

DATE 11/21/2005

Columbia County Building Permit

PERMIT 000023880

This Permit Expires One Year From the Date of Issue

APPLICANT CHARESE NORTON

PHONE 386-752-3331

ADDRESS 3367

S US HWY 441

LAKE CITY

FL

32025

OWNER WILLIAM & KATHLEEN DURRANCE

PHONE 752-3855

LAKE CITY

FL

32055

ADDRESS 8072

N US HWY 441

LAKE CITY

FL

32055

CONTRACTOR JAMES NORTON

PHONE 752-3331

LOCATION OF PROPERTY 441 NORTH, APPROX 4 MILES PAST I-10 ON LEFT

TYPE DEVELOPMENT SFD, UTILITY

ESTIMATED COST OF CONSTRUCTION 77500.00

HEATED FLOOR AREA 1550.00

TOTAL AREA 2655.00

HEIGHT 12.90

STORIES 1

FOUNDATION CONCRETE

WALLS FRAMED

ROOF PITCH 5/12

FLOOR SLAB

MAX. HEIGHT 35

LAND USE & ZONING A-3

STREET-FRONT 30.00

REAR 25.00

SIDE 25.00

Minimum Set Back Requirements:

FLOOD ZONE 1

NO. EX.D.U. 1

PARCEL ID 20-2S-17-04741-000

SUBDIVISION

LOT

BLOCK

PHASE

UNIT

TOTAL ACRES 1.00

Culvert Permit No.

Culvert Waiver

Contractor's License Number

rb0031780

Applicant/Owner/Contractor

EXISTING

05-1122-E

BK

LU & Zoning checked by

JH

Approved for Issuance

N

New Resident

Driveway Connection

Septic Tank Number

Comments: FLOOR 1 FOOT ABOVE THE ROAD

MOBILE HOME TO BE REMOVED BEFORE CO IS ISSUED, SECTION 2.3.1

Check # or Cash

20936

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power

Foundation

Monolithic

(Footer/Slab)

Under slab rough-in plumbing

Slab

Sheathing/Nailing

date/app. by

Framing

date/app. by

Rough-in plumbing above slab and below wood floor

Electrical rough-in

date/app. by

Heat & Air Duct

date/app. by

Permanent power

date/app. by

C.O. Final

date/app. by

M/H tie downs, blocking, electricity and plumbing

date/app. by

Culvert

date/app. by

Reconnection

date/app. by

Pump pole

date/app. by

Utility Pole

date/app. by

M/H Pole

date/app. by

Travel Trailer

date/app. by

Re-roof

date/app. by

INSPECTORS OFFICE

J. W. L.

CLERKS OFFICE

CH

FLOOD DEVELOPMENT FEE \$

FLOOD ZONE FEE \$ 25.00

CULVERT FEE \$

TOTAL FEE

491.56

MISC. FEES \$

.00

ZONING CERT. FEE \$ 50.00

FIRE FEE \$.00

WASTE FEE \$

13.28

BUILDING PERMIT FEE \$

390.00

CERTIFICATION FEE \$

13.28

SURCHARGE FEE \$

13.28

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVENIENCE. PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.



Columbia County Building Permit Application

For Office Use Only Application # 0511-18 Date Received 11/3/05 By JL Permit # 23880

Application Approved by - Zoning Official BLK Date 11-15-05 Plans Examiner DKTH Date 11-15-05

Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3 Comments will need state road cutvert permit M/H to be removed before CO is issued

Applicants Name CHARESE NORTON/NORTON HOME IMPROVEMENT Phone 386-752-3331 Address 3307 S US HWY 441, STE 101, LAKE CITY, FL 32025

Owners Name WILLIAM D & KATHLEEN DURRANCE Phone 386-752-3855 Address 8072 N US HWY 441, LAKE CITY, FL 32055

Contractors Name JAMES H. NORTON Phone 386-752-3331 Address 3307 S US HWY 441, STE 101, LAKE CITY, FL 32025

Fee Simple Owner Name & Address N/A

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address RF Bishop, 484 SW Commerce Dr. Ste 139 Lake City, FL 32025

Mortgage Lenders Name & Address Atlantic Coast, 403 W Duval St, Lake City, FL 32055

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy

Property ID Number 20-25-17-04741-000

Subdivision Name N/A Lot Block Unit Phase

Driving Directions 441 North, approx. 4 miles past I-10 on left

Type of Construction SFD Number of Existing Dwellings on Property 1

Total Acreage 1.0 Lot Size Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Driv

Actual Distance of Structure from Property Lines - Front 77.1' Side 27.3' Side 50' Rear 130'

Total Building Height 12.9' Number of Stories 1 Heated Floor Area 1550 Roof Pitch 5/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Agent (Including Contractor) James H. Norton

STATE OF FLORIDA COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me this 3 day of Nov. 2005.

Personally known or Produced Identification

Notary Signature Patricia T. Foster My Commission DD129966 Expires September 05, 2006

Contractor Signature James H. Norton Contractors License Number RB0031780 Competency Card Number 5553 NOTARY STAMP/SEAL

1. 1000 1000 1000

2. 1000 1000 1000

3. 1000 1000 1000

FAX
MEMORANDUM

MEMORANDUM

FLORIDA DEPARTMENT OF TRANSPORTATION

11/10/2005 13:01 3869617183

LAKE CITY MAINT.

PAGE 02/02

To: Mr. John Kerce, Dept. Director Columbia Co. Building & Zoning Dept. Fax No: 386-758-2160	From: Dale L. Cray, FDOT Permits Insp. Date: 11-10-05 Fax No. 386-961-7183 Attention: Mr. John Kerce
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() Sign and return. () For your files. () Please call me. (XX) FYI () For Review

REF: Notice of Driveway Access Review / Inspected On:11-10-05

PROJECT: Existing Residential Access Driveway

PARCEL ID No: / PERMIT N/A/ SEC#29070

MILE POST N/A+- Engineer: N/A

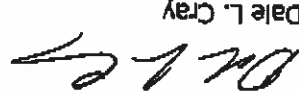
Mr. Kerce:

Please accept this as our legal notice of passing inspection of MR. William D. Durranee (Existing) residential driveway connection to SR-47 / US 441 (N).

Upon inspecting the existing access driveway constructed the existing connection meets FDOT ACCESS Standard Requirements.

If further information is required on this project please do not hesitate to contact this office for additional access permitting information details. My office number is 961-7193 or 961-7146.

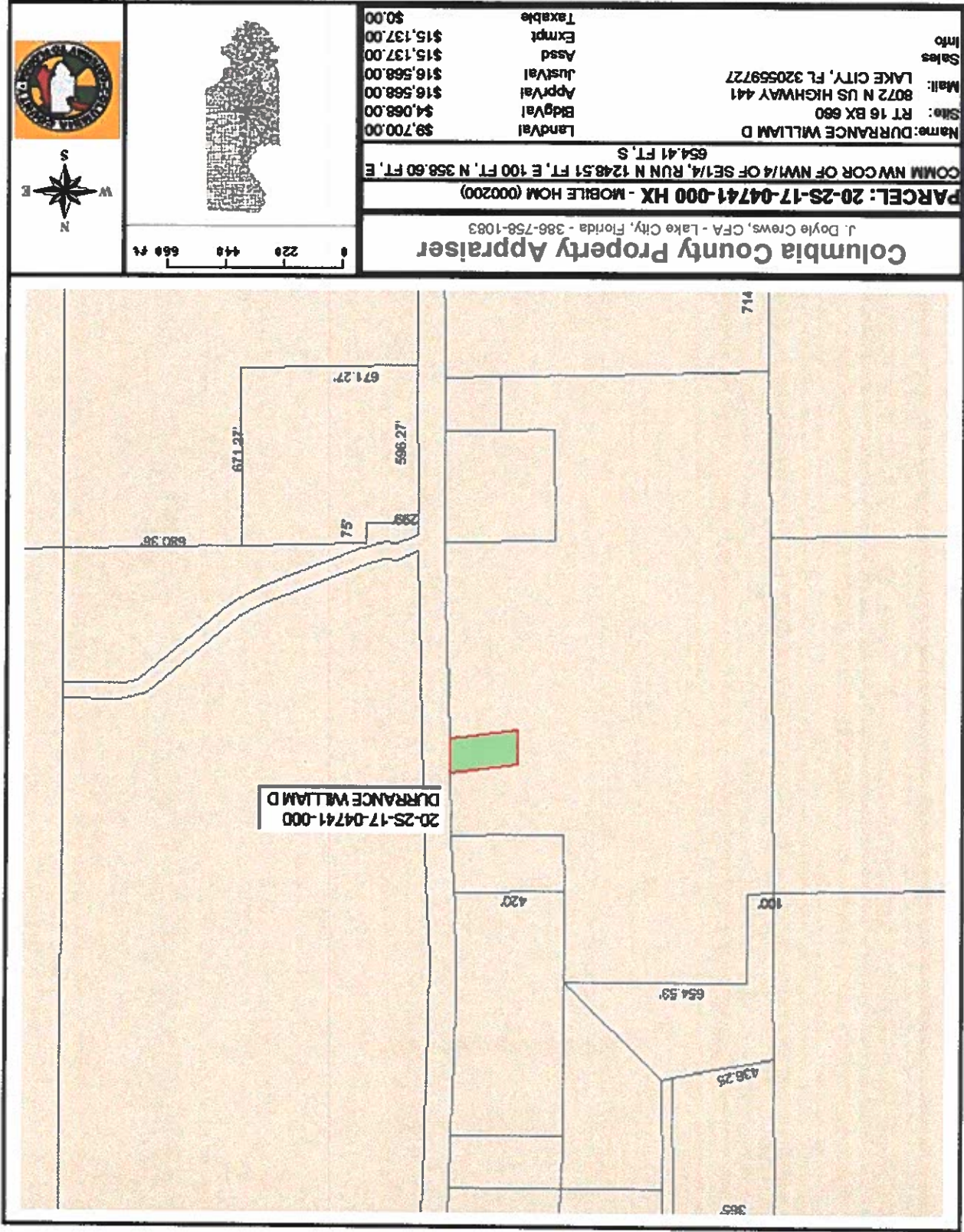
Sincerely,



Dale L. Cray

Access Permits Inspector

This information, GIS Map Updated: 8/3/2005, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



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Columbia County Property Appraiser

2006 Proposed Values

DB Last Updated: 10/21/2005

Parcel: 20-2S-17-04741-000 HX

Tax Record Property Card Interactive GIS Map Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	DURRANCE WILLIAM D	
Site Address	US HIGHWAY 441	
Mailing Address	8072 N US HIGHWAY 441 LAKE CITY, FL 320559727	
Brief Legal	COMM NW COR OF NW1/4 OF SE1/4, RUN N 1248.51 FT, E 100 FT, N 358.60 FT, E 654.41 FT, S	

Use Desc. (code)	MOBILE HOM (000200)
Neighborhood	20217.00
Tax District	3
UD Codes	MKTA03
Market Area	03
Total Land Area	1.000 ACRES

Property & Assessment Values

Mkt Land Value	cnt: (2)	\$12,010.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$4,649.00
XFOB Value	cnt: (2)	\$2,800.00
Total Appraised Value		\$19,459.00

Just Value	\$19,459.00
Class Value	\$0.00
Assessed Value	\$15,516.00
Exempt Value (code: HX)	\$15,516.00
Total Taxable Value	\$0.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vimp	Sale Qual	Sale RCode	Sale Price
NONE						

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
2	MOBILE HME (000800)	1965	Below Avg. (03)	992	992	\$4,649.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0285	SALVAGE	1993	\$2,500.00	1.000	0 x 0 x 0	(.00)
0040	BARN,POLE	1993	\$300.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
009900	AC NON-AG (MKT)	1.000 AC	1.00/1.00/1.00/1.00	\$10,010.00	\$10,010.00
009945	WELL/SEPT (MKT)	1.000 UT - (.000AC)	1.00/1.00/1.00/1.00	\$2,000.00	\$2,000.00

Columbia County Property Appraiser

DB Last Updated: 10/21/2005

executive line

This Indenture,

(The terms "grantor" and "grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

Made this 8th day of February

HELEN E. DURRANCE and WILLIAM M. DURRANCE

of the County of Columbia, State of Florida

WILLIAM D. DURRANCE

whose post-office address is

Route 1, Box 145, Lake City, Florida 32055

of the County of Columbia, State of Florida

Witnesseth: That said grantor, for and in consideration of the sum of TEN AND NO/100----Dollars, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Commence at the Northwest corner of NW 1/4 of SE 1/4 of Section 20, Township 2 South, Range 17 East; run thence N 1°09'45" E along the West line of the E 1/2 of said section 20, 1248.51 feet run thence N 89°59'15" E, 100.00 feet; run thence N 1°09'45" E, 358.60 feet; run thence N 89°59'15" E, 654.41 feet; run thence S 2°15'15" W, 254.38 feet; run thence S 0°0'15" E, 209.93 feet; run thence N 89°13'55" E, 419.72 feet; to West right-of-way line of U.S. 441; run thence down said right-of-way line S 0°25'32" E, 246.11 feet to the POINT OF BEGINNING; run thence S 80°52'28" W, 285.00 feet; run thence S 0°25'32" E, 135 feet; run thence N 80°52'28" E, 285.00 feet to the West right-of-way line of U.S. 441; thence N 0°25'32" W along said West right-of-way line of U.S. 441, 441, 135 feet to the POINT OF BEGINNING.

DOCUMENTARY STAMP, .55

INTANGIBLE TAX

MARY M. PETRY, CLERK OF COURTS, COLUMBIA COUNTY

BY M. S. Keagy, D.C.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

In witness whereof,

Signed, sealed and delivered in our presence:

[Signature]

HELEN E. DURRANCE
WILLIAM M. DURRANCE

(Seal)

(Seal)

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared

HELEN E. DURRANCE and WILLIAM M. DURRANCE

to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged before me the execution of same.

WITNESS my hand and official seal in the County and State last aforesaid this

[Signature]

8th day of February, 1988

Notary Public

My commission expires:

Notary Public, State of Florida
My Commission Expires May 3, 1991
Bonded thru Troy Fair Insurance Inc.

County Health Department

B

Plan Approved

Not Approved

Date _____

Tide

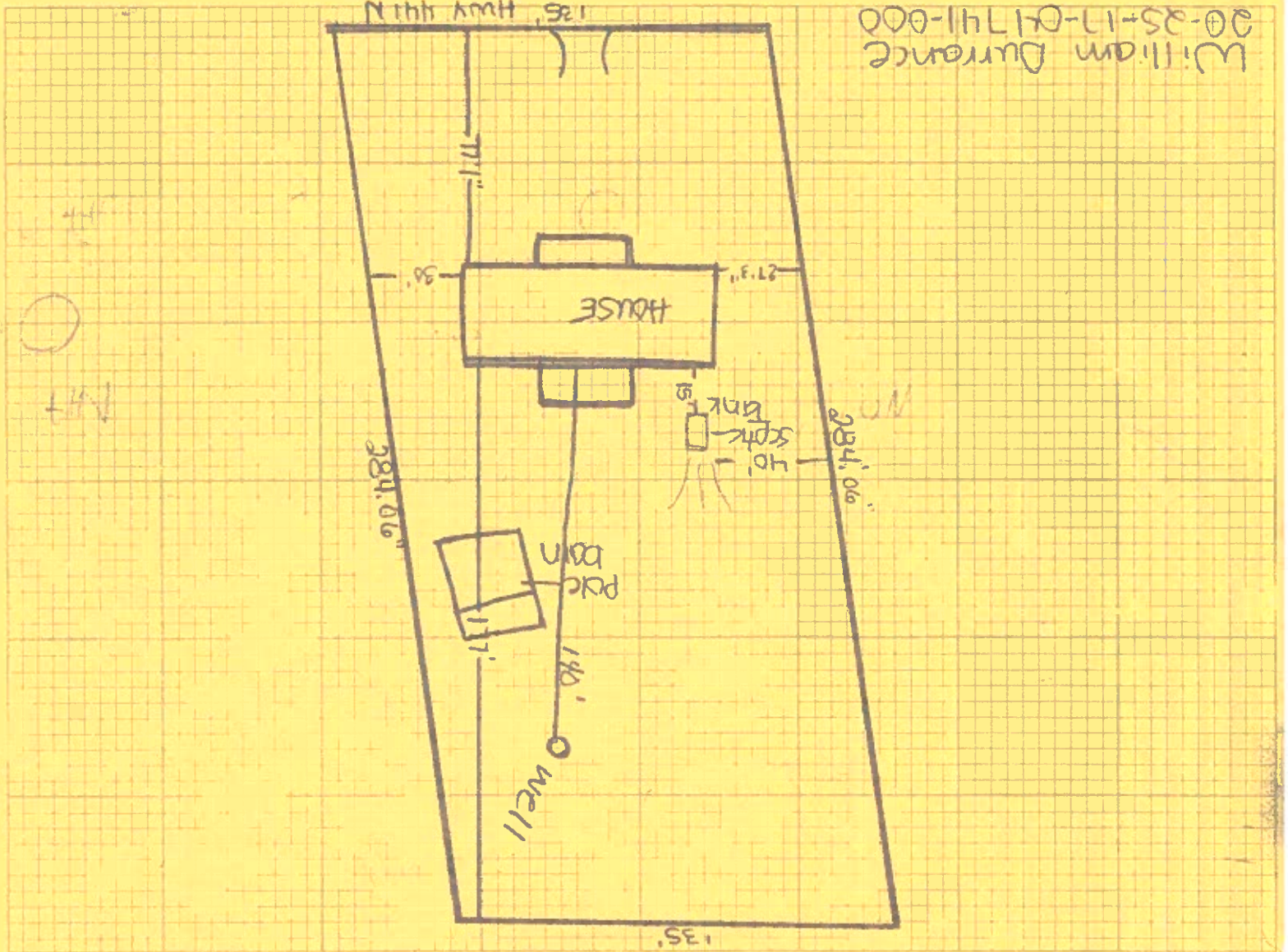
Signature

Site Plan submitted by:

10-31-05

50-1201

Notes



Scale: Each block represents 5 feet and 1 inch = 50 feet.

PART II - SITE PLAN

Permit Application Number

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

STATE OF FLORIDA
DEPARTMENT OF HEALTH



05-1122E
05-1122E
05-1122E

TABLE 6B-2 MINIMUM REQUIREMENTS FOR ALL PACKAGES		SECTION		REQUIREMENTS		CHECK	
COMPONENTS		606.1		To be caulked, gasketed, weather-stripped or otherwise sealed.		✓	
Exterior Joints & Cracks		606.1		Max. 3 cm/sq. ft. window area; .5 cm/sq. ft. door area.		✓	
Sole & Top Plates		606.1		Sole plates and penetrations through top plates of exterior walls must be sealed.		✓	
Recessed Lighting		606.1		Type IC rated with no penetrations (two alternatives allowed).		✓	
Multi-story Houses		606.1		Air barrier on perimeter of floor cavity between floors.		✓	
Exhaust Fans		606.1		Devices with integral exhaust ductwork.		✓	
Water Heaters		612.1		Comply with efficiency requirements in Table 6-12. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required for vertical pipe risers.		✓	
Swimming Pools & Spas		612.1		Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump, timer, gas spa & pool heaters must have minimum thermal efficiency of 78%.		N/A	
Hot Water Pipes		612.1		Insulation is required for hot water circulating systems (including heat recovery units).		✓	
Shower Heads		612.1		Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.		✓	
HVAC Duct Construction, Installation		610.1		All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated and installed in accordance with the criteria of Section 610.1. Ducts in attics must be insulated to a minimum of R-6.		✓	
HVAC Controls		607.1		Separate readily accessible manual or automatic thermostat for each system.		✓	

DESCRIPTION OF BUILDING COMPONENTS LISTED

Minimum efficiencies for gas and electric hot water systems apply to 40 gallon water heaters. Refer to Table 6-12 for minimum Code efficiencies for oil water heaters and other sizes.

Single package units minimum SEER=9.7, HSPF = 6.8.

Percent of Glass to Floor Area: This percentage is calculated by dividing the total of all glass areas by the total conditioned floor area.

Overhang: The overhang is the distance the roof or soffit projects out horizontally from the face of the glass. All glass areas shall be under an overhang of at least the prescribed length with the following exceptions:

1) glass on the gabled ends of a house and 2) the glass in the lower stories of a multi-story house.

Wall, Ceiling and Floor Insulation Values: The R-values indicated represent the minimum acceptable for the various components of a multi-story house.

Exterior components separate conditioned space from unconditioned and unenclosed space.

Floor: Slab-on-grade floors without edge insulation are acceptable. Raised wood floors shall have continuous stem walls with insulation placed on the stem wall or under the floor except Package C.

Ducts: "TESTED" shall mean the ducts have less than 5% leakage based on a certified test report by a State-approved tester.

Space Cooling System: Cooling systems shall have a Seasonal Energy Efficiency Ratio (SEER) for central units or Energy Efficiency Ratio (EER) for room units or TAC's equal to or greater than the prescribed value.

Electric Space Heating Option: Heat pump systems shall be rated with a Heating Seasonal Performance Factor (HSPF) equal to or greater than the prescribed HSPF. Heat pump systems may contain electric strip backups meeting the criteria of section 608.1.ABC.3.2.1.2. No electric resistance space heat is allowed for these packages.

Electric Resistance Hot Water Option: For packages designated "Not Allowed", an electric resistance hot water system may be installed only in conjunction with one of the "Other Hot Water System Options". See below.

Other Hot Water System Options: Any dedicated heat pump, heat recovery unit, or solar hot water system may be installed. Solar systems must have an EF of 1.5 or higher. Electric resistance systems having an EF of .86 or greater, or natural gas systems with EF .54 or greater may be used in conjunction with these systems.

MINIMUM REQUIREMENTS

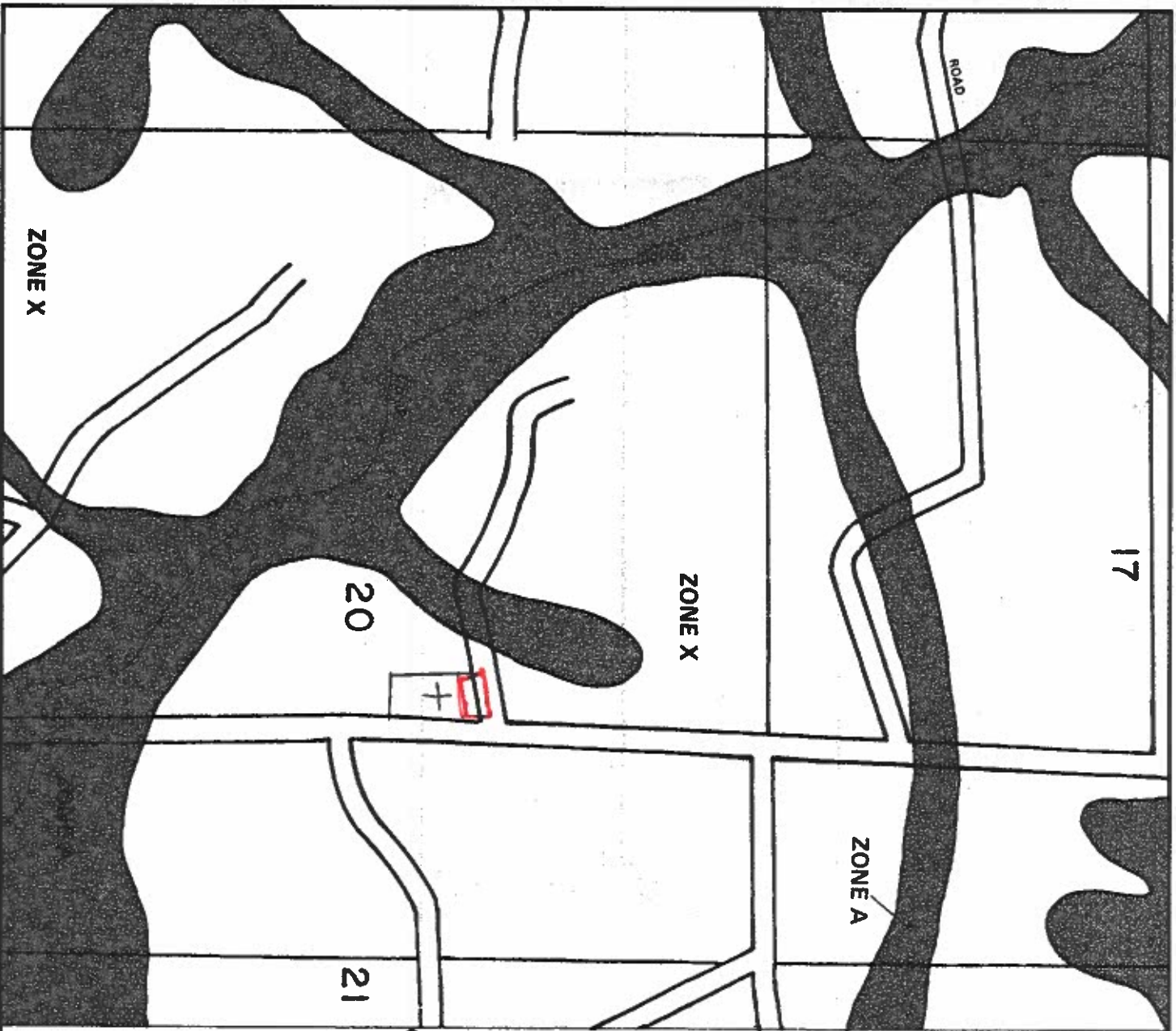
TABLE 6B-1

Single Package units minimum SEER 13-14, HSPF 7-8, AFUE 80-85

COMPONENTS		PACKAGES FOR NEW CONSTRUCTION					
GLASS	Max. % of glass to Floor Area	Type	Double Clear (DC)	Double Clear (DC)	Double Clear (DC)	Double Clear (DC)	
		Overhang	1'4"	2'	2'	2'	
WALLS	Masonry	EXTERIOR AND ADJACENT MASONRY WALLS R-5					
		COMMON MASONRY WALLS R-3 EACH SIDE.					
WALLS	Wood Frame	EXTERIOR, ADJACENT, AND COMMON WOOD FRAME WALLS R-11					
		(NO SINGLE ASSEMBLY CEILINGS ALLOWED)					
CEILINGS		R-30	R-30	R-30	R-30	R-30	
FLOORS		Sub-On-Grade	R-0				
		Raised Wood	R-19 (ONLY STEM WALL CONSTRUCTION ALLOWED EXCEPT PACKAGE C)				
		Raised Concrete	R-7				
DUCTS		R-6	R-6	R-6, TESTED	R-6	R-6, TESTED	
SPACE COOLING (SEER)		12.0	10.5	12.0	11.0	12.0	
HEAT	Elect (HSPF)	7.9	7.1	7.4	7.4	7.4	
	Gas/Oil (AFUE)	MINIMUM OF .73 (Direct heating) or .78 (Central)					
HOT WATER SYSTEM	Electric Resistance**	EF .88	NOT ALLOWED (SEE BELOW)	EF .91	NOT ALLOWED (SEE BELOW)	EF .91	
	Gas & Oil **	MINIMUM EF OF .54					
Other	Any of the following are allowed: dedicated heat pump, heat recovery unit or solar system.	NATURAL GAS ONLY (SEE BELOW)					

TO BE INSTALLED	2.7%	DT: ☐	FEET	2
EXT: R =		COM: R =		
ADJ: R =		EXT: R =		
COM: R =		ADJ: R =		
UNDER ATTIC: R = 30		COMMON: R =		
R =		R =		
R =		R =		
R =		R =		
AFUE =		COP = 7.1	SEER = 10.5	R = 12 COND. ☐
EF =		EF =		
EF =		EF =		
DHP: ☐	SOLAR: ☐	HRU: ☐	EF =	

Climate Zones 1 2 3



APPROXIMATE SCALE IN FEET



NATIONAL FLOOD INSURANCE PROGRAM

FIRM

FLOOD INSURANCE RATE MAP

COLUMBIA
COUNTY,
FLORIDA
(UNINCORPORATED AREAS)

PANEL 110 OF 290

PANEL LOCATION



COMMUNITY-PANEL NUMBER

120070 0110 B

EFFECTIVE DATE:

JANUARY 6, 1988



Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using F-MIT Version 1.0. This map does not reflect changes or amendments which may have been made subsequent to the date on the title block. Further information about National Flood Insurance Program flood hazard maps is available at www.fema.gov/nfip.



The map shows the coastline of the River and the Sea. The River is shown as a dashed line, and the Sea is shown as a solid line. The map is enclosed in a rectangular border.

The map shows the coastline of the River and the Sea. The River is shown as a dashed line, and the Sea is shown as a solid line. The map is enclosed in a rectangular border.

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From: The Columbia County Building Department
Plans Review
135 NE Hernando Av.
P. O Box 1529
Lake City Florida, 32056-1529

Reference to: Build permit application Number: 0511-18

Norton Home Improvement Owner William Durrance 8072 N US Highway 441

On the date of November 8, 2005 application 0511-18 and plans for construction of a single family dwelling were reviewed and the following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

Please include application number 0511-18 when making reference to this application.

1. Application 0511-18 which was filed with the building department on the date of

November 3, 2005 will be reviewed under the Florida Building Code 2004. The Wind

Load design by Bishop & Lane Inc was design under the Florida Building Code

2001. The wind Load design should reflect the code sections of the Florida Building

Code 2004 that relate to wind Load design code requirements.

2. Please contact Mr. Neil Miles with the Florida Department of Transportation to make

application for a driveway culvert permit to gain access to the property from US Highway

441 North.

3. Please submit a letter from your well contractor providing information for the potable water

well to include the following equipment, size of pump motor, size of pressure tank and cycle stop

valve if used.

[illegible]

02118

4. Please submit a recorded notice of commencement with this department prior to requesting any inspections on this dwelling

5. Show the shear wall segments both transverse and Longitudinal on the foundation plan.

6. Show a detail drawing of the interior bearing step down footing for the garage area of the foundation.

7. Show the method of attaching the 2 1/2" steel post to the foundation and the method of attachment of the beams/ header to the 2 1/2" steel post include uplift calculations.

8. Show the method of securing for uplift requirements, a typical header onto king stud and the jack studs within the shearwall opening.

9. Show the design beam to span the garage overhead door opening include the attachment method to the foundation and beam of the king and jack studs within the shearwall opening include the required uplift fastening straps to be used to secure the beam to the foundation for the calculated uplifts.

10. Show compliance with the FRC-2004 section R309: Garages and Carports: R309.1: Opening protection. Openings from a private garage directly into a room used for sleeping purposes shall not be permitted. Other openings between the garage and residence shall be equipped with solid wood doors not less than 1 3/8 inches (35 mm) in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches (35 mm) thick, or 20-minute fire-rated doors. R309.1.1 Duct penetration: Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of a minimum No. 26 gage (0.48 mm) sheet steel or other approved material and shall have no openings into the garage. R309.2 Separation required: The garage shall

and, therefore, the only way to avoid this is to use a different type of model, such as a neural network, which is able to learn from data and make predictions without the need for a predefined model.

Another way to avoid this is to use a different type of model, such as a neural network, which is able to learn from data and make predictions without the need for a predefined model. This is because neural networks are able to learn from data and make predictions without the need for a predefined model.

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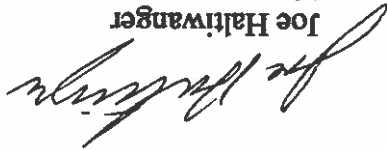
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be separated from the residence and its attic area by not less than 1/2-inch (12.7 mm) gypsum board applied to the garage side. Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Where the separation is a floor-ceiling assembly, the structure supporting the separation shall also be protected by not less than 1/2-inch (12.7 mm) gypsum board or equivalent.

11. Please submit a copy of a recorded deed to show proof that parcel number 20-2S-17-0474100 was established as one acre prior to June 13, 1991.

Thank you,



Joe Haliwanger
Plan Examiner
Columbia County Building Department

Средствами, полученными от реализации
имущества, подлежащего
налогообложению.

2017 год

Согласно п. 1 ст. 140 НК РФ, в том числе:

- а) 1) средства, полученные от реализации имущества, подлежащего налогообложению;
- б) 2) средства, полученные от реализации имущества, подлежащего налогообложению;

Средства, полученные от реализации имущества, подлежащего налогообложению;

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Средства, полученные от реализации имущества, подлежащего налогообложению;

COLUMBIA COUNTY BUILDING DEPARTMENT

**RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR
FLORIDA BUILDING CODE 2001
ONE (1) AND TWO (2) FAMILY DWELLINGS
ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE MARCH 1, 2002**

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 1606 OF THE FLORIDA BUILDING CODE 2001 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1606 SHALL BE USED.

- WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.
1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE 100 MPH
 2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE 110 MPH
 3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

- Plans Examiner**
- Applicant**
- ☐ All drawings must be clear, concise and drawn to scale ("Optional" details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.
 - ☐ Designers name and signature on document (FBC 104.2.1). If licensed architect or engineer, official seal shall be affixed.

Site Plan Including:

- a) Dimensions of lot
- b) Dimensions of building set backs
- c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
- d) Provide a full legal description of property.

Wind-load Engineering Summary, calculations and any details required

- a) Plans or specifications must state compliance with FBC Section 1606
- b) The following information must be shown as per section 1606.1.7 FBC
 - a. Basic wind speed (MPH)
 - b. Wind importance factor (I) and building category
 - c. Wind exposure - if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated
 - d. The applicable internal pressure coefficient
 - e. Components and Cladding. The design wind pressure in terms of psf (kN/m²), to be used for the design of exterior component and cladding materials not specifically designed by the registered design professional

Elevations Including:

- a) All sides
- b) Roof pitch
- c) Overhang dimensions and detail with attic ventilation
- d) Location, size and height above roof of chimneys
- e) Location and size of skylights
- f) Building height
- e) Number of stories

Set
Note
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