENTIRE PERIMETER
BEFORE NAILING (TYP.)

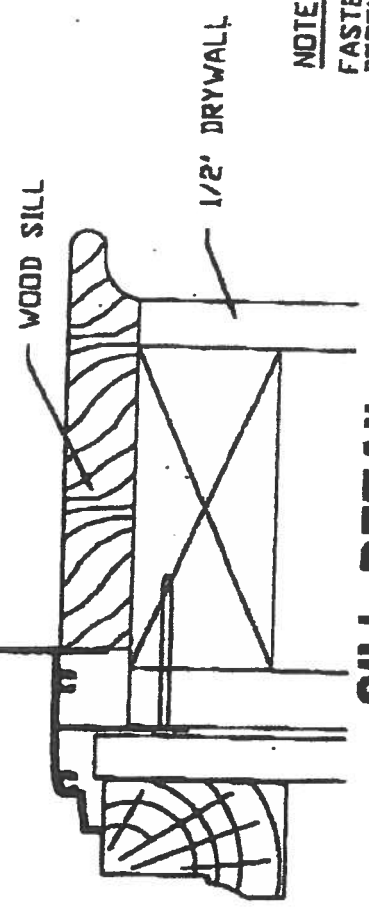
IN EACH DIRECTION FROM ALL CORNERS THERE
MUST BE A FASTENER WITHIN 10 INCHES, BUT
NOT GREATER THAN 3 INCHES TO PREVENT FRAME
DISTORTION OR FRACTURE OF JOINT SEALS.
SECURE THE FULL PERIMETER WITH EQUIVALENT
OF 6d FASTENERS OR A #8 X 1 1/4" SCREW,
ON A MAXIMUM OF 16 INCH CENTERS.

JAMB DETAIL



INTERIOR

INTERIOR



SILL DETAIL

NOTE:

FASTENER TYPE AND LOCATION MAY VARY
DEPENDING ON LOCAL CODES.

Series V83

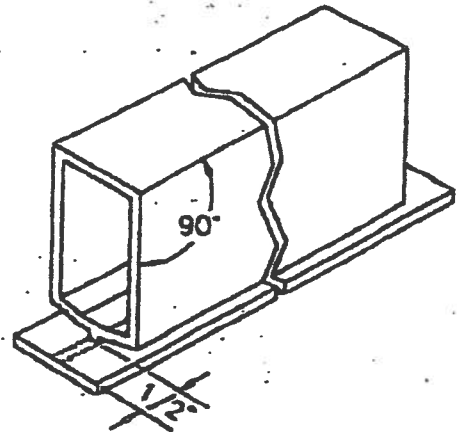
1/8" cl

'STRUCTURAL' VERTICAL MULLION - Florida Flange

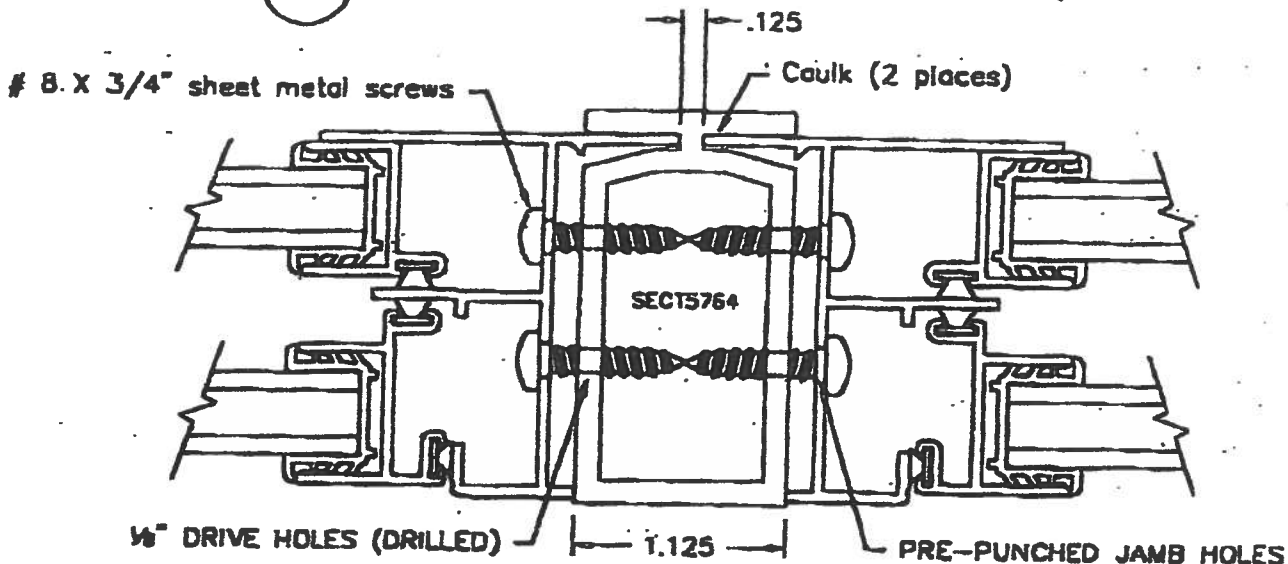
Before you begin, see note on field notching.

- Step 1.** Caulk inside mull as shown to seal frame jambs.
- Step 2.** Place windows and mullions together as shown below.
- Step 3.** Using the pre-punched installation holes in window jambs as a drill guide, drill 1/8" holes into mullion.
- Step 4.** Attach windows to mullion using # 8 x 3/4" sheet metal screws (not included) through drilled holes as shown below. To avoid jamb distortion, do not overtighten screws.
- Step 5.** Caulk any voids to prevent water leakage.

Note: For improved appearance of exterior face, and buck strip / sill clearance, field notching (both ends) is recommended.



Note: Each mull adds 1/8".



704 12th AVE.
SHEYNA, TN 37167
(800) 545-5413

INSTRUCTION SHEET

**TWIN OR TRIPLE
USING SERIES V83 MULL**

770/774/780/784 FLORIDA FLANGE PRODUCTS

BRAND OF Tory C	DATE 01/21/99
DECODE	DATE
SCALE 1 : 1	SHEET 1 of 1
DOC NO. MULLV83A	REV

Jeld-Wen, Inc.

ACCEPTANCE No.: 00-1003.03

APPROVED : JAN 1 1 200

EXPIRES : April 14, 2003

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not reseal the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Manuel Perez, P.E. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE

Jeld-Wen, Inc.

ACCEPTANCE No.: 00-1003.03

APPROVED : JAN 11 2001

EXPIRES : April 14, 2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

- 1.1 This revises the Notice of Acceptance No. 99-1122.01, which was issued on April 14, 2003. It approves a residential insulated steel door, as described in Section 2 of this Notice of Acceptance designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1 The Series "DoorCraft® Steel" - Outswing Opaque Wood Edge Residential Insulated Steel Door w/Sidelites - Impact Resistant Door only and its components shall be constructed in strict compliance with the following documents: Drawing No DC-2005, titled "O/S Opaque Steel Door Double & Single Units w & w/o Sidelites" Sheets 1 through 6 of 6 dated 09/25/00, bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications of pair of doors and single door, with sidelites, as shown in approved drawings. Single door units shall include all components described in the active leaf of this approval.

4. INSTALLATION

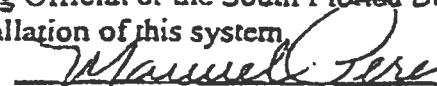
- 4.1 The residential insulated steel door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): the installation of doors only will not require a hurricane protection system. Sidelites will require a hurricane protection system

5. LABELING

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance; clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.


Manuel Perez, P.E. Product Control Examiner
Product Control Division



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
130 WEST FLAGLER STREET, SUITE 1
MIAMI, FLORIDA 33130-1
(305) 373-2901 FAX (305) 373-2

CONTRACTOR LICENSING SECTION
(305) 373-2527 FAX (305) 373-2

CONTRACTOR ENFORCEMENT DIVISION
(305) 373-2966 FAX (305) 373-2

PRODUCT CONTROL DIVISION
(305) 373-2902 FAX (305) 373-6

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Jeld-Wen, Inc
3250 Lakeport Drive
Klamath Falls, OR 97601

Your application for Notice of Acceptance (NOA) of:
Series "DoorCraft® Steel" - Outswing Opaque W/E Residential Insulated Steel Doors w/ Sidelites -
Impact
under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of
Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade
County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure the
product or material at any time from a jobsite or manufacturer's plant for quality control testing. If the
product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the
use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is
determined by BCCO that this product or material fails to meet the requirements of the South Florida
Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-1003.03
EXPIRES: 04/14/2003


Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL
CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building
Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set
forth above.



Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 01/11/2001

DOCUMENT CONTROL ADDENDUM #01-40351.00

Current Issue Date: 02/14/02

Report No.: 01-40351.01

Requested by: William Emley, MI Home Products, Inc.
Purpose: AAMA/NWWDA 101/LS.2-97 testing of Series/Model 744 aluminum single hung window with flange.
Issued Date: 12/28/01
Comments: Florida P.E. seal required on report.
Certification copy to John Smith at Associated Laboratories, Inc.

Report No.: 01-40351.02

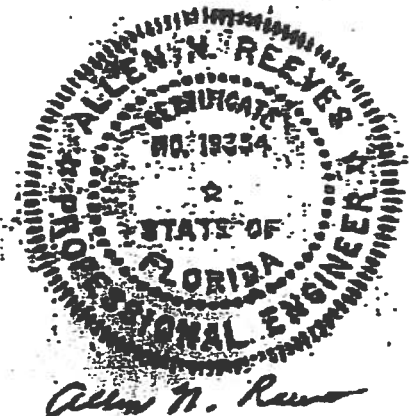
Requested by: William Emley, MI Home Products, Inc.
Purpose: Change of glass type.
Issued Date: 12/28/01
Comments: Florida P.E. seal required on report.
Certification copy to John Smith at Associated Laboratories.

Report No.: 01-40351.03

Requested by: William Emley, MI Home Products, Inc.
Purpose: AAMA/NWWDA 101/LS.2-97 testing of Series/Model 740/744 aluminum single hung window with nail fin.
Issued Date: 02/14/02
Comments: Florida P.E. seal required on report.
Certification copy to John Smith at Associated Laboratories, Inc.

Report No.: 01-40351.04

Requested by: William Emley, MI Home Products, Inc.
Purpose: Revised Report No. 01-40351.01
Issued Date: 02/14/02
Comments: Changed Series/Model from 744 to 740/744 and unit size from 52 x 71 to 53 x 73. Florida P.E. seal required on report. Certification copy to John Smith at Associated Laboratories, Inc.





AAMA/NWWDA 101/LS-2-97 TEST REPORT

Rendered to:

MI HOME PRODUCTS, INC.
P.O. Box 370
Gratz, Pennsylvania 17030-0370

Report No: 01-40351.03
Test Dates: 10/22/01
And: 10/23/01
Report Date: 02/15/02
Expiration Date: 10/23/05

Project Summary: Architectural Testing, Inc. (ATI) was contracted by MI Home Products, Inc. to witness performance testing on a Series/Model 740/744, aluminum single hung window at MI Home Products, Inc.'s test facility in Elizabethville, Pennsylvania. The sample tested successfully met the performance requirements for a H-R45 52 x 72 rating.

Test Specification: The test specimen was evaluated in accordance with AAMA/NWWDA 101/LS-2-97, *Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors*.

Test Specimen Description:

Series/Model: 740/744

Type: Aluminum Single Hung Window With Nail Fin

Overall Size: 4' 4-1/8" wide by 5' 11-5/8" high

Active Sash Size: 4' 2-3/4" wide by 2' 11-5/8" high

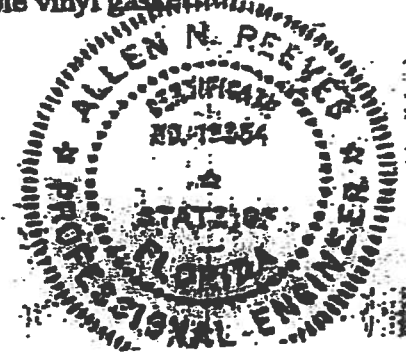
Fixed Daylight Opening Size: 4' 1-1/8" wide by 2' 9" high

Screen Size: 4' 1-7/8" wide by 2' 11-5/16" high

Finish: All aluminum was polished.

Glazing Details: The active sash and fixed lite were glazed with one sheet of 1/8" thick clear tempered glass. Each sash was channel glazed using a flexible vinyl gasket.

130 Perry Court
York, PA 17402-4402
phone: 717-364-7101
fax: 717-364-7101



New

R-45

Rating

**AAMA/NWDA 101/LS2-97
TEST REPORT SUMMARY**

Rendered to:

MI HOME PRODUCTS, INC.

SERIES/MODEL: 740/744

TYPE: Aluminum Single Hung Window with Nail Fin

A-C

Title of Test	Results
Rating	H R45 52 x 72
Overall Design Pressure	45 psf
Operating Force	24 lb max.
Air Infiltration	0.10 cfm/ft ²
Water Resistance	6.75 psf
Structural Test Pressure	+67.5 psf -70.8 psf
Deglazing	Passed
Forced Entry Resistance	Grade 10

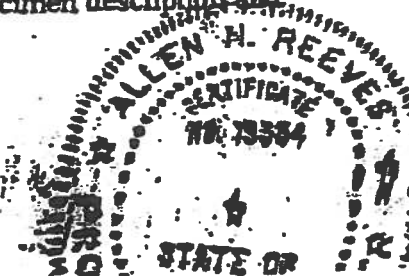
Reference should be made to Report No. 01-40351.03 for complete test specimen description and data.

For ARCHITECTURAL TESTING, INC.


Mark A. Hess, Technician

MAH:baw

Allen H. P.



OUTSTANDING CRACKLE DOORS W/ A WOOD SIDELITES
WOOD EDGE INSULATED STEEL DOOR WITH WOOD FRAMES

1. THIS PRODUCT IS DESIGNED TO MEET THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR MIAMI-DADE COUNTY.
2. WOOD BUCKS BY OTHERS, MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL OR STUCCO.
4. IMPACT RESISTANT SHUTTERS REQUIRED FOR SIDELITES.
5. DESIGNED PRESSURE RATING SHALL BE AS FOLLOWS:
--SEE DESIGN PRESSURE RATING TABLE SHEET ONE.
6. SIDELITES ARE AN OPTION AND CAN BE IN A SINGLE OR DOUBLE CONFIGURATION.
7. THIS SYSTEM DOES MEET THE WATER REQUIREMENTS IN MIAMI-DADE COUNTY.

Door Leaf Construction: Face sheets: 24 ga. (0.020") minimum thickness. Galvalume steel A-325 commercial quality - AKQO. Per ASTM 620 with yield strength $\sigma_y(\text{min.})=24,600$ psi.

Face design: Expanded polystyrene with 1.0 lb 1.25 lbs. density.

Construction: Steel face sheets glued to expanded polystyrene (EPS) with wood rails and laminated plywood lumber stiles and a wood lock block reinforcement.

Frame Construction: The head joms and side joints are mortised, bolted and joined using three $\frac{7}{8} \times \frac{1}{2}$ wire staples.

SHEET #	DESCRIPTION
1	COMMON GENERAL NOTES, TYPICAL ELEVATION
2	VERTICAL CROSS SECTIONS & BILL OF MATERIALS
3	HORIZONTAL CROSS SECTIONS (SINGLE W/O SIDELITES)
4	HORIZONTAL CROSS SECTIONS (DOUBLE W/O SIDELITES)
5	ANCHORING LOCATIONS & GLAZING DETAILS
5	ANCHORING LOCATIONS & DRAIN DETAILS



DESIGN PRESSURE RATING	
	WHERE WATER INFILTRATION REQUIREMENT IS NEEDED
POSITIVE	+ 5.0 PSF
NEGATIVE	- 5.0 PSF

APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE January 11, 2001
BY Marvyn N. Lee
PRODUCT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
PERMITS DIVISION NO. 00-1000000

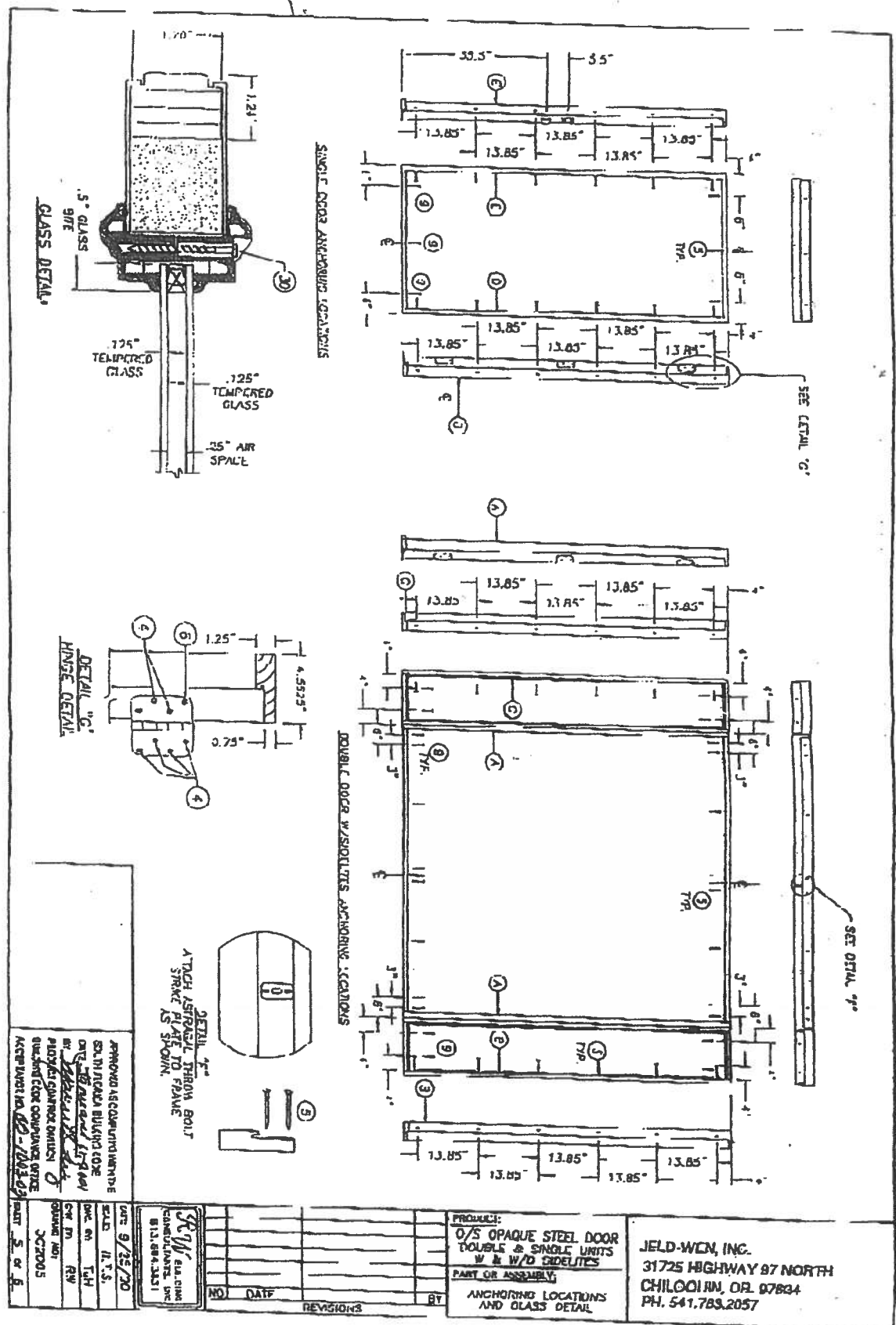
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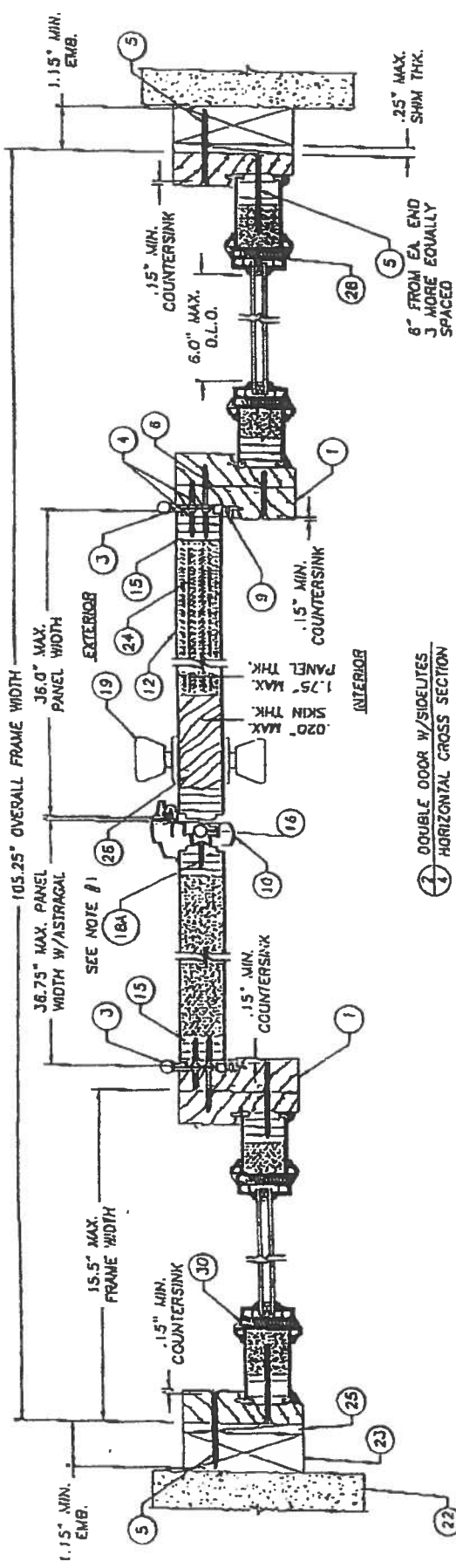
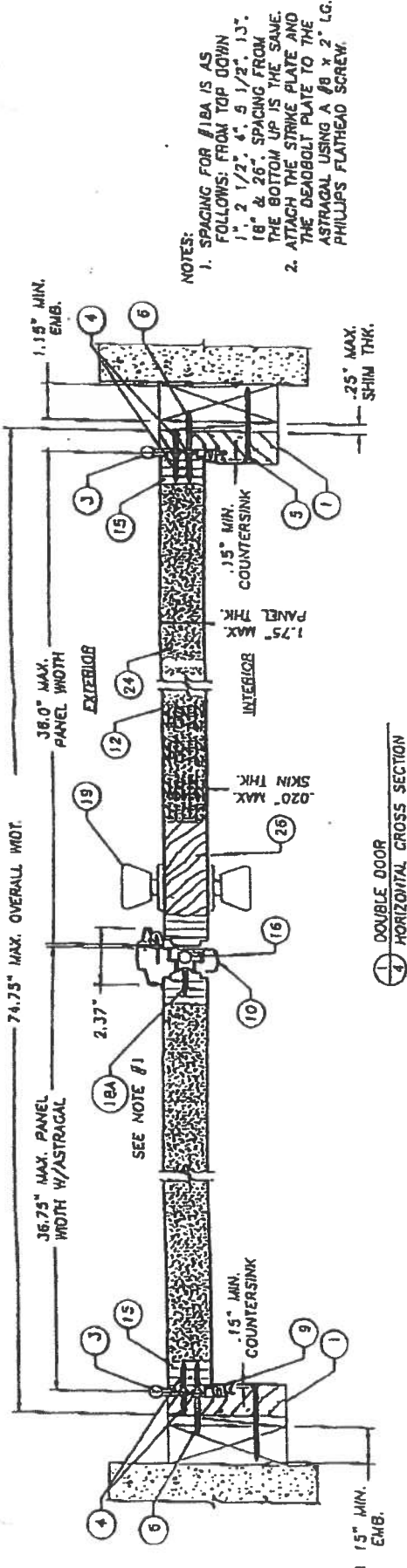
RW BUILDING
CONSULTANTS, INC.
813.684.3631

DATE	9/25/00
CALL	N.T.S.
REQ. BY	TJH
APP. BY	RW
QUANTITY	100
DC	2005
NO.	1 of 6

31725 HIGHWAY 97 NORTH
CHILLOQUI, OR. 97624
PH. 541.783.2057

PRODUCT:
O/S OPAQUE STEEL DOOR
DOUBLE & SINGLE LINTS
W & W/O SIDELITES
PART OR ASSEMBLY:
ELEVATIONS AND
GENERAL NOTES





JELD-WEN, INC.
 725 HIGHWAY 97 NORTH
 ALLOQUIN, OR. 97824
 PH. 541.783.2057

PRODUCT:
 O/S OPAQUE STEEL DOOR
 COUBLE & SINGLE UNITS
 W & W/O SIDELITES

PART OR ASSEMBLY:
 HORIZONTAL
 CROSS SECTIONS

NO.	DATE	REVISIONS

BY

APPROVED AS COMPLYING WITH THE
 SOUTH FLORIDA BUILDING CODE
 DATE: February 16, 2001
 BY: James H. 2001
 PROPOSED CONTROL DIVISION: 2001
 BUILDING CODE COMPLIANCE OFFICE
 ACCEPTANCE NO. 00-1009.01

DATE: 9/25/00
 SCALE: N.T.S.
 DWG. BY: JSH
 CHK. BY: RW
 DRAWING NO.:
 DC2005

SHEET 1 of 6



R W Building Consultants, Inc.

Consulting and Engineering Services for the Building Industry

P.O. Box 230 Valrico, FL 33594 Phone 813.684.3831 Facsimile 813.684.3831

ENGINEER'S NOTICE OF EVALUATION # GSI-162F

JELD-WEN, INC.
3250 Lakeport Blvd
Klamath Falls, Oregon 97601
Phone 541.783.2057 Facsimile 541.783.3592

DESCRIPTION OF UNIT

Model Designation: DoorCraft® Gladiator® Steel Door (Glazed or Opaque) with or without Side-lites

Maximum Overall Nominal Size: up to 5'4" x 6'8" **Usable In-swing Configurations:** X, OXO, XO & OX

General Description: The head and jambs are wood measuring 4.5" x 1.25" with an extruded aluminum saddle threshold. The door panels and sidelite panels are 1.75" thick and consist of two 25 gauge (min 0.018") steel skins glued to wood stiles and rails with an expanded polystyrene core. The glazed models are routed to receive 1/2" insulated tempered lip lite inserts manufactured by ODL.

FBC Section 1707 Materials and Assembly Tests:
(1707.4.3 Exterior Door Assemblies, 1707.4.5 Mullions Door Assemblies)

Test	Description	Test Location	Date	Report No.	Certifying Engineer
ASTM E330	Uniform Static Air Pressure	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
AAMA 1302.5	Forced Entry	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
ASTM E331	Water Penetration	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
ASTM E283	Air Infiltration	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891

** Sidelites are considered a window and meet 15% of Positive Design Pressure water infiltration criteria under ASTM E331.

Design Pressure Ratings:

Configuration	Maximum Size	Design Pressure Ratings
Opaque Single	Up to 5'4" x 6'8"	15 psf - 30 psf
Opaque Single with Sidelite	Up to 5'4" x 6'8"	15 psf - 30 psf
Glazed Single	Up to 5'4" x 6'8"	15 psf - 30 psf
Glazed Single with Sidelite	Up to 5'4" x 6'8"	15 psf - 30 psf

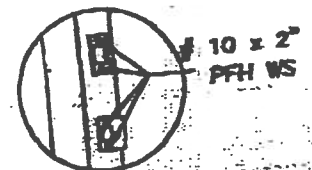
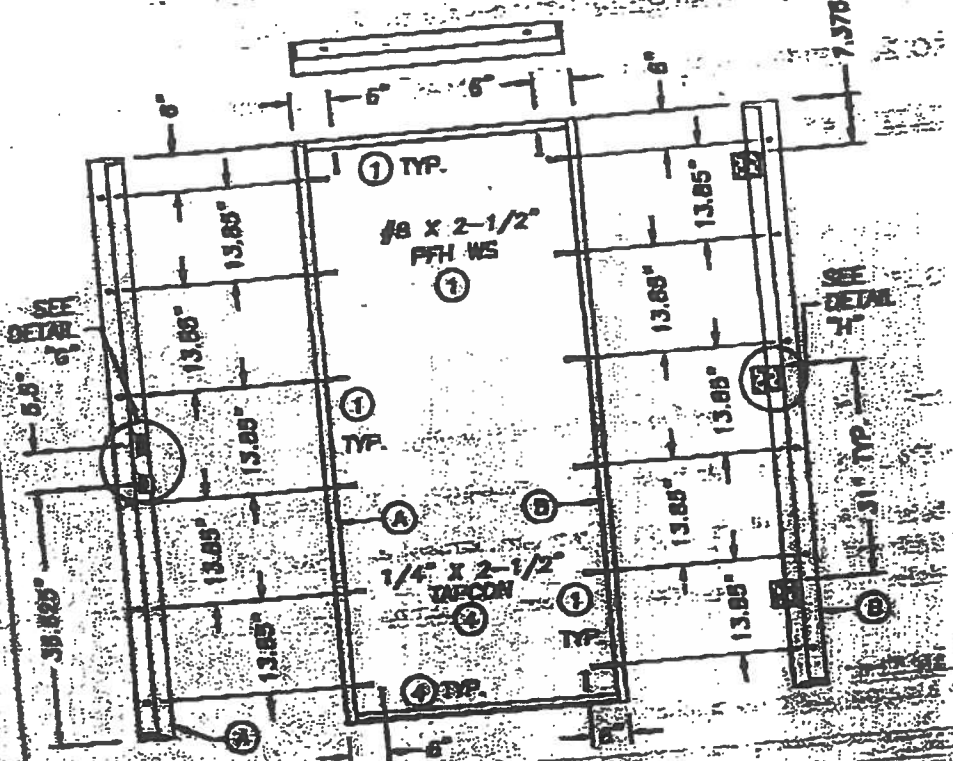
Installation and Anchoring: See reverse side this page

Use

1. Evaluated for use in locations adhering to the Florida Building Code and where pressure requirements as determined by ASCE 7 Minimum Design Loads for Buildings and Other Structures does not exceed the design pressure ratings listed above.
2. For Masonry installations where the sub-buck is less than 1-1/2 inches (FBC section 1707.4.4 Anchorage Methods and sub-sections 1707.4.4.1 and 1707.4.4.2) same diameter Tapcon type concrete anchors must be substituted and the length must be such that a minimum 1-1/4" engagement of the Tapcon into the masonry wall is obtained.

Certification: Florida Professional Engineer - Seal No. 54158 March 12, 2002 Wendell Hancy

DoorCraft® Gladiator wood Maximum Size Up To 5'4" x 6'8"



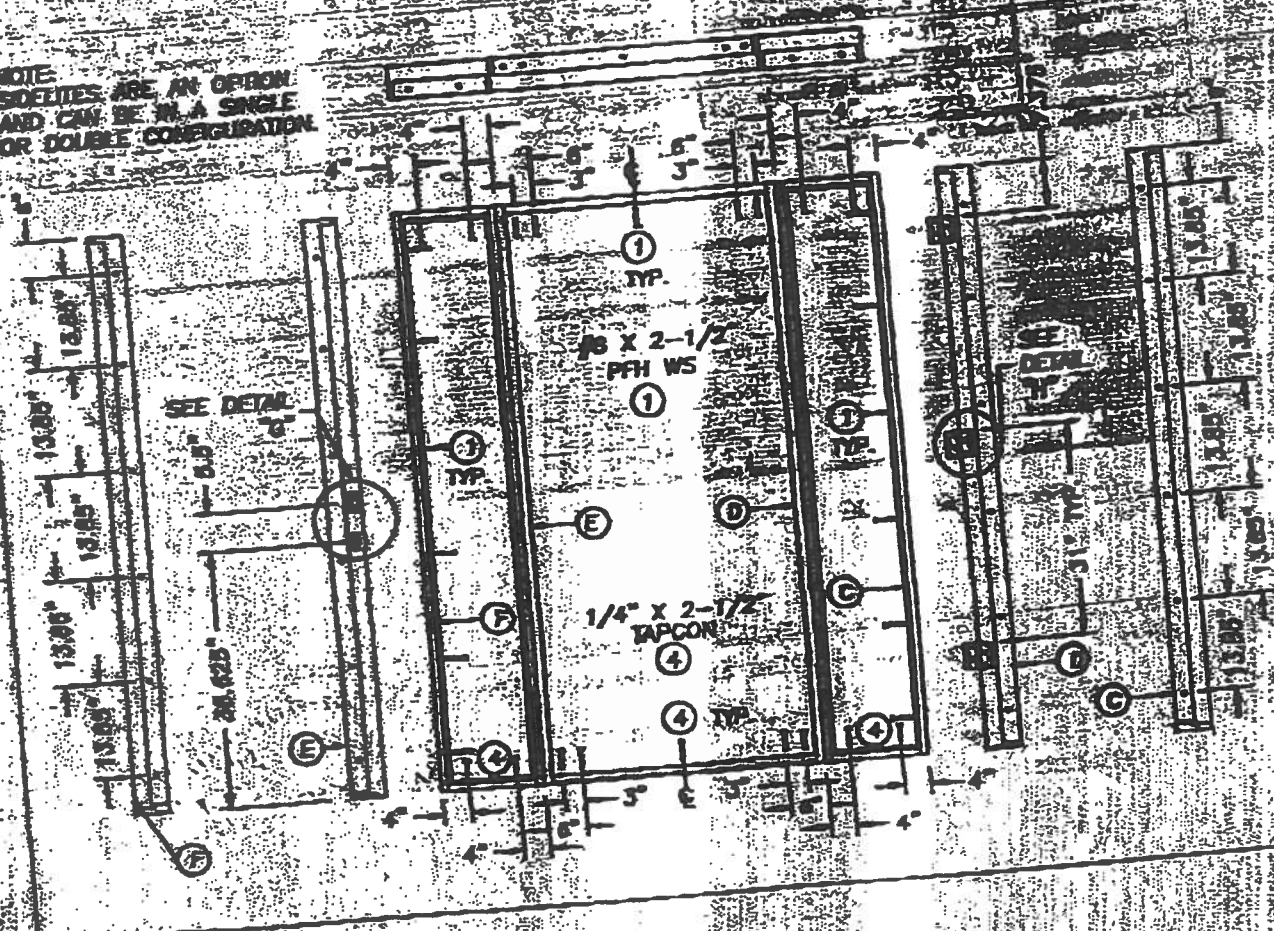
DETAIL 2: STROKE AND DEADBOLT PLATES TO FRAME



DETAIL 4: HINGE TO DOOR AND FRAME

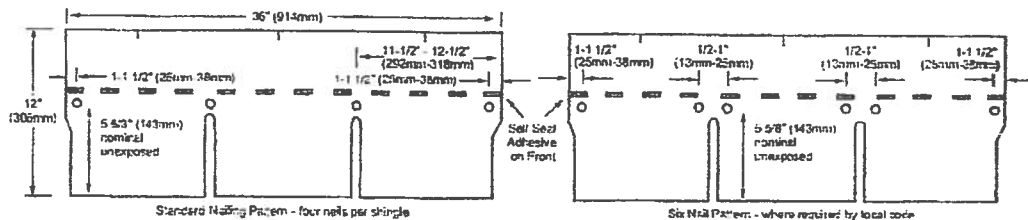
NOTE NO. 1: WHEN ATTACHING THE HINGE JAMB TO THE SIDE JAMB USE A 10 x 2 1/2 PFH WS. WHEN ANCHORING A 30 x 80 DOOR TO SUB RUCK USE A 10 x 2 PFH WS AND A 30 x 1 PFH WS IN THE REMAINING OF HOLES.

NOTE: SIDELITES ARE AN OPTION AND CAN BE IN A SINGLE OR DOUBLE CONFIGURATION.



APPLICATION INSTRUCTIONS

Note: These shingles must be nailed a nominal 5 5/8" (143mm) from bottom of shingles, not in or above self seal, as shown. Nails should remain unexposed.



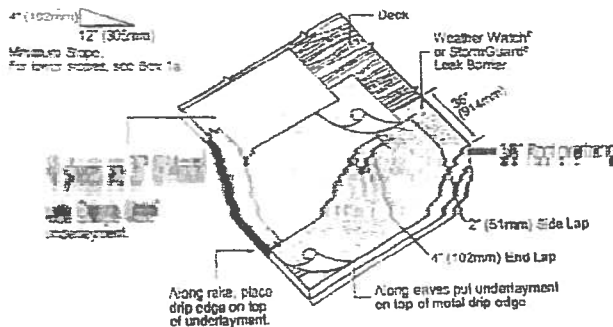
GENERAL INSTRUCTIONS

- **ROOF DECKS:** For use on new or reroofing work over well-seasoned, supported wood deck, tightly-constructed with maximum 6" (152mm) wide lumber, having adequate nail-holding capacity and smooth surface. Plywood decking as recommended by The Engineered Wood Inst. is acceptable. Plywood decks for Class A installations must be 3/8" (10mm) thick or greater with underlayment as noted below. Shingles must not be fastened directly to insulation or equivalent deck unless authorized in writing by GAF Materials Corporation. Roof decks and existing surfacing material must be dry prior to application of shingles.
- **UNDERLAYMENT:** Underlayment is required on new construction and required for reroofing work and is removed from the deck. Use only Shingle-Mate® type material by GAF Materials Corporation. Underlayment or equivalent. Underlayment must be installed flat, without wrinkles.
- **FASTENERS:** Use of nails is recommended. (Sample specifications and application instructions are available from GAF Materials Corporation, Contractor Services Dept., 1361 Alps Road, Wayne, NJ 07470.) Use only zinc coated steel or aluminum, 10-12 gauge, barbed, deformed or smooth shank roofing nails with heads 3/8" (10mm) to 7/16" (12mm) in diameter. Fasteners should be long enough to penetrate at least 3/4" (19mm) into wood decks or just through the plywood decks. Fasteners must be driven flush with the surface of the shingle. Over driving will damage the shingle. Raised fasteners will interfere with the sealing of the shingles. For normal installation, four fasteners must be installed per shingle, a nominal 5 5/8" (143mm) up from the bottom of the shingle. Fasteners must be installed approximately 1" - 1 1/2" (25-38mm) and 11 1/2" - 12 1/2" (292-318mm) from each side.
- **WIND RESISTANT:** These shingles have a special thermal sealant that firmly bonds the shingles together after application when exposed to sun and warm temperatures. Shingles installed in Fall or Winter may not seal until the following Spring. If shingles are damaged by winds before sealing or are not exposed to adequate surface temperatures, or if the self-sealant gets dirty, the shingles may never seal. Failure to seal under these circumstances results from the nature of self-sealing shingles and is not a manufacturing defect. To insure immediate sealing,

- apply 2 quarter-sized dabs of shingle tab adhesive on the back of each tab, approximately 1" (25mm) from end and 1" (25mm) up from bottom of each tab corner. The shingle must be pressed firmly into the adhesive.
- NOTE:** Application of excess tab adhesive can cause blistering of the shingle.
- For maximum wind resistance along rakes, cement shingles to underlayment and each other in a 4" (102mm) width of asphalt plastic roof cement.
- NOTE:** The film strips on the back of each shingle are to prevent sticking together of the shingles while in the bundle. Their removal is NOT required during application.
- **CANADIAN COLD WEATHER APPLICATIONS:** CSA A123 S-M90 mandates that shingles applied between September 1 and April 30 shall be adhered with a compatible field-applied adhesive. See Wind Resistant for GAF Materials Corporation's recommendations for the application of that adhesive.
- **MANSARD AND STEEP SLOPE APPLICATIONS:** For roof slopes greater than 21° (1750mm/m) per foot (do NOT use on vertical side walls), shingle sealing must be enhanced by hand sealing. After fastening the shingle in place, apply 2 quarter-sized dabs of shingle tab adhesive as indicated in Wind Resistant above. The shingle must be pressed firmly into the adhesive.
- **EXPOSURE:** 5" (127mm)
- **THROUGH VENTILATION:** All roof structures must be provided with through ventilation to prevent entrapment of moisture laden air behind roof sheathing. Ventilation provisions must at least meet or exceed current F.H.A., H.U.D. or local code minimum requirements.
- **NON-CORRODING METAL DRIP EDGES:** Recommended along rake and eave edges on all decks, especially plywood decks.
- **ASPHALT PLASTIC CEMENT:** For use as shingle tab adhesive. Must conform to ASTM D4586 Type I or II.

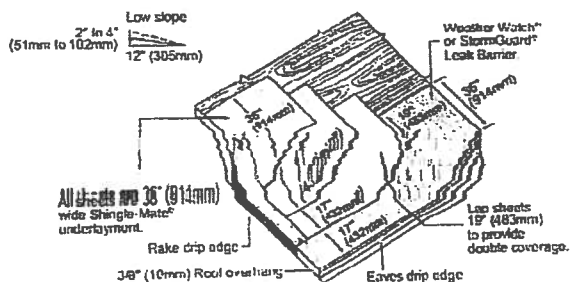
1 Underlayment: Standard Slope—4/12 (333mm/m) or more

Application of underlayment: Cover deck with one layer of underlayment installed without wrinkles. Use only enough nails to hold underlayment in place until covered by shingles. **Application of eave flashing:** Install eave flashing such as GAF Materials Corporation Weather Watch® or StormGuard® Leak Barrier in localities where leaks may be caused by water backing up behind ice or debris dams. Eave flashing must overhang the roof edge by 3/8" (10mm) and extend 24" (610mm) beyond the inside wall line.



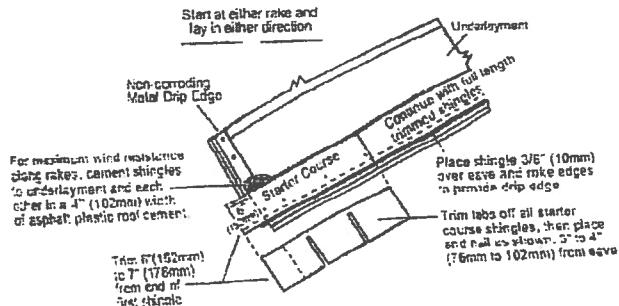
1a Underlayment: Low Slope 2/12-4/12 (167mm-333mm/m)

Application of underlayment and eave flashing: Completely cover the deck with two layers of underlayment as shown. Use only enough nails to hold underlayment in place until covered by shingles. Use blind nailing for eave flashings. At eaves and where ice dams can be expected, use one layer of GAF Materials Corporation Weather Watch® or StormGuard® Leak Barrier. Eave flashing must overhang the roof edge by 3/8" (10mm) and extend 24" (610mm) beyond the inside wall line. Where ice dams or debris dams are not expected, install 2 plies of Shingle-Mate® underlayment.



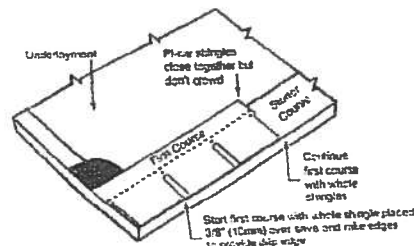
2 Starter Course

Use of any GAF MC 3-tab Shingle is recommended. Apply as shown.



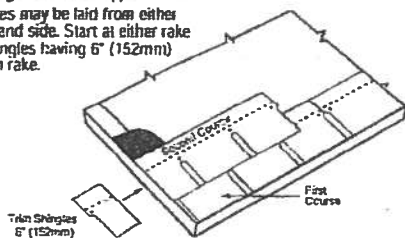
3 First Course

Start and continue with full shingles laid flush with the starter course. Shingles may be laid from left to right or right to left. DO NOT lay shingles straight up the roof since this procedure can cause an incorrect color blend on the roof and may damage the shingles.

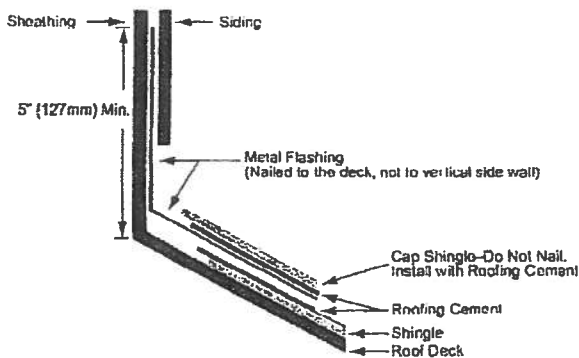


5" (127mm) of each shingle exposed. Strike a chalk line about every 6 courses to check parallel alignment with eaves. Factory applied self-sealing dots on lower courses are designed to seal down the shingle tabs in an upper course.

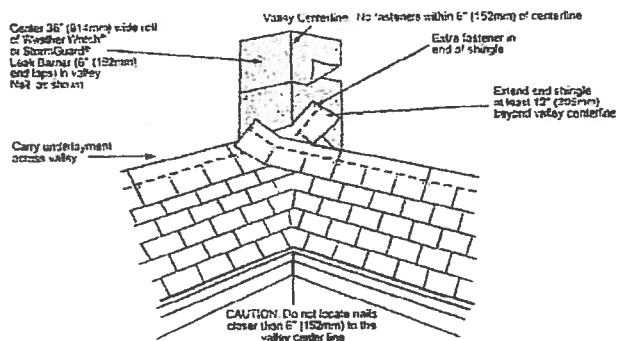
NOTE: Shingles may be laid from either left or right hand side. Start at either rake edge with shingles having 6" (152mm) trimmed from rake.



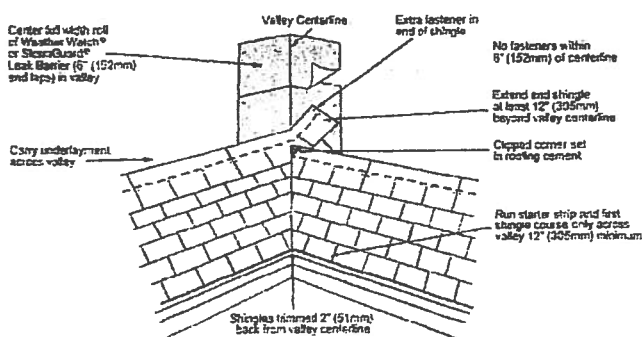
6 Wall Flashing (Sloped Roof to Vertical Wall)



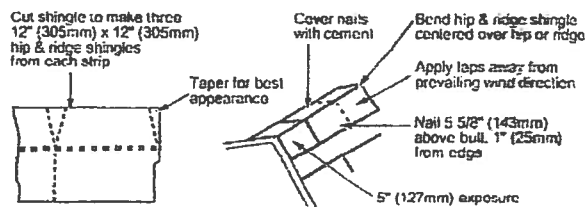
8 Valley Construction - Closed or Woven Valley



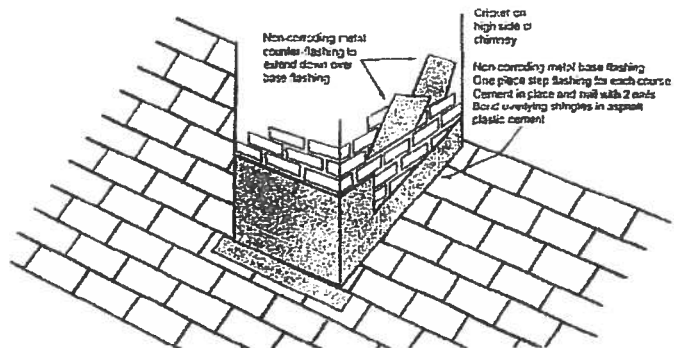
10 Valley Construction-Closed Cut



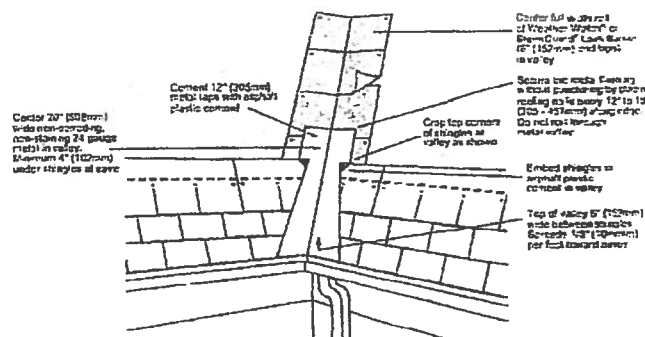
apply as shown. Fusion laps away from prevailing wind direction.



7 Chimney Flashing



9 Valley Construction-Open Cut



Precautionary Notes

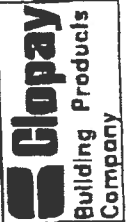
These shingles are fiberglass, self-sealing asphalt shingles. Because of the natural characteristics of the high quality waterproofing material used, these shingles will be stiff in cold weather and flexible in hot weather.

1. Bundles should not be dropped on edge nor should attempt be made to separate shingles by "breaking" over ridge or other bundles.
2. Handle carefully. Shingles can easily be broken in cold weather or their edges damaged in hot weather.
3. All exposed materials must be of Class A type.
4. Storage should be in a covered, ventilated area—maximum temperature 110°F (43°C). Store on flat surface and use weight equalization boards if pallets are to be double stacked. Shingles must be protected from weather when stored at job site. Do not store near steam pipes, radiators, etc., or in sunlight. All rolled product must be stored on ends.
5. If shingles are to be applied during PROLONGED COLD periods or in areas where airborne dust or sand can be expected before sealing occurs, the shingles MUST be hand sealed. See Wind Resistant instructions.

Re-Roofing

If old asphalt shingles are to remain in place, nail down or cut away all loose, curled or lifted shingles; replace with new; and just before applying the new roofing, sweep the surface clean of all loose debris. Since any irregularities may show through the new shingles, be sure the underlying shingles provide a smooth surface. Fasteners must be of sufficient length to penetrate the wood deck at least 3/4" (19mm) or just through plywood. Follow other above instructions for application. **Note:** Shingles can be applied over wood shingles when precautions have been taken to provide an acceptable smooth surface. This includes cutting back old shingles at eaves and rakes and installing new wood edging strips as needed. Make surface smooth and use beveled wood strips if necessary. Install #30 underlayment to maintain Class A rating.

This product is sold with an express LIMITED WARRANTY only. A copy of the LIMITED WARRANTY stating its terms and restrictions is printed on the product wrapper or may be obtained from the distributor of this product or directly from GAF Materials Corporation. Any deviation from printed instructions shall be the responsibility of applicator and/or specifier.

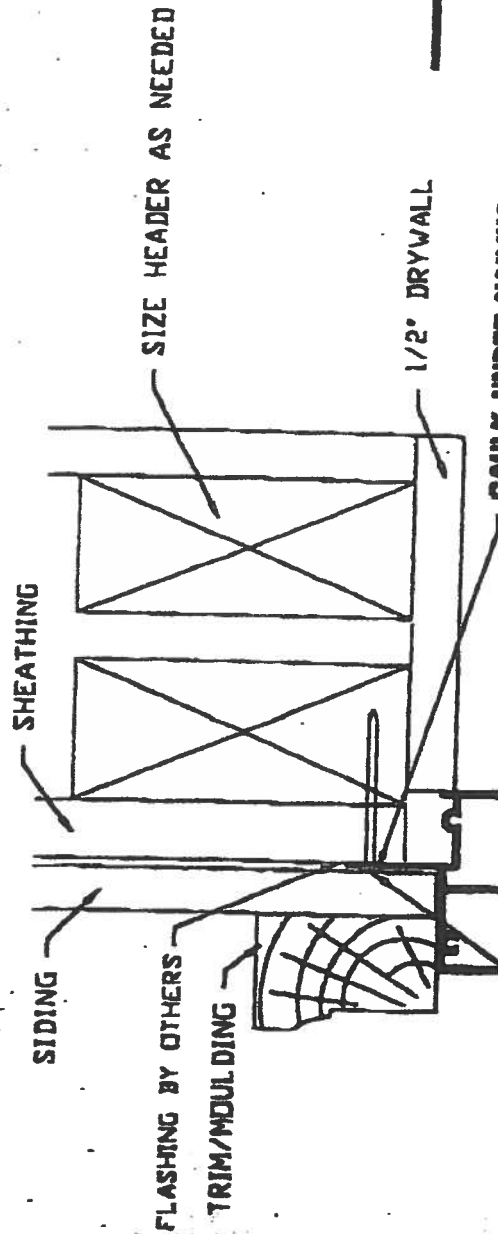


WOOD CONSTRUCTION INSTALLATION CONVENTIONAL NAIL-FIN SINGLE HUNG



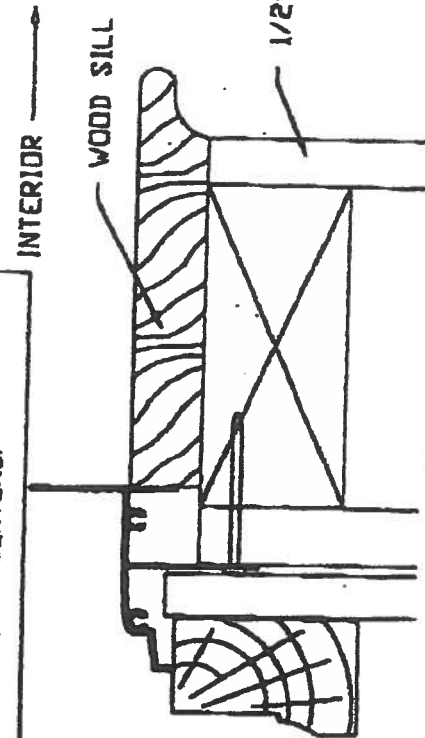
BetterBuild
DOORS AND WINDOWS

HEAD DETAIL



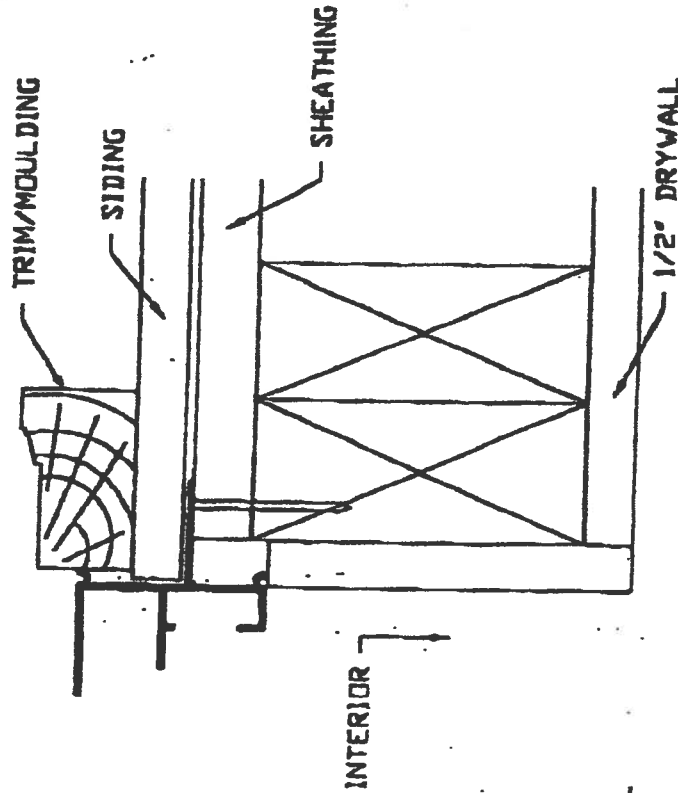
CAULK UNDER NAILING
FIN ENTIRE PERIMETER
BEFORE NAILING (TYP.)

IN EACH DIRECTION FROM ALL CORNERS THERE
MUST BE A FASTENER WITHIN 10 INCHES, BUT
NOT GREATER THAN 3 INCHES, TO PREVENT FRAME
DISLOCATION OR FRACTURE OF JOINT SEALS.
SECURE THE FULL PERIMETER WITH EQUIVALENT
OF 68 FASTENERS OR A #8 X 1 1/4\"/>



SILL DETAIL

JAMB DETAIL



NOTE:

FASTENER TYPE AND LOCATION MAY VARY
DEPENDING ON LOCAL CODES.

Series V83

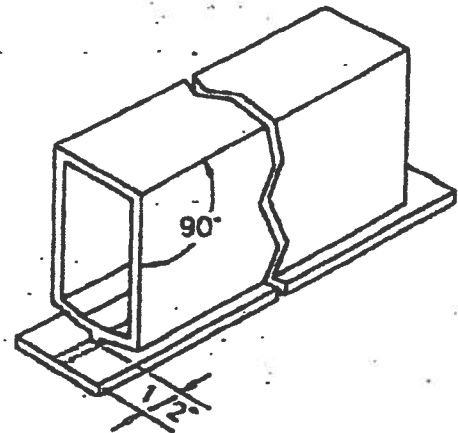
$\frac{1}{8}''$ cl

'STRUCTURAL' VERTICAL MULLION - Florida Flange

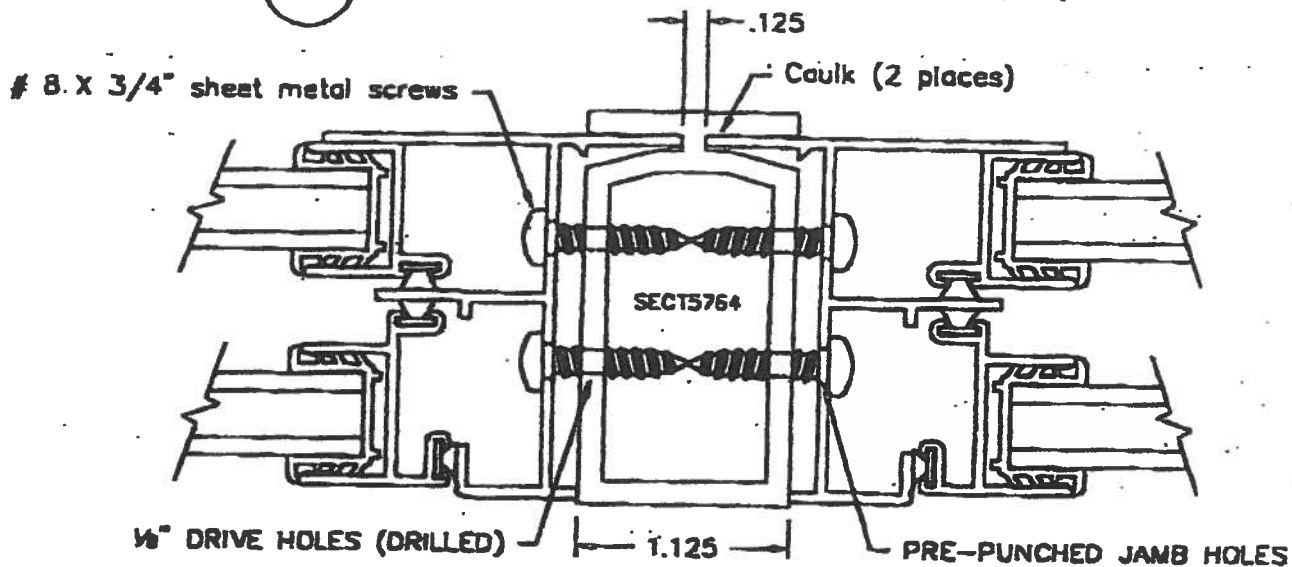
Before you begin, see note on field notching.

- Step 1.** Caulk inside mull as shown to seal frame jambs.
- Step 2.** Place windows and mullions together as shown below.
- Step 3.** Using the pre-punched installation holes in window jambs as a drill guide, drill $\frac{1}{8}''$ holes into mullion.
- Step 4.** Attach windows to mullion using # 8 x $\frac{3}{4}''$ sheet metal screws (not included) through drilled holes as shown below. To avoid jamb distortion, do not overtighten screws.
- Step 5.** Caulk any voids to prevent water leakage.

Note: For improved appearance of exterior face, and buck strip / sill clearance, field notching (both ends) is recommended.



Note: Each mull adds $\frac{1}{8}''$.



704 12th AVE.
SMYRNA, TN 37167
(800) 545-5413

INSTRUCTION SHEET

**TWIN OR TRIPLE
USING SERIES V83 MULL**

770/774/780/784 FLORIDA FLANGE PRODUCTS

Drawn by: **Tony C** Date: **01/21/99**

Checked: _____ Date: _____

Scale: **1:1** Sheet: **1 of 1**

Part No. **MULLV83A**

Jeld-Wen, Inc.

ACCEPTANCE No.: 00-1003.03

APPROVED : JAN 1 1 200

EXPIRES : April 14, 2003

NOTICE OF ACCEPTANCE: STANDARD CONDITIONS

1. Renewal of this Acceptance (approval) shall be considered after a renewal application has been filed and the original submitted documentation, including test supporting data, engineering documents, no older than eight (8) years.
2. Any and all approved products shall be permanently labeled with the manufacturer's name, city, state and the following statement: "Miami-Dade County Product Control Approved", or as specifically stated in the specific conditions of this Acceptance.
3. Renewals of Acceptance will not be considered if:
 - a) There has been a change in the South Florida Building Code affecting the evaluation of this product and the product is not in compliance with the code changes;
 - b) The product is no longer the same product (identical) as the one originally approved;
 - c) If the Acceptance holder has not complied with all the requirements of this acceptance, including the correct installation of the product;
 - d) The engineer who originally prepared, signed and sealed the required documentation initially submitted is no longer practicing the engineering profession.
4. Any revision or change in the materials, use, and/or manufacture of the product or process shall automatically be cause for termination of this Acceptance, unless prior written approval has been requested (through the filing of a revision application with appropriate fee) and granted by this office.
5. Any of the following shall also be grounds for removal of this Acceptance:
 - a) Unsatisfactory performance of this product or process.
 - b) Misuse of this Acceptance as an endorsement of any product, for sales, advertising or any other purpose.
6. The Notice of Acceptance number preceded by the words Miami-Dade County, Florida, and followed by the expiration date may be displayed in advertising literature. If any portion of the Notice of Acceptance is displayed, then it shall be done in its entirety.
7. A copy of this Acceptance as well as approved drawings and other documents, where it applies, shall be provided to the user by the manufacturer or its distributors and shall be available for inspection at the job site at all time. The engineer need not resubmit the copies.
8. Failure to comply with any section of this Acceptance shall be cause for termination and removal of Acceptance.
9. This Notice of Acceptance consists of pages 1, 2 and this last page 3.


Manuel Perez, P.E. Product Control Examiner
Product Control Division

END OF THIS ACCEPTANCE

Jeld-Wen, Inc.

ACCEPTANCE No.: 00-1003.03

APPROVED : JAN 1 1 2001

EXPIRES : April 14, 2003

NOTICE OF ACCEPTANCE: SPECIFIC CONDITIONS

1. SCOPE

- 1.1 This revises the Notice of Acceptance No. 99-1122.01, which was issued on April 14, 2003. It approves a residential insulated steel door, as described in Section 2 of this Notice of Acceptance designed to comply with the South Florida Building Code (SFBC), 1994 Edition for Miami-Dade County, for the locations where the pressure requirements, as determined by SFBC Chapter 23, not exceed the Design Pressure Rating values indicated in the approved drawings.

2. PRODUCT DESCRIPTION

- 2.1 The Series "DoorCraft® Steel" – Outswing Opaque Wood Edge Residential Insulated Steel Door w/Sidelites - Impact Resistant Door only and its components shall be constructed in strict compliance with the following documents: Drawing No DC-2005, titled "O/S Opaque Steel Door Double & Single Units w & w/o Sidelites" Sheets 1 through 6 of 6 dated 09/25/00, bearing the Miami-Dade County Product Control approval stamp with the Notice of Acceptance number and approval date by the Miami-Dade County Product Control Division. These documents shall hereinafter be referred to as the approved drawings.

3. LIMITATIONS

- 3.1 This approval applies to single unit applications of pair of doors and single door, with sidelites, as shown in approved drawings. Single door units shall include all components described in the active leaf of this approval.

4. INSTALLATION

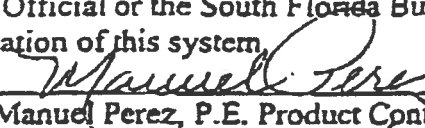
- 4.1 The residential insulated steel door and its components shall be installed in strict compliance with the approved drawings.
- 4.2 Hurricane protection system (shutters): the installation of doors only will not require a hurricane protection system. Sidelites will require a hurricane protection system

5. LABELING

- 5.1 Each unit shall bear a permanent label with the manufacturer's name or logo, city, state and following statement: "Miami-Dade County Product Control Approved".

6. BUILDING PERMIT REQUIREMENTS

- 6.1 Application for building permit shall be accompanied by copies of the following:
- 6.1.1 This Notice of Acceptance
- 6.1.2 Duplicate copies of the approved drawings, as identified in Section 2 of this Notice of Acceptance; clearly marked to show the components selected for the proposed installation.
- 6.1.3 Any other documents required by the Building Official or the South Florida Building Code (SFBC) in order to properly evaluate the installation of this system.


Manuel Perez, P.E. Product Control Examiner
Product Control Division



MIAMI-DADE COUNTY, FLORIDA
METRO-DADE FLAGLER BUILDING

BUILDING CODE COMPLIANCE OFFICE
METRO-DADE FLAGLER BUILDING
140 WEST FLAGLER STREET, SUITE 1
MIAMI, FLORIDA 33130-1
(305) 373-2901 FAX (305) 373-2

PRODUCT CONTROL NOTICE OF ACCEPTANCE

Jeld-Wen, Inc
3250 Lakeport Drive
Klamath Falls, OR 97601

CONTRACTOR LICENSING SECTION
(305) 373-2527 FAX (305) 373-2

CONTRACTOR ENFORCEMENT DIVISION
(305) 373-2966 FAX (305) 373-2

PRODUCT CONTROL DIVISION
(305) 373-2902 FAX (305) 373-6

Your application for Notice of Acceptance (NOA) of:
Series "DoorCraft® Steel" - Outswing Opaque W/E Residential Insulated Steel Doors w/ Sidelites - Impact

under Chapter 8 of the Code of Miami-Dade County governing the use of Alternate Materials and Types of Construction, and completely described herein, has been recommended for acceptance by the Miami-Dade County Building Code Compliance Office (BCCO) under the conditions specified herein.

This NOA shall not be valid after the expiration date stated below. BCCO reserves the right to secure the product or material at any time from a jobsite or manufacturer's plant for quality control testing. If the product or material fails to perform in the approved manner, BCCO may revoke, modify, or suspend the use of such product or material immediately. BCCO reserves the right to revoke this approval, if it is determined by BCCO that this product or material fails to meet the requirements of the South Florida Building Code.

The expense of such testing will be incurred by the manufacturer.

ACCEPTANCE NO.: 00-1003.03
EXPIRES: 04/14/2003


Raul Rodriguez
Chief Product Control Division

THIS IS THE COVERSHEET. SEE ADDITIONAL PAGES FOR SPECIFIC AND GENERAL CONDITIONS
BUILDING CODE & PRODUCT REVIEW COMMITTEE

This application for Product Approval has been reviewed by the BCCO and approved by the Building Code and Product Review Committee to be used in Miami-Dade County, Florida under the conditions set forth above.



Francisco J. Quintana, R.A.
Director
Miami-Dade County
Building Code Compliance Office

APPROVED: 01/11/2001

DOCUMENT CONTROL ADDENDUM #01-40351.00

Current Issue Date: 02/14/02

Report No.: 01-40351.01

Requested by: William Emley, MI Home Products, Inc.

Purpose: AAMA/NWWDA 101/LS-2-97 testing of Series/Model 744 aluminum single hung window with flange.

Issued Date: 12/28/01

Comments: Florida P.E. seal required on report.

Certification copy to John Smith at Associated Laboratories, Inc.

Report No.: 01-40351.02

Requested by: William Emley, MI Home Products, Inc.

Purpose: Change of glass type.

Issued Date: 12/28/01

Comments: Florida P.E. seal required on report.

Certification copy to John Smith at Associated Laboratories.

Report No.: 01-40351.03

Requested by: William Emley, MI Home Products, Inc.

Purpose: AAMA/NWWDA 101/LS-2-97 testing of Series/Model 740/744 aluminum single hung window with nail fin.

Issued Date: 02/14/02

Comments: Florida P.E. seal required on report.

Certification copy to John Smith at Associated Laboratories, Inc.

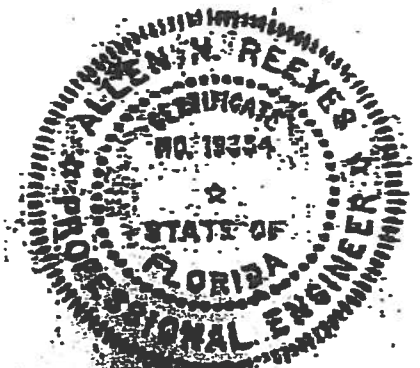
Report No.: 01-40351.04

Requested by: William Emley, MI Home Products, Inc.

Purpose: Revised Report No. 01-40351.01

Issued Date: 02/14/02

Comments: Changed Series/Model from 744 to 740/744 and unit size from 52 x 71 to 53 x 73. Florida P.E. seal required on report. Certification copy to John Smith at Associated Laboratories, Inc.



Allen H. Reeves



Architectural Testing

AAMA/NWWDA 101/LS.2-97 TEST REPORT

Rendered to:

MI HOME PRODUCTS, INC.
P.O. Box 370
Gatz, Pennsylvania 17030-0370

Report No: 01-40351.03
Test Dates: 10/22/01
And: 10/23/01
Report Date: 02/15/02
Expiration Date: 10/23/05

Project Summary: Architectural Testing, Inc. (ATI) was contracted by MI Home Products, Inc. to witness performance testing on a Series/Model 740/744, aluminum single hung window at MI Home Products, Inc.'s test facility in Elizabethtown, Pennsylvania. The sample tested successfully met the performance requirements for a H-R45 52 x 72 rating.

Test Specification: The test specimen was evaluated in accordance with AAMA/NWWDA 101/LS.2-97, *Voluntary Specifications for Aluminum, Vinyl (PVC) and Wood Windows and Glass Doors*.

Test Specimen Description:

Series/Model: 740/744

Type: Aluminum Single Hung Window With Nail Fin

Overall Size: 4' 4-1/8" wide by 5' 11-5/8" high

Active Sash Size: 4' 2-3/4" wide by 2' 11-5/8" high

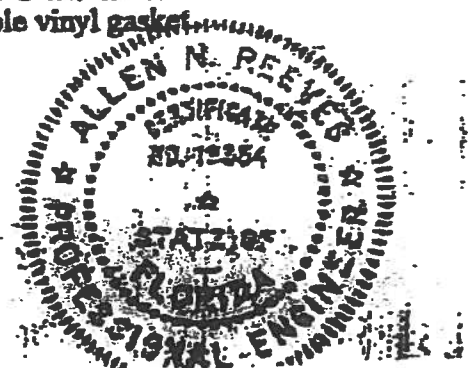
Fixed Daylight Opening Size: 4' 1-1/8" wide by 2' 9" high

Screen Size: 4' 1-7/8" wide by 2' 11-5/16" high

Finish: All aluminum was polished.

Glazing Details: The active sash and fixed lite were glazed with one sheet of 1/8" thick clear tempered glass. Each sash was channel glazed using a flexible vinyl gasket.

139 Perry Court
York, PA 17404-1001
phone 717-761-1700
fax 717-761-1701



New

R-45 Rating

**AAMA/NWWDA 101/LS-2-97
TEST REPORT SUMMARY**

Rendered to:

MI HOME PRODUCTS, INC.

SERIES/MODEL: 740/744

TYPE: Aluminum Single Hung Window with Nail Fin

A-C

Title of Test	Results
Rating	H R45 52 x 72
Overall Design Pressure	45 psf.
Operating Force	24 lb max.
Air Infiltration	0.10 cfm/ft ²
Water Resistance	6.75 psf
Structural Test Pressure	+67.5 psf -70.8 psf
Deglazing	Passed
Forced Entry Resistance	Grade 10

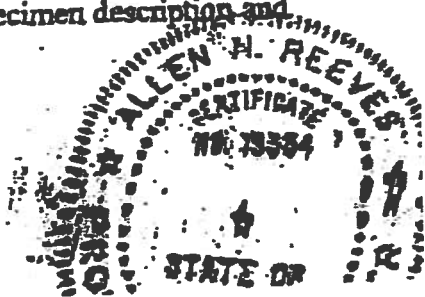
Reference should be made to Report No. 01-40351.03 for complete test specimen description and data.

For ARCHITECTURAL TESTING, INC.


Mark A. Hess, Technician

MAH:baw

Allen H. P.



DoorCraft® Steel

CUTTING OPACQUE DOORS W/ 2 SIDELITES
WOOD EDGE INSULATED STEEL DOOR WITH WOOD FRAMES

GENERAL NOTES

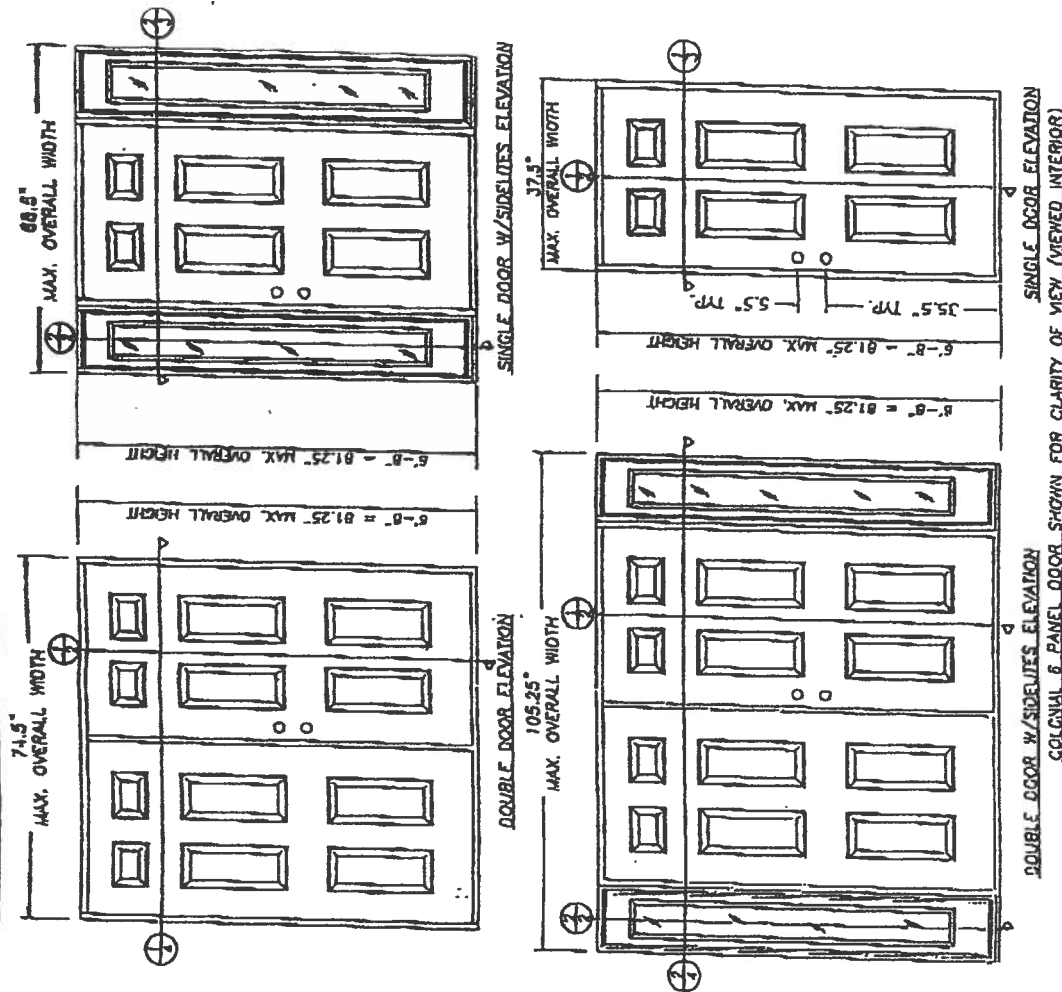
1. THIS PRODUCT IS DESIGNED TO MEET THE SOUTH FLORIDA BUILDING CODE 1994 EDITION FOR MIAMI-DADE COUNTY.
2. WOOD BUCKS BY OTHERS MUST BE ANCHORED PROPERLY TO TRANSFER LOADS TO THE STRUCTURE.
3. PRODUCT ANCHORS SHALL BE AS LISTED AND SPACED AS SHOWN ON DETAILS. ANCHOR EMBEDMENT TO BASE MATERIAL SHALL BE BEYOND WALL DRESSING OR STUCCO.
4. IMPACT RESISTANT SHUTTERS REQUIRED FOR SIDELITES.
5. DESIGNED PRESSURE RATING SHALL BE AS FOLLOWS:
-SEE DESIGN PRESSURE RATING TABLE SHEET ONE.
6. SIDELITES ARE AN OPTION AND CAN BE IN A SINGLE OR DOUBLE CONFIGURATION.
7. THIS SYSTEM DOES MEET THE WATER REQUIREMENTS IN MIAMI-DADE COUNTY.

RESIDENTIAL INSULATED STEEL DOOR (Common to all frame conditions)

Door Leaf Construction:
Essa sheets: 24 ga. (0.020") minimum thickness.
Galvanized steel A-325 commercial quality - AKQQ
per ASTM 620 with yield strength $F_y(\min.) = 24,600$ psi.
Core design: Expanded polystyrene with 1.0 to 1.25 lbs density.
Construction: Steel face sheets glued to expanded polystyrene (EPS) with wood rails and reinforced reinforcement.
Frame Construction: The head, jamb and side jambs are mortised, buttled and joined using three 7/8" x 2 wire staples.

TABLE OF CONTENTS

SHEET #	DESCRIPTION
1	COMMON (GENERAL NOTES, TYPICAL ELEVATION)
2	VERTICAL CROSS SECTIONS & BILL OF MATERIALS
3	HORIZONTAL CROSS SECTIONS (SINGLE W/NO SIDELITES)
4	HORIZONTAL CROSS SECTIONS (DOUBLE W/NO SIDELITES)
5	ANCHORING LOCATIONS & GLAZING DETAILS
6	ANCHORING LOCATIONS & DOOR MODELS



DOUBLE DOOR W/SIDELITES ELEVATION
COLUMN 8 PANEL DOOR SHOWN FOR CLARITY OF VIEW (VIEWED INTERIOR)

SINGLE DOOR ELEVATION
COLUMN 8 PANEL DOOR SHOWN FOR CLARITY OF VIEW (VIEWED INTERIOR)

DESIGN PRESSURE RATING	
WHERE WATER INFILTRATION REQUIREMENT IS NEEDED	
POSITIVE	+ 53.0 PSF
NEGATIVE	- 57.0 PSF

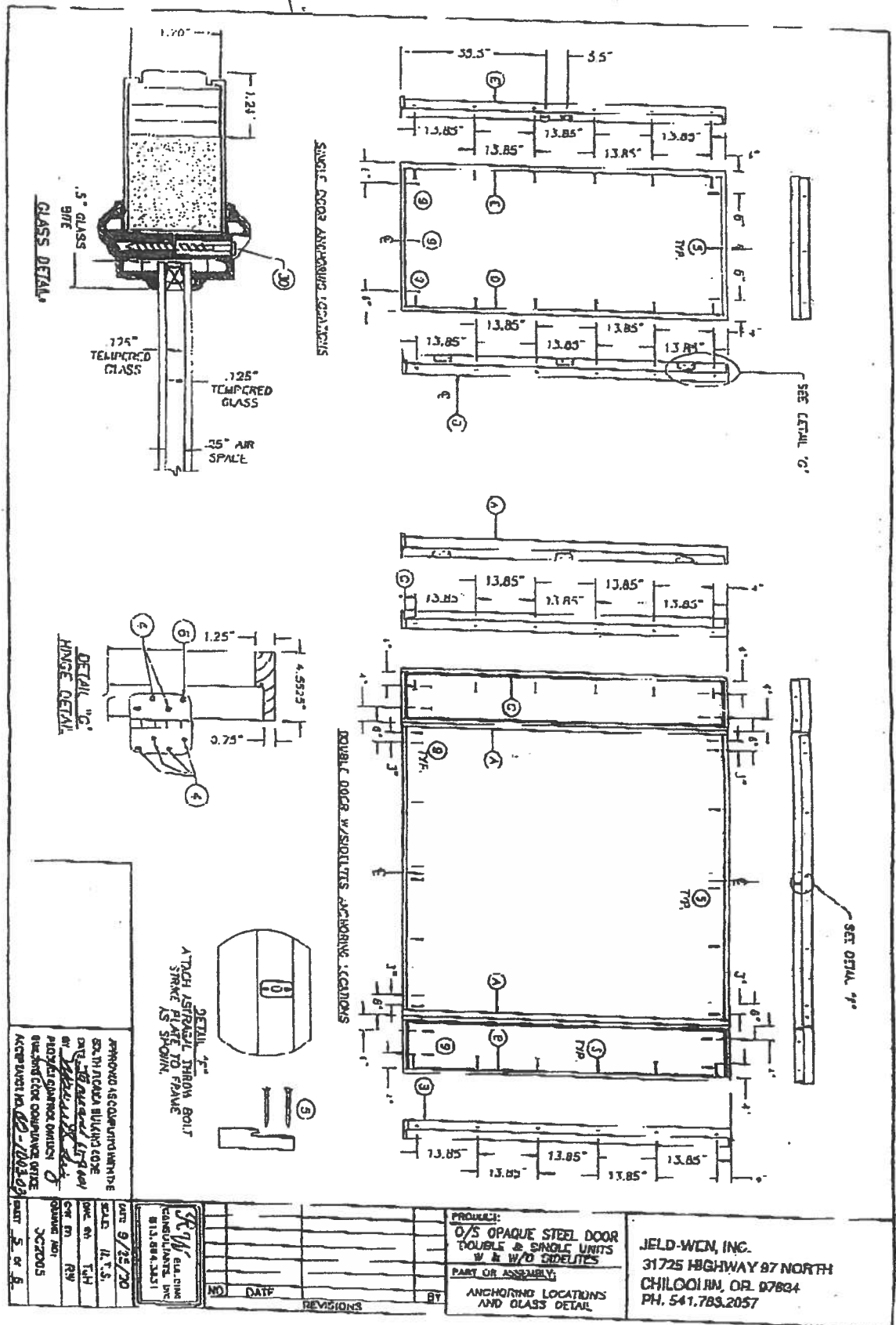
APPROVED AS COMPLYING WITH THE
SOUTH FLORIDA BUILDING CODE
DATE: January 27, 2009
BY: [Signature]
PROJECT CONTROL DIVISION
BUILDING CODE COMPLIANCE OFFICE
ACCEPTANCE NO. 00-1000.03

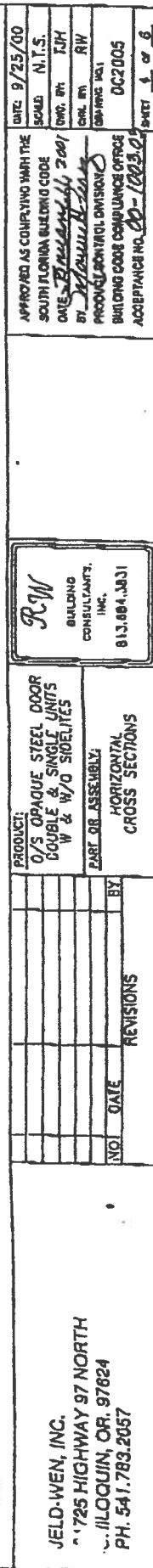
BUILDING
CONSULTANTS, INC.
813.684.3811

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PRODUCT:
O/S OPACQUE STEEL DOOR
W/ 2 SIDELITES
PART OR ASSEMBLY:
ELEVATIONS AND
GENERAL NOTES

JELD-WEN, INC.
3125 HIGHWAY 97 NORTH
CHILQUIN, OR 97624
PH 541.783.2057





R
W
B
C

R W Building Consultants, Inc.

Consulting and Engineering Services for the Building Industry

P.O. Box 230 Valrico, FL 33594 Phone 813.684.3831 Facsimile 813.684.3831

ENGINEER'S NOTICE OF EVALUATION # GSI-162F

JELD-WEN, INC.
3250 Lakeport Blvd.
Klamath Falls, Oregon 97601
Phone 541.783.2057 Facsimile 541.783.3592

DESCRIPTION OF UNIT

Model Designation: DoorCraft® Gladiator® Steel Door (Glazed or Opaque) with or without Side-lites

Maximum Overall Nominal Size: up to 5'4" x 6'8" **Usable In-swing Configurations:** X, OXO, XO & OX

General Description: The head and jambs are wood measuring 4.5" x 1.25" with an extruded aluminum saddle threshold. The door panels and sidelite panels are 1.75" thick and consist of two 25 gauge (min 0.018") steel skins glued to wood stiles and rails with an expanded polystyrene core. The glazed models are routed to receive 1/2" insulated tempered lip lite inserts manufactured by ODL.

FBC Section 1707 Materials and Assembly Tests:
(1707.4.3 Exterior Door Assemblies, 1707.4.5 Mullions Door Assemblies)

Test	Description	Test Location	Date	Report No.	Certifying Engineer
ASTM E330	Uniform Static Air Pressure	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
AAMA 1302.5	Forced Entry	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
ASTM E331	** Water Penetration	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891
ASTM E283	Air Infiltration	CTL - Orlando, Florida QTI - Everett, Washington	October 6, 1999 August 13, 1998	CTLA456W 898-280-MH	Ramesh Patel P.E. # 20224 J. Clark Johnson P.E. # 15891

** Sidelites are considered a window and meet 15% of Positive Design Pressure water infiltration criteria under ASTM E331.

Design Pressure Ratings:

Configuration	Maximum Size	Design Pressure Ratings
Opaque Single	Up to 5'4" x 6'8"	±30 psf - 15 psf
Opaque Single with Sidelite	Up to 5'4" x 6'8"	±30 psf - 15 psf
Glazed Single	Up to 5'4" x 6'8"	±30 psf - 15 psf
Glazed Single with Sidelite	Up to 5'4" x 6'8"	±30 psf - 15 psf

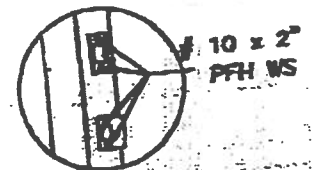
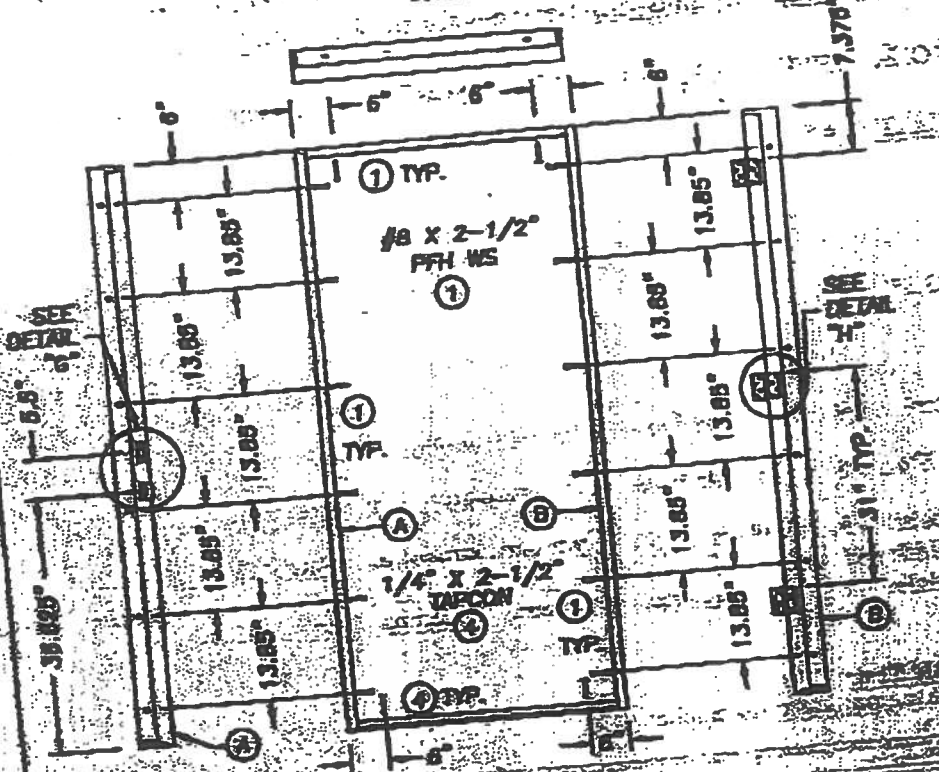
Installation and Anchoring: See reverse side this page

Use

1. Evaluated for use in locations adhering to the Florida Building Code and where pressure requirements as determined by ASCE 7 Minimum Design Loads for Buildings and Other Structures does not exceed the design pressure ratings listed above.
2. For Masonry installations where the sub-buck is less than 1-1/2 inches (FBC section 1707.4.4 Anchorage Methods and sub-sections 1707.4.4.1 and 1707.4.4.2) same diameter Tapcon type concrete anchors must be substituted and the length must be such that a minimum 1-1/4" engagement of the Tapcon into the masonry wall is obtained.

Certification: Florida Professional Engineer - Seal No. 54158 March 12, 2002 Wendell Haney

DoorCraft® Gladiator wood Maximum Size Up To 54 x 68

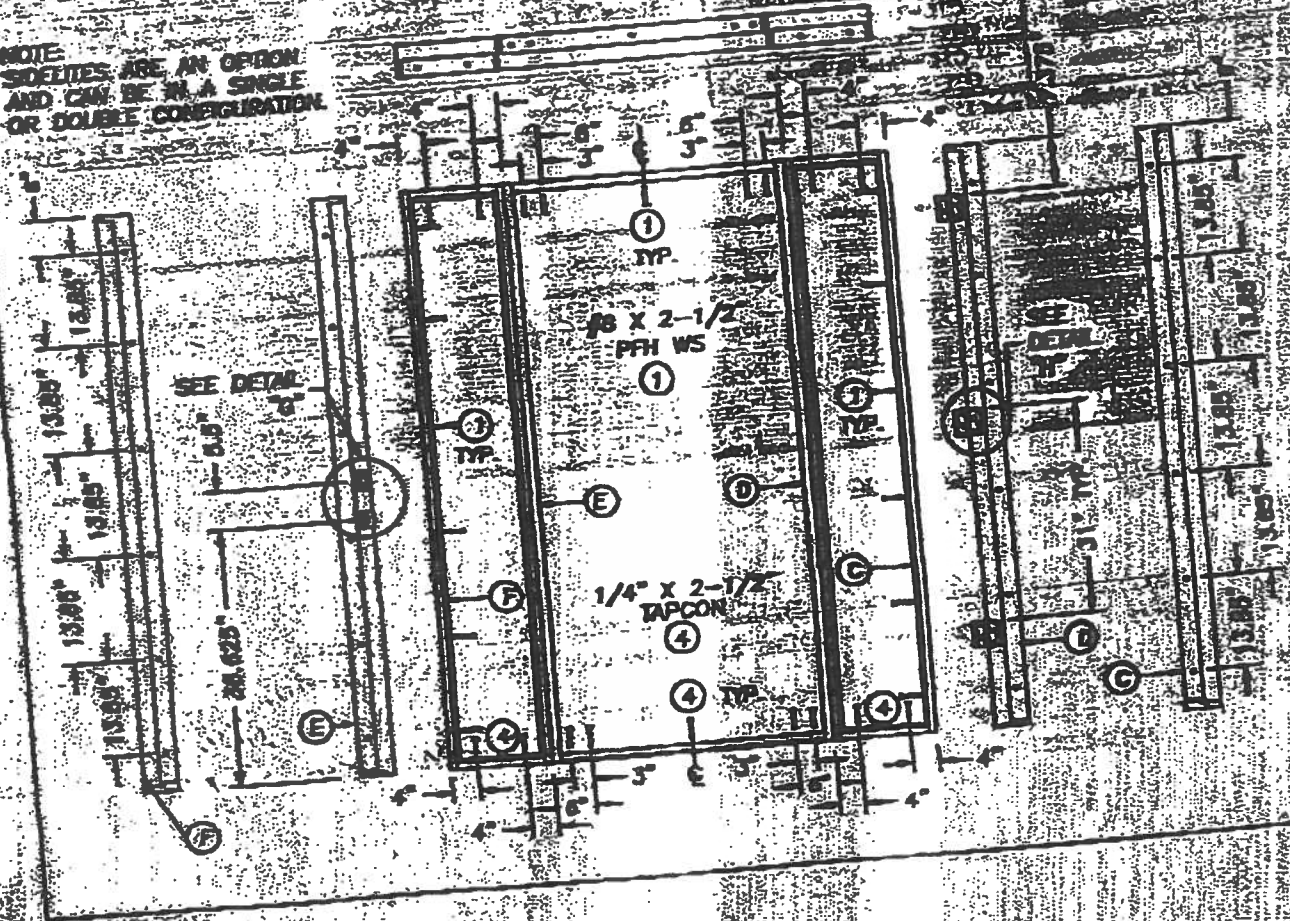


DETAIL 2
HINGE AND DEADBOLT
PLATES TO FRAME



NOTE NO. 1:
WHEN ATTACHING THE
HINGE JAMB TO THE
SIDE RAIL, USE A
#10 x 1 1/2\" PPH WS.
WHEN ANCHORING A 30 x 80
DOOR TO SUB RAIL, USE A
#10 x 2\" PPH WS, AND A
#8 x 1\" PPH WS IN THE
REMAINING OF HOLES.

NOTE:
SIDE RAILS ARE AN OPTION
AND CAN BE IN A SINGLE
OR DOUBLE CONFIGURATION.



WINDOW & DOOR SCHEDULE

HOLLY BROOK
LOT 1 & 5

1. ENTRANCE DOOR STEEL, HALF-LITE, COLONIAL ES2002-36-LH
2. GARAGE DOOR 7' x 9', W/SQUARE TOPLITES...CLOPAY, MODEL # T5
3. WINDOWS INSULATED, COLONIAL, WHITE ...BETTER BUILD SERIES 740 /
 - A. FIRST FLOOR : 2 x 30/40
3 x 30/30
 - B. SECOND FLOOR : 3 x 30/36
3 x 30/36 CASEMENT/ EMERGENCY ESCAPE
 - 1 x 30/40, TEMP, OBSCURE... MASTER-BATH
 - 1 x 20/26, TEMP, OBSCURE... BATH ROOM
4. PATIO DOOR FRENCH, STEEL, PBDDIO RH INSWING 50/68

STAIR DATA

1. STAIR

11 x 7.45" = 6'-10" STAIR RISE
10" TREADS
....7.45" x2 +10" =24.9"

2. STAIR

4 x 7.25" = 2'-5" STAIR RISE,
10" TREADS
....7.25" x2 +10" = 24.5"



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