

DATE 07/13/2007

Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026020

APPLICANT DAVID ROYAL

PHONE 752-7578

ADDRESS 212 SE HICKORY DRIVE

LAKE CITY

FL 32024

OWNER KEITH BROWN

PHONE

ADDRESS 757 SW RIDGE STREET

LAKE CITY

FL 32024

CONTRACTOR ONEAL CONTRACTING

PHONE 752-7578

LOCATION OF PROPERTY

47 S, R RIDGE RD, .5 MILES ON RIGHT, LARGE COLONIAL SFD

TYPE DEVELOPMENT

ADDITION TO SFD

ESTIMATED COST OF CONSTRUCTION

50000.00

HEATED FLOOR AREA

TOTAL AREA

1008.00

HEIGHT

12.00

STORIES

1

FOUNDATION

CONCRETE

WALLS FRAMED

ROOF PITCH

4/12

FLOOR

SLAB

LAND USE & ZONING

AG-3

MAX. HEIGHT

35

Minimum Set Back Requirements:

STREET-FRONT

30.00

REAR

25.00

SIDE

25.00

NO. EX.D.U.

1

FLOOD ZONE

X

DEVELOPMENT PERMIT NO.

PARCEL ID

25-4S-16-03155-008

SUBDIVISION

LOT BLOCK

PHASE

UNIT

TOTAL ACRES

Culvert Permit No.

Culvert Waiver

Contractor's License Number

Applicant/Owner/Contractor

EXISTING

X07-0298

BK

JH

N

Driveway Connection

Septic Tank Number

LU & Zoning checked by

Approved for Issuance

New Resident

COMMENTS:

Check # or Cash

14382

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power

date/app. by

Foundation

Monolithic

(footer/Slab)

Under slab rough-in plumbing

date/app. by

Slab

Sheathing/Nailing

date/app. by

Framing

date/app. by

Rough-in plumbing above slab and below wood floor

date/app. by

OK, 14382

For Office Use Only Application # 0707-18 Date Received 7/6/07 By CH Permit # 26020
Application Approved by - Zoning Official BLK Date 12.07.07 Plans Examiner ATTH Date 7-9-07
Flood Zone X Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3

Comments Letter of Authorization Given (in file)

☒ NOC ☒ EH ☐ Deed or PA ☒ Site Plan ☒ State Road Info ☐ Parent Parcel # ☐ Development Per

Fax 755-0240

Name Authorized Person Signing Permit DAVID ROYAL Phone 386-752-7578

Address _____

Owners Name KEITH BROWN

Phone _____

911 Address 757 SW RIDGE ST. LAKE CITY, FL 32024

Contractors Name O'NEAL CONTRACTING, INC.

Phone 386-752-7578

Address 212 SE HICKORY DRIVE LAKE CITY, FL 32025

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address N/A

Architect/Engineer Name & Address NICK GEISLER, 1758 NW BROWN RD. LAKE CITY, FL 32055

Mortgage Lenders Name & Address _____

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Ene

Property ID Number 25-4S-16-03155-008 Estimated Cost of Construction 150,000.00

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

Driving Directions TAKE HWY 47 SOUTH PAST I-75 TO RIDGE ROAD ON THE RIGHT. CONTINUE ON RIDGE ROAD FOR APPROX. 1 MILE, LARGE COLONIAL HOUSE ON THE RIGHT.

Type of Construction FRAME Addition to SFD Number of Existing Dwellings on Property 1

Total Acreage _____ Lot Size _____ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing D

Actual Distance of Structure from Property Lines - Front 260 Side 135 Side 111 Rear 516

Total Building Height 11-31 Number of Stories 1 Heated Floor Area 1008 Roof Pitch 1"/FT.

SCREEN PORCH 1008

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Owner Builder or Authorized Person by Notarized Letter

STATE OF FLORIDA
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me

this 5th day of July 2007.

Personally known ☒ or Produced Identification _____

Contractor Signature
Contractors License Number CBC057550

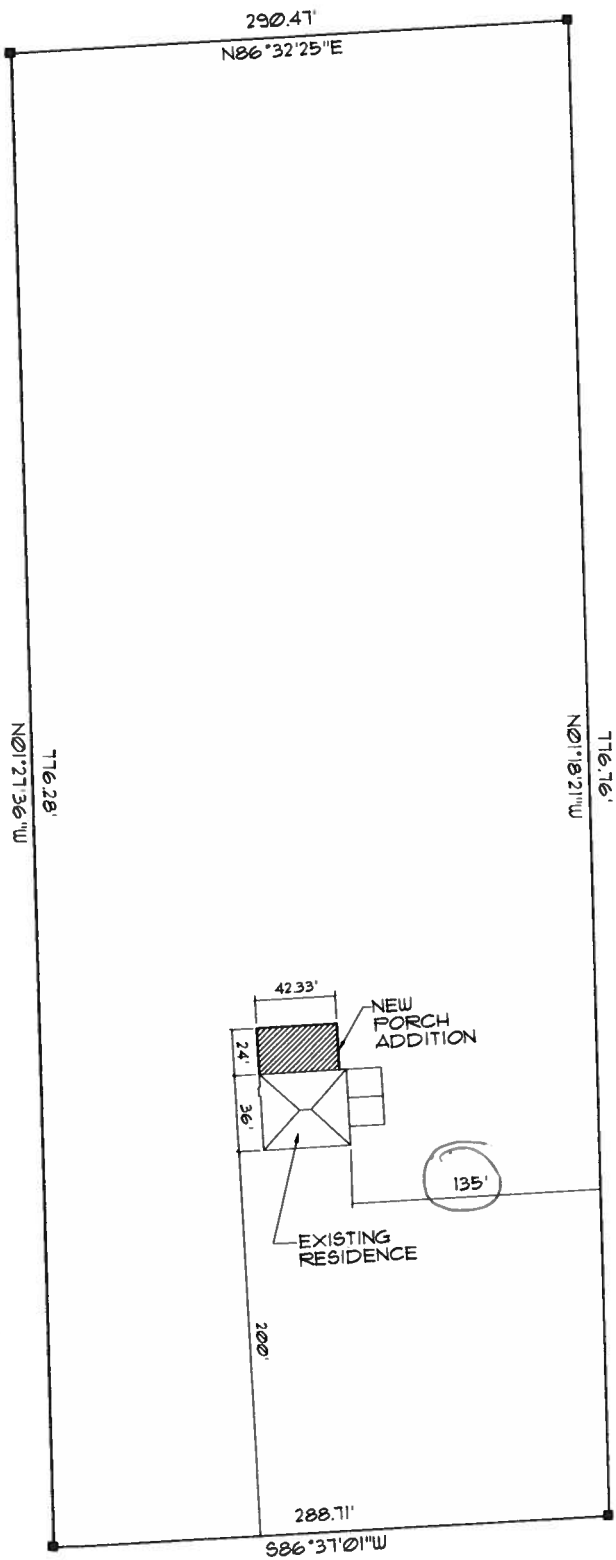
Competency Card Number Cindy Edge

NOTARY STAMP/SEAL  Commission # DD308375

Expires July 20, 2008
Bonded Troy Fain - Insurance, Inc. 800-385-701

Notary Signature

(Revised Sept. 2001)



Keith & Donna Brown
 757 SW Ridge St.
 Lake City, FL 32024



Site PLAN

SCALE: 1" = 100.0'

LEGAL DESCRIPTION:

LOT 8, OAK RIDGE ESTATES SUBDIVISION, SITUATED IN:
 SECTION 25 & 26, TOWNSHIP 4 SOUTH, RANGE 16 EAST
 COLUMBIA COUNTY, FLORIDA.

PARCEL I.D. NO. 25-45-16-03155-008

10 50
259 00

THIS INSTRUMENT WAS RECORDED IN 1733

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

OFFICIAL RECORDS

96-16149

FILED AND RECORDED IN
RECORDS IN COLUMBIA COUNTY, FLORIDA

1996 NOV -8 PM 2:10

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA
BY *M.R.*

Grantee #1 S.S. No. [REDACTED]

Grantee #2 S.S. No. [REDACTED]

Property Appraiser's
Parcel Identification No.
25-48-[REDACTED]

WARRANTY DEED

THIS INDENTURE, made this 7th day of November, 1996, BETWEEN JOHN C. ENGSKOW and his wife, KIMBERLY V. ENGSKOW, whose post office address is 19212 27th Road, Wellborn, Florida 32094, of the County of Suwannee, State of Florida, grantor*, and KEITH W. BROWN and his wife, DONNA S. BROWN, whose post office address is Route 12, Box 394A, Lake City, Florida 32025, of the County of Columbia, State of Florida, grantee*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lot 8, OAK RIDGE ESTATES UNIT II, a subdivision according to the plat thereof recorded in Plat Book 5, Pages 40-40A of the public records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

ADDITIONAL STAMP \$259.00
INSTANT TAX
J. DONALD CASON, CLERK OF
COUNTY, COLUMBIA COUNTY
BY *M.R.*

Signed, sealed and delivered
in our presence:

Terry McDavid
(First Witness)

Terry McDavid
Printed Name

DeEtte F. Brown
(Second Witness)

DeEtte F. Brown
Printed Name

840830 PP1734
John C. Engskow (SEAL)
JOHN C. ENGSKOW
OFFICIAL RECORDS

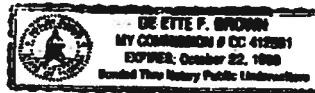
Kimberly V. Engskow (SEAL)
KIMBERLY V. ENGSKOW

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 7th
day of November, 1996, by JOHN C. ENGSKOW and his wife, KIMBERLY V.
ENGSKOW, who are personally known to me and who did not take an
oath.

My Commission Expires:

DeEtte F. Brown
Notary Public
Printed, typed, or stamped name:



Columbia County Property Appraiser

DB Last Updated: 5/11/2007

Parcel: 25-4S-16-03155-008 HX

2007 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	BROWN KEITH W & DONNA S		
Site Address	RIDGE		
Mailing Address	757 SW RIDGE ST LAKE CITY, FL 32024		
Use Desc. (code)	SINGLE FAM (000100)		
Neighborhood	25416.03	Tax District	2
UD Codes	MKTA01	Market Area	01
Total Land Area	0.000 ACRES		
Description	LOT 8 OAK RIDGE ESTATES S/D UNIT 2. ORB 536-449, 830-1733.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (1)	\$72,000.00
Ag Land Value	cnt: (0)	\$0.00
Building Value	cnt: (1)	\$278,726.00
XFOB Value	cnt: (5)	\$19,508.00
Total Appraised Value		\$370,234.00

Just Value	\$370,234.00
Class Value	\$0.00
Assessed Value	\$228,361.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$203,361.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
11/7/1996	830/1733	WD	V	Q		\$37,000.00
4/1/1984	536/449	WD	V	Q		\$15,500.00

Building Characteristics

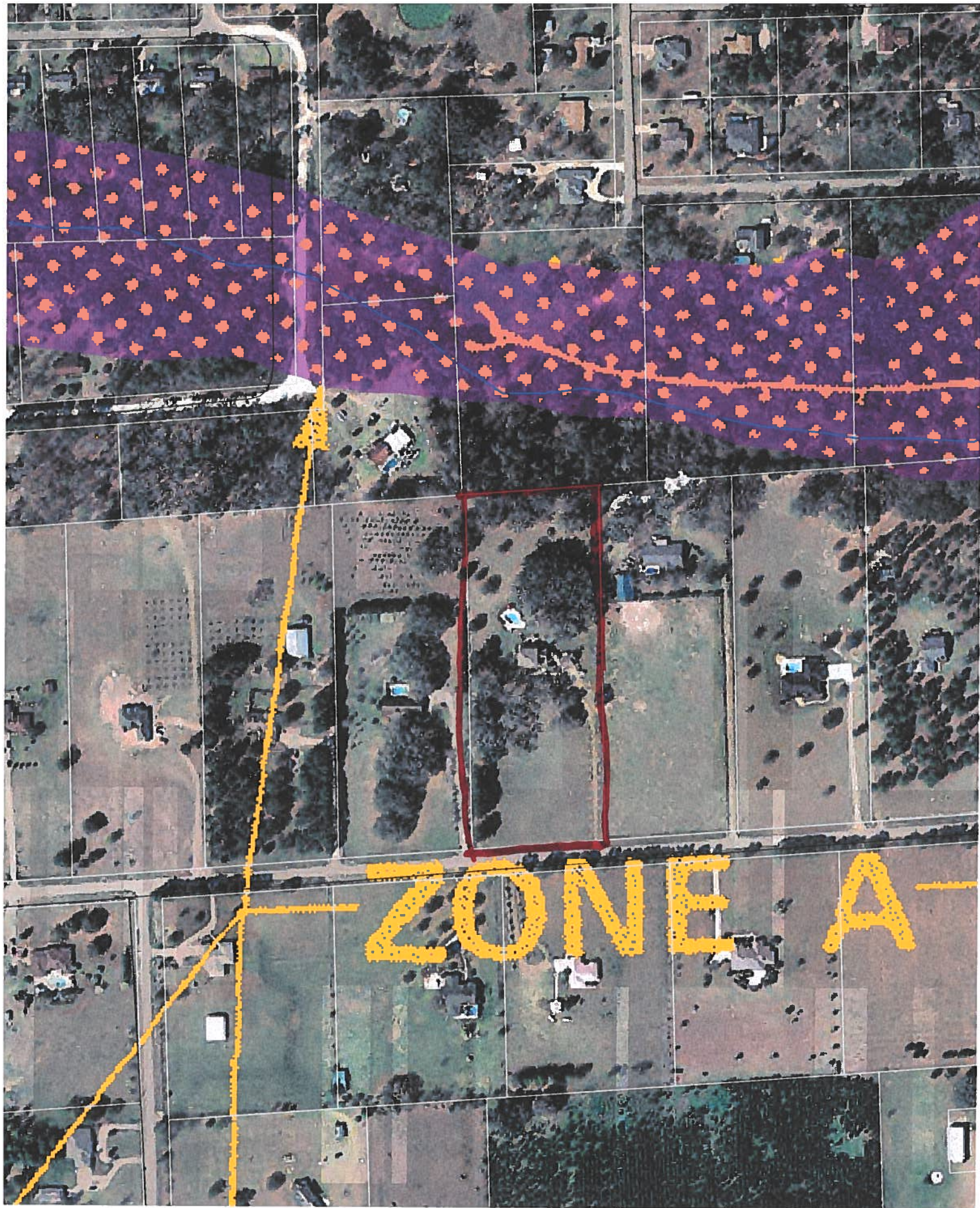
Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1997	Common BRK (19)	3204	5923	\$278,726.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1997	\$1,881.00	1254.000	0 x 0 x 0	(.00)
0280	POOL R/CON	2000	\$14,227.00	608.000	16 x 38 x 0	(.00)
0166	CONC,PAVMT	2000	\$800.00	1.000	0 x 0 x 0	(.00)
0261	PRCH, UOP	2000	\$1,000.00	1.000	0 x 0 x 0	(.00)
0190	FPLC PF	1996	\$1,600.00	1.000	0 x 0 x 0	(.00)

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
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0707-18



O'NEAL CONTRACTING, INC.

P.O. BOX 3505
818 HICKORY LANE
LAKE CITY, FLORIDA 32056

(386) 752-7578
FAX (386) 755-0240

June 29, 2007

I **John W. O'Neal**, do hereby authorize **Dave Royal** to be my representative and act on the behalf of **O'Neal Contracting, Inc.** in all aspects of applying for a building permit in **Columbia County**.

If you have any questions, please call me at (386) 752-7578.

Sincerely,

John W. O'Neal
Vice President

State of **FL**
County of **Columbia**

Sworn to and subscribed before me this 29th day of **June, 2007** by **John W. O'Neal** who is personally known to me.

Notary Public



Cindy Edge
Commission # DD308375
Expires July 20, 2008

Bonded Troy Fain - Insurance, Inc. 800-385-7019

Commission expires **July 20, 2008**
Commission No. **DD308375**

NOTICE OF COMMENCEMENT FORM
COLUMBIA COUNTY, FLORIDA

THIS DOCUMENT MUST BE RECORDED AT THE COUNTY
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

Tax Parcel ID Number 25-4S-16-03155-008

Permit Number 000026020

1. Description of property: (legal description of the property and street address or 911 address)

LOT 8 OAK RIDGE ESTATES, S/D UNIT2. ORB 536-449, 830-1733.

Inst:200712021230 Date:9/19/2007 Time:8:07 AM

SP DC,P.DeWitt Cason,Columbia County Page 1 of 1

2. General description of improvement: ADDITION TO SFD

3. Owner Name & Address KEITH BROWN, 757 SW RIDGE STREET, LAKE CITY, FL 32024

Interest in Property 100%

4. Name & Address of Fee Simple Owner (if other than owner): N/A

5. Contractor Name O'NEAL CONTRACTING, INC.

Phone Number 386-752-7578

Address P.O. BOX 3505, LAKE CITY, FL 32056

6. Surety Holders Name N/A

Phone Number _____

Address _____

Amount of Bond _____

7. Lender Name N/A

Phone Number _____

Address _____

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name _____ Phone Number _____

Address _____

9. In addition to himself/herself the owner designates N/A of

_____ to receive a copy of the Lien Notice as provided in Section 713.13 (1) -

(a) 7. Phone Number of the designee _____

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) _____

THE OWNER MUST SIGN THE NOTICE OF COMMENCEMENT AND NO ONE ELSE MAY BE PERMITTED TO SIGN IN HIS/HER STEAD.

Keith W Brown
Signature of Owner

Sworn to (or affirmed) and subscribed before day of Sept. 18, 20 07.


Sharrie M Keller
Signature of Notary

NOTARY STAMP/SEAL



Sharrie M. Keller
My Commission DD289176
Expires November 20, 2007

Quote

	Sold To: ONEAL ROOFING	<table style="width: 100%;"> <tr> <td style="width: 50%;"> JobNo. L244578 P.T. Sales No </td> <td style="width: 50%;"> Ship Date Quote 6/29/2007 Account PO </td> </tr> </table>		JobNo. L244578 P.T. Sales No	Ship Date Quote 6/29/2007 Account PO										
JobNo. L244578 P.T. Sales No	Ship Date Quote 6/29/2007 Account PO														
Plant: Lake City Truss 2525 E Duval Street Lake City, FL 386 755-6894	SubDvsn: Brown Addition Lot: - Model/Elev Custom Options	Req'd Engineering	Req'd Layouts												
Sales Rep Robert Daniel Sales Area Dist Center Designer avm	Directions	<table style="width: 100%;"> <tr> <td style="width: 33%;">Job Contacts</td> <td style="width: 33%;">Site</td> <td style="width: 33%;">Office</td> </tr> <tr> <td>Name</td> <td></td> <td></td> </tr> <tr> <td>Phone</td> <td></td> <td></td> </tr> <tr> <td>Fax</td> <td></td> <td></td> </tr> </table>		Job Contacts	Site	Office	Name			Phone			Fax		
Job Contacts	Site	Office													
Name															
Phone															
Fax															
Accepted By Seller By: _____ Title: _____ Date Of Acceptance: _____	Accepted By Buyer Purchaser: _____ By: _____ Title: _____ Address: _____ _____ Phone: _____ Date: _____		<table style="width: 100%;"> <tr> <td style="width: 60%;">Truss Pkg:</td> <td style="width: 40%; text-align: right;">\$2,570.00</td> </tr> <tr> <td>Tax:</td> <td style="text-align: right;">\$0.00</td> </tr> <tr> <td>Shipping:</td> <td style="text-align: right;">\$0.00</td> </tr> <tr> <td>Total Price:</td> <td style="text-align: right;">\$0.00</td> </tr> </table>	Truss Pkg:	\$2,570.00	Tax:	\$0.00	Shipping:	\$0.00	Total Price:	\$0.00				
Truss Pkg:	\$2,570.00														
Tax:	\$0.00														
Shipping:	\$0.00														
Total Price:	\$0.00														
<ol style="list-style-type: none"> 1. All valleys to be conventionally framed. 2. Price based on premise that plans are structurally sound. 3. Bracing material to be supplied by contractor. 4. Builders FirstSource will not be liable for back charges unless approved by representative before the work creating any charge is performed. 5. Builders FirstSource reserves the right to adjust price as deemed necessary after 30 days from date of estimate. Price is not to be assumed as valid if plan is repeated at a later date. New quote must be requested for advance knowledge of price unless other written contract is agreed upon for specific plan to be repeatedly fabricated at same price during specified time period. 6. Bid is null and void if final plans deviate from original. Any changes to engineering is subject for rebid. 7. Some walls may need to be made load-bearing, to be determined when truss details are engineered. 8. Jobs canceled or in house longer than 90 days are subject to a minimum of a 10% engineering fee. 9. Sales tax is not included. 															

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[Term Glossary](#)[Online Help](#)**Licensee Details****Licensee Information**

Name: **O'NEAL, JOHN WINSTON (Primary Name)**
O'NEAL CONTRACTING INC (DBA Name)
Main Address: **PO BOX 2166**
LAKE CITY Florida 32056
County: **COLUMBIA**

License Mailing:

License Location: **818 HICKORY LANE**
LAKE CITY FL 32025
County: **COLUMBIA**

License Information

License Type: **Certified Building Contractor**
Rank: **Cert Building**
License Number: **CBC057550**
Status: **Current,Active**
Licensure Date: **02/22/1996**
Expires: **08/31/2008**

Special Qualifications **Qualification Effective**
Bldg Code Core Course
Credit
Qualified Business **02/20/2004**
License Required

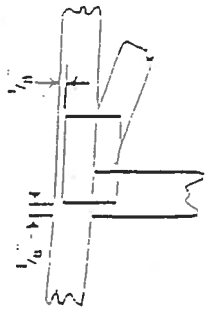
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**JUNE 28, 2007, TRUSS DESIGN ENGINEER:
THOMAS E. MILLER PE 56877, BYRON K. ANDERSON PE 60987
STRUCTURAL ENGINEERING AND INSPECTIONS, INC. EB 9196
16105 N. FLORIDA AVE. STE B, LUTZ, FL 33549**

Symbols

PLATE LOCATION AND ORIENTATION

Center plate on joint unless dimensions indicate otherwise. Dimensions are in inches. Apply plates to both sides of truss and securely seat.



* For 4 x 2 orientation, locate plates 1/8" from outside edge of truss and vertical webs.

* This symbol indicates the required direction of slots in connector plates



PLATE SIZE

The first dimension is the width perpendicular to slots. Second dimension is the length parallel to slots

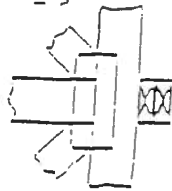


LATERAL BRACING



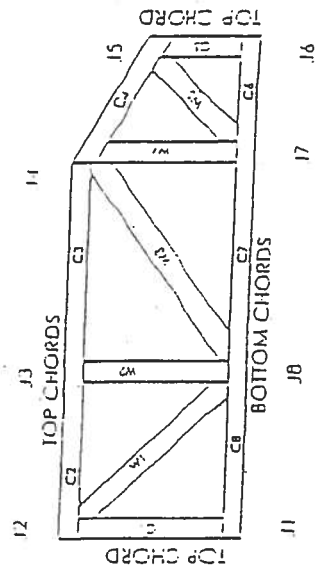
Indicates location of required continuous lateral bracing

BEARINGS



Indicates location of joints at which bearings (supports) occur

Numbering System



JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRUSS STARTING AT THE LOWEST JOINT-FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

CONNECTOR PLATE CODE APPROVALS

BOCA 96-31, 96-67

ICBO 3907, 4922

SICC 9667, 9432A

WISC/DIIR 960022 W, 970036-11

IER 561



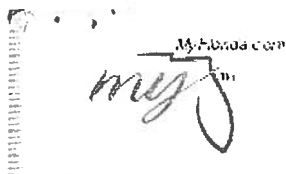
MTECH Engineering Reference Sheet: H11-7473

General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

1. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
2. Cut members to bear tightly against each other.
3. Place plates on each face of luss at each joint and embed fully. Avoid knots and wane at joint locations.
4. Unless otherwise noted, locate chord splices at 1/2 panel length (1.5" from adjacent joint).
5. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
6. Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
7. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
8. Plate type, size and location dimensions shown indicate minimum plating requirements.
9. Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified.
10. Top chords must be sheathed or pultrus provided at spacing shown on design.
11. Bottom chords require lateral bracing at 11' spacing or less. If no ceiling is installed, unless otherwise noted.
12. Anchorage and / or load transferring connections to lusses are the responsibility of others unless shown.
13. Do not overload roof or floor lusses with stacks of construction materials.
14. Do not cut or alter truss member or plate without prior approval of a professional engineer.
15. Care should be exercised in handling, erection and installation of lusses.

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Licensee Details**Licensee Information**

Name: **O'NEAL, JOHN WINSTON (Primary Name)**
O'NEAL CONTRACTING INC (DBA Name)
Main Address: **PO BOX 2166**
LAKE CITY Florida 32056
County: **COLUMBIA**

License Mailing:

License Location: **818 HICKORY LANE**
LAKE CITY FL 32025
County: **COLUMBIA**

License Information

License Type: **Certified Building Contractor**
Rank: **Cert Building**
License Number: **CBC057550**
Status: **Current, Active**
Licensure Date: **02/22/1996**
Expires: **08/31/2008**

Special Qualifications **Qualification Effective**
Bldg Code Core Course
Credit
Qualified Business **02/20/2004**
License Required

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Job L244578	Truss F01	Truss Type FLOOR	Qty 30	Ply 1	ONEAL
					Job Reference (optional)

Builders FirstSource, Lake City, FL 32055

6,300 s Apr 19 2006 MiTek Industries, Inc. Wed Jun 27 09:55:27 2007 Page 1

0-1-8

1-3-0

1-4-8

1-1-8

1-1-8

1-1-8

1-4-8

0-1-8

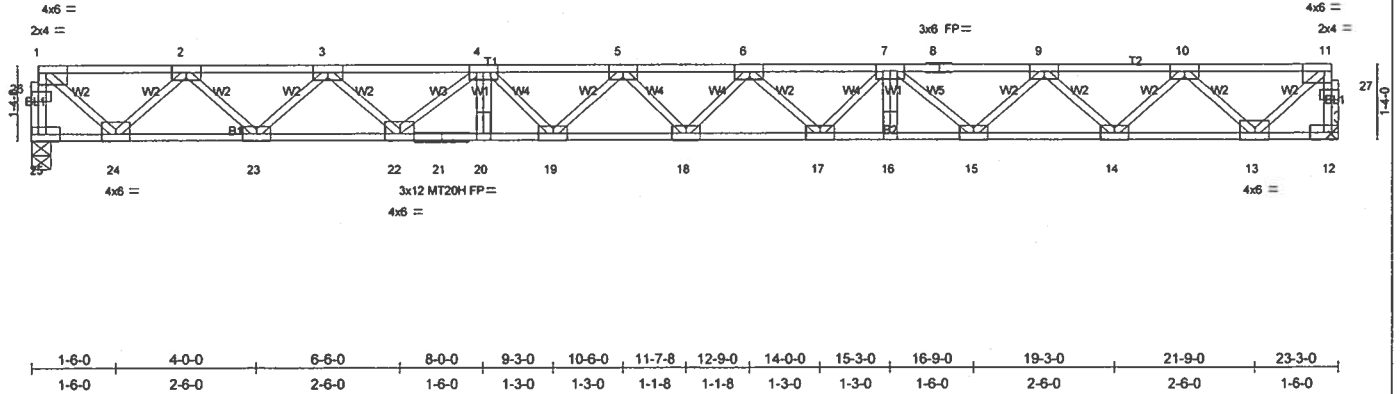
Scale = 1:38.7
Camber = 1/4 in

Plate Offsets (X,Y): [1:Edge,0-1-8], [11:0-1-8,Edge], [26:0-1-8,0-1-0], [27:0-1-8,0-1-0]

LOADING (psf)	SPACING	CSI	DEFL	in (loc)	I/defl	L/d	PLATES	GRIP
TCLL 40.0	Plates Increase 1.00	TC 0.31	Vert(LL) -0.40	18	>693	360	MT20	244/190
TCDL 10.0	Lumber Increase 1.00	BC 0.89	Vert(TL) -0.62	18	>444	240	MT20H	187/143
BCLL 0.0	Rep Stress Incr YES	WB 0.45	Horz(TL) 0.10	12	n/a	n/a		
BCDL 5.0	Code FBC2004/TPI2002	(Matrix)						
							Weight: 125 lb	

LUMBER

TOP CHORD 4 X 2 SYP No.2
 BOT CHORD 4 X 2 SYP No.2
 WEBS 4 X 2 SYP No.3

BRACING

TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins, except end verticals.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS (lb/size) 25=839/0-4-0, 12=839/Mechanical**FORCES** (lb) - Maximum Compression/Maximum Tension

TOP CHORD 25-26=-836/0, 1-26=-835/0, 12-27=-836/0, 11-27=-835/0, 1-2=-874/0, 2-3=-2233/0, 3-4=-3173/0, 4-5=-3816/0, 5-6=-3991/0, 6-7=-3816/0, 7-8=-3187/0, 8-9=-3187/0, 9-10=-2234/0, 10-11=-874/0

BOT CHORD 24-25=0/43, 23-24=0/1651, 22-23=0/2798, 21-22=0/3632, 20-21=0/3632, 19-20=0/3632, 18-19=0/3983, 17-18=0/3983, 16-17=0/3633, 15-16=0/3633, 14-15=0/2798, 13-14=0/1651, 12-13=0/43

WEBS 11-13=0/1129, 1-24=0/1129, 10-13=-1081/0, 2-24=-1081/0, 10-14=0/810, 2-23=0/810, 9-14=-785/0, 3-23=-785/0, 9-15=0/541, 3-22=0/531, 7-15=-573/0, 4-22=-585/0, 7-17=0/254, 4-20=0/4, 7-16=0/4, 4-19=0/254, 5-19=-233/0, 5-18=0/11, 6-17=-233/0, 6-18=0/11

JOINT STRESS INDEX

1 = 0.67, 2 = 0.87, 3 = 0.57, 4 = 0.73, 5 = 0.55, 6 = 0.55, 7 = 0.72, 8 = 0.42, 9 = 0.58, 10 = 0.87, 11 = 0.67, 12 = 0.66, 13 = 0.73, 14 = 0.87, 15 = 0.58, 16 = 0.32, 17 = 0.55, 18 = 0.55, 19 = 0.55, 20 = 0.32, 21 = 0.73, 22 = 0.37, 23 = 0.87, 24 = 0.73, 25 = 0.66, 26 = 0.00, 26 = 0.49, 27 = 0.00 and 27 = 0.49

NOTES

- 1) All plates are MT20 plates unless otherwise indicated.
- 2) All plates are 3x6 MT20 unless otherwise indicated.
- 3) The following joint(s) require plate inspection per the Tooth Count Method when this truss is chosen for quality assurance inspection: 21 and 8.
- 4) Recommend 2x6 strongbacks, on edge, spaced at 10-0-0 oc and fastened to each truss with 3-16d nails. Strongbacks to be attached to walls at their outer ends or restrained by other means.

LOAD CASE(S) Standard

Symbols

PLATE LOCATION AND ORIENTATION

Center plate on joint unless dimensions indicate otherwise. Dimensions are in inches. Apply plates to both sides of truss and securely fasten.



For 4 x 2 orientation, locate plates 1/8" from outside edge of truss and vertical web.

This symbol indicates the required direction of slats in connector plates.



PLATE SIZE

4 x 4

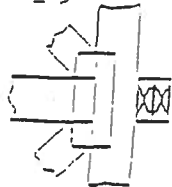
The first dimension is the width perpendicular to slats. Second dimension is the length parallel to slats.

LATERAL BRACING



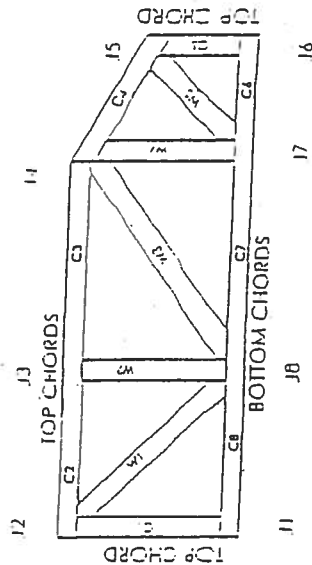
Indicates location of required continuous lateral bracing.

BEARINGS



Indicates location of joints at which bearings (supports) occur.

Numbering System



JOINTS AND CHORDS ARE NUMBERED CLOCKWISE AROUND THE TRUSS STARTING AT THE LOWEST JOINT FARTHEST TO THE LEFT.

WEBS ARE NUMBERED FROM LEFT TO RIGHT

CONNECTOR PLATE CODE APPROVALS

BOCA	96-31, 96-67
ICBO	3907, 4922
SICC	9667, 9432A
WISC/DIHR	940022-W, 970036-11
IER	S61



MHI Engineering Reference Sheet: H111-7473

General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

1. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
2. Civil members to bear tightly against each other.
3. Place plates on each face of truss at each joint and embed fully. Avoid knots and wane at joint locations.
4. Unless otherwise noted, locate chord splices at 1/2 panel length (1.5' from adjacent joint).
5. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
6. Unless expressly noted, this design is not applicable for use with fire retardant or preservative treated lumber.
7. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
8. Plate type, size and location dimensions shown indicate minimum plating requirements.
9. Lumber shall be of the species and size, and in all respects, equal to or better than the grade specified.
10. Top chords must be sheathed or purlins provided at spacing shown on design.
11. Bottom chords require lateral bracing at 10 ft spacing, or less. If no ceiling is installed, unless otherwise noted.
12. Anchorage and / or load transferring connections to trusses are the responsibility of others unless shown.
13. Do not overload roof or floor trusses with stacks of construction materials.
14. Do not cut or alter truss member or plate without prior approval of a professional engineer.
15. Care should be exercised in handling, erection and installation of trusses.

© 1993 MHI Holdings, Inc.

N3
**NICHOLAS
PAUL
GEISLER
ARCHITECT**
N.C.A.R.B. Certified

1758 NW Brown Rd.
Lake City, FL 32055
386/755-6608

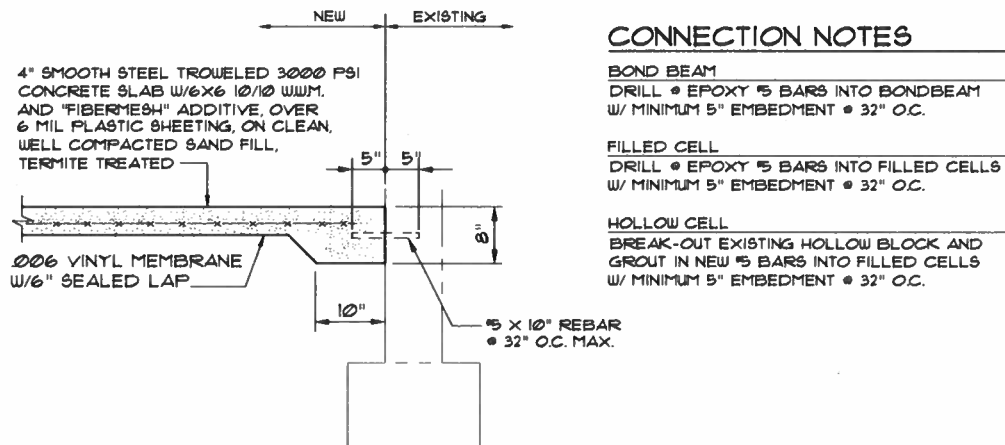
29 JUNE 2007

BUILDING OFFICIAL
COLUMBIA COUNTY BUILDING DEPARTMENT
LAKE CITY, FLORIDA

RE: KEITH BROWN RESIDENCE
ONEAL CONSTRUCTION
PERMIT Nr.: _____

DEAR SIR:

PLEASE BE ADVISED THAT THE FOLLOWING REVISIONS HAVE BEEN MADE
TO THE ABOVE REFERENCED PROJECT:



TYP. JOINT CONNECTION

SHOULD YOU HAVE ANY QUESTIONS, PLEASE DO NOT HESITATE TO
CALL FOR ANY ASSISTANCE.

YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS	MASONITE	WOOD EDGE, STEEL DOOR	FL 5465
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG	JORDAN	SINGLE HUNG VINYL	FL 1378
B. HORIZONTAL SLIDER		HORIZONTAL SLIDER	FL 1384
C. CASEMENT		CASEMENT VINYL	FL 2949
D. FIXED		FIXED VINYL	FL 1385
E. MULLION		MULLION VINYL	FL 2685
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCT METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER	JOHNS MANVILLE	MODIFIED BITUMEN	FL 1046 R2
5. STRUCT COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			
A.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

APPLICANT SIGNATURE

DATE

COLUMBIA COUNTY BUILDING DEPARTMENT

Revised 10-01-05

RESIDENTIAL MINIMUM PLAN REQUIREMENTS AND CHECKLIST FOR FLORIDA BUILDING CODE 2004 and FLORIDA RESIDENTIAL CODE 2004 WITH AMENDMENTS ONE (1) AND TWO (2) FAMILY DWELLINGS

**ALL REQUIREMENTS ARE SUBJECT TO CHANGE
EFFECTIVE OCTOBER 1, 2005**

ALL BUILDING PLANS MUST INDICATE THE FOLLOWING ITEMS AND INDICATE COMPLIANCE WITH CHAPTER 16 OF THE FLORIDA BUILDING CODE 2004 BY PROVIDING CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS. FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEED AS PER FIGURE 1609 SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

1. ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE _____ 100 MPH
2. ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE _____ 110 MPH
3. NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL

GENERAL REQUIREMENTS: Two (2) complete sets of plans containing the following:

Applicant	Plans Examiner
-----------	----------------

- | | | |
|-------------------------------------|--------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <p>All drawings must be clear, concise and drawn to scale ("Optional " details that are not used shall be marked void or crossed off). Square footage of different areas shall be shown on plans.</p> <p>Designers name and signature on document (FBC 106.1). If licensed architect or engineer, official seal shall be affixed.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | |

Site Plan including:

- a) Dimensions of lot
- b) Dimensions of building set backs
- c) Location of all other buildings on lot, well and septic tank if applicable, and all utility easements.
- d) Provide a full legal description of property.

Wind-load Engineering Summary, calculations and any details required

Plans or specifications must state compliance with FBC Section 1609.

The following information must be shown as per section 1603.1.4 FBC

- a. Basic wind speed (3-second gust), miles per hour (km/hr).
- b. Wind importance factor, I_w , and building classification from Table 1604.5 or Table 6-1, ASCE 7 and building classification in Table 1-1, ASCE 7.
- c. Wind exposure, if more than one wind exposure is utilized, the wind exposure and applicable wind direction shall be indicated.
- d. The applicable enclosure classifications and, if designed with ASCE 7, internal pressure coefficient.
- e. Components and Cladding. The design wind pressures in terms of psf (kN/m^2) to be used for the design of exterior component and cladding materials not specifiically designed by the registered design professional.

Elevations including:

- a) All sides
- b) Roof pitch
- c) Overhang dimensions and detail with attic ventilation

- | | |
|-------------------------------------|--------------------------|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> |
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- d) Location, size and height above roof of chimneys.
- e) Location and size of skylights
- f) Building height
- e) Number of stories
- Floor Plan including:**
 - a) Rooms labeled and dimensioned.
 - b) Shear walls identified.
 - c) Show product approval specification as required by Fla. Statute 553.842 and Fla. Administrative Code 9B-72 (see attach forms).
 - d) Show safety glazing of glass, where required by code.
 - e) Identify egress windows in bedrooms, and size.
 - f) Fireplace (gas vented), (gas non-vented) or wood burning with hearth, (Please circle applicable type).
 - g) Stairs with dimensions (width, tread and riser) and details of guardrails and handrails.
 - h) Must show and identify accessibility requirements (accessible bathroom)
- Foundation Plan including:**
 - a) Location of all load-bearing wall with required footings indicated as standard or monolithic and dimensions and reinforcing.
 - b) All posts and/or column footing including size and reinforcing
 - c) Any special support required by soil analysis such as piling
 - d) Location of any vertical steel.
- Roof System:**
 - a) Truss package including:
 - 1. Truss layout and truss details signed and sealed by Fl. Pro. Eng.
 - 2. Roof assembly (FBC 106.1.1.2)Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
 - b) Conventional Framing Layout including:
 - 1. Rafter size, species and spacing
 - 2. Attachment to wall and uplift
 - 3. Ridge beam sized and valley framing and support details
 - 4. Roof assembly (FBC 106.1.1.2)Roofing systems, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- Wall Sections including:**
 - a) Masonry wall
 - 1. All materials making up wall
 - 2. Block size and mortar type with size and spacing of reinforcement
 - 3. Lintel, tie-beam sizes and reinforcement
 - 4. Gable ends with rake beams showing reinforcement or gable truss and wall bracing details
 - 5. All required connectors with uplift rating and required number and size of fasteners for continuous tie from roof to foundation shall be designed by a Windload engineer using the engineered roof truss plans.
 - 6. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with resistance rating)
 - 7. Fire resistant construction (if required)
 - 8. Fireproofing requirements
 - 9. Shoe type of termite treatment (termicide or alternative method)
 - 10. Slab on grade
 - a. Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)
 - b. Must show control joints, synthetic fiber reinforcement or Welded fire fabric reinforcement and supports
 - 11. Indicate where pressure treated wood will be placed
 - 12. Provide insulation R value for the following:

- a. Attic space
- b. Exterior wall cavity
- c. Crawl space (if applicable)

b) Wood frame wall

- ✓1. All materials making up wall
- ✓2. Size and species of studs
- ✓3. Sheathing size, type and nailing schedule
- ✓4. Headers sized
- 5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
- ✓6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers) shall be designed by a Windload engineer using the engineered roof truss plans.
- ✓7. Roof assembly shown here or on roof system detail (FBC 106.1.1.2) Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
- 8. Fire resistant construction (if applicable)
- 9. Fireproofing requirements
- ✓10. Show type of termite treatment (termiteicide or alternative method)
- ✓11. Slab on grade
 - ✓a. Vapor retarder (6Mil. Polyethylene with joints lapped 6 inches and sealed
 - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
- ✓12. Indicate where pressure treated wood will be placed
- 13. Provide insulation R value for the following:
 - a. Attic space
 - b. Exterior wall cavity
 - c. Crawl space (if applicable)

c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

Floor Framing System:

- ✓a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- ✓b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- ✓e) Wind load requirements where applicable

Plumbing Fixture layout

Electrical layout including:

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms
- h) Exhaust fans in bathroom

HVAC Information

- a) Energy Calculations (dimensions shall match plans)
- b) Manual J sizing equipment or equivalent computation
- c) Gas System Type (LP or Natural) Location and BTU demand of equipment

Disclosure Statement for Owner Builders

*****Notice Of Commencement Required Before Any Inspections Will Be Done Private Potable Water**

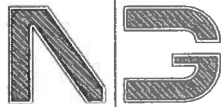
- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued. (386) 758-1058 (Toilet facilities shall be provided for construction workers)
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit. (386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations. **CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**
A development permit will also be required. Development permit cost is \$50.00
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial. **If the project is to be located on a F.D.O.T. maintained road, than an F.D.O.T. access permit is required.**
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS – PLEASE DO NOT ASK

26020



**NICHOLAS
PAUL
GEISLER**
ARCHITECT
N.C.A.R.B. Certified

1758 NW Brown Road
Lake City, FL 32055
386/755-9021

12 JUNE 2008

JOHNNY KEARSE, BUILDING OFFICIAL
COLUMBIA COUNTY, BUILDING DEPT.
COLUMBIA COUNTY COURTHOUSE ANNEX
LAKE CITY, FLORIDA 32055

RE: ALTERATIONS and ADDITIONS for KEITH & DONNA BROWN
PERMIT Nr.: 26020

DEAR SIR:

PLEASE BE ADVISED THAT AS ARCHITECT OF RECORD, I HAVE INSPECTED THE FRAMING AT THE REAR ROOM ADDITION AT THE ABOVE REFERENCED PROJECT. PER YOUR REQUEST, THE MOUNTING METHOD FOR THE L.V.L. HEADER SERVING AS A NAILER FOR THE FLOOR TRUSSES, AND THUS BEARING THE IMPOSED LOADS OF THE FLOOR SYSTEM HAS BEEN REVIEWED IN LIGHT OF THE CLIENT'S SUGGESTION THAT THEY HAVE AS MANY AS 60 GUESTS AT GATHERINGS HELD AT THIS LOCATION. WHILE THE ORIGINAL METHOD OF ANCHORING THE HEADER WOULD HAVE BEEN SUFFICIENT FOR NORMAL LOADING (50 PSF LL), AT THE DESIRED LIVE LOAD OF 100 PSF, THE METHOD OF ANCHORAGE IS BORDERLINE UNACCEPTABLE. I HAVE INSTRUCTED THE CONTRACTOR TO ADD 1 - 5/8" ϕ X 6" THROUGH BOLT WITH 2 - 2 1/2" WASHERS AND NUT AT A MINIMUM OF 9 (NINE) LOCATIONS, SPACED AS EVENLY AS PRACTICAL. PLACEMENT OF THE ADDED BOLTS SHALL BE NEAR THE CENTERLINE OF THE L.V.L. HEADER AND ALIGNED WITH THE VERTICAL END MEMBER OF THE EXISTING FLOOR TRUSSES, BEYOND. SUCH CORRECTION OF THE ATTACHMENT SYSTEM WILL SUSTAIN THE DESIGN LOADS AS EXPECTED TO BE PLACED UPON THE STRUCTURE.

AS TO THE BALANCE OF THE STRUCTURAL FRAMING OF THE PROJECT, I TAKE NO EXCEPTION TO THAT WHICH IS CURRENTLY IN PLACE.

SHOULD YOU HAVE ANY FURTHER QUESTIONS WITH THIS, PLEASE CALL FOR ASSISTANCE.

YOURS TRULY,
NICHOLAS PAUL GEISLER, ARCHITECT AR0007005

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 25-4S-16-03155-008

Building permit No. 000026020

Use Classification ADDITION TO SFD

Fire: 0.00

Permit Holder O'NEAL CONTRACTING

Waste:

Owner of Building KEITH BROWN

Total: 0.00

Location: 757 SW RIDGE STREET, LAKE CITY, FL

Date: 03/20/2009

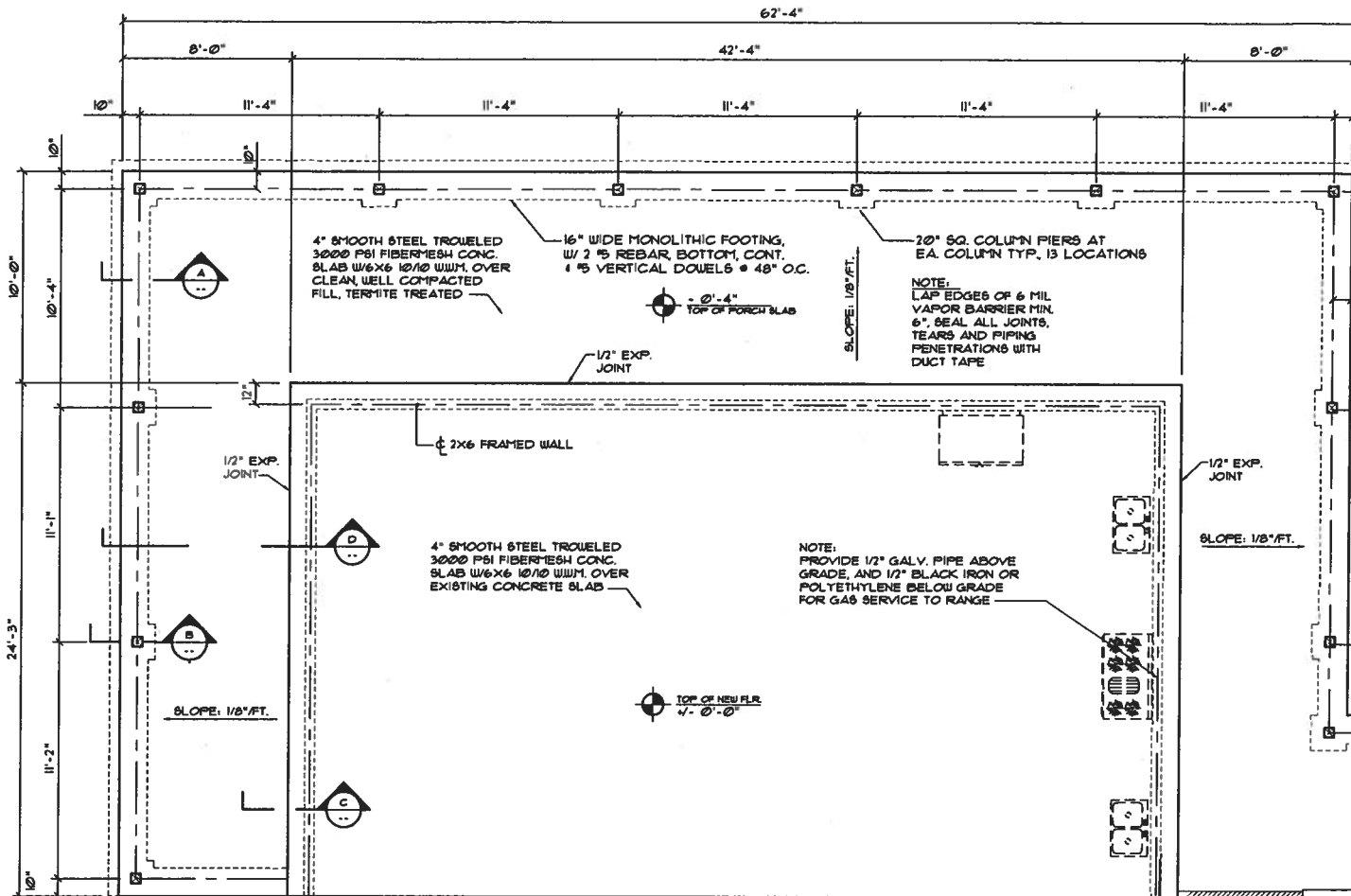
Harry Dickson

Building Inspector

**POST IN A CONSPICUOUS PLACE
(Business Places Only)**

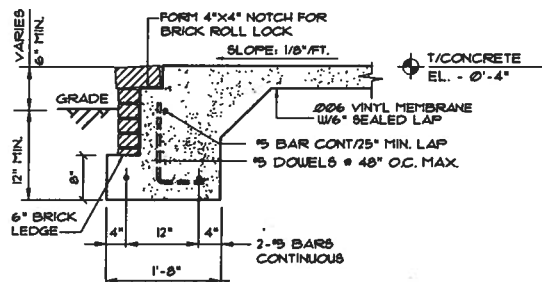






Foundation PLAN

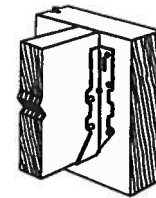
SCALE: 1/4" = 1'-0"



Section A

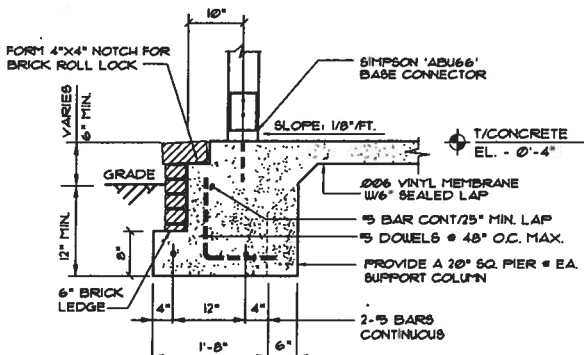
TYP. MONOLITHIC FTG.

SCALE 3/4" = 1'-0"



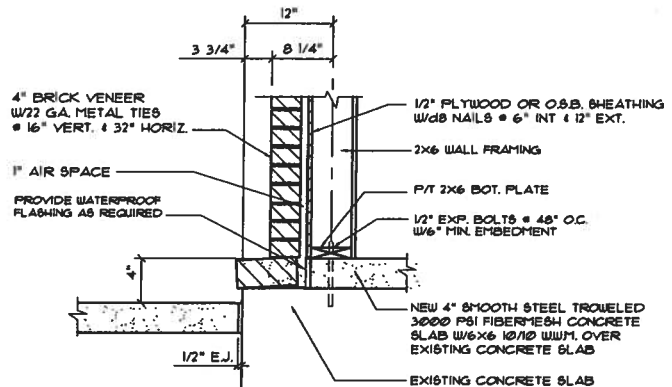
Simpson LUB28

TYP. JOIST HANGER



Section B

TYP. AT EA. COLUMN



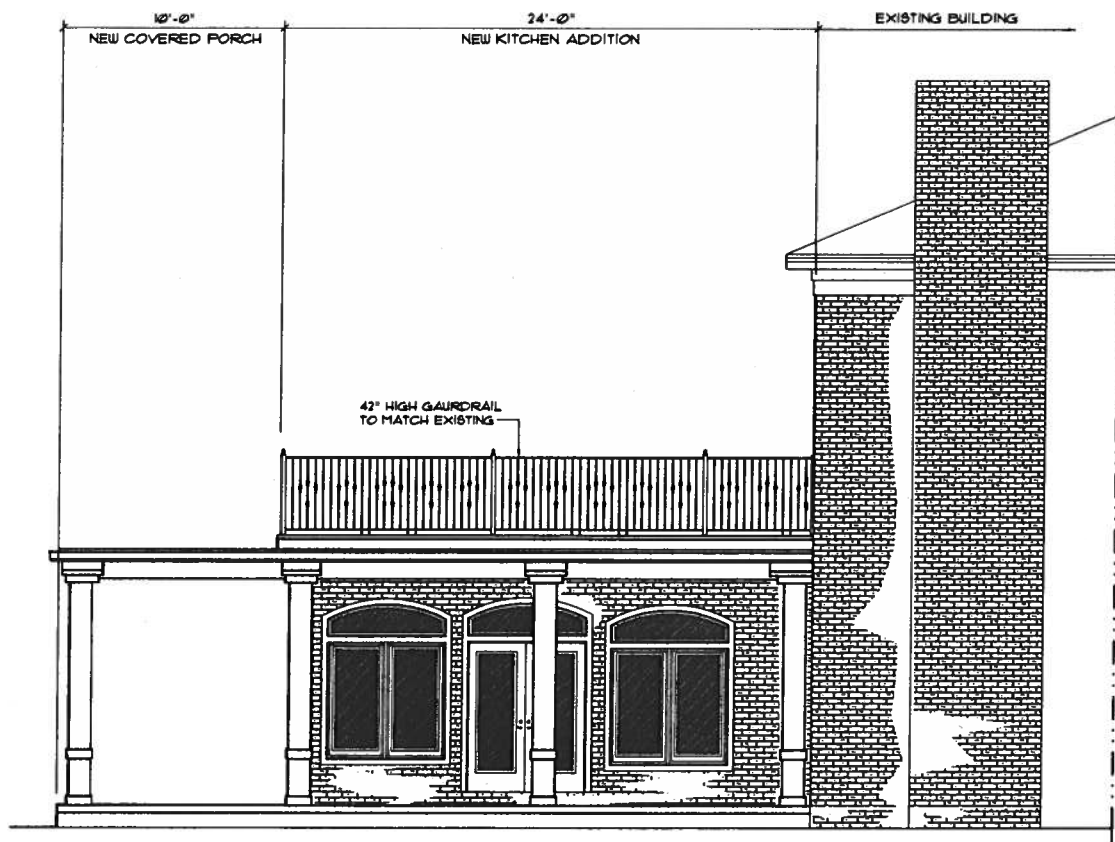
Section C

TYP. BRICK LEDGE



Front ELEVATION

SCALE: 1/4" = 1'-0"

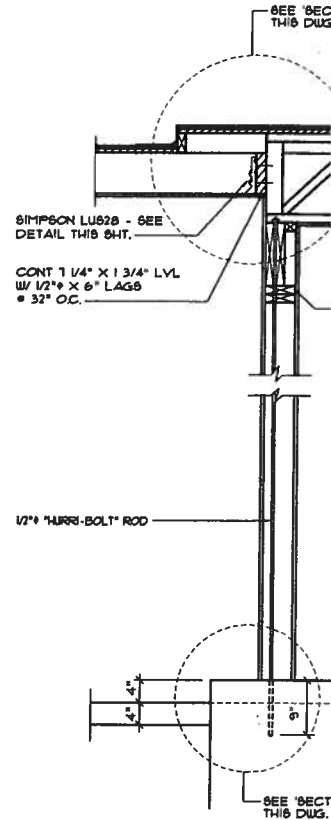


Left Side ELEVATION

SCALE: 1/4" = 1'-0"

R1

SCALE: 1



A2A

SCALE 3/4" = 1'-0"



1. ALL SHEARWALLS SHALL BE TYPE 2 SHEARWALLS AS DEFINED BY STD 10-91 S6031.3.4.3.
2. THE WALL SHALL BE ENTIRELY SHEATHED WITH 7/8" O.S.B. INCLUDING AREAS ABOVE AND BELOW OPENINGS.
3. ALL SHEATHING SHALL BE ATTACHED TO FRAMING ALONG ALL FOUR EDGES WITH JOISTS FOR ADJACENT PANELS OCCURING OVER COMMON FRAMING MEMBERS OR ALONG BLOCKING.
4. NAIL SPACING SHALL BE 6" O.C. EDGES AND 12" O.C. IN THE FIELD.
5. TYPE 2 SHEARWALLS ARE DESIGNED FOR THE OPENING IT CONTAINS. MAXIMUM HEIGHT OF OPENING SHALL BE 5/6 TIMES THE WALL HEIGHT. THE MINIMUM DISTANCE BETWEEN OPENINGS SHALL BE THE WALL HEIGHT/33 FOR R-12" WALLS (7'-3").

OPENING WIDTH	BILL PLATES	16d TOE NAILS EACH END
UP TO 6'-0"	(1) 2x4 OR (1) 2x6	1
6'-0" TO 9'-0"	(3) 2x4 OR (1) 2x6	2
9'-0" TO 12'-0"	(5) 2x4 OR (2) 2x6	3

SCALE: NONE

40-10-0

LVL BY BUILDER

F01G

23-3-0

F01 (30)

ODD SPACE
0-6-8

40-10-0

40-10-0

LVL BY BUILDER

F01G

23-3-0

F01 (30)

ODD SPACE
0-6-8

40-10-0



**NOTICE OF INSPECTION
AND/OR TREATMENT**

#26020

Date of Inspection

9/17/07

Date of Treatment

Date of Spot Treatment

Premise

Pesticide Used

subterranean Termites

Wood-Destroying Organisms Treated

****Notice****

It is a violation of Florida State Law (Chap. 482.226) for anyone other than the property owner to remove this notice.

Address:

Pestmaster Services of Lake City

879 S.W. Arlington Blvd., Suite 106 • Lake City, FL 32025