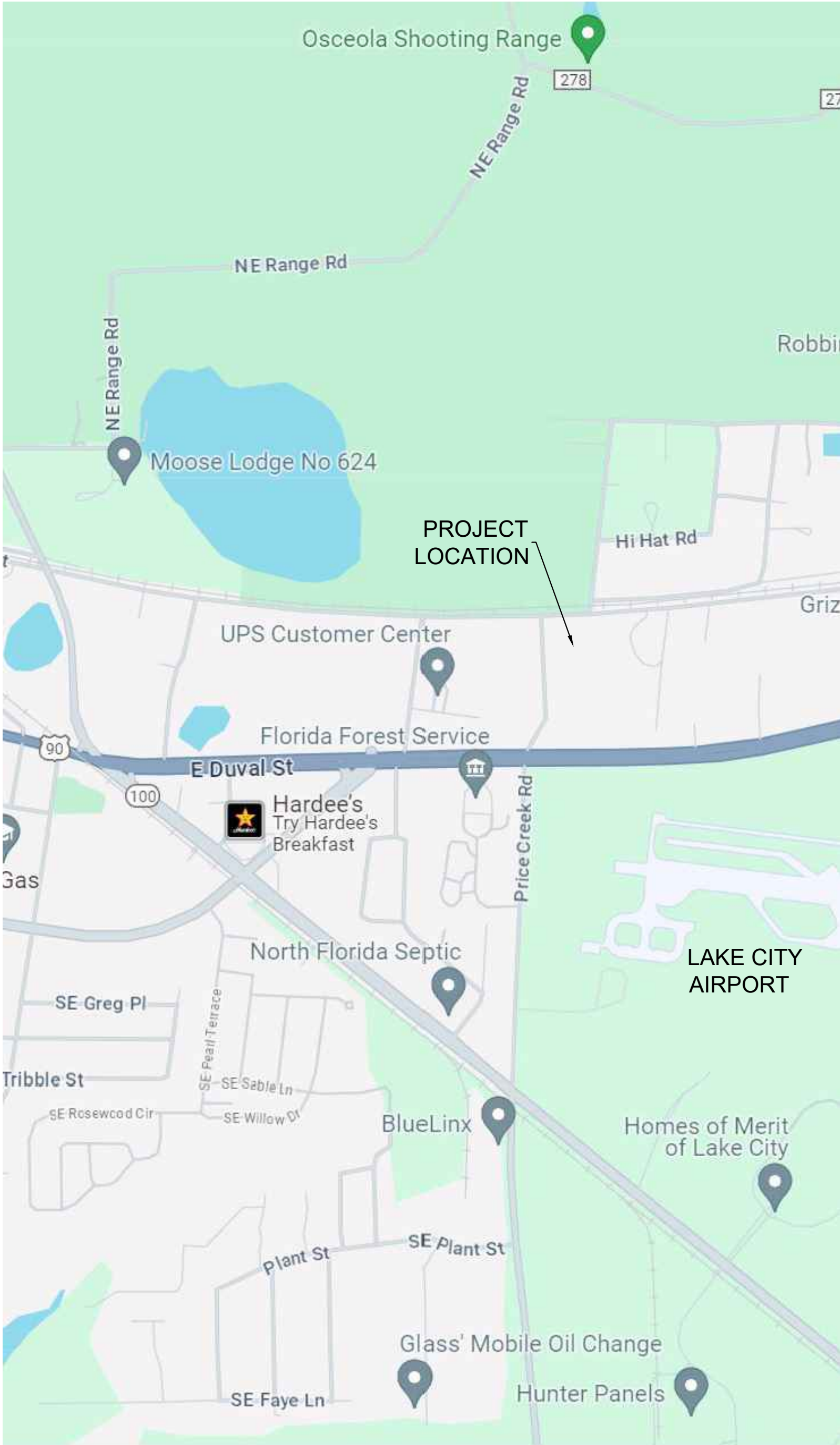


# EQUIPMENT SHARE

## LAKE CITY

### (US-90 & PRICE CREEK RD)



VICINITY MAP



SITE PLAN MAP

PROJECT INFORMATION

PROJECT NAME EQUIPMENT SHARE

OWNER EQUIPMENTSHARE.COM, INC  
5710 BULL RUN  
COLUMBIA, MO 65201

PROJECT LOCATION APPROXIMATELY 525 PRICE CREEK ROAD  
LAKE CITY, FL 32055  
PID# 34-3S-17-06908-001 AND 35-3S-17-07380-001

CIVIL ENGINEER CHRISTOPHER A. GMUER, PE  
GMUER ENGINEERING, LLC  
(352) 281-4928  
2803 NW 13TH ST BOX 314  
GAINESVILLE, FL 32609

FUTURE LAND USE INDUSTRIAL  
ZONING INDUSTRIAL  
EXISTING USE VACANT  
PROPOSED USE CONSTRUCTION EQUIPMENT RENTAL FACILITY  
SITE AREA 6 ACRES  
MIN LOT AREA NONE  
MIN LOT WIDTH NONE  
SETBACKS FRONT = 20 FT  
SIDE = 15 FT  
REAR = 15 FT  
MAX BLDG HEIGHT 70 FT  
MAX FAR 1.0  
LANDSCAPE BUFFER NONE  
PARKING REQUIRED: 1 PER 500 SF X 6,000 SF BLDG = 12 SPACES  
PROVIDED: 21 REGULAR + 1 HANDICAP = 22 SPACES  
ROW SETBACKS NONE

Christopher A  
Gmuer  
2024.07.02  
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SHEET INDEX

- C-000 COVER & SHEET INDEX
  - C-010 GENERAL NOTES & LEGEND
  - C-050 DEMOLITION & EROSION CONTROL PLAN
  - C-100 SITE & HORIZONTAL CONTROL PLAN
  - C-200 OVERALL GRADING & DRAINAGE PLAN
  - C-201 DETAILED GRADING, DRAINAGE, & UTILITY PLAN
  - C-500 LIFT STATION & FDOT HDD PLAN & PROFILE
  - E1.2 ELECTRICAL SITE PLAN
  - LP-1 LANDSCAPE PLANTING PLAN
  - LP-2 LANDSCAPE SPECS & DETAILS
- 1 OF 1 TOPOGRAPHIC SURVEY
- A1.0 FLOOR PLANS
  - A2.0 EXTERIOR ELEVATIONS
  - A1.0 FLOOR PLANS

PRICING:

2024-05-02 ISSUED FOR PRICING (NOT FOR CONSTRUCTION)

2024-07-02 ISSUED FOR PRICING (NOT FOR CONSTRUCTION)

CONSTRUCTION:

PERMITTING / DESIGN REVISIONS:

2024-03-29 30% PLANS FOR INTERNAL REVIEW

2024-04-10 60% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY)

2024-07-02 80% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY)

2024-07-02 80% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY)

ENGINEER OF RECORD:

CHRISTOPHER A. GMUER

FL PE # 71599

2024-07-02

STATE OF

FLORIDA

PROFESSIONAL ENGINEER

This item has been digitally signed and sealed by Christopher A. Gmuer, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

gmuer ENGINEERING

(352) 281-4928

gmueing.com

2803 NW 13th St, Box 314

Gainesville, FL 32609

CLIENT:

EQUIPMENTSHARE.COM, INC

DESIGN:

C.A. GMUER, PE

QUALITY CONTROL:

C.A. GMUER, PE

COLUMBIA COUNTY #

SP2314

FOOT DRAINAGE #

2024-D-282-0007

FOOT UTILITY #

001431-092-DWC

GEN. PROJECT #

25-004

EQUIPMENT SHARE

LAKE CITY

(US-90 & PRICE CREEK RD)

COVER & SHEET INDEX

C-000



STORMWATER MINIMUM OPERATION AND MAINTENANCE STANDARDS

- THE OPERATION AND MAINTENANCE ENTITY IS THE PROPERTY OWNER UNLESS OTHERWISE SPECIFIED.
- A. NO CLEARING, MOWING OR REMOVAL OF NATIVE, NON-INVASIVE VEGETATION SHALL TAKE PLACE INTERIOR TO THE PEDESTRIAN PATH, EXCEPT AS REQUIRED TO MEET THE PARAMETERS SET FORTH IN THE STORMWATER PERMIT OR TO MAINTAIN INLET AND OUTFALL STRUCTURES.
- B. IN ACCORDANCE WITH SECTION 373.31(6)(2), F.S., UNLESS REVOKED OR ABANDONED, ALL STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, RESERVOIRS, OR APPURTENANT WORKS, OR WORKS PERMITTED UNDER PART IV OF CHAPTER 373, F.S., MUST BE OPERATED AND MAINTAINED IN PERPETUITY. THE OPERATION AND MAINTENANCE SHALL BE IN ACCORDANCE WITH THE DESIGNS, PLANS, CALCULATIONS, AND OTHER SPECIFICATIONS THAT ARE SUBMITTED WITH AN APPLICATION, APPROVED BY THE AGENCY, AND INCORPORATED AS A CONDITION INTO ANY PERMIT ISSUED.
- C. UPON COMPLETION OF THE PERMITTED STORMWATER MANAGEMENT SYSTEMS, DAMS, RESERVOIRS, IMPOUNDMENTS, APPURTENANT WORK, OR WORKS, THE AGENCY SHALL HAVE PERIODIC INSPECTIONS MADE TO ENSURE THE PROJECT WAS CONSTRUCTED AND IS BEING OPERATED IN COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT, AND IN A MANNER THAT PROTECTS THE PUBLIC HEALTH AND SAFETY AND THE NATURAL RESOURCES OF THE STATE. NO PERSON SHALL REFUSE IMMEDIATE ENTRY OR ACCESS TO ANY AUTHORIZED REPRESENTATIVE OF THE DISTRICT OR DEP WHO REQUESTS ENTRY FOR PURPOSES OF SUCH INSPECTION AND PRESENTS APPROPRIATE CREDENTIALS.
- D. NO CLEARING, MOWING OR REMOVAL OF NATIVE, NON-INVASIVE VEGETATION SHALL TAKE PLACE INTERIOR TO THE PEDESTRIAN PATH.
- E. INSPECTIONS MAY BE PERFORMED BY AGENCY STAFF DURING AND AFTER CONSTRUCTION, WHEN NEEDED TO ENSURE A PROJECT IS BEING OPERATED AND MAINTAINED IN PERPETUITY. THE PERMIT MAY REQUIRE THE OPERATION AND MAINTENANCE ENTITY TO CONDUCT THE PERIODIC INSPECTIONS. THE REQUIRED INSPECTION SCHEDULE FOR A SPECIFIC PROJECT WILL BE SPECIFIED IN THE PERMIT.
- F. SOME PROJECTS THAT DO NOT CONSIST OF STORMWATER MANAGEMENT SYSTEM, DAM, IMPOUNDMENT, RESERVOIR, OR APPURTENANT WORK, WHETHER DESIGNED BY A REGISTERED PROFESSIONAL OR NOT, ALSO MAY BE REQUIRED IN THE PERMIT TO BE REGULARLY INSPECTED AND MONITORED TO ENSURE CONTINUED COMPLIANCE WITH PERMIT CONDITIONS AND THE FUNCTIONING OF THE PROJECT. THIS MAY INCLUDE INDIVIDUAL PERMITS ISSUED FOR ACTIVITIES AT A PRIVATE RESIDENTIAL SINGLE-FAMILY RESIDENCE. FOR EXAMPLE, A RESIDENTIAL FILL PAD MAY HAVE BEEN PERMITTED WITH SPECIFIC REQUIREMENTS FOR SLOPE DRAINAGE OR RUNOFF. A DOCK LOCATED IN WATERS WITH SENSITIVE RESOURCES MAY HAVE BEEN PERMITTED WITH CONDITIONS PROHIBITING MOORING IN CERTAIN AREAS OR SIZE OF 80 FEET OR LONGER. FOR EXAMPLE, FOR A DOCK, OR WITH REQUIREMENTS FOR HANDRAILS OR OTHER ASSOCIATED STRUCTURES. THE PERMIT WILL SPECIFY THE PERIODIC INSPECTIONS THAT WILL BE REQUIRED, AND HOW THE RESULTS OF THE INSPECTIONS ARE TO BE EITHER RETAINED BY THE PERMITTEE OR REPORTED TO THE AGENCY. EXAMPLES WHERE MONITORING AND REPORTING BY SUCH PERSONS MAY BE REQUIRED FOR SUCH ACTIVITIES ARE:
1. SINGLE-FAMILY DOCK (TO VERIFY THAT: HANDRAILS ARE CONSTRUCTED AND ARE MAINTAINED TO PREVENT MOORING OF VESSELS IN SHALLOW WATERS);
  2. LIFT-SLIP DOCKING FACILITY (TO VERIFY MAINTENANCE OF MANATEE PROTECTION SIGNS, SEWAGE PUMP-OUT FACILITIES, OR OVER-WATER FUELING OPERATION);
  3. SINGLE-FAMILY LOT LIFT (TO VERIFY LAWN GRADING AND SLOPING IS MAINTAINED TO REDUCE DISCHARGES OF NUTRIENTS FROM LAWN RUNOFF ENTERING SENSITIVE WATERS);
  4. SEAWALLS OR RIP RAP (TO VERIFY INTEGRITY OF SYSTEM OR SHORELINE PLANTINGS);
  5. LANDS WITHIN A CONSERVATION EASEMENTS (FOR ENCROACHMENTS, ALTERATIONS, OR EXOTICNUISANCE VEGETATION REMOVAL) IN ACCORDANCE WITH A PERMIT UNDER THIS CHAPTER;
  6. MITIGATION SITES (TO DETERMINE COMPLIANCE WITH SUCCESS CRITERIA, INCLUDING THE STATUS OF EXOTIC SPECIES REMOVALS), AND OTHER DREDGING OR FILLING (FOR EXAMPLE, DREDGED MATERIAL SITES AND DAMS TO ENSURE FUNCTIONING AND STABILITY OF DIKES AND CONTROL STRUCTURES).
- G. THE EFFICIENCY OF STORMWATER MANAGEMENT SYSTEMS, DAMS, IMPOUNDMENTS, AND MOST OTHER PROJECTS NORMALLY DECREASES OVER TIME WITHOUT CARE. FOR EXAMPLE, SLOPE EROSION OR SLOPE SLURRING IN THE FLOW CAPACITY OF A STORMWATER MANAGEMENT SYSTEM OFTEN CAN BE ATTRIBUTED TO PARTIAL BLOCKAGES OF ITS CONVEYANCE SYSTEM. ONCE FLOW CAPACITY IS COMPROMISED, FLOODING MAY RESULT. THEREFORE, OPERATION AND MAINTENANCE ENTITIES MUST PERFORM PERIODIC INSPECTIONS TO IDENTIFY IF THERE ARE ANY DEFICIENCIES IN STRUCTURAL INTEGRITY, DEGRADATION DUE TO INSUFFICIENT MAINTENANCE, OR IMPROPER OPERATION OF PROJECTS THAT MAY ENDANGER PUBLIC HEALTH, SAFETY, OR WELFARE, OR THE WATER RESOURCES. IF DEFICIENCIES ARE FOUND, THE OPERATION AND MAINTENANCE ENTITY WILL BE RESPONSIBLE FOR CORRECTING THE DEFICIENCIES TO RETURN THE PROJECT TO THE OPERATIONAL FUNCTIONS REQUIRED IN THE PERMIT AND COMTEMPLATED BY THE DESIGN OF THE PROJECT AS PERMITTED. THE CORRECTIONS MUST BE DONE A TIMELY MANNER TO PREVENT COMPROMISES TO FLOOD PROTECTION AND WATER QUALITY.
- H. INSPECTION AND REPORTING FREQUENCIES WILL BE INCLUDED AS PERMIT CONDITIONS BASED ON SITE SPECIFIC OPERATIONAL AND MAINTENANCE CONSIDERING THINGS AS:
1. THE TYPE, NATURE, AND DESIGN OF THE DESIGN AND PERFORMANCE STANDARDS PROPOSED, INCLUDING ANY ALTERNATIVE DESIGNS SUCH AS PERVIOUS PAVEMENT, GREEN ROOFS, CISTERNS, MANAGED AQUATIC PLANT SYSTEMS, STORMWATER HARVESTING, WETLAND TREATMENT TRAINS, LOW IMPACT DESIGNS, ALUM OR POLYMER INJECTION SYSTEMS;
  2. THE PROXIMITY OF RECEIVING WATERS CLASSIFIED AS OUTSTANDING FLOOD WATERS IN RULE 62-302.700, F.A.C., OR IMPAIRED FOR CONSTITUENTS LIKELY TO BE CONTAINED IN DISCHARGES FROM THE PROJECT;
  3. THE NATURE OF THE SITE, SUCH AS WHETHER IT IS PART OF A PORT OR LANDFILL, WHETHER THE SITE WILL IMPOUND MORE THAN 40 ACRE-FEET OF WATER, OR WILL INCLUDE ABOVE GROUND IMPOUNDMENTS;
  4. THE TOPOGRAPHY, RAINFALL PATTERNS, AND ADJACENT DEVELOPMENT SURROUNDING THE ACTIVITY SITE, INCLUDING ANY SPECIAL BASIN OR SPECIAL DESIGN WITHIN THE DISTRICT IN WHICH THE ACTIVITY IS LOCATED, AS IDENTIFIED IN PARAGRAPH 62-330.301(1)(K), F.A.C.
  5. THE NATURE OF THE UNDERLYING SOILS, GEOLOGY, AND GROUNDWATER, AND HYDROLOGY;
  6. THE POTENTIAL FOR CONSTRUCTION AND OPERATION OF THE PROJECT TO CAUSE HARM TO PUBLIC HEALTH, SAFETY, OR WELFARE, OR HARM TO WATER RESOURCES, WATER QUALITY STANDARDS, OR WATER QUALITY; AND
  7. PRIOR COMPLIANCE HISTORY WITH THE PROPOSED DESIGN AND PERFORMANCE TYPE, INCLUDING WHETHER THE ACTIVITY CHARACTERISTICS ARE LIKELY TO POSE MORE THAN A MINIMAL RISK FOR HARM.
- I. SPECIAL ATTENTION SHALL BE MADE DURING INSPECTIONS TO ENSURE THAT:
1. ALL EROSION IS CONTROLLED AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE;
  2. THE SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, OILS AND GREASES, AND OTHER REFUSE;
  3. STORMWATER MANAGEMENT SYSTEMS THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE DISCHARGE OF OILS OR GREASES, OILS AND GREASES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL OR BY OTHER LAWFUL MEANS; AND
  4. ALL STRUCTURES WITHIN STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM INOPERABLE.
- H. UNLESS OTHERWISE SPECIFIED IN THE PERMIT, THE OPERATION AND MAINTENANCE ENTITY MUST MAINTAIN A RECORD OF EACH INSPECTION, INCLUDING THE DATE OF INSPECTION, THE NAME AND CONTACT INFORMATION OF THE INSPECTOR, WHETHER THE SYSTEM WAS FUNCTIONING AS DESIGNED AND PERMITTED, AND MAKE SUCH RECORD AVAILABLE UPON REQUEST OF THE AGENCY, IN ACCORDANCE WITH THE REPORTING SECTION, BELOW.
- I. THE INSPECTION AND REPORTING REQUIREMENTS CONTAINED IN A PERMIT ISSUED UNDER PART IV OF CHAPTER 373, F.S., PRIOR TO OCTOBER 1, 2013, THE EFFECTIVE DATE OF CHAPTER 62-330, F.A.C., WHICH IMPLEMENTS SECTION 373.41(1), F.S., SHALL CONTINUE TO BE FOLLOWED IN ACCORDANCE WITH THE EXISTING PERMIT UNLESS THE PERMITTEE OBTAINS A NEW PERMIT UNDER CHAPTER 62-330, F.A.C., TO COMPLY WITH THE PERMIT. THE PERMITTEE SHALL COMPLY WITH THE INSPECTION AND REPORTING REQUIREMENTS OF RULE 62-330.311, F.A.C., THESE NOTES, AND SECTION 12.4 OF THE ENVIRONMENTAL RESOURCE PERMIT APPLICANT'S HANDBOOK, VOLUME I (GENERAL AND ENVIRONMENTAL).

STORMWATER INSPECTION REPORTING

- A. ALL FORMS REQUIRED FOR REPORTING CAN BE SUBMITTED TO THE RESPECTIVE AGENCY INTERNET SITE. IF THE PERMITTEE DOES NOT HAVE ACCESS TO THE INTERNET, THEY SHALL BE PROVIDED WITH A FORM FOR RETAINING RECORDS OF THE INSPECTIONS AND FOR DELIVERING SUCH RECORDS WITHIN 30 DAYS OF REQUEST TO THE REQUESTING AGENCY, UNLESS A MORE RAPID DELIVERY IS REQUESTED FOR SUCH REASONS AS THE POTENTIAL FOR THE ACTIVITY HARM TO WATER QUALITY, WATER RESOURCES, PUBLIC HEALTH, OR PUBLIC SAFETY.
- B. WITHIN 30 DAYS OF ANY FAILURE OF A STORMWATER MANAGEMENT SYSTEM OR DEVIATION FROM THE PERMIT, A REPORT SHALL BE SUBMITTED ELECTRONICALLY OR IN WRITING TO THE AGENCY USING FORM 62-330.311(1), "OPERATION AND MAINTENANCE INSPECTION CERTIFICATION," DESCRIBING THE REMEDIAL ACTIONS TAKEN TO RESOLVE THE FAILURE OR DEVIATION.
- C. THE OPERATION AND MAINTENANCE ENTITY OF A REGIONAL STORMWATER MANAGEMENT FACILITY MUST NOTIFY THE AGENCY ON AN ANNUAL BASIS, USING FORM 62-330.311(2), "REGIONAL STORMWATER MANAGEMENT SYSTEM ANNUAL REPORT," OF ALL NEW SYSTEMS AND THEIR ASSOCIATED STORMWATER VOLUMES THAT HAVE BEEN ALLOWED TO DISCHARGE STORMWATER INTO THE REGIONAL FACILITY, AND CONFIRMING THAT THE MAXIMUM ALLOWABLE TREATMENT VOLUME OF STORMWATER AUTHORIZED TO BE ACCEPTED BY THE REGIONAL STORMWATER MANAGEMENT FACILITY HAS NOT BEEN EXCEEDED.
- D. A LISTING OF ALL THE FORMS THAT ARE INCORPORATED BY REFERENCE IN CHAPTER 62-330, F.A.C., IS CONTAINED IN APPENDIX C OF THE ERP APPLICANTS' HANDBOOK, VOLUME I; COPIES OF WHICH MAY BE OBTAINED FROM THE AGENCY, AS DESCRIBED IN APPENDIX A OF THAT VOLUME AND SUBSECTION 62-330.010(5), F.A.C.

EROSION CONTROL AND STABILIZATION

1. CONTRACTOR IS REQUIRED TO SUBMIT A COMPLETE NOI AND APPROPRIATE FEE TO SECURE A FDEP EROSION PERMIT FOR STORMWATER CONSTRUCTION ACTIVITIES (CPW) AT LEAST TWO DAYS BEFORE CONSTRUCTION BEGINS. A PERMIT IS REQUIRED FOR CONSTRUCTION ACTIVITIES THAT DISTURB ONE OR MORE ACRES OR IF THE PROJECT IS PART OF A LARGER DEVELOPMENT THAT WILL ULTIMATELY DISTURB ONE OR MORE ACRES.
2. PROJECTS THAT DISCHARGE STORMWATER TO AN MS4, A COPY OF THE NOI MUST ALSO BE SUBMITTED TO THE OPERATOR OF THE MS4.
3. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR OBTAINING PERMIT COVERAGE AND IMPLEMENTING APPROPRIATE POLLUTION PREVENTION AND CONTROL MEASURES. THE DOCUMENTATION MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE, HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE COST OF THE CONTRACTOR UTILIZING STANDARD METHODS.
4. WHEN THE OPERATOR CHANGES, THE NEW OPERATOR SHOULD OBTAIN PERMIT COVERAGE AT LEAST 2 DAYS BEFORE ASSUMING CONTROL OF THE PROJECT AND THE PREVIOUS OPERATOR SHALL BE CONDUCTED AT LEAST ONCE. STORMWATER NOTICE OF TERMINATION WITHIN 14 DAYS OF RELINQUISHING CONTROL OF THE PROJECT TO A NEW OPERATOR.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENTATION CONTROLS UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED.
6. ALL DISTURBED AND OPEN AREAS OF THE SITE SHALL BE SODDED UNLESS INDICATED OTHERWISE.

WARRANTIES

1. IF NOT SPECIFICALLY INDICATED IN THE CONTRACT DOCUMENTS, ALL IMPROVEMENTS SHALL BE WARRANTED BY THE CONTRACTOR TO THE OWNER FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. THIS WARRANTY WILL ALSO EXTEND TO THE MAINTENANCE ENTITY OF ANY OTHER IMPROVEMENTS INCLUDING ROADS, SIDEWALKS, UTILITIES, STORM PIPING, ETC. OR TO THE EXTENT REQUIRED BY THEIR APPLICABLE DESIGN STANDARDS.

DESIGN ELEMENTS AND INFORMATION FURNISHED BY OTHERS

1. THE ENGINEER AND ITS CONSULTANTS PREPARED THESE PLANS AND DESIGN DOCUMENTS THROUGH THE USE OR RELIANCE UPON DESIGN ELEMENTS AND INFORMATION ORDINARILY OR CUSTOMARILY FURNISHED BY OTHERS, INCLUDING, BUT NOT LIMITED TO, SURVEYORS, GEOTECHNICAL ENGINEERS, ENVIRONMENTAL CONSULTANTS, ARCHITECTS, BUILDING SYSTEMS ENGINEERS, SPECIALTY CONTRACTORS, MANUFACTURERS, SUPPLIERS, AND THE PUBLISHERS OF TECHNICAL STANDARDS. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR DESIGN ERROR AND OMISSIONS RESULTING FROM THE QUALITY OF THIS INFORMATION.
2. ALL POINTS OF COORDINATION OR INTERFACE BETWEEN THESE PLANS AND DESIGN DOCUMENTS AND THE PLANS AND DESIGN DOCUMENTS OF OTHERS MUST BE COMPARED BY THE CONTRACTOR.
3. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE PROCURING MATERIALS AND INSTALLATION.

UTILITY LOCATES, RELOCATION, PROTECTION, AND TERMINATION

1. UTILITY LOCATES SHALL BE COMPLETED BY THE CONTRACTOR PRIOR TO THE INITIATION OF SITE CONSTRUCTION.
2. PROPOSED UTILITY TAPS AND CROSSINGS SHALL BE PHYSICALLY LOCATED AND VERIFIED BY THE CONTRACTOR AS SOON AS PRACTICABLE AND SHALL CONTACT THE ENGINEER IMMEDIATELY WITH ANY DISCREPANCIES OR CONFLICTS.
3. UTILITY RELOCATION, SUPPORT, PROTECTION, TERMINATION, CAPPING, AND REMOVAL SHALL BE COORDINATED BY THE CONTRACTOR WITH UTILITY COMPANIES. ADEQUATE TIME SHALL BE PROVIDED FOR PROPER COORDINATION AND TO MINIMIZE SERVICE INTERRUPTIONS.
4. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES TO THE UTILITY COMPANY FOR THEIR SERVICES.

SAFETY AND TEMPORARY TRAFFIC CONTROL (MAINTENANCE OF TRAFFIC)

1. ALL SAFETY REGULATIONS AND PRACTICES SHALL BE ENFORCED BY THE CONTRACTOR THROUGHOUT THE DURATION OF THIS PROJECT. THIS ALSO INCLUDES THE TRAVELING PUBLIC. THE FOLLOWING IS A NOTICE TO THE CONTRACTOR AND DOES NOT IMPLY THAT THE OWNER OR ENGINEER WILL INSPECT OR ENFORCE SAFETY REGULATIONS.
2. LABOR SAFETY REGULATIONS SHALL CONFORM TO THE PROVISIONS SET FORTH BY OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS.
3. ALL SUBSURFACE CONSTRUCTION SHALL CONFORM TO THE PROVISIONS SET FORTH BY THE "TRENCH SAFETY ACT".
4. TEMPORARY TRAFFIC CONTROL (TTC) IS REQUIRED FOR ALL WORKS ON HIGHWAYS, ROADS, STREETS, BIKE LANES, SIDEWALKS AND SHALL HAVE A TTC PLAN. THE PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER THAT IS FOOT ADVANCED NOT CERTIFIED AT THE COST OF THE CONTRACTOR. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED TTC PLAN AND THE REVIEWING AGENCY'S APPROVED PROCEDURES. THE PLAN AND WORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

GENERAL AND MISCELLANEOUS NOTES

1. THESE PLANS, DESIGN DOCUMENTS, AND NOTES ARE NOT EXHAUSTIVE. ALL THE APPLICABLE CONSTRUCTION STANDARDS AND DETAILS THAT ARE LISTED, REFERENCED, OR IMPLIED ARE INCLUDED IN THE CONTRACT DOCUMENTS.
2. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE REVIEWING AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.
3. THE REPAIR OF DAMAGE EITHER ABOVE OR BELOW GROUND BY THE CONTRACTOR OR SUB-CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE WILL BE IN THE OPINION OF THE OWNER, APPLICABLE AGENCY, OR ENGINEER. ALL REPAIRS SHALL BE MADE AT CONTRACTOR EXPENSE IN A MANNER SPECIFIED BY THE PARTICULAR ENTITY.
4. CONTRACTOR IS RESPONSIBLE FOR GRADING ALL PAVEMENT, SIDEWALKS, AND GRADING AROUND BUILDINGS TO DRAIN POSITIVELY. INTERSECTIONS SHALL BE TRANSITIONED TO PROVIDE SMOOTH DRIVING SURFACE WHILE MAINTAINING POSITIVE DRAINAGE.
5. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY OBSERVED AREAS OF POOR DRAINAGE PRIOR TO PLACEMENT OF CURBS OR PAVEMENT COURSES.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, INSPECTED, AND TESTED PRIOR TO PAVEMENT BASE OR SIDEWALK INSTALLATION.

TREE PRESERVATION AND DEMOLITION

1. CONTRACTOR SHALL VERIFY AND PROTECT ALL EXISTING TREES AND NATURAL VEGETATION THAT ARE INDICATED TO REMAIN UNDER THE PROJECT.
2. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY DEMOLITION.
3. ALL TREES NOT SPECIFICALLY SHOWN TO BE PRESERVED OR REMOVED SHALL CONFORMED WITH THE REVIEWING AGENCY AND THE OWNER. THE PROTECTION OR REMOVAL IS AT THE COST OF THE CONTRACTOR.
4. CONTRACTOR SHALL SUBMIT DEMOLITION SCHEDULE TO OWNER PRIOR TO PROCEEDING WITH DEMOLITION ACTIVITIES.
5. DISTURBED AREAS SHALL BE CLEARED AND GRUBBED TO REMOVE ALL ROOTS, MISCELLANEOUS VEGETATION, DELETERIOUS WILDER GROWTH, AND OTHERS.
6. SOME ITEMS TO BE REMOVED OR SALVAGED MAY NOT BE DEPCTED ON THE PLANS OR SURVEY. CONTRACTOR SHALL BE AWARE OF ALL EXISTING IMPROVEMENTS WITHIN THE CONSTRUCTION LIMITS AND CONFIRM AN INVENTORY WITH THE OWNER.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OR SALVAGE OF ALL EXISTING BUILDINGS, STRUCTURES, SLABS, CONCRETE, ASPHALT, DEBRIS PILLS, SIGNS, ETC., AND THEIR APPURTENANCES UNLESS OTHERWISE NOTED. ALL ITEMS SHALL BE PROPERLY DISPOSED IN A LEGAL MANNER.
8. PROVIDE PROTECTION AS NECESSARY TO PREVENT DAMAGE TO EXISTING IMPROVEMENTS SHOWN IN THE PLANS TO REMAIN.

PERMITTING, CONSTRUCTION STANDARDS, SUBMITTALS, REQUESTS FOR INFORMATION, INSPECTIONS, TESTING, PUNCH LISTS, RECORD DRAWINGS, AND AS-BUILTS

1. SITE CLEARING AND DEMOLITION MAY NOT BE AT BEGIN UNTIL CERTAIN PERMITS HAVE BEEN ISSUED AND MAY REQUIRE PRE-CONSTRUCTION MEETINGS, INSPECTIONS, CLEARANCES. THESE PERMITS ARE TYPICALLY ISSUED BY THE APPLICABLE WATER MANAGEMENT DISTRICT AND THE MUNICIPALITY.
2. OTHER PERMITS ARE REQUIRED PRIOR TO COMPLETING OTHER SITE COMPONENTS SUCH AS THE UTILITY CONSTRUCTION PERMITS, DRIVEWAY CONNECTION PERMITS, ROW USE PERMITS, ETC.
3. CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF ALL REQUIRED PERMITS, BONDS, TESTING, INSPECTIONS, CERTIFICATIONS, ETC. PRIOR TO AND DURING CONSTRUCTION (E.G. FDEP CGP DEWATERING, MOT, WATERSEWER INSPECTIONS).
4. A COMPLETE SET OF PERMITTED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
5. THE CONTRACTOR IS RESPONSIBILITY TO VERIFY THE CONSTRUCTION STANDARDS APPLICABLE TO EACH PORTION OF THE PROJECT. A SUGGESTED LIST OF APPLICABLE STANDARDS TYPICALLY ACCOMPANY THIS NOTE ON THIS PLAN SHEET.
6. CONTRACTOR SHALL FURNISH SHOP DRAWINGS TO THE ENGINEER INDICATING MATERIALS AND MANNER OF INSTALLATION FOR ALL COMPONENTS OF THE PROJECT PRIOR TO PROCUREMENT OF MATERIALS AND INSTALLATION (E.G. PRECAST STRUCTURES, MANUFACTURED ITEMS). FAILURE TO OBTAIN APPROVAL BEFORE INSTALLATION MAY RESULT IN REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ALL REQUESTS FOR INFORMATION SHALL BE SUBMITTED TO THE ENGINEER FOR RESPONSE BEFORE COMMENCING THE RELATED WORK VIA THE OWNER'S CONSTRUCTION DOCUMENTATION PROCESS.
8. CONTRACTOR IS RESPONSIBLE FOR COMPILING A LIST INSPECTIONS AND FIELD VISITS DESIRED BY THE OWNER AND THE ENGINEER AND REASONABLY SCHEDULING THOSE INSPECTIONS.
9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND COORDINATING ALL INSPECTIONS REQUIRED BY THE REVIEWING AGENCIES AS LISTED IN THE PERMITS, INSPECTOR'S REQUEST, OR IMPLIED BY THE DESIGN STANDARDS.
10. CONTRACTOR SHALL CONTACT WITH AN INDEPENDENT TESTING LABORATORY TO PERFORM TESTING OF MATERIALS, SOILS, UTILITIES, ETC. THE TESTING SHALL BE IN ACCORDANCE WITH THE APPROVED PERMITS, CONSTRUCTION STANDARDS, INSPECTOR'S REQUEST, DESIGN REPORTS, AND STANDARD PAVING AND GRADING TESTING. THIS SHALL INCLUDE DENSITY TESTING IN ALL PAVEMENT AREAS, UTILITY TRENCH COMPACTION SPECIAL AREAS, CONCRETE, AND OTHER MATERIALS TESTING.
11. SHOULD ANY RETESTING BE REQUIRED DUE TO THE FAILURE OF ANY TESTS TO MEET THE REQUIREMENTS, THE CONTRACTOR IS RESPONSIBLE FOR ALL RETESTING COSTS AND ANY RECONSTRUCTION REQUIRED TO MEET THE TESTING REQUIREMENTS.
12. CONTRACTOR SHALL COORDINATE WITH THE ENGINEER THE SCHEDULE OF PUNCH LIST SITE VISITS WITH THE CONSTRUCTION SCHEDULE TO AVOID REPEAT VISITS. A TIMELINE OF ADDRESSING THE PUNCH LIST ITEMS SHALL BE PROVIDED IN A TIMELY MANNER. ANY DISPUTES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER.
13. RECORD DRAWINGS ARE DEFINED AS NOTES AND OTHER DOCUMENTATION COLLECTED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AS IT RELATES TO INSTALLATION PROGRESS, FIELD CONDITIONS, MEANS, METHODS, MATERIALS, AND THE FINISHED CONSTRUCTION DOCUMENTS. THE DOCUMENTATION MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES UPON REQUEST. RECORD DRAWINGS ARE NOT INTENDED TO BE EXHAUSTIVE, HOWEVER, VERIFICATION OF INSTALLED CONDITIONS CAN BE REQUESTED AT THE COST OF THE CONTRACTOR UTILIZING STANDARD METHODS.
14. CONTRACTOR IS RESPONSIBLE FOR PROVIDING COMPLETE AS-BUILT INFORMATION TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES AT THE COST OF THE CONTRACTOR.
15. AS-BUILTS ARE DEFINED AS A DRAWING PRODUCED BY A REGISTERED LAND SURVEYOR BASED ON FIELD MEASUREMENTS WITH LOCATIONS OF THE FINISHED CONSTRUCTION. THE DOCUMENTATION MUST BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND REVIEWING AGENCIES REQUIREMENTS PER PERMIT AND CLOSED REQUIREMENTS. THEY SHOULD ALSO MEET THE OWNER'S NEED FOR LENDING, WARRANTTEE, AND OTHER REQUIREMENTS.
16. AS-BUILTS CONTAIN AT A MINIMUM: BUILDING LOCATION AND FINISHED FLOOR ELEVATIONS, ACCESSIBLE ROUTE AND PARKING GRADES, PAVEMENT GRADE GRASSES, GRAVITY STRUCTURE TOP ELEVATIONS AND PIPE SIZES AND INVERTS, PRESSURE SYSTEM FITTINGS AND VALVES, SAMPLING POINTS, STORMWATER FACILITY TOP AND BOTTOM PERIMETERS AND OTHER FEATURES, OUTFALL STRUCTURE DETAILS, ETC. AND OTHER LOCATIONS WHERE FIELD CONDITIONS DO NOT MATCH THE CONTRACT DOCUMENTS.
17. ADDITIONAL AS-BUILT INFORMATION MAY BE REQUIRED DURING CONSTRUCTION INSTALLATIONS AT CRITICAL AREAS. THIS INCLUDES BUT IS NOT LIMITED TO PIPE CROSSINGS OF WATER MAINS WITH LESS THAN 18 INCHES OF CLEARANCE OR WHEN PARALLEL UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

WORK WITHIN THE COUNTY RIGHT-OF-WAY

1. A RIGHT-OF-WAY USE PERMIT SHALL BE REQUIRED FOR ANY WORK WITHIN THE RIGHT-OF-WAY THAT INCLUDES LIGHTING, LANDSCAPING, AND IRRIGATION. PERMITS SHALL BE REQUIRED FROM CPWP.
2. CONTRACTOR SHALL OBTAIN AN APPROVED MAINTENANCE OF TRAFFIC (MOT) PLAN FROM CPWP PRIOR TO COMMENCING CONSTRUCTION IN THE RIGHT-OF-WAY OF US 441.
3. THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY CPWP FOR WORK WITHIN THEIR RESPECTIVE RIGHT-OF-WAY.
4. NO WORK SHALL BE DONE NOR MATERIALS USED IN THE RIGHT-OF-WAY WITHOUT INSPECTION BY CPWP. THE CONTRACTOR SHALL FURNISH CPWP WITH VERIFIABLE REASONABLE EVIDENCE OF ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
5. CPWP RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN RESPECTIVE RIGHT-OF-WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COST SHALL BE BORNE BY THE CONTRACTOR.
6. CPWP SHALL BE NOTIFIED 24 HOURS IN ADVANCE FOR INSPECTION OF PERTINENT STAGES OF CONSTRUCTION WITHIN THEIR RESPECTIVE RIGHT-OF-WAY. SUBGRADE PREPARATION, LIMEROCK PLACEMENT, INSPECTION OF THE SWEPT LIMEROCK BASE PRIOR TO THE PLACEMENT OF ASPHALT, AND OTHERS AS REQUIRED FOR APPROVAL.

STANDARD ABBREVIATIONS

ADJ	ADJACENT	LONG	LONGITUDE
ALUM	ALUMINUM	LEFT	LEFT
APT	APARTMENT	MAINT	MAINTENANCE
ASPH	ASPHALT	MAX	MAXIMUM
BJS	BORE & JACK	MES	METERED END SECTION
BLD	BUILDING	MH	MANHOLE
BM	BENCHMARK	MIN	MINIMUM
BOW	BACK OF CURB	MONTH	MONTH
BOL	BOTTOM OF WALL	MUTCD	MANUAL ON UNIFORM TRAFFIC DESIGN
BCL	BUILDING SETBACK LINE	N	NORTH
C1	CURB & GUTTER	N/A	NOT APPLICABLE
CG	CURVE ONE	NE	NORTH EAST
CATV	CABLE TELEVISION	NG	NATURAL GRADE
CEC	CLAY ELECTRIC COOPERATIVE	NTS	NOT IN CONTRACT
CF	CUBIC FEET	NUM	NUMBER
CI	CAST IRON	NOT	NOT TO SCALE
CIP	CAST-IN-PLACE	NC	NORTH WEST
CL	CENTER LINE	OC	ON CENTER
CLP	CHAIN LINK FENCE	OE	ON EROSION ENGINEER
CMU	CONCRETE MASONRY UNIT	POB	POINT OF BEGINNING
COMM	COMMUNICATIONS	POE	POINT OF ENDING
CONC	CONCRETE	PL	PROPERTY LINE
CUB	CUBIC YARD	PRM	PERMANENT REFERENCE MARKER
DCB	DITCH BOTTOM INLET	PSI	POUNDS PER SQUARE INCH
DOQB	DOUBLE DETECTOR CHECK BACKFLOW	PUE	PUBLIC UTILITY EASEMENT
DEG	DEGREES	RCP	PLANNED URBAN DEVELOPMENT
DHWL	DESIGN HIGH WATER LEVEL	PVC	POLYVINYL CHLORIDE
DI	DUCTILE IRON	PVT	PAVEMENT
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DIM	DIMENSION	REF	REFERENCE
DIP	DUCTILE IRON PIPE	ROW	RIGHT OF WAY
E	ELEVATION	RPRB	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
ELEC	ELECTRIC	RT	RIGHT
EOP	EDGE OF PAVEMENT	S	SOUTH
ERP	ELLIPTICAL REINFORCED CONCRETE PIPE	SE	SIDEWALK
ESMT	EASEMENT	SE	SOUTH EAST
EX	EXISTING	SE	SQUARE FEET
FDC	FIRE DEPARTMENT CONNECTION	SP	SWITCH GEAR
FE	FINISH FLOOR ELEVATION	SS	SANITARY SEWER
FF	FINISH GRADE	ST	STORM SEWER
FH	FIRE HYDRANT	STD	STORM CLEANOUT (TYP ROOF DRAINS)
FL	FIRE LINE	STA	STATION
FM	FORCE MAIN	STD	STANDARD
FO	FLOOD PLAN	STEL	STEEL
FUT	FUTURE	SW	SOUTH WEST
GV	GATE VALVE	SW	SQUARE YARD
HC	HANDICAP	TBRC	TRAFFIC BEARING RING & COVER
HORIZ	HORIZONTAL	TEL	TELEPHONE
HR	HOUR	TF	TRANSFORMER
INV	INVERT	TV	TELEVISION
LF	LINEAR FEET	TOW	TOP OF WALL
LINE	LINE ONE	TYP	TYPICAL
LAT	LATITUDE	UTL	UTILITY
		VCP	VITRIFIED CLAY PIPE
		VEH	VEHICLE
		W	WEST
		W/	WITH
		WWW	WATER / WASTEWATER
		WW	WATER MAIN
		WS	WATER SERVICE
		WW	WASTEWATER
		YR	YEAR

GENERAL LEGEND - SEE PLANS FOR ADDITIONAL CALLOUTS

—CABLE—	—CABLE—	EXISTING CABLE
—COM—	—COM—	EXISTING COMMUNICATIONS
—OHE—	—OHE—	EXISTING ELECTRIC OVERHEAD
—UG—	—UG—	EXISTING ELECTRIC UNDERGROUND
—FIBER—	—FIBER—	EXISTING FIBER OPTIC
—FIRE—	—FIRE—	EXISTING FIRE
—FM—	—FM—	EXISTING FORCEMAIN
—GAS—	—GAS—	EXISTING GAS
—RCW—	—RCW—	EXISTING RECLAIMED WATER
—STORM—	—STORM—	EXISTING STORM
—TEL—	—TEL—	EXISTING TELEPHONE
—WATER—	—WATER—	EXISTING WATER
—WM—	—WM—	EXISTING WATER
—99—	—99—	EXISTING ELEVATION CONTOUR
—99—	—99—	PROPOSED ELEVATION CONTOUR
—SILT—	—SILT—	SWALE CENTERLINE
—TREE—	—TREE—	PROPOSED GRADE SPOT ELEVATION
—SETBACK—	—SETBACK—	SILT FENCE
—BUFFER—	—BUFFER—	TREE BARRICADE
—PROPERTY—	—PROPERTY—	SETBACK
—EXISTING—	—EXISTING—	PROPERTY BOUNDARY
—EXISTING—	—EXISTING—	EXISTING FENCE

STORMWATER POLLUTION PREVENTION PLAN

THE FOLLOWING STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS PREPARED IN CONFORMANCE WITH FDOT DESIGN MANUAL CHAPTER 320 AND THE FOLLOWING NARRATIVE CONTAINS REFERENCES TO THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE FDOT DESIGN STANDARDS, AND OTHER SHEETS OF THE CONSTRUCTION PLANS (0-000 COVER & SHEET INDEX) REFERENCES ALL THE OTHER COMPONENTS OF THE SWPPP. A COMPLETE STORMWATER POLLUTION PREVENTION PLAN INCLUDES SEVERAL ITEMS; THIS NARRATIVE DESCRIPTION, THE DOCUMENTS REFERENCED IN THIS NARRATIVE, THE CONTRACTOR'S APPROVED EROSION AND SEDIMENTATION CONTROL PLAN REQUIRED BY FDOT SPECIFICATION SECTION 104, AND REPORTS OF INSPECTIONS MADE DURING CONSTRUCTION.

1. SITE DESCRIPTION:
  - 1.A. NATURE OF CONSTRUCTION ACTIVITY: THE PROJECT PROPOSES EROSION/SEMENTAL RENTAL FACILITY WITH ASSOCIATED STORMWATER MANAGEMENT FACILITY, DRIVEWAY CONNECTION, AND UTILITY INSTALLATIONS.
  - 1.B. SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

IN THE SEDIMENT AND EROSION CONTROL PLAN, THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION FOR ALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PROVIDE THE SEQUENCE OF MAJOR ACTIVITIES DESCRIBED BELOW, UNLESS THE CONTRACTOR PROPOSES A DIFFERENT SEQUENCE THAT IS EQUAL OR BETTER AT PREVENTING EROSION AND TRAPPING SEDIMENT AND IS APPROVED BY THE ENGINEER.
  - 1.B.1. INSTALL PERIMETER CONTROLS AND TREE PROTECTION BARRIERS BEFORE BEGINNING OTHER WORK FOR THE CONSTRUCTION PHASE. THESE MAY ONLY BE REMOVED AFTER ALL UPSTREAM AREAS ARE STABILIZED.
  - 1.B.2. CLEARING AND GRUBBING: EARTHWORK, AND STORM DRAIN CONSTRUCTION FOR THE OUTFALL FROM THE STORMWATER MANAGEMENT FACILITIES (SMF)
  - 1.B.3. CLEARING AND GRUBBING: EARTHWORK FOR STORMWATER MANAGEMENT FACILITY (SMF) CONSTRUCTION
  - 1.B.4. CLEARING AND GRUBBING: EARTHWORK FOR BUILDING FOUNDATION, WALLS, ETC CONSTRUCTION
  - 1.B.5. STORM DRAIN, UTILITY, AND ROADWAY UNDERDRAIN CONSTRUCTION - CONSTRUCT THE STORM DRAIN PIPE IN THE UPSTREAM DIRECTION
  - 1.B.6. EARTHWORK ASSOCIATED WITH THE CONSTRUCTION OF ROADWAY, GRAVITY WALL, CURB, SUBGRADE, BASE, PAVEMENT, AND SIDEWALK
  - 1.B.7. CONSTRUCT UNDERDRAIN IN POND BOTTOM.
  - 1.B.8. FINAL GRADING AND PERMANENT STABILIZING OF STORMWATER MANAGEMENT FACILITIES (SMF) SHALL WAIT UNTIL THE COMPLETION OF ALL OTHER MAJOR SOIL DISTURBING ACTIVITIES
  - 1.C. AREA ESTIMATES:

TOTAL PROPERTY AREA: 6 ACRES  
TOTAL ESTIMATED AREA TO BE DISTURBED: 6 ACRES  
TOTAL WETLAND AREA: 0 ACRES  
TOTAL DISTURBED WETLAND AREA: 0 ACRES
  - 1.D. RUNOFF DATA:

NORTH BASIN PRE-DEVELOPMENT RUNOFF COEFFICIENT: 0.20  
NORTH BASIN POST-DEVELOPMENT RUNOFF COEFFICIENT: 0.66  
SOUTH BASIN PRE-DEVELOPMENT RUNOFF COEFFICIENT: 0.20  
SOUTH BASIN POST-DEVELOPMENT RUNOFF COEFFICIENT: 0.20  
SOILS: GENERALLY SANDY AND SANDY SILT - SEE THE GEOTECHNICAL REPORT OF THE EXISTING SOIL CONDITIONS FOR ADDITIONAL INFORMATION.
  - 1.E. OUTFALL INFORMATION:

SMF-NORTH OF TEMPO RASIN OF SITE CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO ADJUST AND MODIFY THE EROSION AND SEDIMENTATION CONTROL PLANS FOR THE AREAS TO BE DISTURBED. ANY AREAS NOT TO BE DISTURBED: SEE THE EROSION AND SEDIMENTATION CONTROL PLANS AND TREE PROTECTION PLANS FOR THE AREAS TO BE PROTECTED
  - 1.F. SITE MAP: THESE CONSTRUCTION PLANS SERVE AS THE SITE MAPS FOR THE PROJECT. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR THE PLAN SHEETS REFERENCED ARE IDENTIFIED ON C-000 COVER & SHEET INDEX OF THESE CONSTRUCTION PLANS.
  - 1.F.1. DRAINAGE PATTERNS: SEE THE GRADING PLANS FOR DRAINAGE BASIN DIVIDES AND FLOW DIRECTIONS
  - 1.F.2. APPROXIMATE SLOPES: SEE THE GRADING PLANS AND SMF CROSS SECTIONS FOR EXISTING AND PROPOSED SLOPES OF THE SITE
  - 1.F.3. AREAS OF SOIL DISTURBANCE: SEE THE GRADING PLANS AND SMF CROSS SECTIONS FOR EXISTING AND PROPOSED SLOPES OF THE SITE
  - 1.F.4. AREAS WHERE PERMANENT FEATURES ARE SHOWN TO BE CONSTRUCTED ABOVE OR BELOW GROUND WILL BE DISTURBED
  - 1.F.5. AREAS NOT TO BE DISTURBED: SEE THE EROSION AND SEDIMENTATION CONTROL PLANS AND TREE PROTECTION PLANS FOR THE AREAS TO BE PROTECTED
  - 1.F.6. LOCATIONS OF PERMANENT CONTROLS: SEE THE STORMWATER MANAGEMENT FACILITY CROSS SECTIONS AND THE LANDSCAPE PLANS
  - 1.F.7. AREAS TO BE STABILIZED: ALL DISTURBED AREAS MUST BE STABILIZED WITH PERMANENT CONTROLS
  - 1.F.8. SURFACE WATERS: NO SURFACE WATERS ADJACENT TO THE SITE DIRECTLY ADJACENT TO THE SITE
  - 1.F.9. DISCHARGE POINTS TO SURFACE WATERS: NONE ARE PROPOSED
  - 1.G. RECEIVING WATERS: SEE OUTFALL INFORMATION ABOVE

2. CONTROLS:
  - 2.A. EROSION AND SEDIMENT CONTROLS:

THE SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES LISTED ABOVE AND AS SHOWN IN THE EROSION AND SEDIMENTATION CONTROL PLAN BASED ON GENERAL PRACTICES TO ADJUST AND MODIFY THE EROSION AND SEDIMENTATION CONTROL PLAN BASED ON THE ACTUAL PLANNED SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO MODIFY THE PLAN TO ADAPT TO SEASONAL VARIATIONS, CHANGES IN CONSTRUCTION ACTIVITIES, AND THE NEED FOR BETTER PRACTICES.
  - 2.B. STABILIZATION PRACTICES:

THE CONTRACTOR SHALL DESCRIBE THE STABILIZATION PRACTICES PROPOSED TO CONTROL EROSION. THE CONTRACTOR SHALL INITIATE ALL STABILIZATION MEASURES AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN THE REQUIREMENTS OF THE PERMITTING AGENCIES. FOR THE FDEP GENERAL PERMIT FOR CONSTRUCTION ACTIVITIES, THE MINIMUM IS 7 DAYS AFTER CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. UNLESS OTHERWISE APPROVED BY AN ENGINEER, THE STABILIZATION PRACTICES SHALL INCLUDE AT LEAST THE FOLLOWING:

    - 2.B.1. TEMPORARY:

ARTIFICIAL COVERINGS IN ACCORDANCE WITH SPECIFICATION SECTION 104

TURF AND SOD IN ACCORDANCE WITH SPECIFICATION SECTION 104
    - 2.B.2. PERMANENT:

ASPHALT OR CONCRETE SURFACE AS SHOWN IN THE CONSTRUCTION PLANS

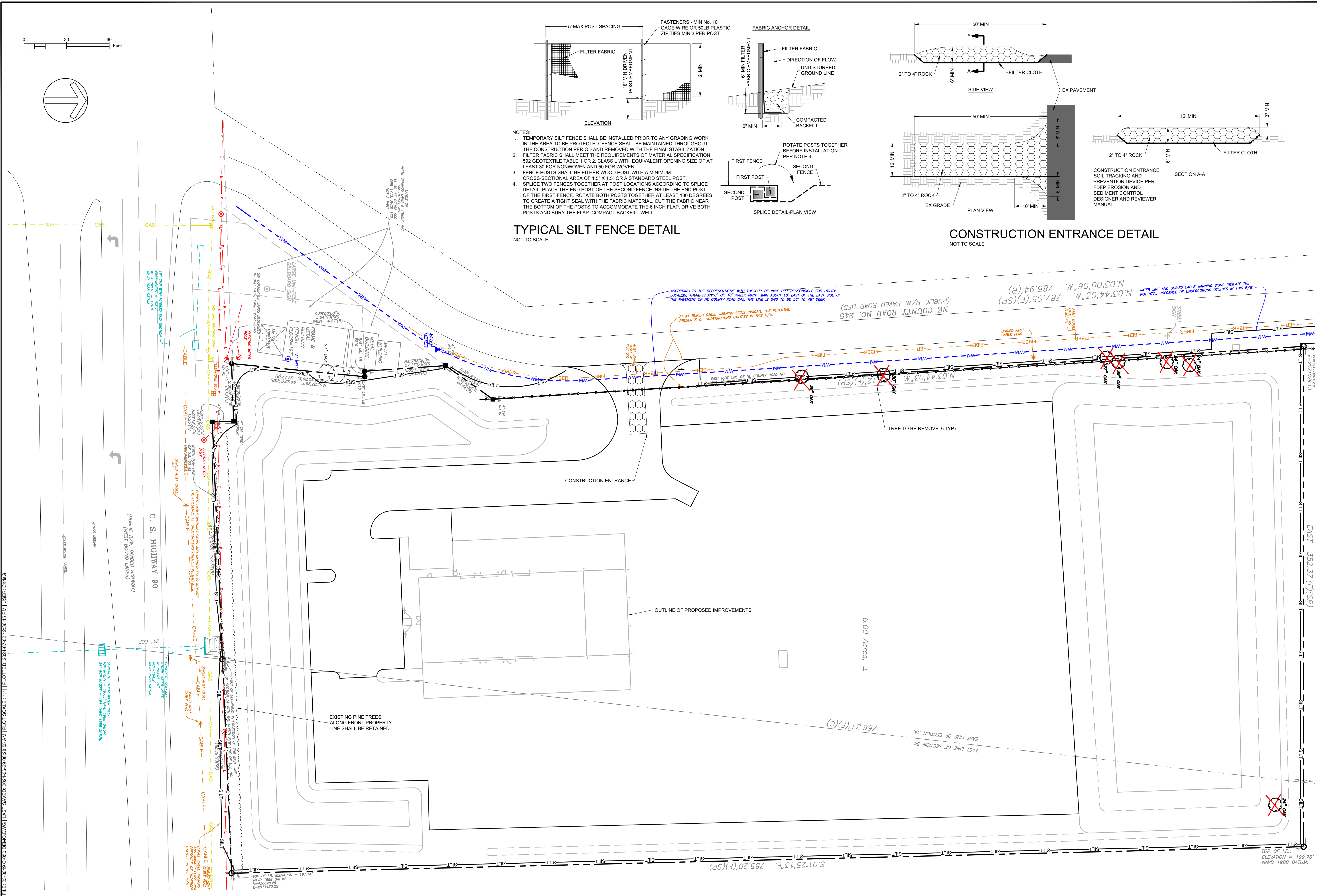
TREES, SHRUBS, SOD, GRAVEL, ETC. AS SHOWN IN THE CONSTRUCTION PLANS

SEED AT A MINIMUM IN ACCORDANCE WITH SPECIFICATION SECTION 570 FOR ALL OTHER DISTURBED AREAS

SEED AND MULCH THAT HAS BEEN ESTABLISHED PRIOR TO REMOVAL OF TEMPORARY EROSION CONTROL DEVICES
  - 2.C. STRUCTURAL PRACTICES:

THE CONTRACTOR SHALL DESCRIBE IN THE EROSION AND SEDIMENTATION CONTROL PLAN THE PROPOSED STRUCTURAL PRACTICES TO CONTROL OR TRAP SEDIMENT AND OTHERWISE PREVENT THE DISCHARGE OF POLLUTANTS FROM EXPOSED AREAS OF THE SITE. SEDIMENT CONTROLS SHALL BE IN PLACE BEFORE DISTURBING SOIL UPSTREAM OF THE CONTROL. UNLESS OTHERWISE APPROVED BY THE ENGINEER, THE STRUCTURAL PRACTICES SHALL INCLUDE AT LEAST





PERMITTING / DESIGN REVISIONS:  
2024-03-29 20% PLANS FOR INTERNAL REVIEW  
2024-04-10 80% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY)  
2024-07-02 90% PLANS FOR SWMD & COLUMBIA COUNTY RESUBMITTAL

ENGINEER OF RECORD:  
CHRISTOPHER A. G穆ER  
FL PE # 71599  
2024-07-02

STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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EQUIPMENTSHARE.COM, INC.

CLIENT:  
C.A. G穆ER PE  
C.A. G穆ER PE

DESIGN:  
COLUMBIA COUNTY #  
2024-D-282-0007  
TBD

QUALITY CONTROL:  
COLUMBIA COUNTY #  
2024-D-282-0007  
TBD

FOOT DRAMAGE #  
0010431-092-DWC  
25-0049

EQUIPMENT  
SHARE  
LAKE CITY  
(US-90 & PRICE  
CREEK RD)

DEMOLITION &  
EROSION  
CONTROL PLAN

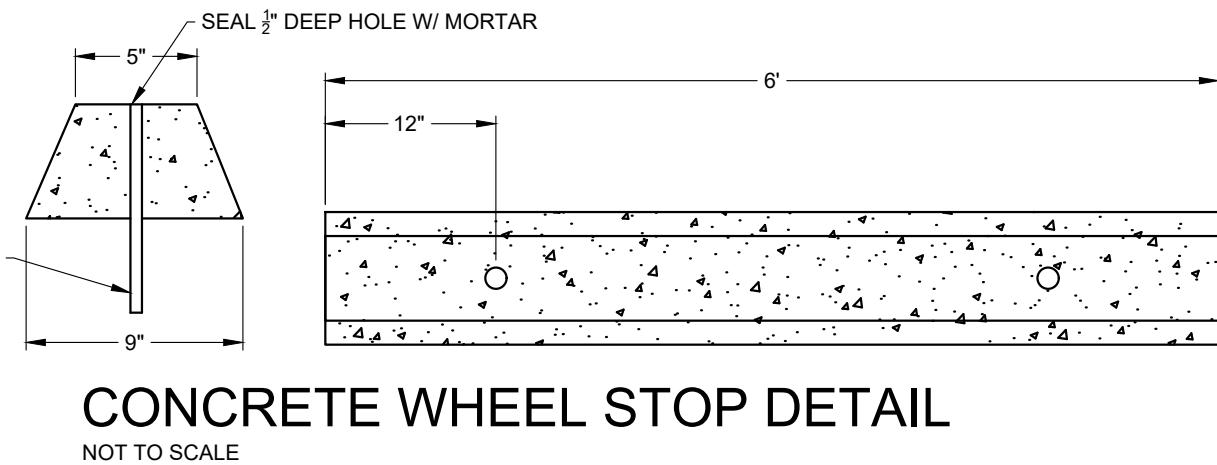
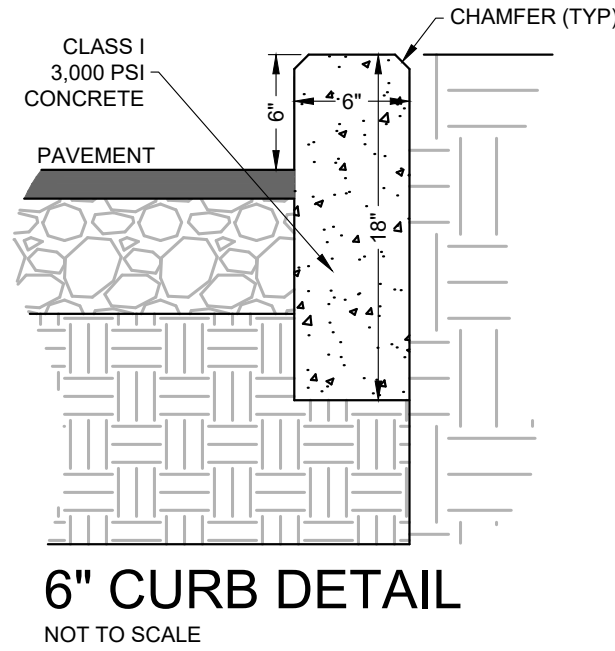
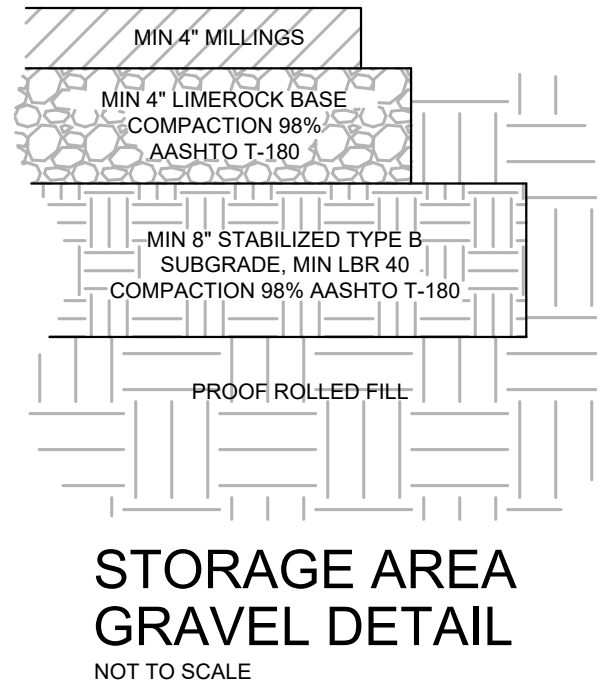
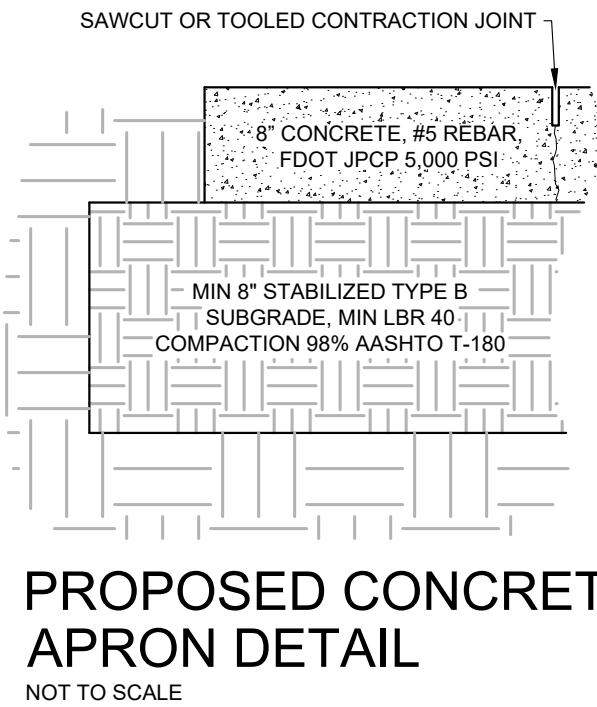
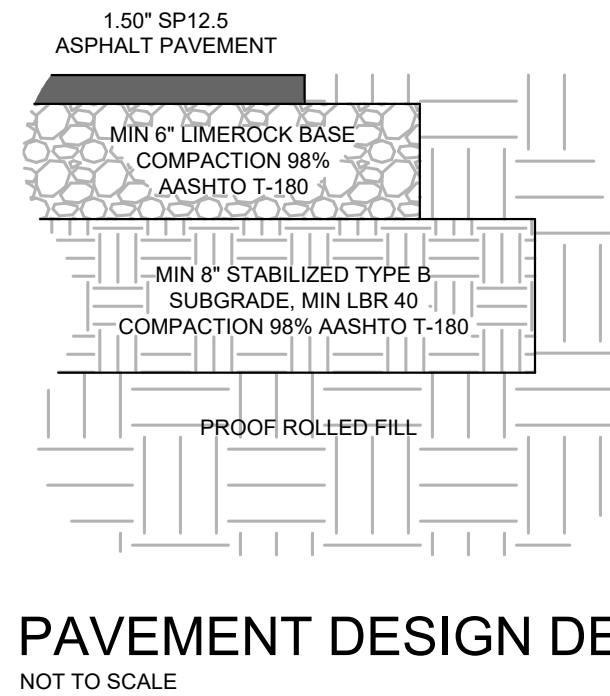
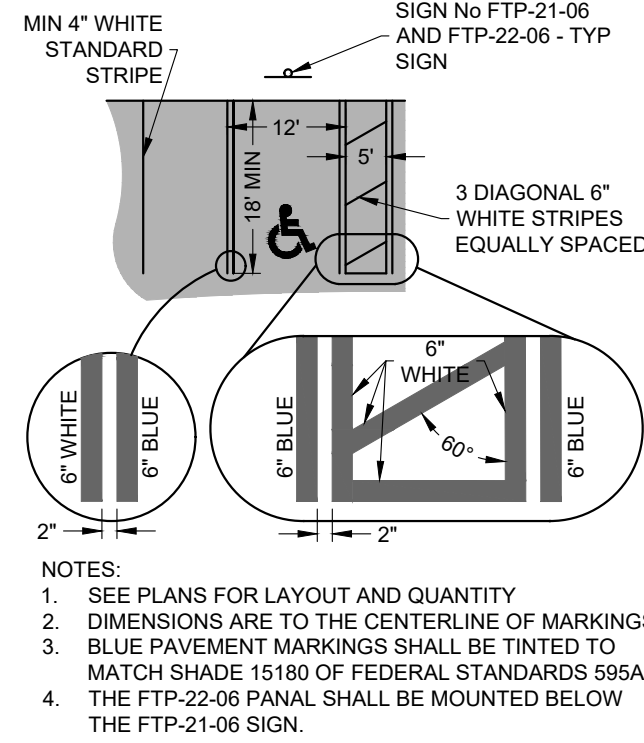
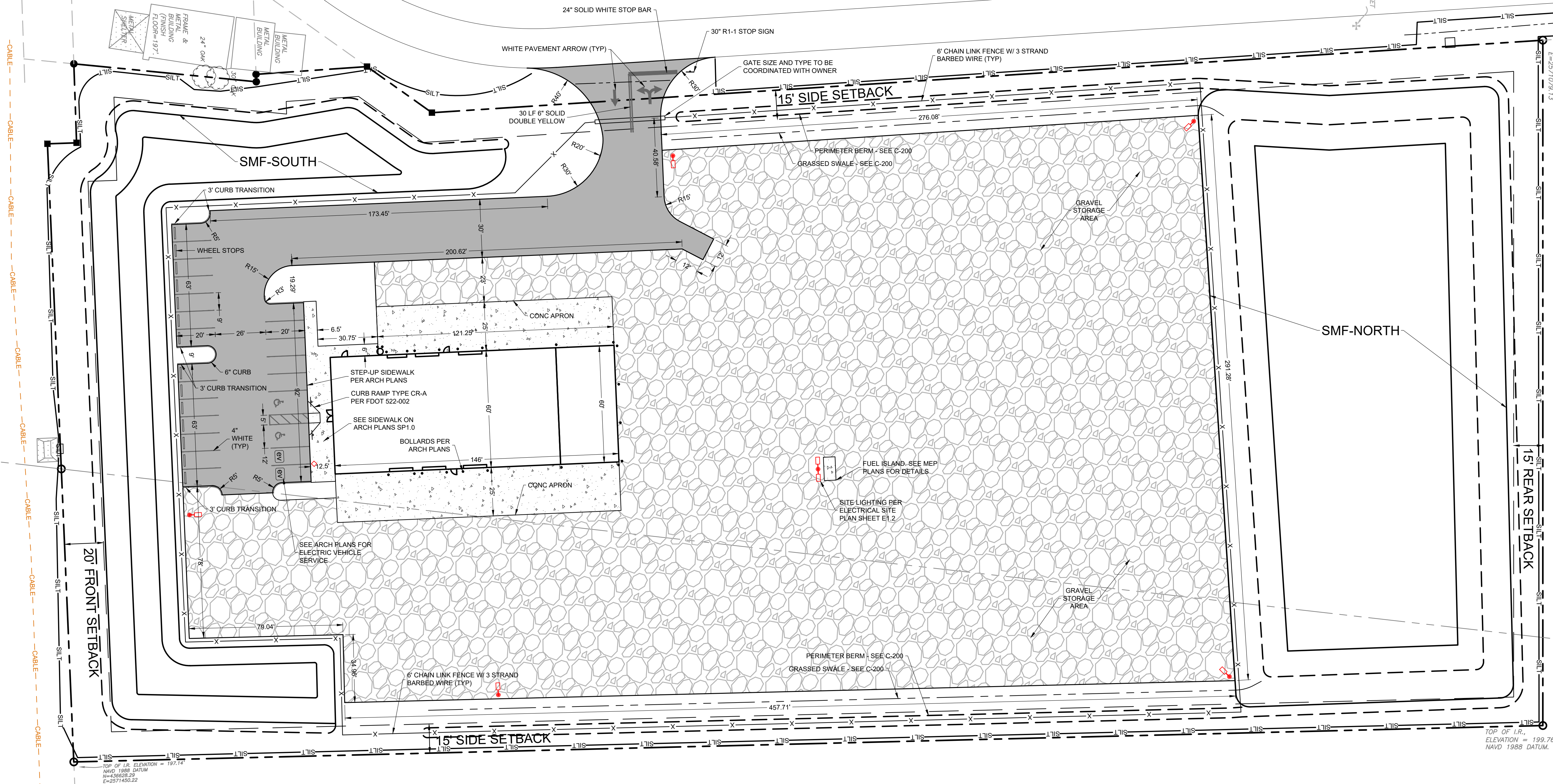
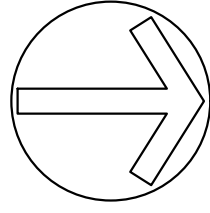
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2024-07-02 ISSUED FOR PRICING (NOT FOR CONSTRUCTION)  
CONSTRUCTION:



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0 30 60 Feet



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2024-07-02 90% PLANS FOR SHARED & COLUMBIA COUNTY RESUBMITTAL

ENGINEER OF RECORD:  
CHRISTOPHER A. G穆ER  
FL PE # 71599  
2024-07-02  
No. 71599  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
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CLIENT:	EQUIPMENTSHARE.COM, INC.
DESIGN:	C.A. G穆ER, PE
QUALITY CONTROL:	C.A. G穆ER, PE
COLUMBIA COUNTY #	SP2314
PROJECT #	2024-07-02
FOOT DAMAGE #	2024-D-282-0007
FDEP LIFT STATION #	TBD
GEN# PROJECT #	0010431-092-DWC 25-004

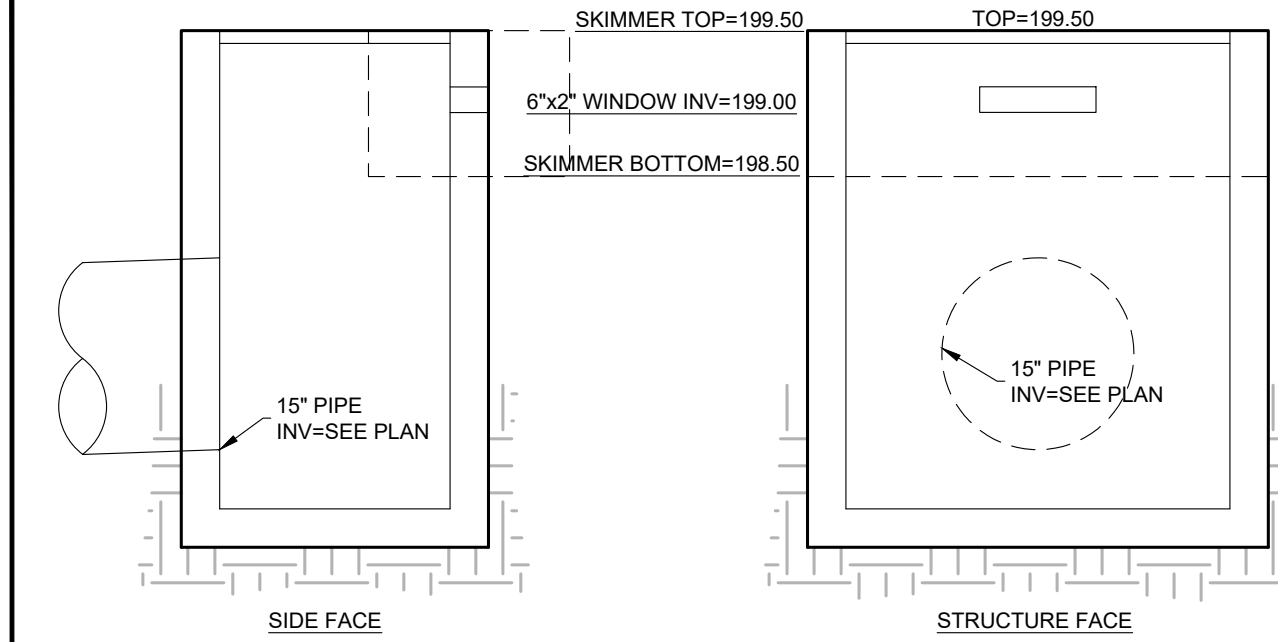
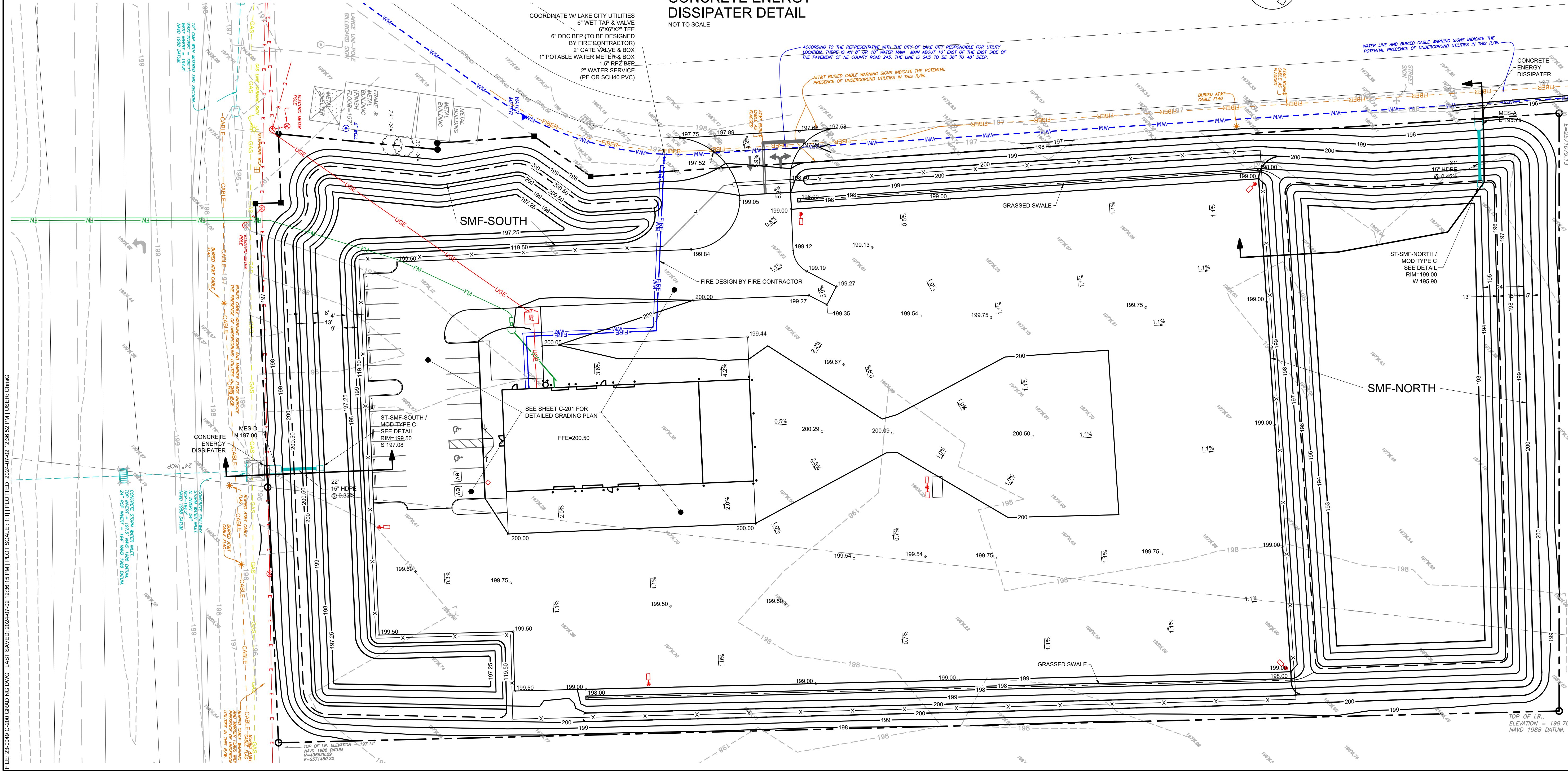
EQUIPMENT  
SHARE  
LAKE CITY  
(US-90 & PRICE  
CREEK RD)

SITE &  
HORIZONTAL  
CONTROL PLAN

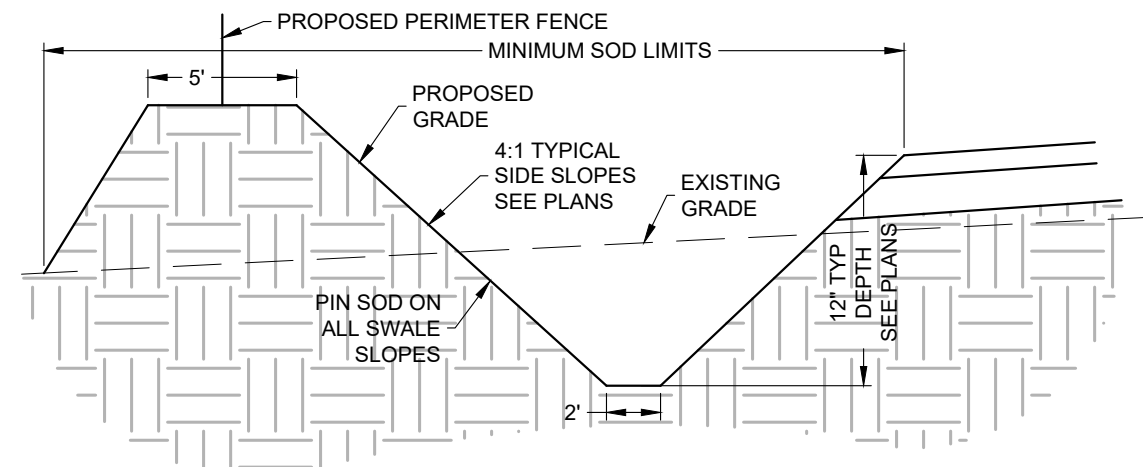
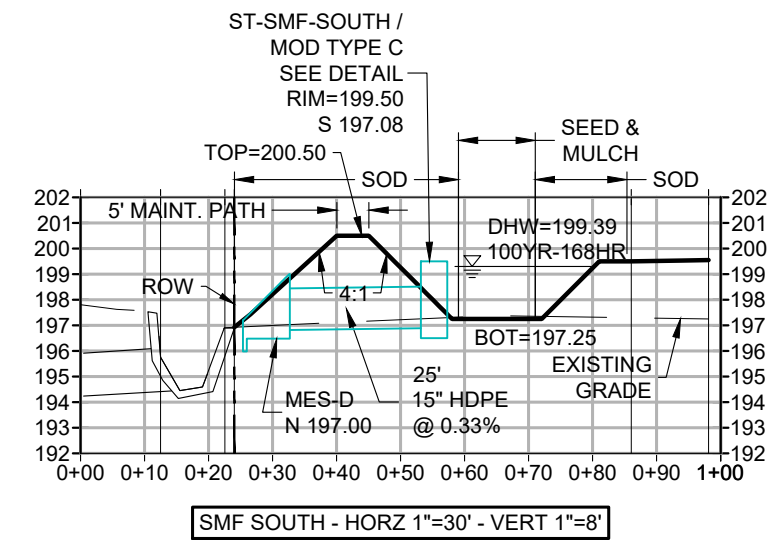
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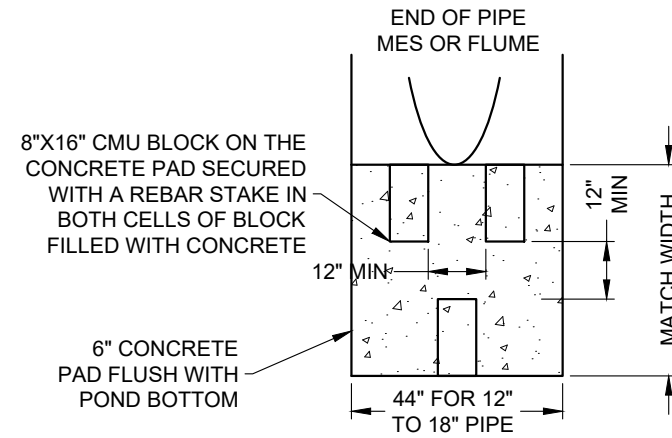
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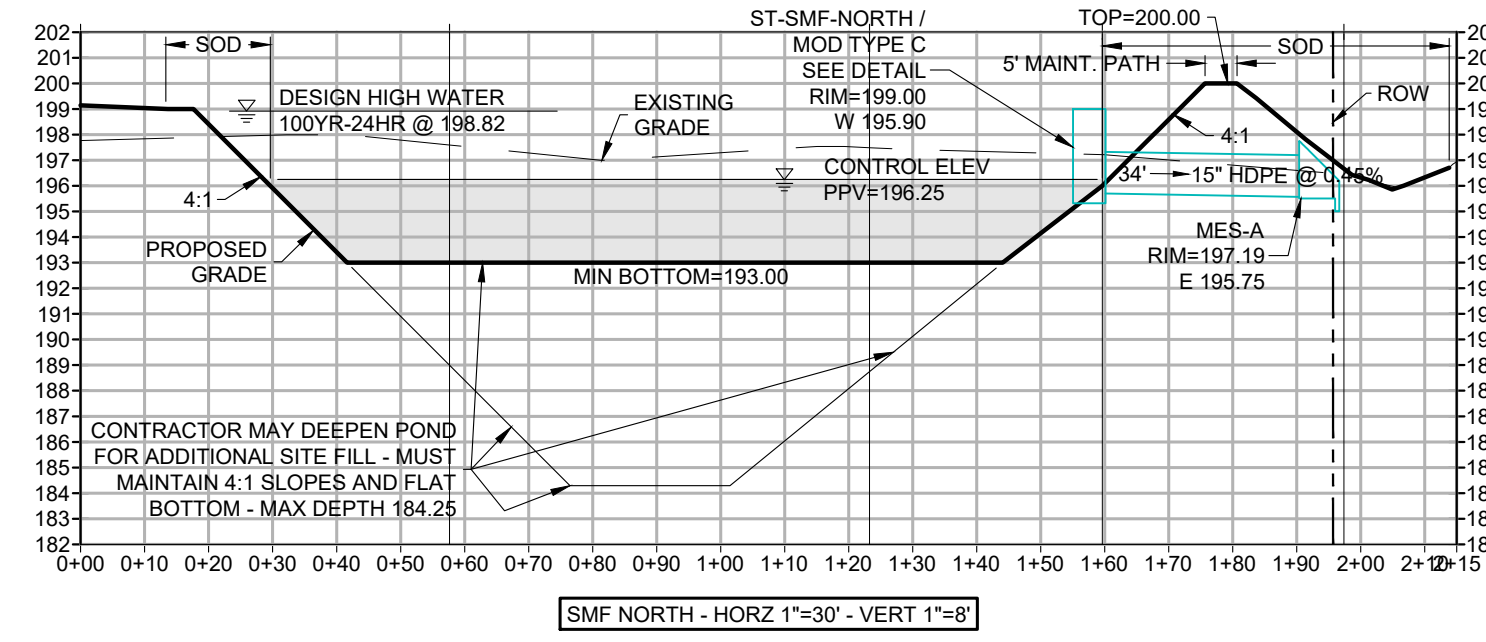
ST-SMF-SOUTH MODIFIED TYPE C  
DISCHARGE STRUCTURE DETAIL  
NOT TO SCALE



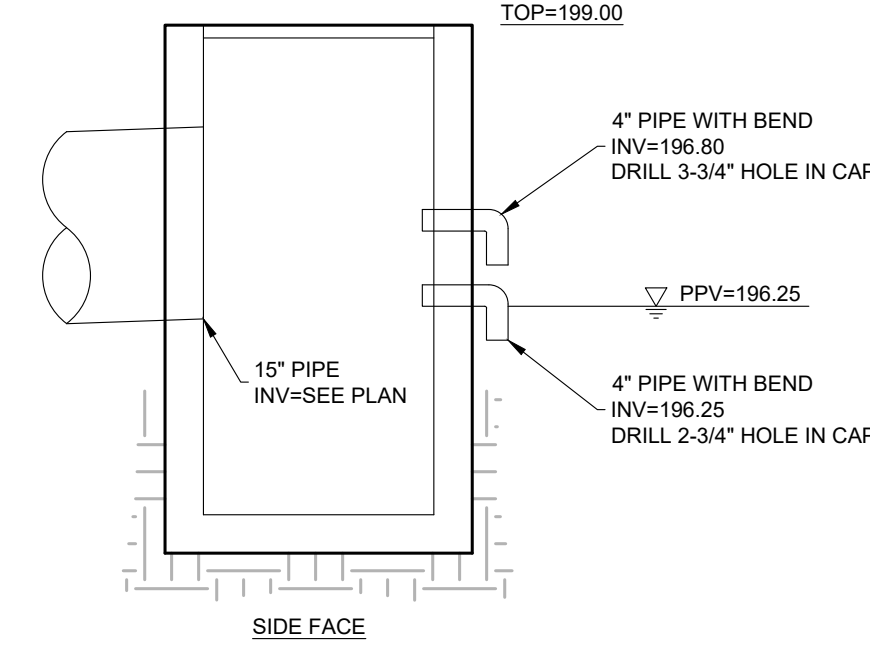
TYP GRASSED SWALE SECTION  
NOT TO SCALE



CONCRETE ENERGY  
DISSIPATER DETAIL  
NOT TO SCALE



SMF NORTH - HORZ 1"=30' - VERT 1"=8'



ST-SMF-NORTH MODIFIED  
TYPE C DISCHARGE  
STRUCTURE DETAIL  
NOT TO SCALE

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ENGINEER OF RECORD:  
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FL PE # 71599  
2024-07-02

STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
No. 71599

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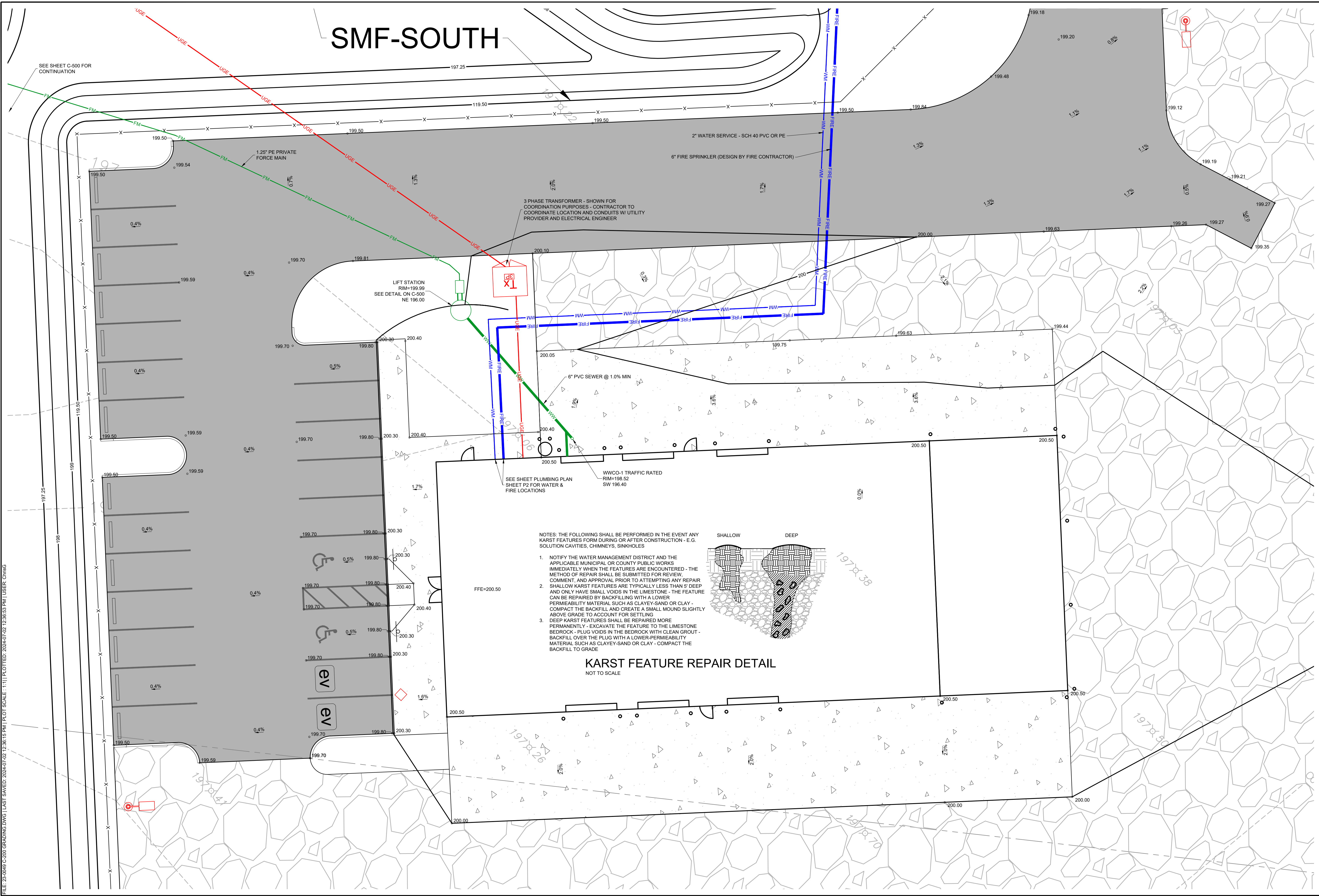
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GENP PROJECT #	25-004

EQUIPMENT  
SHARE  
LAKE CITY  
(US-90 & PRICE  
CREEK RD)

OVERALL  
GRADING &  
DRAINAGE  
PLAN  
C-200



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2024-03-29 30% PLANS FOR INTERNAL REVIEW

2024-04-10 60% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY)

2024-07-02 60% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY)

2024-07-02 60% PLANS FOR SHARD & COLUMBIA COUNTY RESUBMITTAL

ENGINEER OF RECORD:

CHRISTOPHER A. GMUER

FL PE # 71599

2024-07-02

This item has been digitally signed and sealed by Christopher A. Gmuier, PE on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CLIENT:

EQUIPMENTSHARE.COM, INC.

DESIGN:

C.A. GMUER, PE

QUALITY CONTROL:

C.A. GMUER, PE

COLUMBIA COUNTY #

SP2314

FOOT DRAINAGE #

2024-D-282-0007

FOOT UTILITY #

TBD

FDEP LIFT STATION #

001431-092-DWC

GEN# PROJECT #

25-004

EQUIPMENT

SHARE

LAKE CITY

(US-90 & PRICE CREEK RD)

DETAILED

GRADING,

DRAINAGE, &

UTILITY PLAN

C-201



## SCOPE

- ## INSPECTION AND DISPOSITION OF MATERIALS

- ## PROTECTION OF PROPERTY AND OBSTRUCTIONS

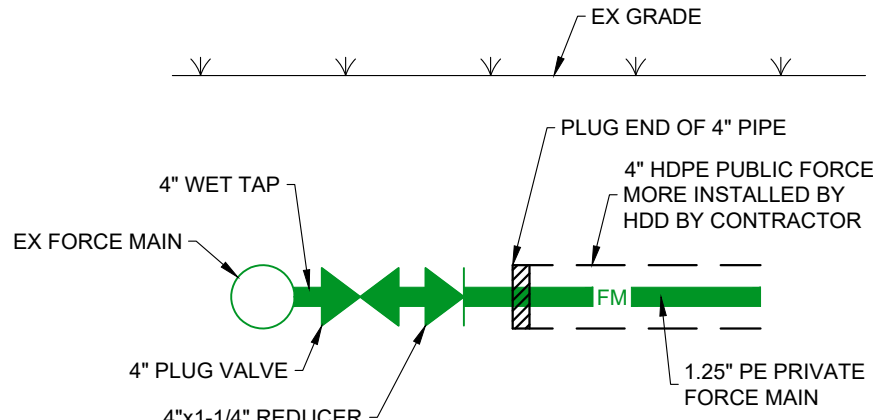
- ## TRENCH PREPARATION

- ## HANDLING AND CUTTING PIPE

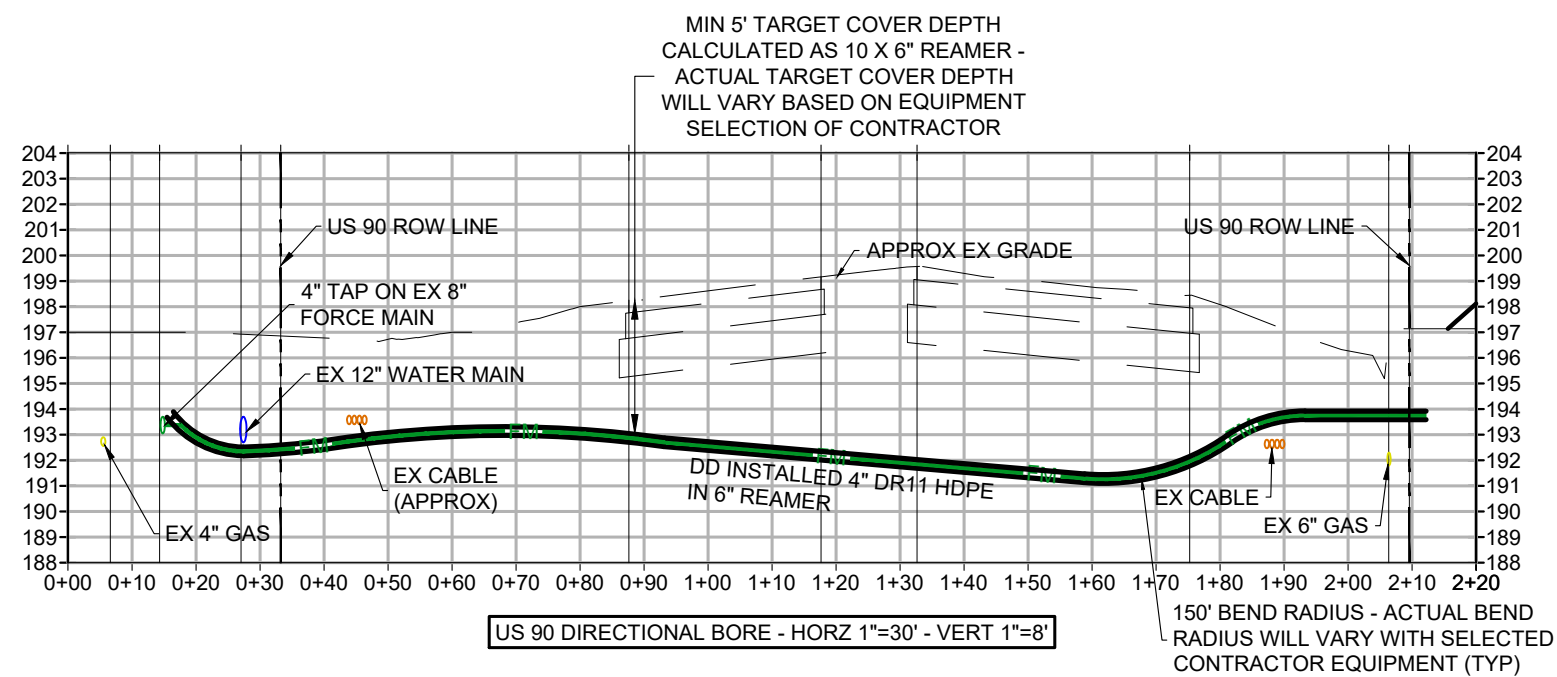
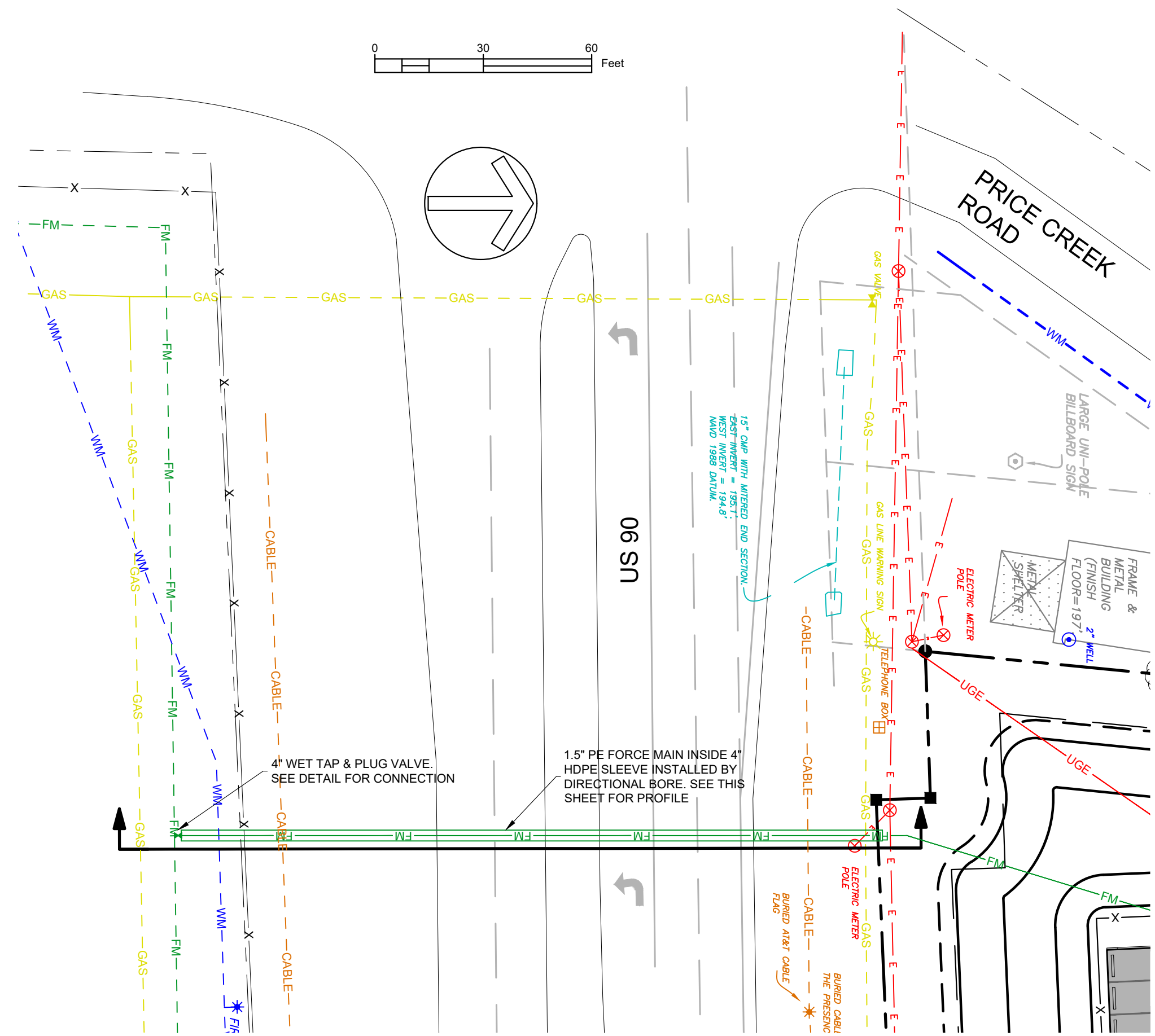
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- The diagram illustrates a trench cross-section with a pipe installed. The trench is divided into five numbered layers: 1 (Foundation), 2 (Bedding), 3 (Hauling), 4 (Initial Backfill), and 5 (Final Backfill). The pipe is labeled 'PIPE BELL WIDTH'.

### BACKFILLING REQUIREMENTS

2. ALL TRAFFIC STRIPINGS AND MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC.
3. REMOVAL OF EXISTING STRIPINGS SHALL BE ACCOMPLISHED USING THE "HYDRO-BLAST" METHOD. IF THIS PROCESS IS USED, THE CONTRACTOR SHALL PROVIDE PROPERLY MATCHED AND RESURFACED PER FOOT STANDARDS.
4. ALL DIRECTIONAL ARROWS SHALL BE PLACED AS ONE SEGMENT.
5. ALIGNMENT OF PROPOSED PAVEMENT MARKINGS SHALL MATCH EXISTING PAVEMENT MARKINGS AT PAVEMENT MARKING LIMITS OF CONSTRUCTION.
6. ALL CURBS AND GUTTER AND SIDEWALK WILL BE REMOVED AND REPLACED JOINT TO JOINT.
7. ALL BROKEN/CRACKED DRIVEWAYS MUST BE FULLY REMOVED AND REPLACED.
8. ALL DISTURBED AREA WITH THE DEPARTMENT'S RIGHT-OF-WAY WILL BE RESTORED TO ORIGINAL OR BETTER CONDITION BY GRADING AND SODDING THE AREA DISTURBED (BERMUDA IN RURAL, CENTPEDE IN UTILITY STRIPS).
9. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH APPROPRIATE SEEDS AND MULCH.
10. ALL LANES MUST BE OPENED FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT.
11. THE CONTRACTOR SHALL CONDUCT A ONE LANE CLOSURE ANALYSIS PER LANE PREPARATION MANUAL (1612.7) MUST BE PERFORMED AND SUBMITTED FOR FUTURE REVIEW AND APPROVAL TO DETERMINE ALLOWABLE LANE CLOSURE HOURS.



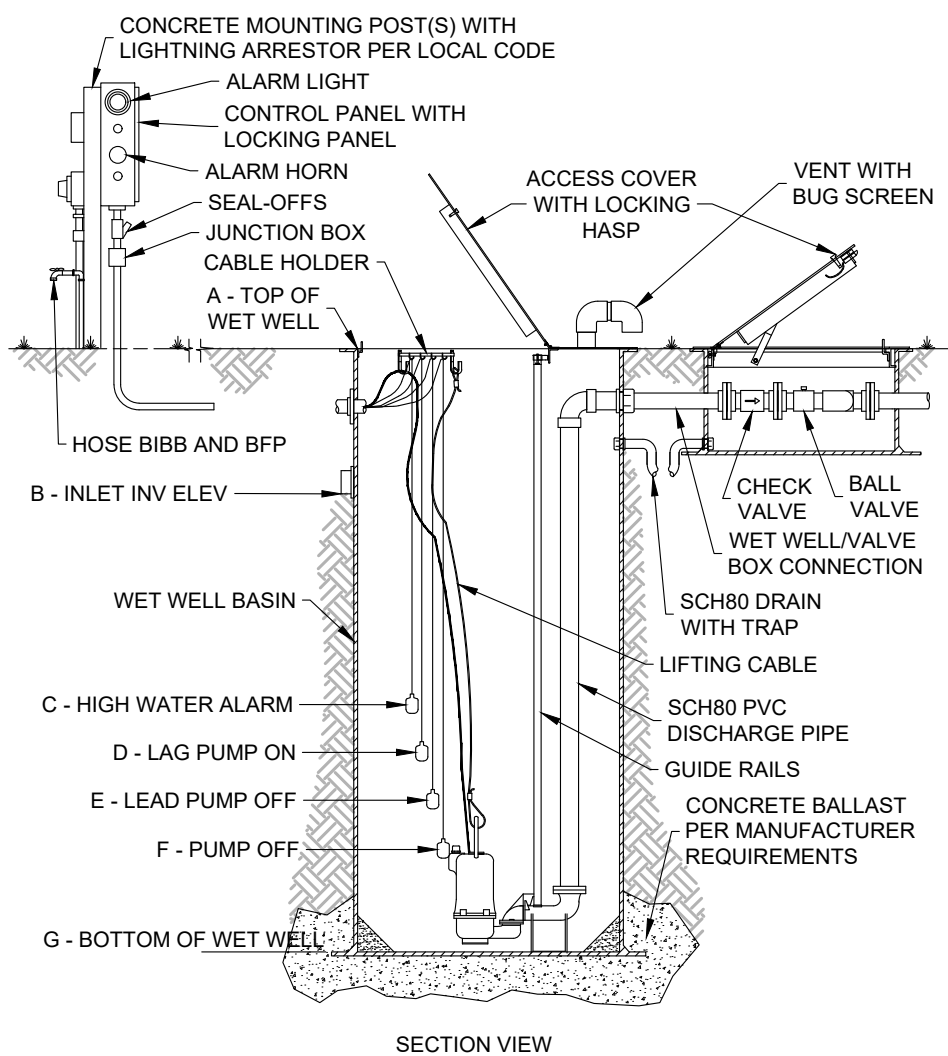
NOT TO SCALE



CONTRACTOR TO DEVELOP THE DESIGN AND MATERIALS REQUIRED TO INSTALL 4" HDPE DR11 DIPS BY DIRECTIONAL BORE INCLUDING DRILL SET-UP AREAS, DRILL PITS, ENTRANCE AND EXIT ANGLES, BEND RADIUS PILOT HOLE, REAMING, ETC - CONTRACTOR SHALL UTILIZE HDPE MANUFACTURER SUPPLIED ADAPTORS AND ACCESSORIES REQUIRED TO CONNECT PLAIN-END HDPE DIPS PIPING TO DI MECHANICAL JOINT FITTINGS, VALVES, AND APPURTENANCES

1. PUMPS SHALL BE OF THE SUBMERSIBLE TYPE INTENDED FOR SEWAGE ENVIRONMENTS
2. PUMPS 2HP OR GREATER SHALL BE MOUNTED ON A RAIL SYSTEM THAT PROVIDES A LEAKPROOF COUPLING

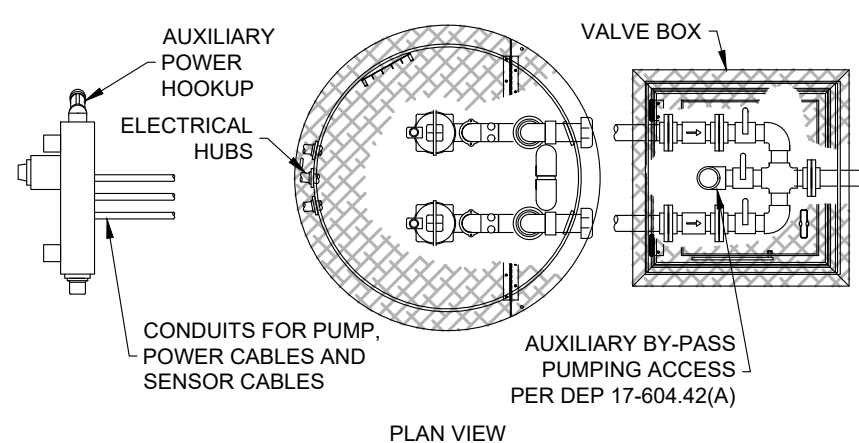
3. WET SILL SHALL BE INTENDED FOR SEWAGE LIFT STATION APPLICATIONS AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS INCLUDING ANTI-FLOTATION
4. HATCH COVER SHALL ALLOW FOR FREE ACCESS TO THE HATCH COVER OFFICE FOR PUMP MAINTENANCE, AND RATED FOR 300 PSF OR GREATER
5. CONTROL PANEL SHALL BE INTENDED FOR SEWAGE LIFT STATION APPLICATIONS AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS
6. PUMP AND MOTOR SHALL BE PROVIDED WITH CLEAN-OUT PORTS AND BRASS GATE VALVES
7. FLOATS SHALL BE INTENDED FOR SEWAGE LIFT STATION APPLICATIONS
8. CONTROL PANEL SHALL BE UL508 LISTED - A NEMA 3R ENCLOSURE SHALL BE PROVIDED IN EITHER FIBERGLASS OR STAINLESS STEEL - PANEL SHALL BE PROVIDED WITH INTERLOCKED DOOR (DUPLEX AND ABOVE), MAIN CIRCUIT BREAKER, GENERATOR RECEPTACLE, HIGH LEVEL ALARM, HIGH TEMPERATURE, LOW OIL, LOW VOLTAGE OR PHASE MONITOR, SALT FAILURE AND OVERLOAD SENSORS, LIGHTNING ARRESTOR, ETC. AS REQUIRED BY THE LOCAL AGENCY
9. PROVIDE 3/4" WATER LINE WITH A 3/4" RPZ
10. PROVIDE 1/2" WATER LINE SHALL BE ABOVE THE 10' YEAR FLOOD ELEVATION



NOT TO SCALE

PUMP MODEL	
2HP HYDROMATIC HVS 200	
DESIGN PUMP RATE	31 GPM
DESIGN PUMP TDH	20 FT
PHASE	3 PH
DISCHARGE SIZE	1.25"

WET WELL INTERNAL DIA	36"
INLET PIPE SIZE	6"
DISCHARGE PIPE SIZE	1.25"
CHECK VALVE	1.25"
BALL VALVE	1.25"
DRAIN / TRAP PIPE SIZE	1.25"

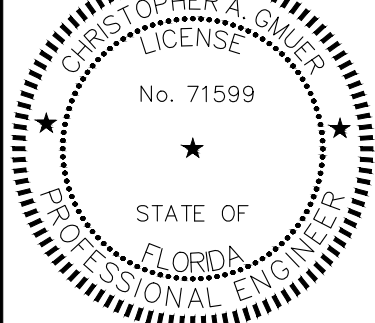


A - TOP OF WET WELL	200.00 FT
B - INLET INVERT	197.50 FT
C - HIGH WATER ALARM	196.50 FT
D - LAG PUMP ON	194.75 FT
E - LEAD PUMP ON	194.25 FT
F - PUMP OFF	193.00 FT
G - WET WELL BOTTOM	192.00 FT

PRICING : 2024-05-02 ISSUED FOR PRICING (NOT FOR CONSTRUCTION)  
2024-07-02 ISSUED FOR PRICING (NOT FOR CONSTRUCTION)

PERMITTING / DESIGN REVISIONS :  
2024-03-29 30% PLANS FOR INTERNAL REVIEW  
2024-04-10 60% PLANS FOR PERMIT SUBMITTALS (COLUMBIA COUNTY).

ENGINEER OF RECORD :  
CHRISTOPHER A. G穆ER  
FL PE # 71599  
2024-07-02



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CLIENT :	EQUIPMENTSHARE.COM, INC
DESIGN :	C.A. GNIER, PE C.A. GNIER, PE
QUALITY CONTROL :	
COLUMBIA COUNTY #	SDP2314
SRMD ERP #	247111-2
FOOT DRAINAGE #	2024-D-292-00007
FOOT UTILITY #	TBD
FDEP LIFT STATION #	0013431-092-DWC
Geog PROJECT #	23-0049

EQUIPMENT  
SHARE  
LAKE CITY  
(US-90 & PRICE  
CREEK RD)

LIFT STATION  
& FDOT HDD  
PLAN &  
PROFILE

C-500



SURVEY  
IN SECTION 34 & 35,  
TOWNSHIP 3 SOUTH,  
RANGE 17 EAST,  
COLUMBIA COUNTY, FLA.

# TOPOGRAPHIC SURVEY



**SURVEYOR'S NOTES:**

1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE RECORD TITLE BOUNDARIES OF THIS PARCEL TO THE BEST OF MY ABILITY TO INTERPRET AND LOCATE SAID BOUNDARIES BASED ON THE EVIDENCE OF PRIOR SURVEYS AND RECORDS PROVIDED TO OR OTHERWISE OBTAINED BY THIS OFFICE.
2. THE BOUNDARY OF THE PARENT TRACT IS BASED ON A PRIOR SURVEY BY BRITT SURVEYING & MAPPING, LLC, LB 8018, DATED 10/29/2019, THE "SURVEYOR'S DESCRIPTION" AS SHOWN IN ORB 1479, PAGES 2745-2746, IS BASED ON THIS PRIOR SURVEY. THE MONUMENTS MARKING THE WESTERLY LINE OF THIS PARCEL IS BASED ON THE MONUMENTS SHOWN ON SAID PRIOR SURVEY BY BRITT SURVEYING & MAPPING, LLC.
3. BEARINGS BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, ZONE 16N, NORTH, NORTH AMERICAN DATUM OF 1983, 1999 REVISION, CONTROL POINT FLD.C.T. 280101BHI, PUBLISHED COORDINATES N=437335.170, E=2572827.930.
4. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 100 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED NOVEMBER 2, 2015, COMMUNITY PANEL NO. 12023003080 AND DATED FEBRUARY 4, 2009, COMMUNITY PANEL NO. 12023003150.
5. NO EASEMENT FOR UTILITY AND/OR DRAINAGE IS SHOWN ON THIS LOT IN RECORDS IN THE POSSESSION OF THIS OFFICE. HOWEVER, VARIOUS PUBLIC AND PRIVATE UTILITIES APPEAR TO EXIST ON AND IN CLOSE PROXIMITY TO THIS PROPERTY WHICH MAY INDICATE THE EXISTENCE OF EASEMENTS, EITHER RECORDED OR PRESCRIPTIVE.
6. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
7. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
8. NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
9. CLOSURE OF FIELD SURVEY IS BETTER THAN 1/10,000. BOUNDARY AND CONTROL MONUMENTS CAN BE EXPECTED TO HAVE BEEN MEASURED TO APPROXIMATELY THAT RATIO OF PRECISION. BUILDINGS AND SIMILAR IMPROVEMENTS ARE LOCATED WITHIN ± 0.2 FEET OF THE ACTUAL LOCATION UNLESS OTHERWISE NOTED. OTHER IMPROVEMENTS SUCH AS UTILITY POLES, SEPTIC TANKS, TREES, INTERIOR FENCES, ETC. ARE NORMALLY WITHIN ± 0.5 FEET UNLESS OTHERWISE NOTED.
10. EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS OR DISCOVERED BY THIS OFFICE. AN EFFORT HAS BEEN MADE IN GOOD FAITH TO SHOW PHYSICAL EVIDENCE OF EASEMENTS, OCCUPATION AND USE BY OTHER PARTIES, HOWEVER PHYSICAL CONDITIONS ON THE PARCEL MAY HAVE PREVENTED DISCOVERY OF ALL SUCH EVIDENCE.

CERTIFIED TO:

EQUIPMENT SHARE  
FIDELITY NATIONAL TITLE INSURANCE COMPANY

**DESCRIPTION:**

PART OF SECTIONS 34 AND 35, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND BEING PART OF THOSE LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 1479, PAGES 2743 THROUGH 2746, OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT A NAIL AND DISC MARKING THE NE CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.06 DEGREES 29'35"W, ALONG THE LINE COMMON TO SECTIONS 34 AND 35, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, 2599.47 FEET TO A 5/8" IRON ROD, LB 8016, ON THE MONUMENTED NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 90 (STATE ROAD NO. 10), AND THE POINT OF BEGINNING OF THE HEREIN DESCRIBED LANDS; THENCE S.87 DEGREES 33'34"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 167.33 FEET TO A CONCRETE MONUMENT, "SRD" (BROKEN); THENCE S.88 DEGREES 00'28"W, 14.99 FEET TO A CONCRETE MONUMENT, "SRD" (BROKEN); THENCE S.01 DEGREES 29'13"E, 755.20 FEET TO A 5/8" IRON ROD, LB 8016; THENCE N.03 DEGREES 44'03"W, 57.17 FEET TO A CONCRETE MONUMENT ON THE EASTERLY MONUMENTED RIGHT-OF-WAY LINE OF NE COUNTY ROAD NO. 245; THENCE N.35 DEGREES 22'43"E, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 40.92 FEET TO A CONCRETE MONUMENT; THENCE N.03 DEGREES 44'03"W, STILL ALONG SAID MONUMENTED EAST RIGHT-OF-WAY LINE, 572.12 FEET TO A 5/8" IRON ROD, LB 8016; THENCE EAST, 352.37 FEET TO A 5/8" IRON ROD, LB 8016; THENCE S.01 DEGREES 29'13"E, 755.20 FEET TO A 5/8" IRON ROD, LB 8016, ON THE AFOREMENTIONED NORTH RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 90; THENCE S.87 DEGREES 33'34"W, 150.79 FEET TO THE POINT OF BEGINNING.

DESCRIBED LANDS CONTAIN 6.00 ACRES, MORE OR LESS.

ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988 DATUM), USING BM 0370, NGS PID 802281, FLORIDA DEPARTMENT OF TRANSPORTATION POINT 03701979. THE PUBLISHED ELEVATION IS 194.36 FEET, NAVD 1988 DATUM.

PRIOR TO ANY EXCAVATION ALONG OR IN THE RIGHT-OF-WAYS OF U.S. HIGHWAY 90 AND NE COUNTY ROAD 245 OWNER/DEVELOPER OR CONTRACTOR MUST CONTACT "SUNSHINE 811" FOR CURRENT UTILITY LOCATION. THERE IS EVIDENCE OF OVERHEAD ELECTRIC AND COMMUNICATION LINES EXIST ALONG AND WITHIN THE RIGHT-OF-WAYS. THERE IS EVIDENCE THAT UNDERGROUND COMMUNICATION CABLES, UNDERGROUND GAS LINES AND WATER LINES EXIST ALONG AND WITHIN THE RIGHT-OF-WAYS. VISIBLE EVIDENCE OF THESE LINES ARE SHOWN WHERE SUCH EVIDENCE WAS OBSERVED. THIS SURVEY SHOWS SUCH EVIDENCE BUT IS NOT SUFFICIENT TO AVOID DAMAGE TO THESE UTILITY LINES DURING EXCAVATION AND SHOULD NOT BE RELIED UPON FOR THAT PURPOSE.

THE PROPERTY IS HEAVILY WOODED WITH PRIMARILY PINE TREES AND SCATTERED HARDWOODS. THE HARDWOODS ARE PRIMARILY LAUREL, OAK AND LIVE OAK. THERE ARE A FEW IN THE 24" TO 36" SIZE RANGE, HOWEVER MOST ARE MISAPPROPRIATE AND IN POOR CONDITION. A FEW OF THE LIVE OAKS ARE IN FAIR CONDITION BUT PROBABLY NOT, IN MY OPINION, OF A QUALITY TO BE CONSIDERED "SPECIMEN" TREES. THERE ARE A FEW LARGE PINE TREES, BUT WOULD PROBABLY NOT SURVIVE WELL AFTER DISTURBANCE OF ROOT SYSTEMS BY CONSTRUCTION/LAND CLEARING OR WIND STORMS FOLLOWING THE REMOVAL OF ADJACENT TREES.

SHOWING SURVEYOR:  
MARK D. DUREN, LS 4708  
1604 SW SISTERS WELCOME ROAD  
LAKE CITY, FL 32828

SIGNED: *[Signature]* 9/26/2023  
MARK D. DUREN, LS 4708

**SYMBOL LEGEND**

D.R.I. OFFICIAL RECORD INSTRUMENT  
CONCRETE MONUMENT SET, LB 4708  
CONCRETE MONUMENT SET, LB 4708  
5/8" IRON ROD SET, LB 4708  
WOODEN FENCE  
ELECTRIC UTILITY LINE (OVERHEAD)  
CABLE TV LINE (OVERHEAD)  
UNDERGROUND ELECTRIC SERVICE  
CHAIN LINK FENCE  
CORRODIOUS METAL PIPE  
REINFORCED CONCRETE PIPE  
LAND SURVEYOR  
UNDEVELOPED BUSINESS  
OFFICIAL RECORD BOOK  
PERMANENT REFERENCE MONUMENT  
PERMANENT CONTROL POINT  
UTILITY POLE  
RIGHT-OF-WAY  
NO IDENTIFICATION  
FLA. DEPT. OF TRANSPORTATION  
CONCRETE MONUMENT  
IRON ROD  
IRON PIPE  
STATE ROAD DEPARTMENT

(F)(SP)=FIELD MEASUREMENT, STATE PLANE BEARINGS.  
EXTRA ABBREVIATION:  
(F) FIELD, AS IN FIELD MEASUREMENT  
(D) DEED, AS IN DEED  
(P) PLAT, AS IN PLAT  
(R) RECORD, AS IN RECORD  
(C) RECORD, AS IN RECORD  
(O) RECORD, AS IN CALCULATED DIMENSION

**MARK D. DUREN AND ASSOCIATES, INC.**  
LB 7820  
1604 SW SISTERS WELCOME ROAD  
LAKE CITY, FL 32828  
(386) 758-9831 OFFICE  
(386) 758-8010 FAX  
FIELD SURVEY DATE: MAY 31, 2023  
DATE DRAWN: MAY 31, 2023  
FOR: ESTATE OF JACK PATTON PRESWOOD, JR.  
FIELD BOOK: SEE REF PAGE  
DRAWN BY: M. DUREN  
WO# 23-093 TOPO