

ck#1303

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

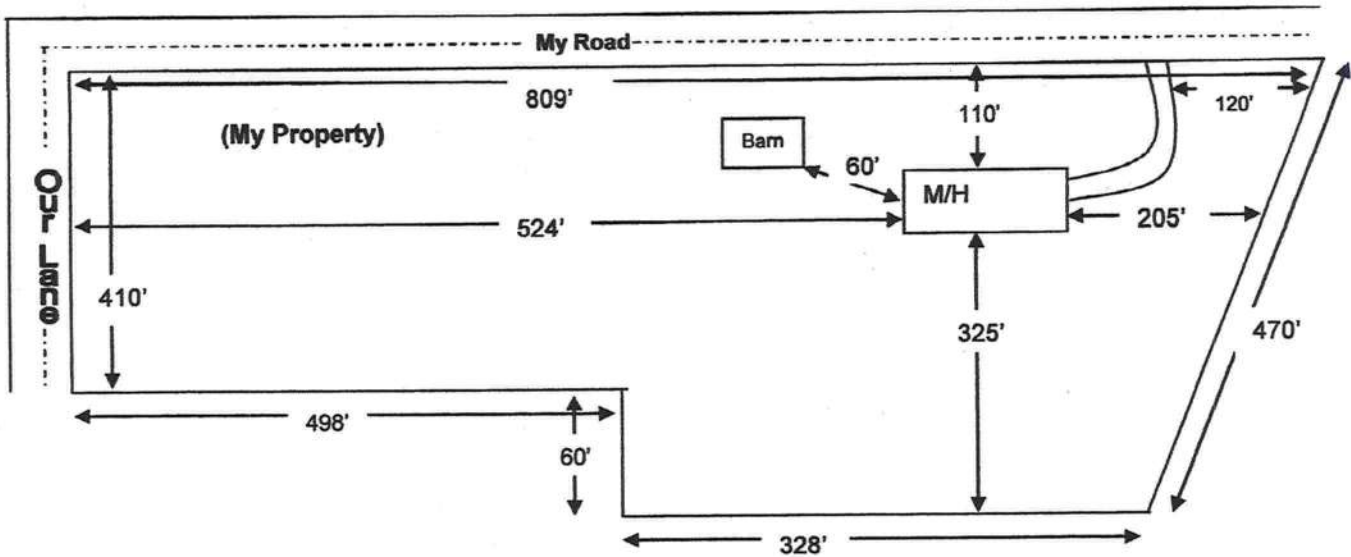
For Office Use Only (Revised 1-11)		Zoning Official <u>BLK 26 JH 2011</u>		Building Official <u>TC. 7-12-11</u>	
AP# <u>1107-03</u>	Date Received <u>7-5-11</u>	By <u>LH</u>	Permit # <u>29582</u>		
Flood Zone <u>X</u>	Development Permit <u>N/A</u>	Zoning <u>A-3</u>	Land Use Plan Map Category <u>A-3</u>		
Comments <u>Needs STUP because of existing house + unrec. Sub.</u>					
FEMA Map# <u>N/A</u>	Elevation <u>N/A</u>	Finished Floor <u>1' above RL</u>	River <u>N/A</u>	In Floodway <u>N/A</u>	
☒ Site Plan with Setbacks Shown	☒ EH # <u>11-0311-E</u>	☐ EH Release	☐ Well letter	☒ Existing well	
☒ Recorded Deed or Affidavit from land owner	☐ Installer Authorization	☐ State Road Access	☒ 911 Sheet		
☐ Parent Parcel #	☒ STUP-MH <u>1106-23</u>	☐ F W Comp. letter	☒ VF Form		
IMPACT FEES: EMS		Fire	Corr	Out County ☒ In County <u>forced 7-5-11</u>	
Road/Code		School	= TOTAL Impact Fees Suspended March 2009		

Property ID # 25-55-16-03716-114 Subdivision Buckhead Woods Lot 4 ^{Unrec.}

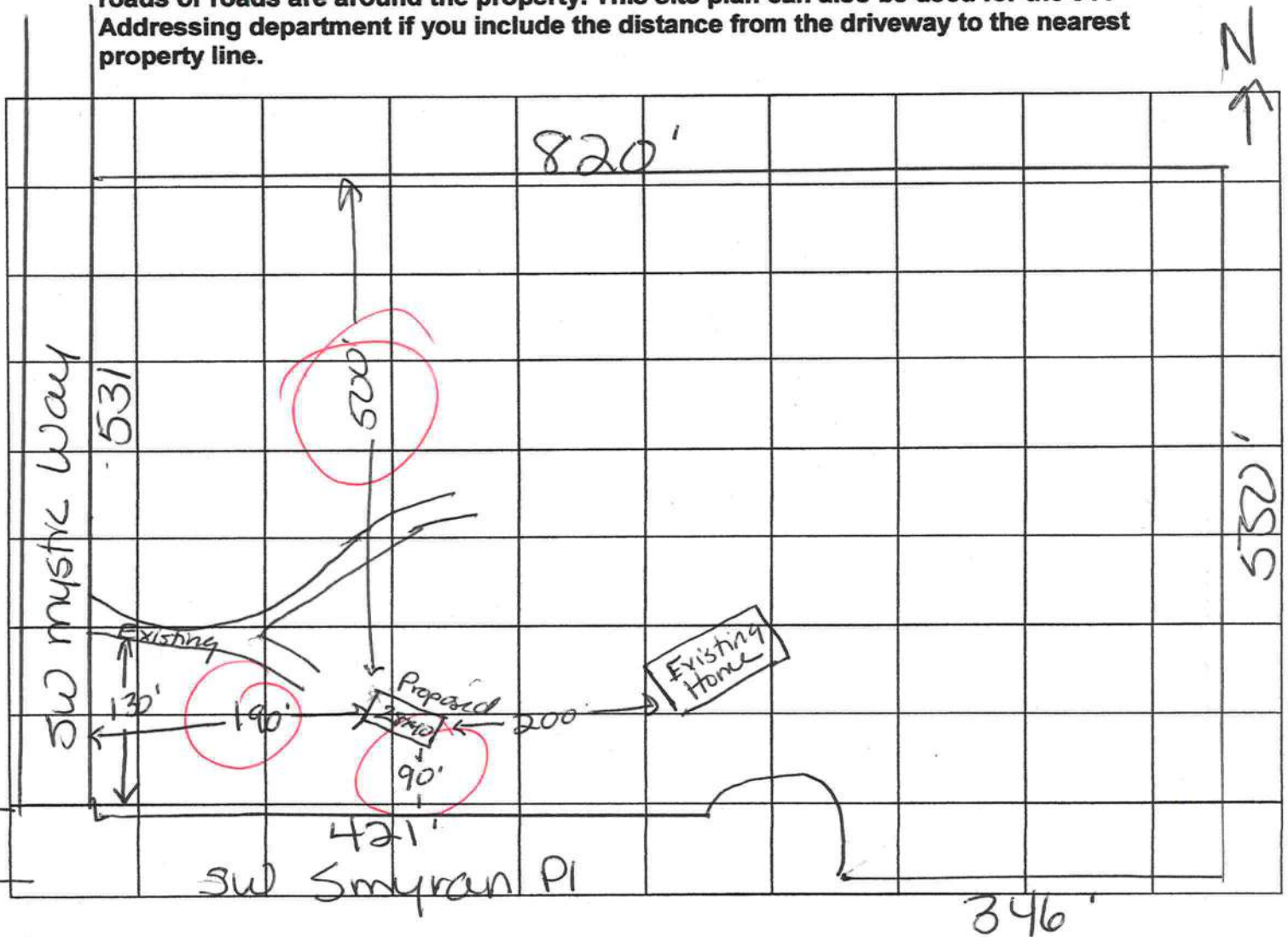
- New Mobile Home ☐ Used Mobile Home ☒ MH Size 28x40 Year 1995
- Applicant Wendy Grennell Phone # 386-288-2428
- Address 3104 SW Old Wire Rd Ft White FL 32038
- Name of Property Owner Julian McAdams Phone # 386-288-3212
- 911 Address 345 SW mystic way Ft White FL 32038
- Circle the correct power company - FL Power & Light - Clay Electric
(Circle One) - Suwannee Valley Electric - Progress Energy
- Name of Owner of Mobile Home Julian R. McAdams II Phone # 786-256-1304
Address 543 SW Smyrna Pl Ft White FL 32038
- Relationship to Property Owner son
- Current Number of Dwellings on Property 1
- Lot Size 5 Acres (Dedicating)? Total Acreage 11.29
- Do you : Have Existing Drive on Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)
- Is this Mobile Home Replacing an Existing Mobile Home Yes (23884)
- Driving Directions to the Property Hwy 47 South to Watson Rd turn (L) to Old Wire Rd turn (R) immediate (L) on Landrum to mystic way (R) at end on (L)
- Name of Licensed Dealer/Installer Ronnie Norris Phone # 386-623-7716
- Installers Address 1004 SW Charles Terr Lake City FL
 - License Number IT1025145/1 Installation Decal # 6373

Spoke to Wendy 7-26-11

SITE PLAN EXAMPLE / WORKSHEET



Use this example to draw your own site plan. Show all existing buildings and any other homes on this property and show the distances between them. Also show where the roads or roads are around the property. This site plan can also be used for the 911 Addressing department if you include the distance from the driveway to the nearest property line.



COLUMBIA COUNTY PERMIT WORKSHEET

page 1 of 2

These worksheets must be completed and signed by the installer.
Submit the originals with the packet.

Installer Ronnie Morris License # IF1025145/1

911 Address where home is being installed 345 SW Mystic Way
FT White FL 32038

Manufacturer REDMAN Length x width 28x40

NOTE: If home is a single wide fill out one half of the blocking plan
If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used) where the skidwall ties exceed 6 ft 4 in. Installer's Initials RM

New Home ☒ Used Home ☒
Home Installed to the Manufacturer's Installation Manual ☒

Home is installed in accordance with Rule 15-C

Single wide ☐ Wind Zone II ☒ Wind Zone III ☐

Double wide ☒ Installation Decal # 6373

Triple/Quad ☐ Serial # 140m8869AB

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq in)	16" x 16" (266)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 28" (876)
1000 bbf	3"	3"	4"	5"	6"	7"	8"
1500 bbf	4"	4"	5"	6"	7"	8"	9"
2000 bbf	5"	5"	6"	7"	8"	9"	10"
2500 bbf	6"	6"	7"	8"	9"	10"	11"
3000 bbf	7"	7"	8"	9"	10"	11"	12"
3500 bbf	8"	8"	9"	10"	11"	12"	13"

* Interpolated from Rule 16C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17x25
Perimeter pier pad size NA
Other pier pad sizes (required by the mfg.) 16x16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.



List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening	Pier pad size
6	17x25
4	16x16
4	16x16

4 ft 4 ft 5 ft

ANCHORS

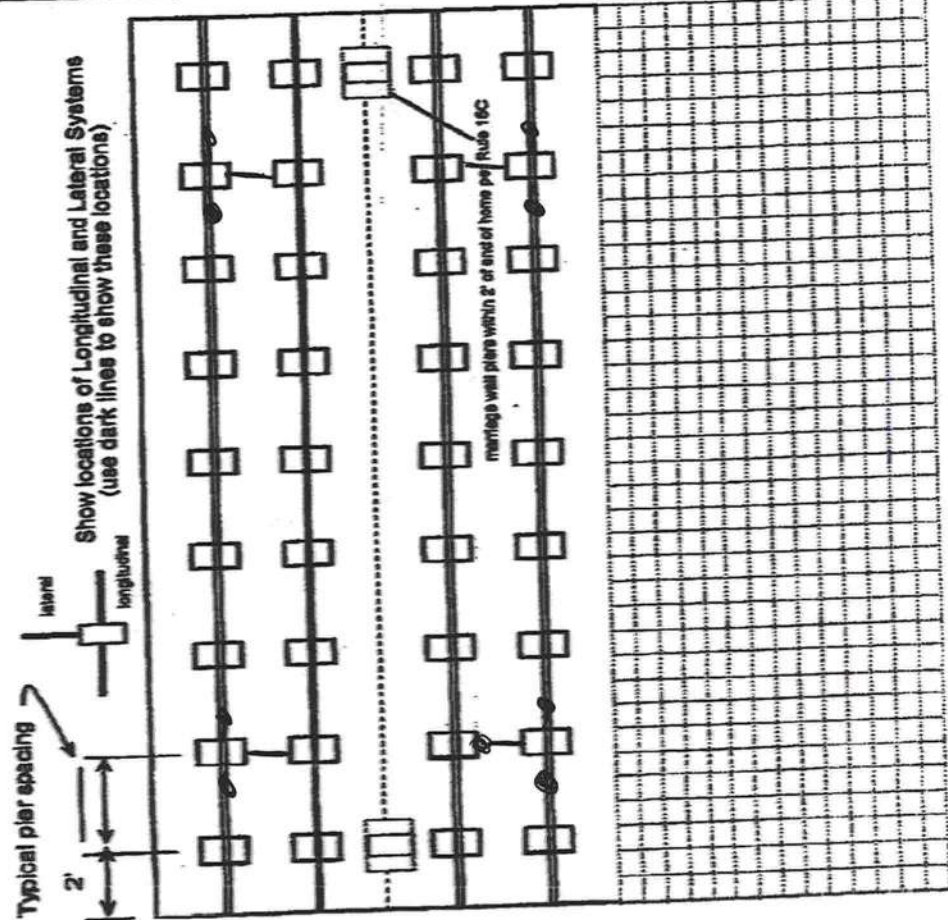
FRAME TIES
within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number
Sidewall 2
Longitudinal 2
Marriage wall
Shearwall

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)
Manufacturer
Longitudinal Stabilizing Device w/ Lateral Arms
Manufacturer



COLUMBIA COUNTY PERMIT WORKSHEET

page 2 of 2

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to 1500 paf or check here to declare 1000 lb. soil without testing.

x 1500 x 1500 x 1500

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

x 1500 x 1500 x 1500

TORQUE PROBE TEST

The results of the torque probe test is 285 inch pounds or check here if you are declaring 5' anchors without testing 285. A test showing 275 inch pounds or less will require 6 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 6 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may require anchors with 4000 lb holding capacity.

Installer's Initials 285

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name James P. Pinner

Date Tested 6-25-01

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg.

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg.

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg.

Site Preparation

Debris and organic material removed ✓
Water drainage: Natural ✓ Swale Pad ✓ Other

Fastening multi wide units

Floor: Type Fastener: LP Length: 6 Spacing: 24
Walls: Type Fastener: LP Length: 6 Spacing: 16
Roof: Type Fastener: LP Length: 6 Spacing: 16
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2' on center on both sides of the centerline.

Gasket (weatherstripping requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials 285

Type gasket
Pg.

Installed:
Between Floors Yes
Between Walls Yes
Bottom of ridgebeam Yes

Weatherproofing

The bottomboard will be repaired and/or taped. Yes Pg.
Siding on units is installed to manufacturer's specifications. Yes
Fireplace chimney installed so as not to allow intrusion of rain water. Yes

Miscellaneous

Skirting to be installed. Yes No
Dryer vent installed outside of skirting. Yes N/A
Range downflow vent installed outside of skirting. Yes N/A
Drain lines supported at 4 foot intervals. Yes
Electrical crossovers protected. Yes
Other:

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature James P. Pinner

Date 6-27-01

>> Print as PDF <<

COMM SE COR OF W1/2 OF SE1/4, MCADAMS JULIAN R JR 25-5S-16-03716-114 Columbia County 2011 R
 RUN N 1084.97 FT FOR POB, CONT 345 SW MYSTIC WAY CARD 001 of 001
 N 550.06 FT, W 820.02 FT, S FT WHITE, FL 32038 BY JEFF
 531.25 FT, E ALONG N R/W OF PRINTED 6/20/2011 12:51
 APPR 5/10/2010 DFRP

BUSE	AE?	HTD AREA	.000 INDEX	25516.01 BUCKHED WD	PUSE	009900 NO AG ACREAGE
MOD	BATH	EFF AREA	29.614 E-RATE	.000 INDX	STR 25- 5S-16E	
EXW	FIXT	RCN		AYB	MKT AREA 02	0 BLDG
%	BDRM	%GOOD	BLDG VAL	EYB	(PUD1	1,920 XFOB
RSTR	RMS			AC	11.290	49,036 LAND
RCVR	UNTS	FIELD CK:		NTCD		0 CLAS
%	C-W%	LOC: 546 SMYRNA PL SW FORT WHITE *M H NOTE		APPR CD		0 MKTUSE
INTW	HGHT			CNDO		50,956 JUST
%	PMTR			SUBD		50,956 APPR
FLOR	STYS			BLK		
%	ECON			LOT		0 SOHD
HTTP	FUNC			MAP#		0 ASSD
A/C	SPCD					0 EXPT
QUAL	DEPR			TXDT	003	0 COTXBL
FNDN	UD-1					
SIZE	UD-2					
CEIL	UD-3					
ARCH	UD-4					
FRME	UD-5					
KTCH	UD-6					
WNDO	UD-7					
CLAS	UD-8					
OCC	UD-9					
COND	%					
SUB	A-AREA % E-AREA	SUB VALUE				

----- BLDG TRAVERSE -----

PERMITS

NUMBER	DESC	AMT	ISSUED
23884	M H	501	11/22/2005
19298	TR/TRAILER	125	3/05/2002

SALE

BOOK	PAGE	DATE	PRICE
806	2670	6/15/1995 Q V	25400

GRANTOR COLUMBIA TIMBERLANDS INC
 GRANTEE JULIAN MCADAMS JR
 GRANTOR
 GRANTEE

TOTAL

AE BN	CODE	DESC	LEN	WID	HGHT	QTY	QL	YR	ADJ	UNITS	UT	PRICE	ADJ	UT	PR	SPCD	%	%GOOD	XFOB	VALUE
Y	0294	SHED WOOD/VI	16	16		1		2003	1.00	256.000	SF	7.500			7.500			100.00		1,920

LAND	DESC	ZONE	ROAD	{UD1	{UD3	FRONT	DEPTH	FIELD CK:	UNITS	UT	PRICE	ADJ	UT	PR	LAND	VALUE
AE	CODE	TOPO	UTIL	{UD2	{UD4	BACK	DT	ADJUSTMENTS								
Y	009900	AC	NON-AG	00				1.00 1.00 1.00 1.00	11.290	AC	3989.090			3989.09	45,036	
Y	009945	WELL/SEPT						1.00 1.00 1.00 1.00	1.000	UT	2000.000			2000.00	2,000	
Y	009945	WELL/SEPT						1.00 1.00 1.00 1.00	1.000	UT	2000.000			2000.00	2,000	

L001 - SPLIT FROM 03716-000

MOBILE HOME INSTALLER AFFIDAVIT

As per Florida Statutes Section 320.8249 Mobile Home Installers License

Any person who engages in mobile home installation shall obtain a mobile home installer's license from the Bureau of Mobile Home and Recreational Vehicle Construction, of the Department of Highway Safety and Motor Vehicles pursuant to this section. Said license shall be renewed annually, and each licensee shall pay a fee of \$150

I, Ronald Norris, license number TH 10251481

state that the installation of the manufactured home for owner

Julian R. McAdams III

at 911 Address: 345 SW Mystic Way City Ft White

will be done under my supervision.

Signed: [Signature]
Mobile Home Installer

Sworn to and described before me this 27 day of June 2011

Shirley M Bennett
Notary public

Shirley M Bennett Personally known ☒
Notary Name

DL ID _____



CODE ENFORCEMENT
PRELIMINARY MOBILE HOME INSPECTION REPORT

DATE RECEIVED 7-5-11 BY LH 1107-03 IS THE MH ON THE PROPERTY WHERE THE PERMIT WILL BE ISSUED? Yes
OWNERS NAME Julian McAdams PHONE _____ CELL 786-256-1304
ADDRESS 345 SW Mystic Way Ft White FL 32038
MOBILE HOME PARK NA SUBDIVISION Buckhead Woods
DRIVING DIRECTIONS TO MOBILE HOME Hwy 47 South, TL on Watson Rd
TR on Old Wire Rd, immediate L on Landrum,
TR on Mystic Way to end on L
MOBILE HOME INSTALLER Bonnie Norris PHONE _____ CELL 386-623-7714

MOBILE HOME INFORMATION

MAKE Redman YEAR 95 SIZE 28 x 40 COLOR _____
SERIAL No. 146m8869AB
WIND ZONE II Must be wind zone II or higher NC WIND ZONE I ALLOWED

INSPECTION STANDARDS

INTERIOR:

(P or F) - P= PASS F= FAILED

☒ SMOKE DETECTOR () OPERATIONAL () MISSING
☒ FLOORS () SOLID () WEAK () HOLES DAMAGED LOCATION
☒ DOORS () OPERABLE () DAMAGED
☒ WALLS () SOLID () STRUCTURALLY UNSOUND
☒ WINDOWS () OPERABLE () INOPERABLE
☒ PLUMBING FIXTURES () OPERABLE () INOPERABLE () MISSING
☒ CEILING () SOLID () HOLES () LEAKS APPARENT
☒ ELECTRICAL (FIXTURES/OUTLETS) () OPERABLE () EXPOSED WIRING () OUTLET COVERS MISSING () LIGHT
FIXTURES MISSING

\$50.00

Date of Payment: 7-5-11

Paid By: Wendy Grennell

Notes: Check

EXTERIOR:

☒ WALLS/SIDING () LOOSE SIDING () STRUCTURALLY UNSOUND () NOT WEATHERTIGHT () NEEDS CLEANING
☒ WINDOWS () CRACKED/BROKEN GLASS () SCREENS MISSING () WEATHERTIGHT
☒ ROOF () APPEARS SOLID () DAMAGED

STATUS

APPROVED ☒ WITH CONDITIONS: _____
NOT APPROVED _____ NEED RE-INSPECTION FOR FOLLOWING CONDITIONS: _____

SIGNATURE Steve P. Russell ID NUMBER 402 DATE 7-6-11

Mc Adams

MOBILE HOME INSTALLATION SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1107-03CONTRACTOR Ronnie NorrisPHONE 386-623-2203

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

☒ ELECTRICAL 234	Print Name <u>Michael Conner</u> License #: <u>ER13013192</u>	Signature <u>Michael Conner</u> Phone #: <u>386-258-2233</u>
☒ MECHANICAL/ A/C 701	Print Name <u>Robert Grant</u> License #: <u>OAC1814931</u>	Signature <u>Robert Grant</u> Phone #: <u>800-859-3708</u>
☒ PLUMBING/ GAS 679	Print Name <u>Ronnie Norris</u> License #: <u>IH1025145/1</u>	Signature <u>Ronnie Norris</u> Phone #: <u>386-623-7716</u>

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

Contractor Form: Subcontractor form: 1/11

McAdams App # 1167-03

COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 7/6/2011 DATE ISSUED: 7/8/2011

ENHANCED 9-1-1 ADDRESS:

345 SW MYSTIC WAY

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

25-5S-16-03716-114

Remarks:

RE-ISSUE OF EXISTING ADDRESS FOR NEW STRUCTURE ON
PARCEL. 2ND LOCATION ON PARCEL

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION
INFORMATION RECEIVED FROM THE REQUESTER. SHOULD,
AT A LATER DATE, THE LOCATION INFORMATION BE FOUND
TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

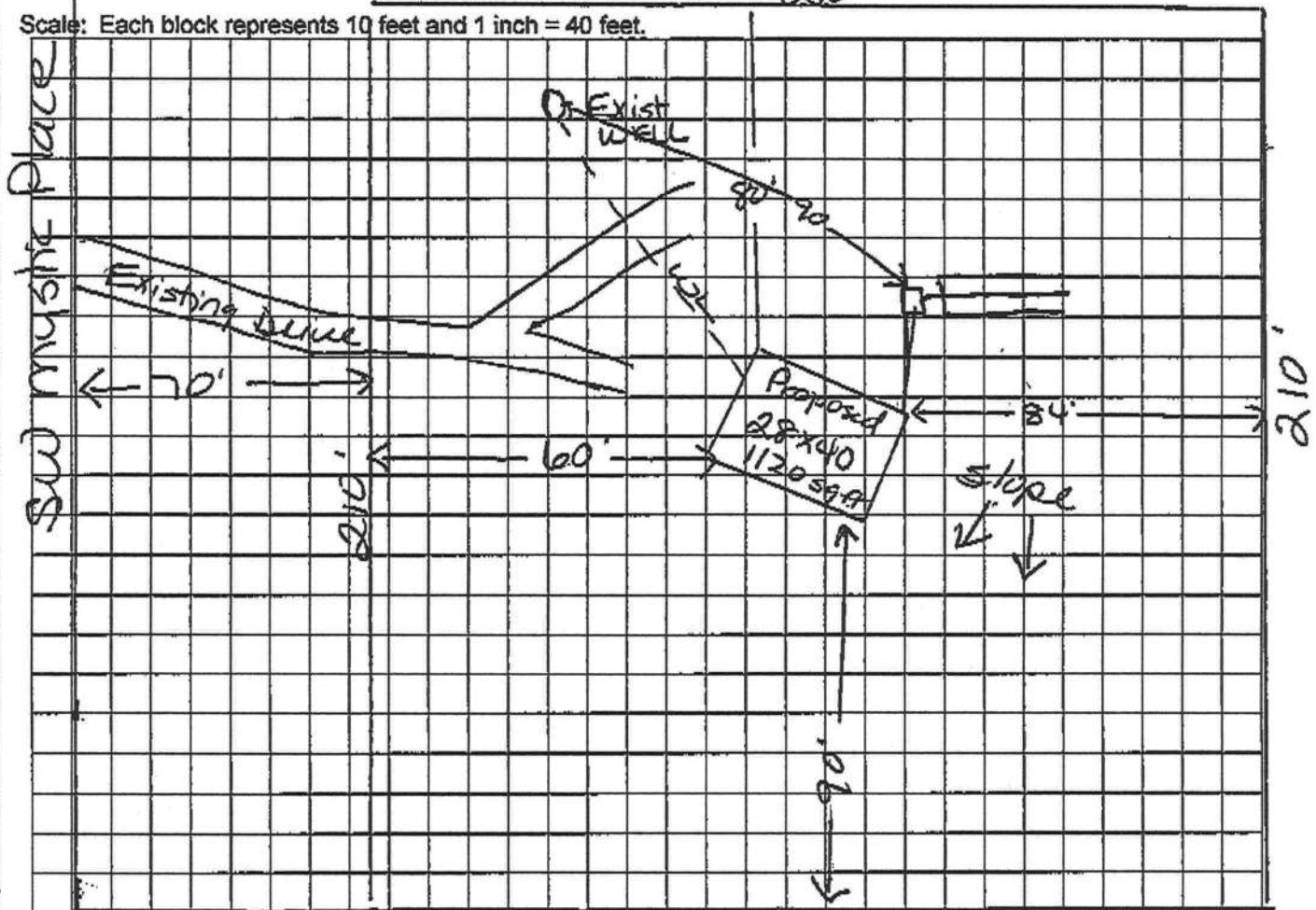
STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number

11-0312E

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Note: _____

SW Smurna

1 acre shown out of 11.29 see attached

Site Plan submitted by: Wendy ShennellPlan Approved X

Not Approved _____

Date 7/26/11By [Signature]

Columbia

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM
APPLICATION FOR CONSTRUCTION PERMIT

11-0311E
PERMIT NO. 1841032
DATE PAID: 7/8/11
FEE PAID: 135.00
RECEIPT #: 162.4778

APPLICATION FOR:

[] New System [x] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary []

APPLICANT:

Julian R McAdams

AGENT:

Wendy Grennell

TELEPHONE: 386-288-2428

MAILING ADDRESS:

3104 SW Old Wire Rd Ft White FL 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 14 BLOCK: SUBDIVISION: Buckhead Woods PLATTED: 7/72

PROPERTY ID #: 25-55-16-03716-114 ZONING: I/M OR EQUIVALENT: [Y / N]

PROPERTY SIZE: 11.29 ACRES WATER SUPPLY: [x] PRIVATE PUBLIC [] I/M OR EQUIVALENT: [Y / N]

IS SEWER AVAILABLE AS PER 381.0065, FS? [Y] [x] N DISTANCE TO SEWER: NA FT

PROPERTY ADDRESS: 345 SW Mystic Way Ft White FL 32038

DIRECTIONS TO PROPERTY: Hwy 47 South to Watson Rd turn (L) to Old Wire Rd turn (R) immediate (L) on Landrum to Mystic Way turn (R) at end on (L)

BUILDING INFORMATION

[x] RESIDENTIAL [] COMMERCIAL

Unit No Type of Establishment No. of Bedrooms Building Area Sqft Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC

1 SF Residential Dwmit

3

1120

ORIGINAL ATTACHED

2

3

4

[] Floor/Equipment Drains [] Other (Specify)

SIGNATURE:

Wendy Grennell

DATE:

7/5/11

**COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
APPLICATION**

Permit No. STUP - 1106-23

Date 18 July 2011

Fee \$450.00

Receipt No. 4240

Building Permit No. _____

Name of Title Holder(s) Julian R. McAdams Jr.

Address 546 SW Smyrna Place City Ft White

Zip Code 32038

Phone (386) 288-3212

NOTE: If the title holder(s) of the subject property are appointing an agent to represent them, a letter from the title holder(s) addressed to the Land Development Regulation Administrator **MUST** be attached to this application at the time of submittal stating such appointment.

Title Holder(s) Representative Agent(s) Wendy Grennell

Address 3104 SW Old Wire Rd City Ft White

Zip Code 32038

Phone (386) 288-2428

Paragraph Number Applying for 7

Proposed Temporary Use of Property residential

Proposed Duration of Temporary Use 5 yrs.

Tax Parcel ID# 25-55-16-03716-114

Size of Property 11.29 ***Provide a copy of your Deed of the property***

Present Land Use Classification A-3

Present Zoning District A-3

Certain uses are of short duration and do not create excessive incompatibility during the course of the use. Therefore, the Land Development Regulation Administrator is authorized to issue temporary use permits for the following activities, after a showing that any nuisance or hazardous feature involved is suitably separated from adjacent uses; excessive vehicular traffic will not be generated on minor residential streets; and a vehicular parking problem will not be created:

1. In any zoning district: special events operated by non-profit, eleemosynary organizations.
2. In any zoning district: Christmas tree sales lots operated by non-profit, eleemosynary organizations.
3. In any zoning district: other uses which are similar to (1) and (2) above and which are of a temporary nature where the period of use will not extend beyond thirty (30) days.
4. In any zoning district: mobile homes or RV's used for temporary purposes by any agency of municipal, County, State, or Federal government; provided such uses shall not be or include a residential use.
5. In any zoning district: mobile homes or RV's used as a residence, temporary office, security shelter, or shelter for materials of goods incident to construction on or development of the premises upon which the mobile home or travel trailer is located. Such use shall be strictly limited to the time construction or development is actively underway. In no event shall the use continue more than twelve (12) months without the approval of the Board of County Commissioners and the Board of County Commissioners shall give such approval only upon finding that actual construction is continuing.
6. In agricultural, commercial, and industrial districts: temporary religious or revival activities in tents.
7. In agricultural districts: In addition to the principal residential dwelling, two (2) additional mobile homes may be used as an accessory residence, provided that such mobile homes are occupied by persons related by the grandparent, parent, step-parent, adopted parent, sibling, child, stepchild, adopted child or grandchild of the family occupying the principal residential use. Such mobile homes are exempt from lot area requirements. A temporary use permit for such mobile homes may be granted for a time period up to five (5) years. The permit is valid for occupancy of the specified family member as indicated on Family Relationship Affidavit and Agreement which shall be recorded in the Clerk of the Courts by the applicant.

The Family Relationship Affidavit and Agreement shall include but not be limited to:

- a. Specify the family member to reside in the additional mobile home;
- b. Length of time permit is valid;
- c. Site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building;
- d. Responsibility for non ad-valorem assessments;
- e. Inspection with right of entry onto the property, but not into the mobile home by the County to verify compliance with this section. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section and;
- f. Shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
- g. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
- h. Requirements upon expiration of permit. Unless extended as herein provided, once a permit expires the mobile home shall be removed from the property within six (6) months of the date of expiration.

The property owner may apply for one or more extensions for up to two (2) years by submitting a new application, appropriate fees and family relationship residence affidavit agreement to be approved by the Land Development Regulation Administrator.

Previously approved temporary use permits would be eligible for extensions as amended in this section.

- 8. In shopping centers within Commercial Intensive districts only: mobile recycling collection units. These units shall operate only between the hours of 7:30 a.m. and 8:30 p.m. and shall be subject to the review of the Land Development Regulation Administrator. Application for permits shall include

written confirmation of the permission of the shopping center owner and a site plan which includes distances from buildings, roads, and property lines. No permit shall be valid for more than thirty (30) days within a twelve (12) month period, and the mobile unit must not remain on site more than seven (7) consecutive days. Once the unit is moved off-site, it must be off-site for six (6) consecutive days.

9. In agriculture and environmentally sensitive area districts: a single recreational vehicle as described on permit for living, sleeping, or housekeeping purposes for one-hundred eighty (180) consecutive days from date that permit is issued, subject to the following conditions:
 - a. Demonstrate a permanent residence in another location.
 - b. Meet setback requirements.
 - c. Shall be hooked up to or have access to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
 - d. Upon expiration of the permit the recreational vehicle shall not remain on property parked or stored and shall be removed from the property for 180 consecutive days.
 - e. Temporary RV permits are renewable only after one (1) year from issuance date of any prior temporary permit.

Temporary RV permits existing at the effective date of this amendment may be renewed for one (1) additional temporary permit in compliance with these land development regulations, as amended. Recreational vehicles as permitted in this section are not to include RV parks.

Appropriate conditions and safeguards may include, but are not limited to, reasonable time limits within which the action for which temporary use permit is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the special permit is granted, shall be deemed a violation of these land development regulations and punishable as provided in Article 15 of these land development regulations.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

Julian R McAdams III
Applicants Name (Print or Type)

✓ [Signature]
Applicant Signature

7-14-11
Date

OFFICIAL USE

Approved

X BLK 18 July 2011

Denied

Reason for Denial

Conditions (if any)

**COLUMBIA COUNTY, FLORIDA
LAND DEVELOPMENT REGULATION ADMINISTRATOR
SPECIAL PERMIT FOR TEMPORARY USE
AUTHORIZATION**

The undersigned, Julian R. McAdams, Jr. (herein "Property Owners"), whose physical 911 address is 546 SW Smyrna Place Ft White, hereby understand and agree to the conditions set forth by the issuance of a Special Temporary Use Permit in accordance with the Columbia County Land Development Regulations (LDR's). I hereby further authorize Wendy Grennell to act on by behalf concerning the application for such Special Temporary Use Permit on Tax Parcel ID # 25-53-16-03716-114.

Dated this 14 Day of July, 20 11.

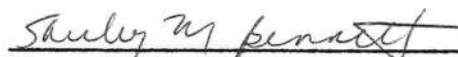

Property Owner (signature)

**STATE OF FLORIDA
COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 14 Day of July, 20 11, by Julian R. McAdams Jr Who is personally known to me or who has produced a FL Driver's license as identification.

(NOTARIAL
SEAL)




Notary Public, State of Florida

My Commission Expires:

**AFFIDAVIT AND AGREEMENT OF SPECIAL
TEMPORARY USE FOR IMMEDIATE
FAMILY MEMBERS FOR
PRIMARY RESIDENCE**

**STATE OF FLORIDA
COUNTY OF COLUMBIA**

2011-01-13 11:32 AM Date: 7/27/2011 Time: 11:49 AM
CCRP DevWrt Court Columbia County Page 1 of 2 P 1218 P 1307

BEFORE ME the undersigned Notary Public personally appeared.

Julian R. McAdams JR, the Owner of the parcel which is being used to place an additional dwelling (mobile home) as a primary residence for a family member of the Owner, and Julian R. McAdams III, the Family Member of the Owner, who intends to place a mobile home as the family member's primary residence as a temporarily use. The Family Member is related to the Owner as son, and both individuals being first duly sworn according to law, depose and say:

1. Family member is defined as parent, grandparent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
2. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit and Agreement.
3. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference with the Columbia County Property Appraiser Tax Parcel No. 25-55-16-03716-114.
4. No person or entity other than the Owner claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
5. This Affidavit and Agreement is made for the specific purpose of inducing Columbia County to issue a Special Temporary Use Permit for a Family Member on the parcel per the Columbia County Land Development Regulations. This Special Temporary Use Permit is valid for 5 year(s) as of date of issuance of the mobile home move-on permit, then the Family Member shall comply with the Columbia County Land Development Regulations as amended.
6. This Special Temporary Use Permit on Parcel No. 25-55-16-03716-114 is a "one time only" provision and becomes null and void if used by any other family member or person other than the named Family Member listed above. The Special Temporary Use Permit is to allow the named Family Member above to place a mobile home on the property for his primary residence only. In addition, if the Family Member listed above moves away, the mobile home shall be removed from the property within 60 days of the Family Member departure or the mobile home is found to be in violation of the Columbia County Land Development Regulations.
7. The site location of mobile home on property and compliance with all other conditions not conflicting with this section for permitting as set forth in these land development regulations. Mobile homes shall not be located within required yard setback areas and shall not be located within twenty (20) feet of any other building.
8. The parent parcel owner shall be responsible for non ad-valorem assessments.

9. Inspection with right of entry onto the property, but not into the mobile home by the County to verify compliance with this section shall be permitted by owner and family member. The Land Development Regulation Administrator, and other authorized representatives are hereby authorized to make such inspections and take such actions as may be required to enforce the provisions of this Section.
10. The mobile home shall be hooked up to appropriate electrical service, potable well and sanitary sewer facilities (bathroom and septic tank) that have been installed pursuant to permits issued by the Health Department and County Building and Zoning Department, where required.
11. Recreational vehicles (RV's) as defined by these land development regulations are not allowed under this provision (see Section 14.10.2#10).
12. Upon expiration of permit, the mobile home shall be removed from the property within six (6) months of the date of expiration, unless extended as herein provided by Section 14.10.2 (#7).
13. This Affidavit and Agreement is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the facts represented by us in this Affidavit are true and correct and we accept the terms of the Agreement and agree to comply with it.

Julian R McAdams Jr
Owner

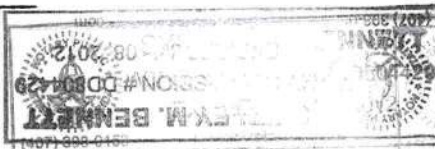
Julian R McAdams III
Family Member

Julian R McAdams
Typed or Printed Name

Julian R McAdams III
Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 14 day of July, 2011, by Julian R McAdams Jr (Owner) who is personally known to me or has produced FL DL as identification.

Shirley M Bennett
Notary Public



SHIRLEY M. BENNETT
MY COMMISSION # DD804429
EXPIRES July 08, 2012
FloridaNotaryService.com

Subscribed and sworn to (or affirmed) before me this 14 day of July, 2011, by Julian R McAdams III (Family Member) who is personally known to me or has produced FL DL as identification.

Shirley M Bennett
Notary Public



COLUMBIA COUNTY, FLORIDA

By: *Brian L Kepner*
Name: BRIAN L. KEPNER
Title: LAND DEVELOPMENT REGULATION
ADMINISTRATOR

DEPARTMENT OF
CERTIFICATION

M/H O C C U P A N C Y

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 25-5S-16-03716-114

Building permit No. 000029582

Permit Holder RONNIE NORRIS

Owner of Building JULIAN MCADAMS

Location: 345 SW MYSTIC WAY, FT. WHITE, FL 32038

Date: 08/04/2011

Harry Dickes

Building Inspector



POST IN A CONSPICUOUS PLACE
(Business Places Only)

DATE 07/27/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000029582

APPLICANT WENDY GRENNELL PHONE 288-2428
ADDRESS 3104 SW OLD WIRE RD FORT WHITE FL 32038
OWNER JULIAN MCADAMS PHONE 786-256-1304
ADDRESS 345 SW MYSTIC WAY FORT WHITE FL 32038
CONTRACTOR RONNIE NORRIS PHONE 623-7716
LOCATION OF PROPERTY 47 S, L WATSON, R OLD WIRE, IMMEDIATE LEFT ON LANDRUM,
R MYSTIC, AT END ON LEFT
TYPE DEVELOPMENT MH, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING AG-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 25-5S-16-03716-114 SUBDIVISION BUCKHEAD WOODS UNREC.
LOT 14 BLOCK PHASE UNIT 0 TOTAL ACRES 5.00

IH10251451
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 11-0311-E BK RJ N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

STUP FOR SON #1106-23 5 YEAR PERMIT, AFFIDAVIT ON FILE

2ND MH ON PROPERTY Check # or Cash 1303

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
date/app. by date/app. by date/app. by
Framing Insulation
date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
date/app. by date/app. by date/app. by
Reconnection RV Re-roof
date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 300.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 19.26 WASTE FEE \$ 50.25
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 444.51
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.