

DATE 01/18/2008

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT

000026641

APPLICANT WILLIAM HARPER PHONE 623-3873
ADDRESS 119 SW HOBBY PLACE LAKE CITY FL 32024
OWNER RANDY & KELLY BRIGGS PHONE 754-3883
ADDRESS 388 SW RAMON CT LAKE CITY FL 32024
CONTRACTOR WILLIAM HARPER PHONE 623-3873
LOCATION OF PROPERTY 90 W, L PINEMOUNT, L BIRLEY, R BRIM, L RAMON CT,
3RD LOT ON RIGHT SEE BAORD FENCE
TYPE DEVELOPMENT MODULAR, UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT 16.00 STORIES 1
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 18-4S-16-03054-103 SUBDIVISION THISTLEDEW UNREC
LOT C BLOCK PHASE UNIT TOTAL ACRES 11.56

R282811402
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 08-0031 BK JH N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD

Check # or Cash 1414

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power date/app. by Foundation date/app. by Monolithic date/app. by
Under slab rough-in plumbing date/app. by Slab date/app. by Sheathing/Nailing date/app. by
Framing date/app. by Rough-in plumbing above slab and below wood floor date/app. by
Electrical rough-in date/app. by Heat & Air Duct date/app. by Peri. beam (Lintel) date/app. by
Permanent power date/app. by C.O. Final date/app. by Culvert date/app. by
M/H tie downs, blocking, electricity and plumbing date/app. by Pool date/app. by
Reconnection date/app. by Pump pole date/app. by Utility Pole date/app. by
M/H Pole date/app. by Travel Trailer date/app. by Re-roof date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 350.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 425.00
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED TO BE IN ACTIVE PROGRESS WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

For Office Use Only		Application # <u>0712-87</u>	Date Received <u>12/21/07</u>	By <u>G</u>	Permit # <u>26641</u>
Zoning Official <u>BLK</u>	Date <u>04.01.08</u>	Flood Zone <u>X</u>	FEMA Map # <u>N/A</u>	Zoning <u>A-3</u>	
Land Use <u>A-3</u>	Elevation <u>N/A</u>	MFE <u>2nd eastmost</u>	River <u>N/A</u>	Plans Examiner <u>OK JTH</u>	Date <u>1-3-07</u>
Comments <u>Existing MH to be removed within 45 days of CO being issued</u>					
<input checked="" type="checkbox"/> NOC <input checked="" type="checkbox"/> EH <input type="checkbox"/> Deed or PA <input checked="" type="checkbox"/> Site Plan <input type="checkbox"/> State Road Info <input type="checkbox"/> Parent Parcel # _____					
<input type="checkbox"/> Dev Permit # _____ <input type="checkbox"/> In Floodway <input type="checkbox"/> Letter of Authorization from Contractor					
<input type="checkbox"/> Unincorporated area <input type="checkbox"/> Incorporated area <input type="checkbox"/> Town of Fort White <input type="checkbox"/> Town of Fort White Compliance letter					

Septic Permit No. 08-0031 Fax 386-752-2571

Name Authorized Person Signing Permit WILLIAM L. HARPER Phone 386-623-3873

Address 119 SW HOBBY PL. LAKE CITY, FL. 32024

Owners Name RANDY AND KELLY BRIGGS Phone 386-754-3883

911 Address 388 S.W. RAMON CT., LAKE CITY, FL. 32024

Contractors Name WILLIAM L. HARPER Phone 386-623-3873

Address 119 SW HOBBY PL. LAKE CITY, FL. 32024

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address CURTIS KEEN 9263 CR. 417 LUE OAK, FL. 32060

Mortgage Lenders Name & Address CITY MORTGAGE INC. 1000 TECHNOLOGY DR. O'FALLON, MO. 63368

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 18-45-16-03054-103 HX Estimated Cost of Construction \$100,000.00

Subdivision Name Thistledean Subdivision (unrec.) Lot C Block _____ Unit _____ Phase _____

Driving Directions GO HWY. 90 WEST TO HWY 252 (PINE MOUNT), GO LEFT, GO HWY. 252 TO BARWICK, GO LEFT, GO BARWICK TO BRIM, GO RIGHT GO BRIM TO RAMON CT., GO LEFT, GO RAMON CT. TO PROPERTY ON RIGHT (BOARD FENCE AND CEDAR TREES)

Construction of MODULAR HOME Total Acreage 11.560 Lot Size _____

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 16'

Actual Distance of Structure from Property Lines - Front 250' Side 375' Side 275' Rear 325'

Number of Stories 1 Heated Floor Area 1546 Total Floor Area 1546 Roof Pitch 8/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

Spoke to Bill 1/8/08

Columbia County Building Permit Application

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment

According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:

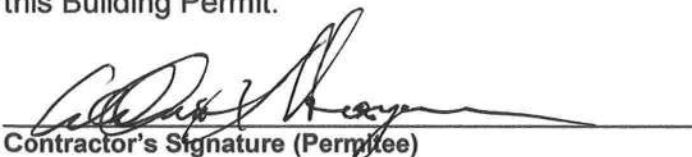
YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

OWNERS CERTIFICATION: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning. I further understand the above written responsibilities in Columbia County for obtaining this Building Permit.



Owners Signature

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit.



Contractor's Signature (Permittee)

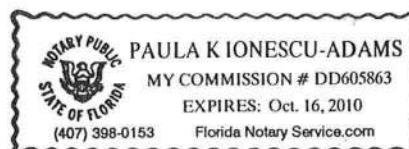
Contractor's License Number RR 282811402
Columbia County
Competency Card Number 000258

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27 day of December 2007.
Personally known _____ or Produced Identification DR. License



State of Florida Notary Signature (For the Contractor)

SEAL:





STATE OF FLORIDA
DEPARTMENT OF HEALTH

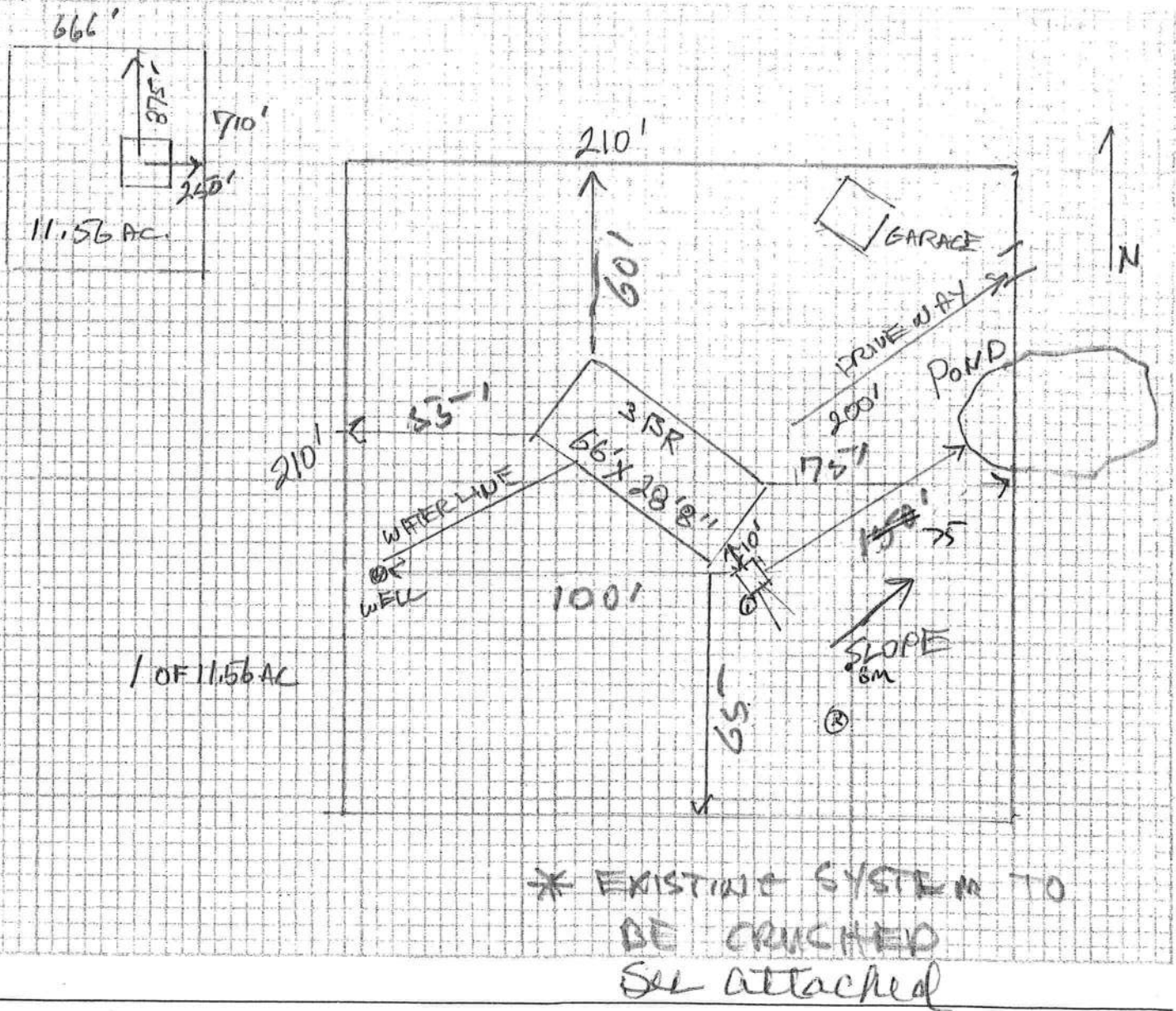
Briggs

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 08-0031

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes:

Site Plan submitted by: WILLIAM L. HARPER
Signature

CONTRACTOR
Title

Plan Approved X
By [Signature]

Columbia CHD APPROVED

Date 1/9/2008

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

10/02/2007 09:24 FAX 818 972 9519

CITIMORTGAGE

003/009

Permit No. _____

Tax Folio No. _____

NOTICE OF COMMENCEMENT

State of Florida
County of Columbia

Inst. _____ Date: 10/15/2007 Time: 3:28 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 2

The undersigned hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

1. Description of property: SEE ATTACHED EXHIBIT "A"
2. General description of improvement: New Construction
Single Family Residence
3. Owner information:
 - a. Name and address: Randy and Kelly Briggs
388 SW Ramon Court Lake City, FL 32024
 - b. Interest in property: _____
 - c. Name and address of fee simple titleholder (if other than Owner): _____
4. Contractor (name and address): Safe Harbor Homes, Inc.
3993 US Highway 90 W
Lake City, FL 32055
(386) 758-9433
 - a. Phone Number: _____
5. Surety:
 - a. Name and address: _____
 - b. Phone Number: _____
 - c. Amount of bond: _____
6. Lender (name and address): CitiMortgage
c/o Granite Loan Management, LLC
10770 E. Briarwood Ave. Suite 280, Centennial, CO 80112
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
Name and address: _____
8. In addition to himself or herself, Owner designates Granite Loan Management, LLC of 10770 E. Briarwood Ave. Suite 280, Centennial, CO 80012 to receive a copy of Lender's Notice as provided in Section 713.13(1)(b), Florida Statutes.
 - a. Phone Number: (888) 456-4888
9. Expiration date 3 years from the date of recording

State of Florida, Columbia County Randy Briggs (Signature of Owner) Kelly Briggs

Sworn to (or affirmed) and subscribed before me this 4th day of Oct 2007 by
(name of person making statement) Randy and Kelly Briggs



Martha Bryan
(Signature of Notary Public - State of Florida)
Martha Bryan
(Print, Type, or Stamp Commissioned Name of Notary Public)

Personally Known _____ OR Produced Identification ✓
Type of Identification Produced Driver's License

EXHIBIT "A"

PARCEL "C", THISTLEDEW SUBDIVISION (UNPLATTED), DESCRIBED AS FOLLOWS:

A PART OF THE E $\frac{1}{2}$ OF THE NE $\frac{1}{4}$, SECTION 18, TOWNSHIP 4 SOUTH, RANGE 16 EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NW CORNER OF THE NE $\frac{1}{4}$ OF THE NE $\frac{1}{4}$ AND RUN S 1°41'53" E, ALONG THE WEST LINE OF SAID E $\frac{1}{2}$ OF THE NE $\frac{1}{4}$, 1342.76 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 1°41'53" E, 730.66 FEET; THENCE N 87°45'29" E, 616.47 FEET; THENCE N 84°24'05" E, 83.06 FEET; THENCE N 1°54'47" W, 707.74 FEET; THENCE S 89°14'27" W, 696.75 FEET TO THE POINT OF BEGINNING, COLUMBIA COUNTY, FLORIDA.

SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS OVER AND ACROSS THE EAST 30 FEET THEREOF.

ALSO:

THE RIGHT OF INGRESS AND EGRESS OVER AND ACROSS A 60 FOOT EASEMENT LYING 30 FEET TO THE RIGHT AND 30 FEET TO THE LEFT OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCE AT THE NW CORNER OF THE E $\frac{1}{2}$ OF SAID NE $\frac{1}{4}$ AND RUN S 1°41'53" E, 25 FEET TO THE SOUTH MAINTAINED RIGHT-OF-WAY OF THOMPkins ROAD; THENCE N 89°14'22" E, 691.80 FEET ALONG SAID RIGHT-OF-WAY FOR A POINT OF BEGINNING OF THE CENTERLINE OF SAID EASEMENT; THENCE S 1°54'47" E ALONG SAID CENTERLINE 2026.0 FEET TO THE POINT OF TERMINATION OF SAID EASEMENT.

02044611
ADVANCE HOMESTEAD TITLE, INC. WARRANTY DEED
(FROM CORPORATION)

THIS INSTRUMENT WAS PREPARED INCIDENTAL TO
THE WRITING OF A TITLE INSURANCE POLICY BY
AND RETURN TO:
PATRICIA L. SWEET
ADVANCE HOMESTEAD TITLE
100 SW 75TH STREET, STE. 3
GAINESVILLE, FLORIDA 32607

Property Appraisers Parcel I.D. (Folio) Number(s):
03054-103

Grantee(s) S.S.#(s):

Inst: 2003001821 Date: 01/30/2003 Time: 11:00
Doc Stamp-Deed: 0.70

YMK DC, P. DeWitt Cason, Columbia County B: 973 P: 793

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

This Warranty Deed Made and executed the 13TH day of JANUARY A. D. 2003 by
M. G. MECHANICAL CONTRACTORS, INC.

a corporation existing under the laws of FLORIDA, and having its principal place of
business at Rt. 13, Box 418, Lake City, FL 32055-9003
hereinafter called the grantor, to RANDY BRIGGS and KELLY M. BRIGGS, f/k/a KELLY
BACH, husband and wife
whose postoffice address is ROUTE 11 BOX 394-25 LAKE CITY, FL 32024
hereinafter called the grantee;

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other valuable considerations,
receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the
grantee, all that certain land situated in Columbia County, Florida, viz:
SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.
To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that it is lawfully seized of said land in fee simple, that it has good
right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same
against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent
to December 31, 2002, restrictions, reservations, covenants and easements of record, if any.

(Corporate Seal)

In Witness Whereof, the grantor has caused these presents to
be executed in its name, and its corporate seal to be hereunto affixed, by its
proper officers thereunto duly authorized, the day and year first above written.

ATTEST: _____
Secretary

Signed, sealed and delivered in our presence:

Elyse M. Blake
Witness Signature

Elyse M. Blake
Printed Name

Kathy M. Blake
Witness Signature
Kathy M. Blake
Printed Name

STATE OF FLORIDA
COUNTY OF ALACHUA

The foregoing instrument was acknowledged before me this 13TH day of JANUARY
2003, by TERRY M. KELLY, President of

M. G. MECHANICAL CONTRACTORS, INC.

on behalf of the corporation. He/she is personally known to me or has produced a driver's license Corporation,
as identification and did not take an oath.

M. G. MECHANICAL CONTRACTORS, L.S.
INC.

By *Terry M. Kelly*, President
TERRY M. KELLY, President

Printed Name



Kathy M. Blake
Notary Signature
Kathy M. Blake
Printed Notary Signature
My Commission Expires:

EXHIBIT "A"

Parcel "C", THISTLEDEW SUBDIVISION (Unplatted), described as follows:

A part of the E 1/2 of the NE 1/4, Section 18, Township 4 South, Range 16 East, more particularly described as follows:

Commence at the NW corner of the NE 1/4 of the NE 1/4 and run S.1°41'53"E. along the West line of said E 1/2 of the NE 1/4, 1342.76 feet to the Point of Beginning; thence continue S.1°41'53"E., 730.66 feet; thence N.87°45'29"E., 616.47 feet; thence N.84°24'05"E., 83.06 feet; thence N.1°54'47"W., 707.74 feet; thence S.89°14'27"W., 696.75 feet to the Point of Beginning, Columbia County, Florida.

Subject to an easement for ingress and egress over and across the Eas 30 feet thereof.

ALSO:

The right of ingress and egress over and across a 60 foot easement lying 30 feet to the right and 30 feet to the left of the following described centerline:

Commence at the NW corner of the E 1/2 of said NE 1/4 and run S.1°41'53"E., 25 feet to the South maintained right-of-way of Thompkins Road; thence N.89°14'27"E., 691.80 feet along said right-of-way for a Point of Beginning of the centerline of said easement; thence S.1°54'47"E. along said centerline 2026.0 feet to the Point of Termination of said easement.

Property is subject to a DECLARATION OF COVENANTS AND RESTRICTIONS recorded in the public records of Columbia County, Florida and subject to other restrictions, reservations and easements of record.

Inst:2003001821 Date:01/30/2003 Time:11:00

Doc Stamp-Deed : 0.70

MCK DC, P. DeWitt Cason, Columbia County B:973 P:794

Columbia County Property Appraiser

DB Last Updated: 11/15/2007

Parcel: 18-4S-16-03054-103 HX

2008 Proposed Values

Tax Record

Property Card

Interactive GIS Map

Print

Owner & Property Info

<< Prev Search Result: 5 of 6 Next >>

Owner's Name	BRIGGS RANDY &		
Site Address	RAMON		
Mailing Address	KELLY BACH BRIGGS 388 SW RAMON CT LAKE CITY, FL 32024		
Use Desc. (code)	IMPROVED A (005000)		
Neighborhood	18416.00	Tax District	3
UD Codes	MKTA01	Market Area	01
Total Land Area	11.560 ACRES		
Description	COMM NW COR OF NE1/4 OF NE1/4, RUN S 1342.76 FT FOR POB, CONT S 730.66 FT, E 616.47 FT, NE 83.06 FT, N 707.74 FT, W 696.75 FT TO POB. (AKA PRCL C THISTLEDEW S/D UNREC) ORB 840-1822, 973-793.		

GIS Aerial



Property & Assessment Values

Mkt Land Value	cnt: (2)	\$16,040.00
Ag Land Value	cnt: (1)	\$2,344.00
Building Value	cnt: (1)	\$23,279.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$41,663.00

Just Value	\$113,239.00
Class Value	\$41,663.00
Assessed Value	\$36,455.00
Exempt Value	(code: HX) \$25,000.00
Total Taxable Value	\$11,455.00

Sales History

Sale Date	Book/Page	Inst. Type	Sale Vlmp	Sale Qual	Sale RCode	Sale Price
1/13/2003	973/793	WD	I	U	04	\$100.00
8/7/1997	840/1822	AD	V	U	01	\$29,900.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1997	Vinyl Side (31)	924	924	\$23,279.00
Note: All S.F. calculations are based on <u>exterior</u> building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
NONE						

Land Breakdown



Columbia County Property Appraiser

J. Doyle Crews, CFA - Lake City, Florida - 386-758-1083

PARCEL: 18-4S-16-03054-103 HX - IMPROVED A (005000)

Name:	BRIGGS RANDY &	LandVal	\$16,040.00
Site:	RAMON	BldgVal	\$24,163.00
	KELLY BACH BRIGGS	ApprVal	\$42,547.00
Mail:	388 SW RAMON CT	JustVal	\$114,123.00
	LAKE CITY, FL 32024	Assd	\$35,461.00
		Exmpt	\$25,000.00
		Taxable	\$10,461.00
Sales	1/13/2003 \$100.00 I/U		
Info	8/7/1997 \$29,900.00 V/U		

0 0.07 0.14 0.21 mi



This information, GIS Map Updated: 10/22/2007, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. The assessed values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.



0712-87

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Community Affairs
Residential Whole Building Performance Method A

Project Name: M2866SS320096-140	Builder: Modular One, LLC
Address:	Permitting Office:
City, State:	Permit Number:
Owner:	Jurisdiction Number:
Climate Zone: North	

1. New construction or existing New <input type="checkbox"/> 2. Single family or multi-family Single family <input type="checkbox"/> 3. Number of units, if multi-family 1 <input type="checkbox"/> 4. Number of Bedrooms 3 <input type="checkbox"/> 5. Is this a worst case? Yes <input type="checkbox"/> 6. Conditioned floor area (ft²) 1547 ft² <input type="checkbox"/> 7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default) a. U-factor: Description Area (or Single or Double DEFAULT) 7a. (Dble, U=0.3) 197.3 ft² <input type="checkbox"/> b. SHGC: (or Clear or Tint DEFAULT) 7b. (SHGC=0.28) 197.3 ft² <input type="checkbox"/> 8. Floor types a. Raised Wood, Stem Wall R=19.0, 1547.0ft² <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 9. Wall types a. Frame, Wood, Exterior R=13.0, 1266.7 ft² <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> d. N/A <input type="checkbox"/> e. N/A <input type="checkbox"/> 10. Ceiling types a. Under Attic R=30.0, 1547.0 ft² <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 11. Ducts a. Sup: Con. Ret: Con. AH: Interior Sup. R=6.5, 144.0 ft <input type="checkbox"/> b. N/A <input type="checkbox"/>	12. Cooling systems a. Central Unit Cap: 48.0 kBtu/hr <input type="checkbox"/> SEER: 13.00 <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 13. Heating systems a. Electric Heat Pump Cap: 48.0 kBtu/hr <input type="checkbox"/> HSPF: 9.00 <input type="checkbox"/> b. N/A <input type="checkbox"/> c. N/A <input type="checkbox"/> 14. Hot water systems a. Electric Resistance Cap: 50.0 gallons <input type="checkbox"/> EF: 0.92 <input type="checkbox"/> b. N/A <input type="checkbox"/> c. Conservation credits <input type="checkbox"/> (HR-Heat recovery, Solar DHP-Dedicated heat pump) 15. HVAC credits <input type="checkbox"/> (CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)
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APPROVED BY

DEC 7 - 2007

NIA INC.

Glass/Floor Area: 0.13

Total as-built points: 18141

Total base points: 22595

PASS

I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

PREPARED BY: *J. A. / 8*

DATE: 12/5/07

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

OWNER/AGENT: _____

DATE: _____

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



BUILDING OFFICIAL: *Charles H. [Signature]*

DATE: 12/07/2007 Smp-015

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.

SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BSPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X SPM X SOF = Points				
.18	1547.0	18.59	5177.0	1.Double,U=0.35,SHGC=0.28	W	1.0	7.3	60.0	15.55	0.99	919.0
				2.Double,U=0.35,SHGC=0.28	E	1.0	7.3	60.0	17.03	0.99	1006.0
				3.Double,U=0.35,SHGC=0.28	E	1.0	5.3	9.0	17.03	0.96	146.0
				4.Double,U=0.35,SHGC=0.28	S	9.0	9.0	40.0	14.43	0.52	300.0
				5.Double,U=0.35,SHGC=0.28	S	9.0	7.3	15.0	14.43	0.49	106.0
				6.Double,U=0.35,SHGC=0.28	E	1.0	9.0	13.3	17.03	0.99	225.0
				As-Built Total: 197.3 2702.0							
WALL TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	1. Frame, Wood, Exterior	13.0		1266.7	1.50	1900.0		
Exterior	1266.7	1.70	2153.4								
Base Total: 1266.7 2153.4				As-Built Total: 1266.7				1900.0			
DOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Adjacent	0.0	0.00	0.0	1.Exterior Wood			60.0	6.10	366.2		
Exterior	60.0	6.10	366.2								
Base Total: 60.0 366.2				As-Built Total: 60.0				366.2			
CEILING TYPES Area X BSPM = Points				Type	R-Value		Area X SPM X SCM = Points				
Under Attic	1547.0	1.73	2676.3	1. Under Attic	30.0		1547.0	1.73 X 1.00	2676.3		
Base Total: 1547.0 2676.3				As-Built Total: 1547.0				2676.3			
FLOOR TYPES Area X BSPM = Points				Type	R-Value		Area X SPM = Points				
Slab	0.0(p)	0.0	0.0	1. Raised Wood, Stem Wall	19.0		1547.0	-1.50	-2320.5		
Raised	1547.0	-3.99	-6172.5								
Base Total: -6172.5				As-Built Total: 1547.0				-2320.5			
INFILTRATION Area X BSPM = Points				Area X SPM = Points							
1547.0 10.21 15794.9				1547.0 10.21 15794.9							

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SUMMER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT						
Summer Base Points: 19995.2				Summer As-Built Points: 21118.9						
Total Summer Points	X System Multiplier	=	Cooling Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	=	Cooling Points
19995.2	0.3250		6498.4	21119	1.00	(1.00 x 1.147 x 0.91)	0.260	1.000		5731.3
				21118.9	1.00	1.044	0.260	1.000		5731.3

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WINTER CALCULATIONS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT							
GLASS TYPES											
.18 X Conditioned X BWPM = Points Floor Area				Type/SC	Overhang Ornt Len Hgt		Area X WPM X WOF = Points				
.18	1547.0	20.17	5617.0	1.Double,U=0.35,SHGC=0.28	W	1.0	7.3	60.0	9.89	1.00	595.0
				2.Double,U=0.35,SHGC=0.28	E	1.0	7.3	60.0	9.12	1.01	553.0
				3.Double,U=0.35,SHGC=0.28	E	1.0	5.3	9.0	9.12	1.02	83.0
				4.Double,U=0.35,SHGC=0.28	S	9.0	9.0	40.0	6.72	2.73	733.0
				5.Double,U=0.35,SHGC=0.28	S	9.0	7.3	15.0	6.72	3.07	309.0
				6.Double,U=0.35,SHGC=0.28	E	1.0	9.0	13.3	9.12	1.01	122.0
				As-Built Total:				197.3	2395.0		
WALL TYPES											
Area X BWPM = Points				Type	R-Value		Area X WPM		= Points		
Adjacent	0.0	0.00	0.0	1. Frame, Wood, Exterior	13.0		1266.7	3.40	4306.8		
Exterior	1266.7	3.70	4686.8								
Base Total:				1266.7		4686.8		As-Built Total:		1266.7 4306.8	
DOOR TYPES											
Area X BWPM = Points				Type	R-Value		Area X WPM		= Points		
Adjacent	0.0	0.00	0.0	1.Exterior Wood			60.0	12.30	738.4		
Exterior	60.0	12.30	738.4								
Base Total:				60.0		738.4		As-Built Total:		60.0 738.4	
CEILING TYPES											
Area X BWPM = Points				Type	R-Value		Area X WPM X WCM		= Points		
Under Attic	1547.0	2.05	3171.3	1. Under Attic	30.0		1547.0	2.05 X 1.00	3171.3		
Base Total:				1547.0		3171.3		As-Built Total:		1547.0 3171.3	
FLOOR TYPES											
Area X BWPM = Points				Type	R-Value		Area X WPM		= Points		
Slab	0.0(p)	0.0	0.0	1. Raised Wood, Stem Wall	19.0		1547.0	0.80	1237.6		
Raised	1547.0	0.96	1485.1								
Base Total:				1485.1		1547.0		As-Built Total:		1237.6	
INFILTRATION											
Area X BWPM = Points						Area X WPM		= Points			
						1547.0		-0.59 -912.7			

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WINTER CALCULATIONS**Residential Whole Building Performance Method A - Details**

ADDRESS: , , ,

PERMIT #:

BASE			AS-BUILT						
Winter Base Points: 14785.9			Winter As-Built Points: 10936.4						
Total Winter Points	X System Multiplier	= Heating Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Heating Points	
14785.9	0.5540	8191.4	(sys 1: Electric Heat Pump 48000 btuh ,EFF(9.0) Ducts:Con(S),Con(R),Int(AH),R6.5 10936.4 1.000 (1.000 x 1.169 x 0.93) 0.379 1.000 4504.9 10936.4 1.00 1.087 0.379 1.000 4504.9						

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NIA INC.

WATER HEATING & CODE COMPLIANCE STATUS

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

BASE				AS-BUILT					
WATER HEATING				Tank	EF	Number of	X	Tank	X
Number of	X	Multiplier	=	Volume		Bedrooms		Ratio	Multiplier
Bedrooms			Total						=
3		2635.00	7905.0	50.0	0.92	3		1.00	2635.00
									1.00
									7905.0
				As-Built Total:					7905.0

CODE COMPLIANCE STATUS

BASE					AS-BUILT				
Cooling	+	Heating	+	Hot Water	=	Cooling	+	Heating	=
Points		Points		Points	Total	Points		Points	Total
6498		8191		7905	22595	5731		4505	7905
									18141

PASS

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NIA INC.

Code Compliance Checklist

Residential Whole Building Performance Method A - Details

ADDRESS: , , ,

PERMIT #:

6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

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ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE SCORE* = 88.4

The higher the score, the more efficient the home.

1. New construction or existing	New	12. Cooling systems	
2. Single family or multi-family	Single family	a. Central Unit	Cap: 48.0 kBtu/hr
3. Number of units, if multi-family	1		SEER: 13.00
4. Number of Bedrooms	3	b. N/A	
5. Is this a worst case?	Yes	c. N/A	
6. Conditioned floor area (ft ²)	1547 ft ²		
7. Glass type ¹ and area: (Label reqd. by 13-104.4.5 if not default)		APPROVED BY	
a. U-factor:	Description Area	13. Heating systems	
(or Single or Double DEFAULT)	7a. (Dble, U=0.3) 197.3 ft ²	a. Electric Heat Pump	DEC 7 - 2007
b. SHGC:			Cap: 48.0 kBtu/hr
(or Clear or Tint DEFAULT)	7b. (SHGC=0.28) 197.3 ft ²	b. N/A	HSPF: 9.00
8. Floor types		c. N/A	
a. Raised Wood, Stem Wall	R=19.0, 1547.0ft ²	NIA INC.	
b. N/A		14. Hot water systems	
c. N/A		a. Electric Resistance	Cap: 50.0 gallons
9. Wall types			EF: 0.92
a. Frame, Wood, Exterior	R=13.0, 1266.7 ft ²	b. N/A	
b. N/A		c. Conservation credits	
c. N/A		(HR-Heat recovery, Solar	
d. N/A		DHP-Dedicated heat pump)	
e. N/A		15. HVAC credits	
10. Ceiling types		(CF-Ceiling fan, CV-Cross ventilation,	
a. Under Attic	R=30.0, 1547.0 ft ²	HF-Whole house fan,	
b. N/A		PT-Programmable Thermostat,	
c. N/A		MZ-C-Multizone cooling,	
11. Ducts		MZ-H-Multizone heating)	
a. Sup: Con. Ret: Con. AH: Interior	Sup. R=6.5, 144.0 ft		
b. N/A			

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL Zip: _____



**NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStarTM designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at www.fsec.ucf.edu for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

¹ Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.
EnergyGauge® (Version: FLRCSB v4.5.2)

CERTIFICATE OF OCCUPANCY

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 18-4S-16-03054-103

Building permit No. 000026641

Use Classification MODULAR, UTILITY

Fire: 97.68

Permit Holder WILLIAM HARPER

Waste: 134.00

Owner of Building RANDY & KELLY BRIGGS

Total: 231.68

Location: 388 SW RAMON COURT, LAKE CITY, FL 32024

Date: 02/22/2008

Wayne A. Ruse

Building Inspector

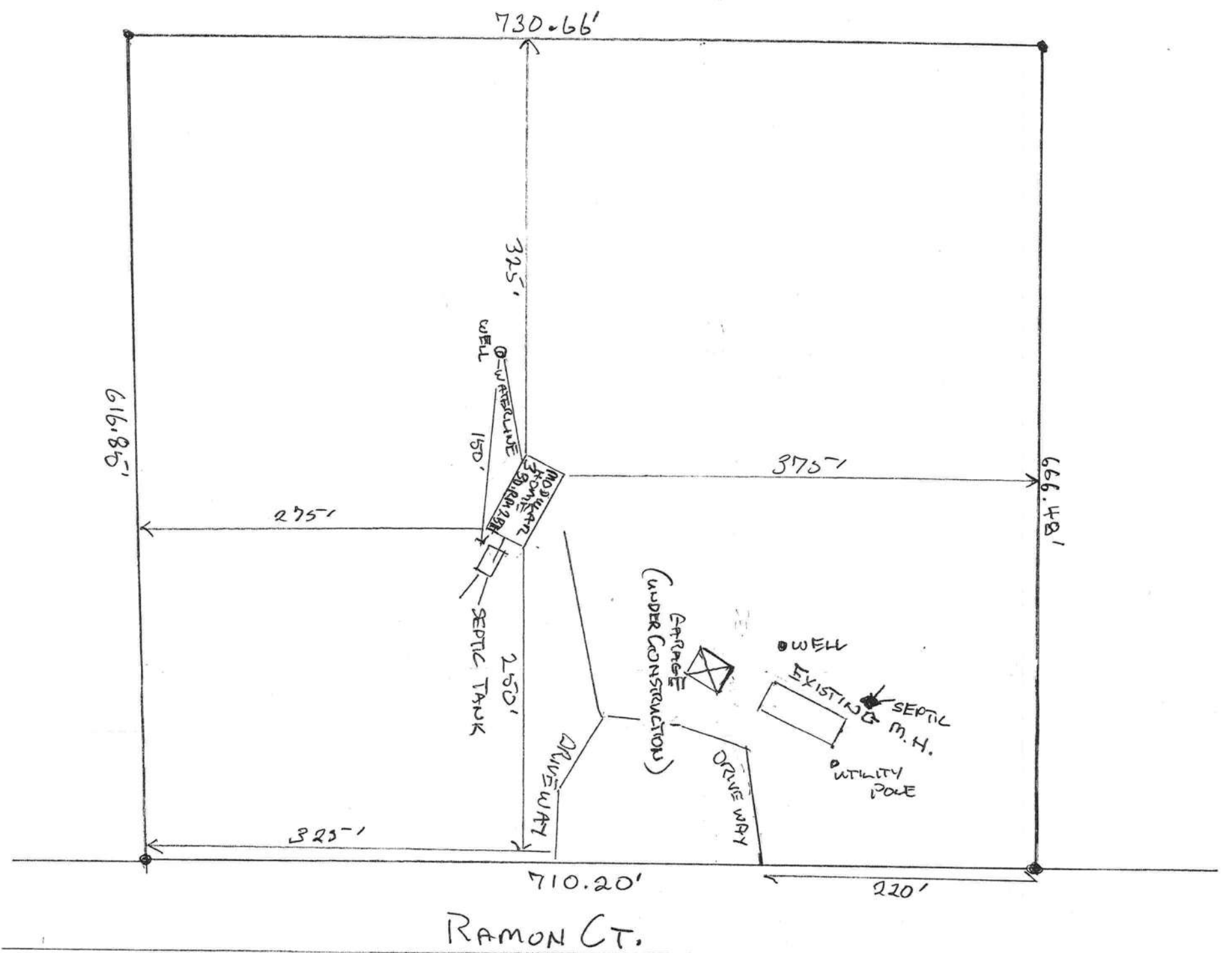
POST IN A CONSPICUOUS PLACE
(Business Places Only)



150

Product: MODULAR HOME
 Name (s): DAVID AND KERRY BRIDGES
 Contractor: WILLIAM L. HARTER

SCALE 1" = 100'



NOTE: SIVILE WIDE HOME WILL BE
MOVED OFF PROPERTY AND
SERVIC TRUCK CRUSHED

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

VB unprotected
R3
One (1)
140 mph
0 hr
MFT-5308-M2866SS320096
40 PSF
12/7/2007
Modular One, LLC

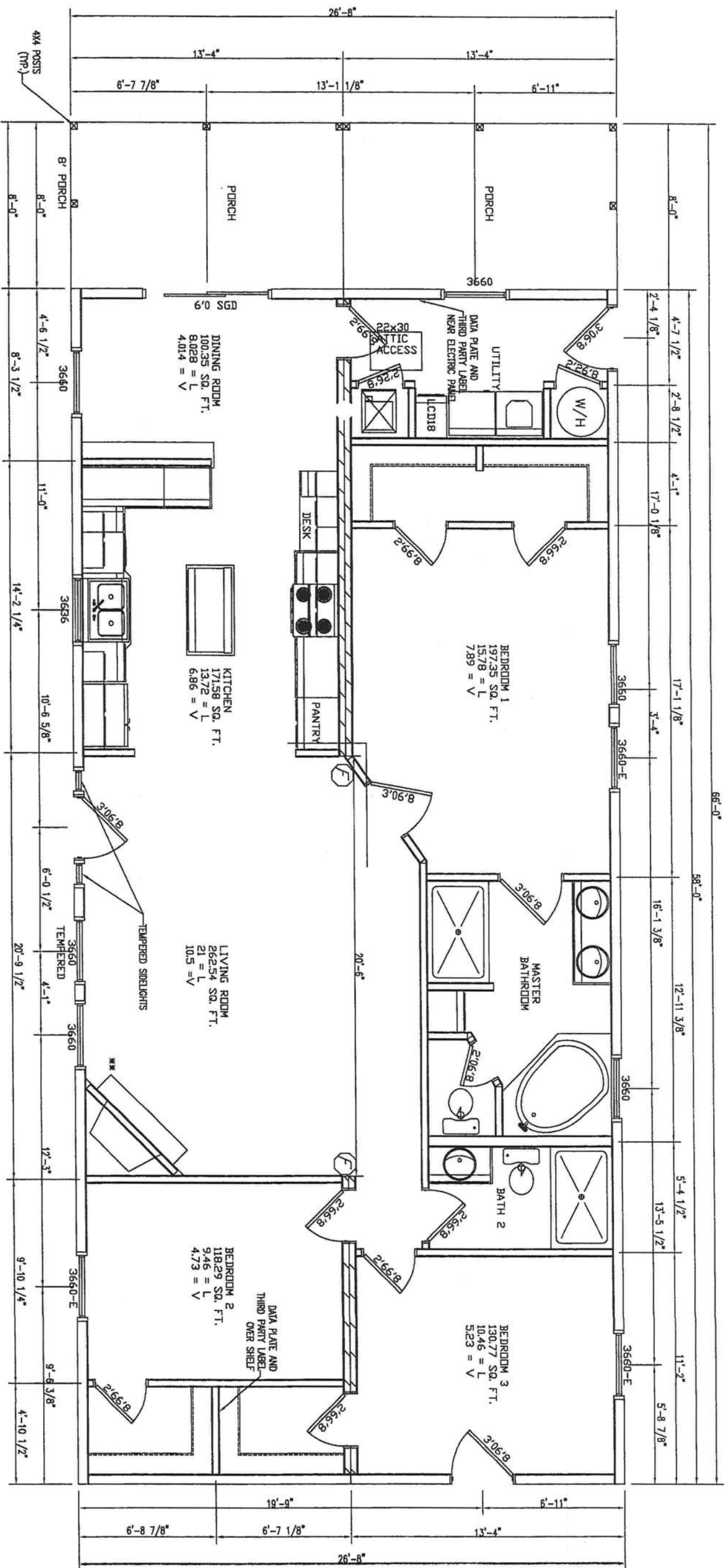
E = EGRESS WINDOW

OPTIONAL FIREPLACE IS DESIGNED AND INSTALLED PER UL-127 OF THE MANUFACTURERS INSTALLATION INSTRUCTIONS PER PAGES M11.0 - M11.27 OF THE BUILDING SYSTEMS MANUAL.

MODULAR ONE, LLC
PLANT #1
1884 MINES RD.
PULASKI, TN 38478
PHONE: (931) 424-7305
FAX: (931) 424-7308
EMAIL: TKINC@MODULARONE.NET

**HILBORN, WERNER, CARTER
& ASSOCIATES**
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756
COA #1023

12/5/07



DRAWING TITLE

1
A1

FLOOR PLAN

3/16" = 1'-0"

FLOOR
PLAN

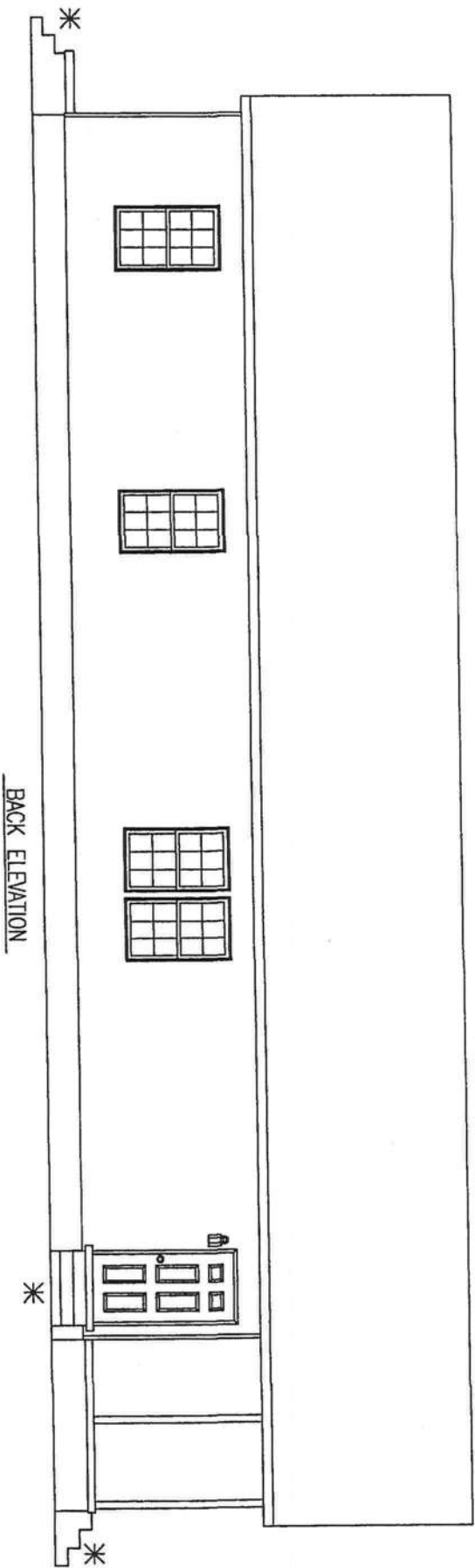
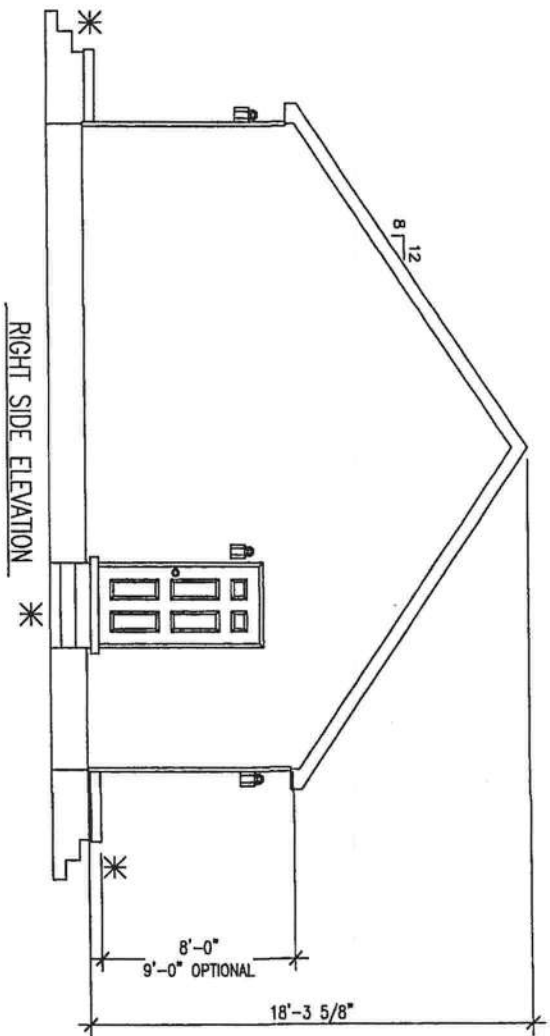
55320096-140

JOB NO.

2145-0470

SHEET:

A/

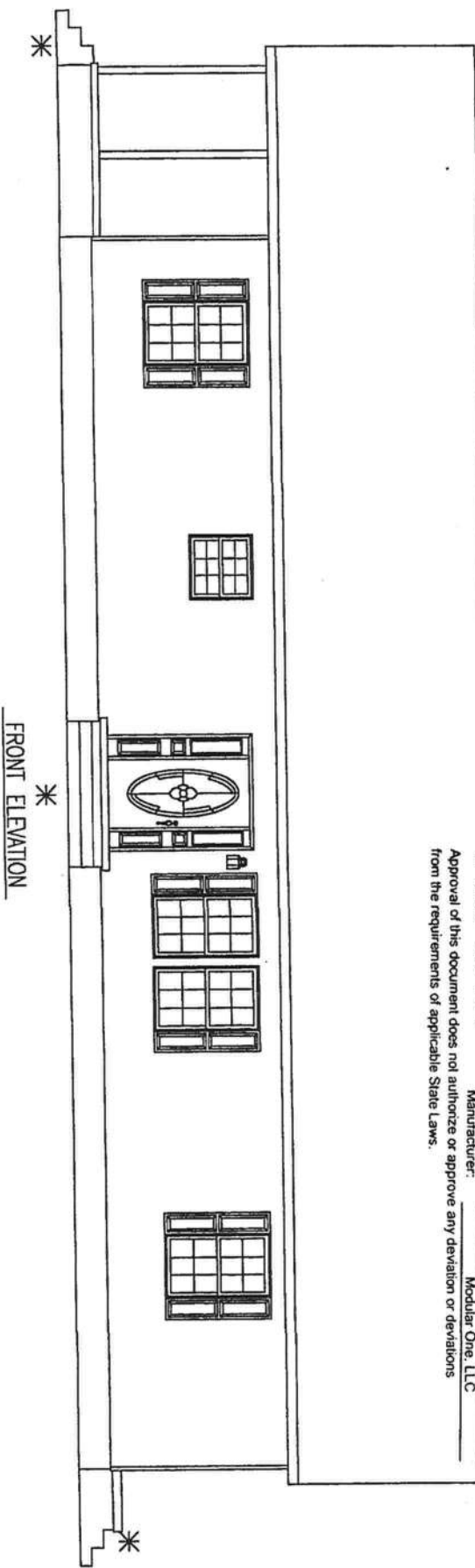
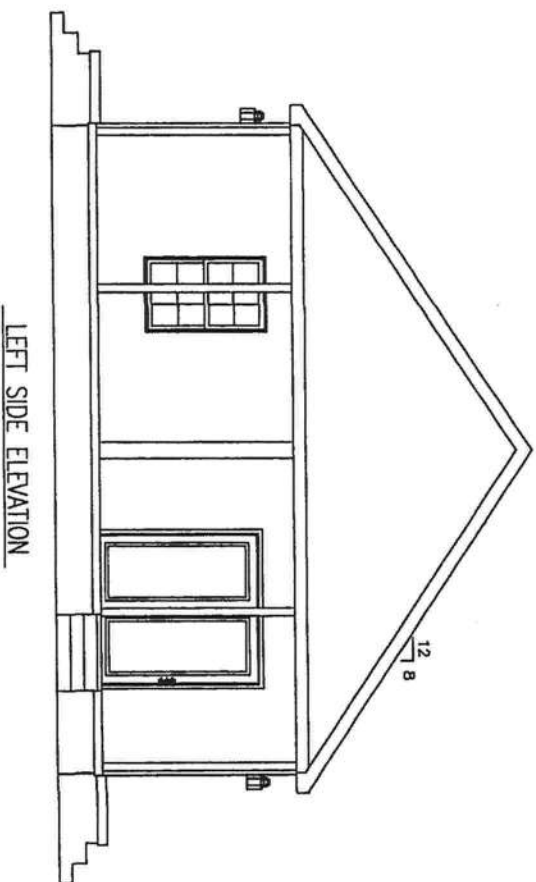


These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 9B-72

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Const. Type: VB unprotected
Occupancy: R3
Allowable No. _____
of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ex. Walls: 0 hr
Plan No.: MFT-5308-M286SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/17/2007
Manufacturer: Modular One, LLC

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.



* NOTE:
ALL PORCHES, LANDINGS, STEPS, AND HANDRAILS ON SITE BY OTHERS IN ACCORDANCE WITH LOCAL CODES AND INSPECTIONS.

MODULAR ONE, LLC
PLANT #1
1884 MINES RD.
PULASKI, TN 38478
PHONE: (931) 424-7305
FAX: (931) 424-7308
EMAIL: TKING@MODULARONE.NET

HWG
HILBORN, WERNER, CARTER & ASSOCIATES
1827 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756
COA #1025
TIMOTHY L. HUNT, PE
FL P.E. LIC. #41033
PHONE: 727-584-8151
EMAIL: THUNT@HWCEMG.COM

Handwritten signature and date:
12/15/07



REVISIONS		BY	DATE
1	EXTERIOR ELEVATIONS		
A2	3/16" = 1'-0"		

GENERAL NOTES		DRAWING TITLE	
EXTERIOR ELEVATIONS		EXTERIOR ELEVATIONS	
3/16" = 1'-0"		ELEVATIONS	

NAME: ---	SERIES: MOD	MODEL NO. M2866SS320096-14C
PLANT: 1	DESCRIPTION: 26'8" x 66' 3BR-2BA	JOB NO. 2145-0470
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: A2

ATTIC AREA	MAX LENGTH
1740 SQFT	58 FT
*VENT REQ'D SQFT	*ROOF VENT SQFT
2.59 SQFT	3.63 SQFT

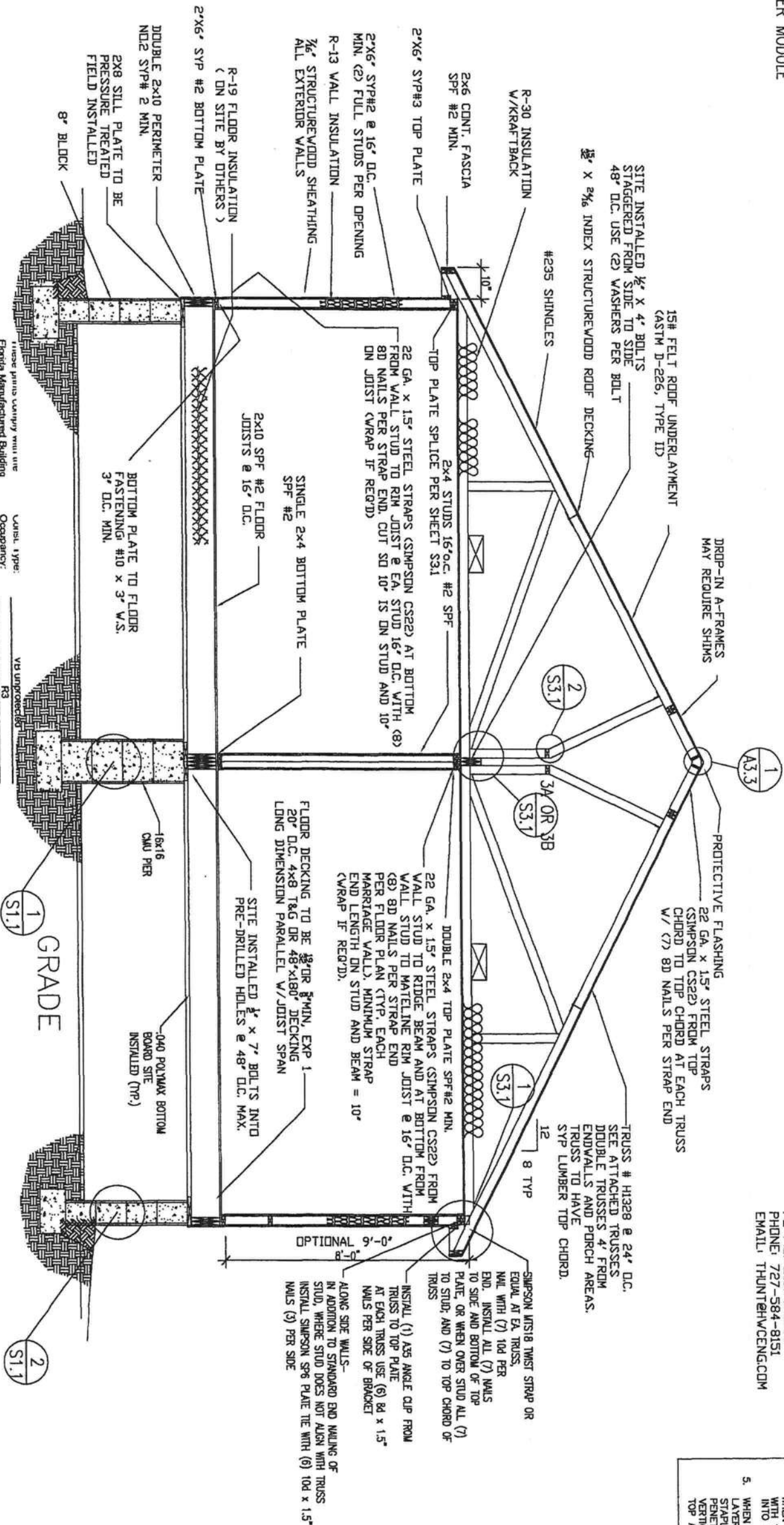
*PER MODULE

MODULAR ONE, LLC
PLANT #1
1884 MINES RD.
PULASKI, TN 38478
PHONE: (931) 424-7305
FAX: (931) 424-7308
EMAIL: TKING@MODULARONE.NET



HILBORN, WERNER, CARTER
1620 SOUTH MARPLE AVE.
CLEMMEN, AL 35756
COA #1025

TIMOTHY L. HUNT, PE
FL P.E. LIC. #41033
PHONE: 727-584-8151
EMAIL: THUNTH@HWCENG.COM



These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 9B-72

APPROVED BY

NIP INC.

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

Unisl. type:	One (1)
Occupancy:	140 mph
Allowable No. of Floors:	0 hr
Wind Velocity:	MFT-6308-M286SS320096
Fire Rating of Exl. Walls:	40 PSF
Allow. Floor Load:	12/7/2007
Approval Date:	Modular One, LLC
Manufacturer:	

12/5/07

MODULAR ONE
THE NEXT GENERATION

REVISIONS	BY	DATE	GENERAL NOTES
1	A3		SECTION VIEW N.T.S.

DRAWING TITLE
STANDARD SECTION VIEW

NAME:	SERIES:	MODEL NO.
PLANT: 1	MOD	M286SS320096-140
DESCRIPTION: 26'8"x66' 3BR-2BA	JOB NO. 2145-0470	
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: A3

RIDGE BEAM CONSTRUCTION

1. LAYER(S) 1 1/2" x 18" MICROSLAM LVL 2.0 SP BEAM EACH MODULE CONTINUOUS OVER OPEN SPANS.
1. LAYER(S) 1 1/2" x 14" MICROSLAM LVL 2.0 SP BEAM EACH MODULE CONTINUOUS OVER PORCH
1. MICROSLAM BEAM FB=2800 PSI.
2. MICROSLAM MUST BE CONTINUOUS OVER CLEAR SPANS.
3. BEAMS SUPPORTED BY ENDWALL COLUMNS MUST EXTEND CONTINUOUS OVER COLUMNS TO EXTERIOR FACE OF ENDWALL.
4. INSTALL 2 x 4 x 20" SPF #3 RIDGE BEAM BEARING STIFFENERS OVER SUPPORT COLUMNS WHEN SPECIFIED ON FLOOR PLAN; FASTEN THE FACE OF THE STIFFENERS TO THE RIDGE BEAM WITH 100% GUE COVERAGE AND 6-16 GAUGE STAPLES WITH 3/4" MINIMUM PENETRATION INTO BEAM.
5. WHEN MORE THAN ONE LAYER OF MICROSLAM IS INSTALLED ON EITHER SIDE OF THE MATELINE, LAYERS ON THAT SIDE OF THE MATELINE MUST BE FASTENED TOGETHER WITH 16 GAUGE STAPLES X 7/16" MINIMUM GROWN (INSTALLED PARALLEL TO BEAM SPAN) X 1" MINIMUM PENETRATION INTO CONNECTING LAYERS; STAPLES SHALL BE PLACED AT 8" O.C. MAXIMUM VERTICALLY AND HORIZONTALLY WITH FIRST AND LAST ROW OF STAPLES LOCATED 1" FROM TOP AND BOTTOM EDGE OF BEAM RESPECTIVELY.

EXTERIOR FINISH MATERIALS

- A. ROOF - SHINGLES INSTALLED PER MANUFACTURER'S SPECIFICATIONS; SHINGLES SHALL BE INSTALLED OVER NO. 15 FELT OR EQUIVALENT, 2 LAYERS FOR PITCHES UP TO 4:12 AND 1 LAYER FOR 4:12 AND STEEPER.
- B. WALLS - VINYL SIDING OR HARDI PLANK INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

WALL BRACING

- A. SIDE WALLS: 7/16" APA RATED 24/0 EXP. 1 SHEATHING SHALL EXTEND OUTSIDE CONTINUOUSLY FROM THE TOP PLATE TO BOTTOM OF PERIMETER RAIL WITH ALL SHEATHING EDGES EXTENDING 3/4" MIN. OVER 2" NOMINAL LUMBER OF THE SAME SIZE AND SPECIE AS THE EXTERIOR WALL FRAMING.

- B. RIGHT SIDE ENDWALLS: 7/16" APA RATED 24/0 EXP. 1 SHEATHING SHALL EXTEND OUTSIDE CONTINUOUSLY FROM THE TOP OF THE TRUSS TOP CHORD TO THE BOTTOM OF THE RIM JOIST WITH ALL SHEATHING EDGES SUPPORTED BY 2" NOMINAL LUMBER OF THE SAME SIZE AND SPECIE AS THE EXTERIOR WALL FRAMING.

- C. PORCH ENDWALLS: 7/16" APA RATED 24/0 EXP. 1 SHEATHING SHALL EXTEND INSIDE AND OUTSIDE CONTINUOUSLY FROM THE TOP OF THE END WALL TOP PLATE TO THE BOTTOM OF THE RIM JOIST (INSIDE TO BOTTOM PLATED WITH ALL SHEATHING EDGES SUPPORTED BY 2" NOMINAL LUMBER OF THE SAME SIZE AND SPECIE AS THE EXTERIOR WALL FRAMING; OFF SET HORIZONTAL PANEL JOINTS INSIDE TO FASTENED W/ 8d NAILS 3" O.C. PANEL EDGES, 6" D.C. FIELD OVER SYP LUMBER

- C. PORCH ENDWALLS: 7/16" APA RATED 24/0 EXP. 1 SHEATHING SHALL EXTEND INSIDE AND OUTSIDE CONTINUOUSLY FROM THE TOP OF THE END WALL TOP PLATE TO THE BOTTOM OF THE RIM JOIST (INSIDE TO BOTTOM PLATED WITH ALL SHEATHING EDGES SUPPORTED BY 2" NOMINAL LUMBER OF THE SAME SIZE AND SPECIE AS THE EXTERIOR WALL FRAMING; OFF SET HORIZONTAL PANEL JOINTS INSIDE TO FASTENED W/ 8d NAILS 3" O.C. PANEL EDGES, 6" D.C. FIELD OVER SYP LUMBER

INTERIOR WALLS TO BE 2x4 SPF # 2 MINIMUM.

VAPOR BARRIER: SHERWIN WILLIAMS INTERIOR LATEX MOISTURE VAPOR BARRIER B72V1 1 PERM. MINIMUM

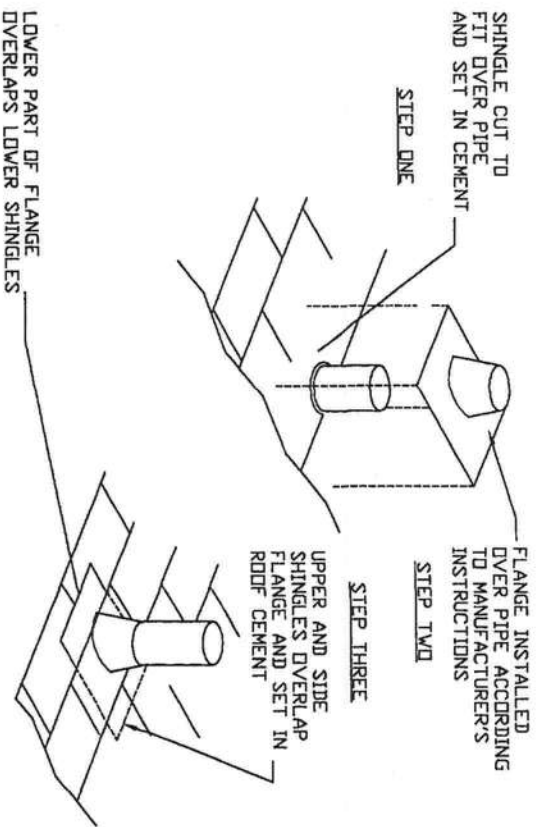
INTERIOR FINISH MATERIALS

- A. CEILING - 1/2" MINIMUM GYPSUM BOARD INSTALL 5d COLLER NAILS 7" O.C. PANEL EDGES - 10" IN THE FIELD
- B. WALLS - 1/2" MINIMUM GYPSUM BOARD INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- C. FLOOR - TILE MAY BE USED IN BATHROOM AND OTHER WET AREAS; CARPET, TILE, OR W/TEX WOOD FLOORING INSTALLED IN ALL OTHER AREAS. CARPET MAY BE INSTALLED IN BATH AND KITCHEN AREAS PROVIDED THE FLOOR IS SEALED WITH MOISTURE PROOFING OR DESKING IS EXPOSURE ONE MATERIAL AND CARPET IS CUT FROM UNDER CONCEALED SPACES.

GABLE ENDWALL CONSTRUCTION PER SHEET SS.1

ALL 22 GA. STRAPS TO BE SIMPSON CSE2.

ROOF PENETRATIONS



- NOTES:
1. WHEN ROOF DECKING IS PENETRATED, THE AREA PENETRATES MAY BE 1/2" +/- 1/4" LARGER THEN ITEM PROTRUDING THRU OR PER THE MANUFACTURERS INSTALLATION INSTRUCTIONS.
2. ALL SINGLE PENETRATIONS TO BE SEALED IN ACCORDANCE WITH THE FLASHING MANUFACTURER INSTALLATION INSTRUCTIONS WHEN APPLICABLE. OTHERWISE USE THE DETAIL ABOVE.
3. DO NOT USE PETROLEUM BASED SEALANTS ON BASE OF FLASHING WHEN USING A NO CAULK FLASHING.
4. PLUMBING VENT PENETRATION SHALL EXTEND A MINIMUM OF 12" ABOVE ROOF FINISH.
5. CHIMNEYS TOI BE LOCATED BETWEEN TRUSSES TO MAINTAIN MINIMUM REQUIRED DISTANCES FROM COMBUSTIBLE MATERIAL.
6. DETAILS APPLICABLE TO PLUMBING VENTS, FLUES, CHIMNEYS, AND ELECTRICAL MASTS

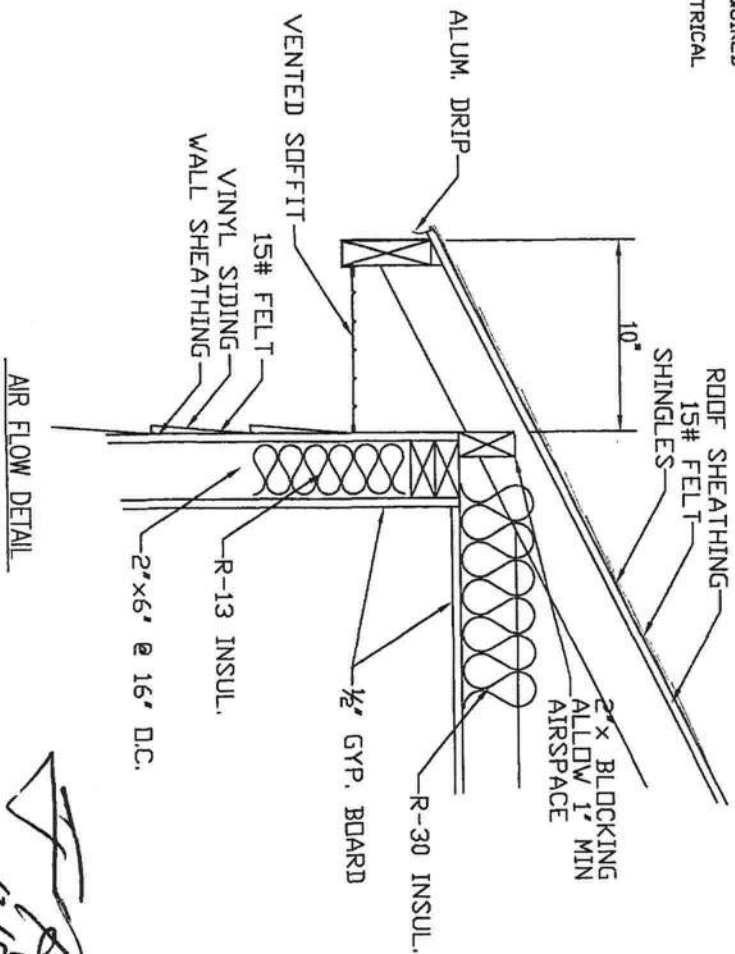
These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 9B-72

Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)



Manufacturer: Modular One, LLC

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.



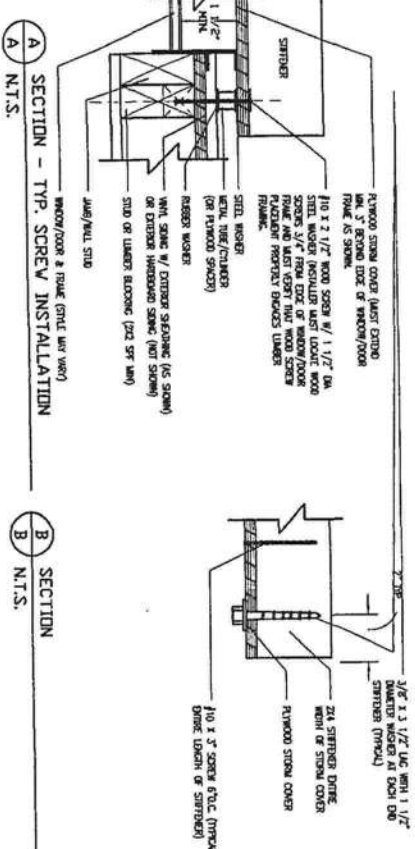
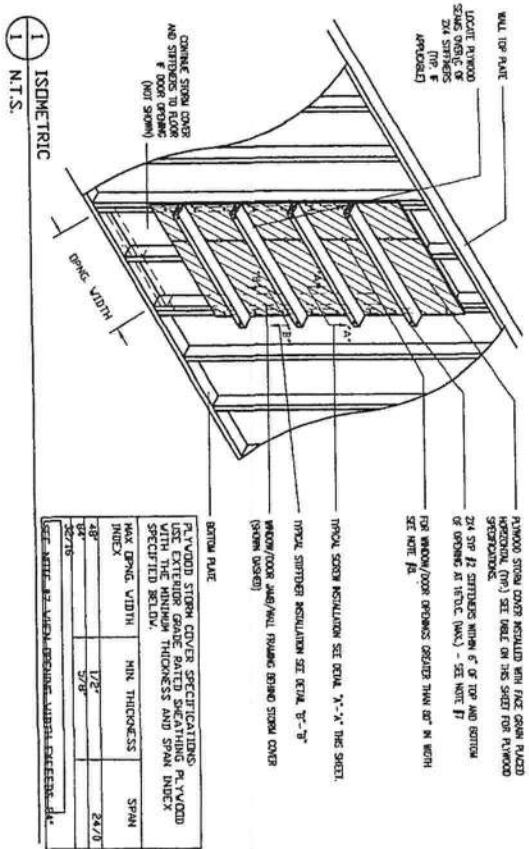
12/5/07

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GENERAL NOTES	<p>1. INSTALLER MUST REMOVE ALL MATERIALS FROM THE BUILDING PRIOR TO INSTALLING THE STORM COVERS SPECIFIED ON THIS DRAWING.</p> <p>2. WHEN HARBORING OR SERVING AND DOOR STORMS APPROACH, THE WINDOW AND DOOR PROTECTED COVERS SPECIFIED ON THIS DRAWING SHOULD BE INSTALLED.</p> <p>3. IMMEDIATELY AFTER INSTALLING THESE COVERS THE BUILDING MUST BE SECURED IN THE MANNER THAT THE CONTRACTOR SHOULD RECOMMEND IN THE STRUCTURE.</p> <p>4. NOTE: THIS STORM PROTECTED SYSTEM IS NOT A SUBSTITUTION FOR THE STORM PROTECTION SYSTEM REQUIRED BY THE BUILDING UNDER FIRE OR OTHER EMERGENCY CONDITIONS.</p>
	<p>5. AS LONG AS THE STORM HAS SUBSIDED, ALL STORM PROTECTION MUST BE IMMEDIATELY REMOVED BEFORE OCCUPANCY OF THE BUILDING IS PERMITTED.</p> <p>6. ALL WORK SPECIES MUST RESULTING FROM THE STORM PROTECTION MUST BE REMOVED FROM THE BUILDING WITHIN 90 DAYS OF THE END OF THE STORM.</p> <p>7. CALL SPECIFIC VENDOR QUALITY EXTERIOR GRANITE CEMENT.</p> <p>8. WALL OPENING WITH EXISTING 6" x 6" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>9. WALL OPENING WITH EXISTING 8" x 8" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>10. WALL OPENING WITH EXISTING 10" x 10" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>11. WALL OPENING WITH EXISTING 12" x 12" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>12. WALL OPENING WITH EXISTING 14" x 14" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>13. WALL OPENING WITH EXISTING 16" x 16" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>14. WALL OPENING WITH EXISTING 18" x 18" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>15. WALL OPENING WITH EXISTING 20" x 20" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>16. WALL OPENING WITH EXISTING 22" x 22" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>17. WALL OPENING WITH EXISTING 24" x 24" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>18. WALL OPENING WITH EXISTING 26" x 26" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>19. WALL OPENING WITH EXISTING 28" x 28" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>20. WALL OPENING WITH EXISTING 30" x 30" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>21. WALL OPENING WITH EXISTING 32" x 32" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>22. WALL OPENING WITH EXISTING 34" x 34" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>23. WALL OPENING WITH EXISTING 36" x 36" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>24. WALL OPENING WITH EXISTING 38" x 38" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>25. WALL OPENING WITH EXISTING 40" x 40" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>26. WALL OPENING WITH EXISTING 42" x 42" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>27. WALL OPENING WITH EXISTING 44" x 44" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>28. WALL OPENING WITH EXISTING 46" x 46" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>29. WALL OPENING WITH EXISTING 48" x 48" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>30. WALL OPENING WITH EXISTING 50" x 50" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>31. WALL OPENING WITH EXISTING 52" x 52" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>32. WALL OPENING WITH EXISTING 54" x 54" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>33. WALL OPENING WITH EXISTING 56" x 56" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>34. WALL OPENING WITH EXISTING 58" x 58" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>35. WALL OPENING WITH EXISTING 60" x 60" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>36. WALL OPENING WITH EXISTING 62" x 62" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>37. WALL OPENING WITH EXISTING 64" x 64" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>38. WALL OPENING WITH EXISTING 66" x 66" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>39. WALL OPENING WITH EXISTING 68" x 68" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>40. WALL OPENING WITH EXISTING 70" x 70" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>41. WALL OPENING WITH EXISTING 72" x 72" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>42. WALL OPENING WITH EXISTING 74" x 74" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>43. WALL OPENING WITH EXISTING 76" x 76" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>44. WALL OPENING WITH EXISTING 78" x 78" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>45. WALL OPENING WITH EXISTING 80" x 80" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>46. WALL OPENING WITH EXISTING 82" x 82" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>47. WALL OPENING WITH EXISTING 84" x 84" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>48. WALL OPENING WITH EXISTING 86" x 86" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>49. WALL OPENING WITH EXISTING 88" x 88" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>50. WALL OPENING WITH EXISTING 90" x 90" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>51. WALL OPENING WITH EXISTING 92" x 92" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>52. WALL OPENING WITH EXISTING 94" x 94" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>53. WALL OPENING WITH EXISTING 96" x 96" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>54. WALL OPENING WITH EXISTING 98" x 98" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p> <p>55. WALL OPENING WITH EXISTING 100" x 100" UP TO A MAXIMUM OF 1600 LBS. 2x6 SIP & STEPPERS AND USE 3/4" PLATE WITH A 1/2" MINIMUM GROUND ANCHOR.</p>

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REVISIONS

BY	DATE
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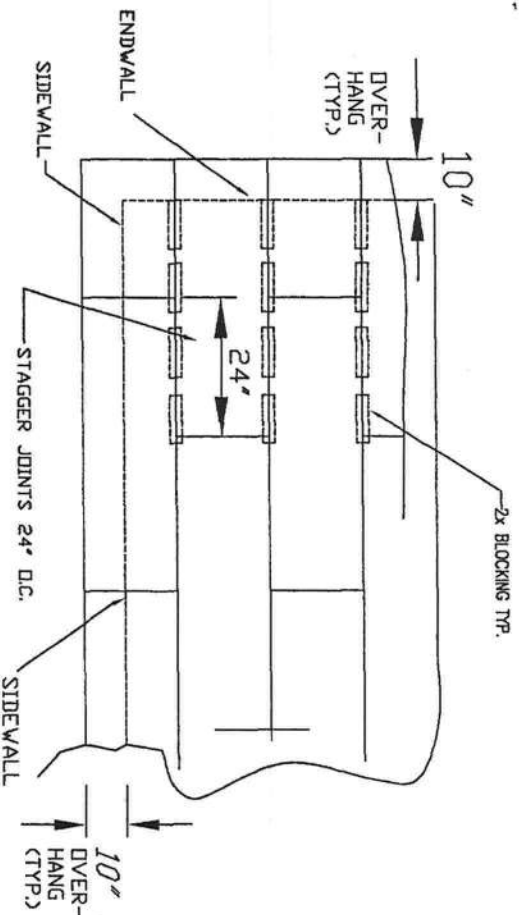
GENERAL NOTES

D.R.A.W.I.N.G. T.T.T.L.E.

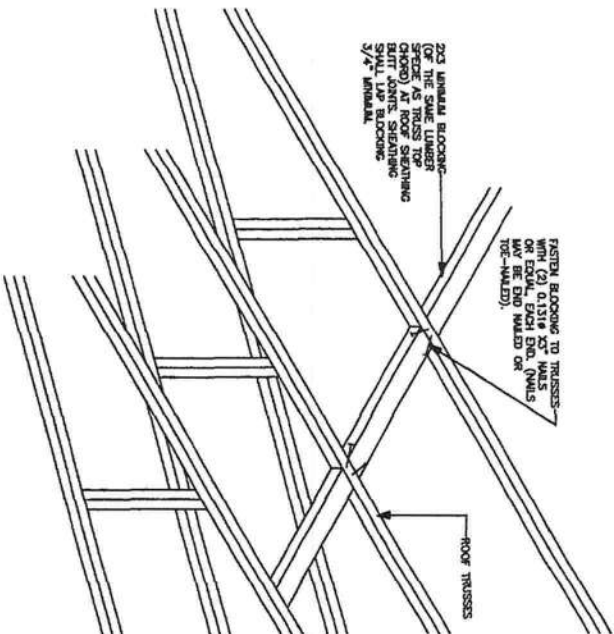
SECTION DETAILS

NAME:	SERIES:	MODEL NO.
-----	MOD	M2866SS320096-140
PLANT:	DESCRIPTION:	JOB NO.
1	26"8"x66' ZBR-2BA	2145-0470
DRAWN BY:	DATE DRAWN:	SHEET:
BILLY PITTS	10/5/07	A3.1

ROOF SHEATHING DETAIL



NOTE:
ROOF SHEATHING SHALL BE 15/32" APA RATED 24/16 SPAN INDEX, EXP. 1 OR D.S.B. SHEATHING. PROVIDE BLOCKING FOR A DISTANCE OF 16 FT FROM EACH END WALL WITH 2" NOMINAL LUMBER OF THE SAME SPECIES AND GRADE OF THE TRUSS TOP CHORD. SEE UPLIFT NAILING SCHEDULE FOR NAIL SPACING REQUIREMENTS. TRUSS TOP CHORD AND BLOCKING TO BE SYP LUMBER.



NOTE:
THIS DETAIL IS ONLY APPLICABLE WHEN PLANS REQUIRE ROOF SHEATHING EDGE TO BE BLOCKED.

UPLIFT NAILING SCHEDULE				
ROOF ANGLE RANGE: 27 TO 45 (7/12 TO 12/12 ROOF PITCHES GABLE ROOFS)				
FASTENERS 10d COMMON NAILS X 3.0" LONG				
ROOF ZONE	ZONE 1	ZONE 2	ZONE 2 OVERHANG	ZONE 3 OVERHANG
FASTENER FIELD NAILING	6" D.C.	6" D.C.	6" D.C.	6" D.C.
FASTENER PANEL EDGE NAILING	6" D.C.	6" D.C.	6" D.C.	6" D.C.
PANEL BOUNDARY NAILING	4" D.C.	4" D.C.	4" D.C.	4" D.C.

NOTE:
PANEL BOUNDARY NAILING APPLICABLE ONLY TO BLOCKED SECTIONS OF ROOF

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

APPROVED BY
NFA INC.

Const. Type: VB unprotected
Occupancy: R3
Allowable No. of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ext. Walls: 0 hr
Plan No.: MFT-5308-M286SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/7/2007
Manufacturer: Modular One, LLC

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.



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REVISIONS

BY DATE

GENERAL NOTES

DRAWING TITLE

NAME: MOD SERIES: MOD MODEL NO. M286SS320096-140

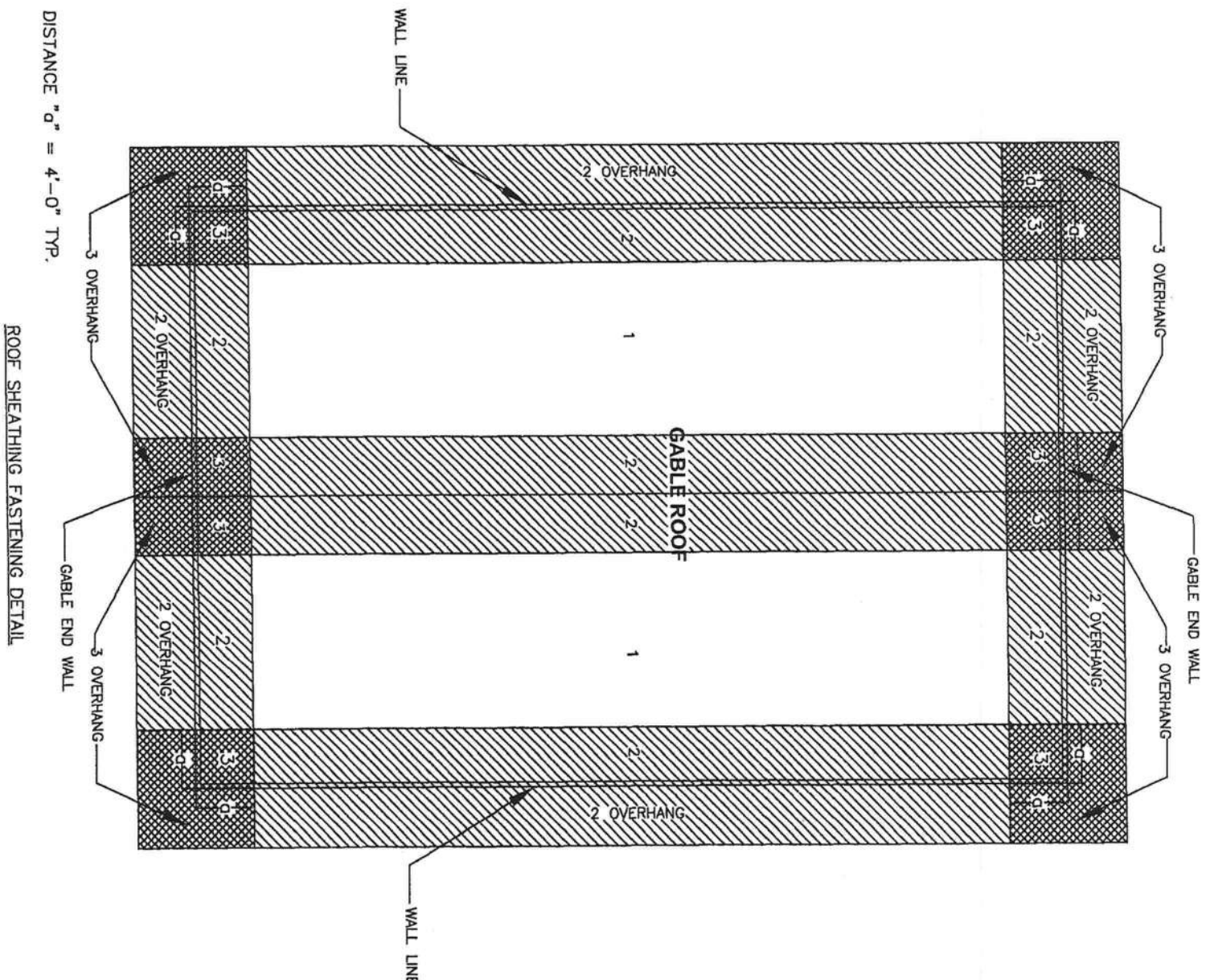
PLANT: 1 DESCRIPTION: 26'8"x66' 3BR-2BA JOB NO. 2145-0470

DRAWN BY: BILLY PITTS DATE DRAWN: 10/5/07 SHEET: A3.2



1 ROOF SHEATHING DETAILS
A3.2 N.T.S.

ROOF SHEATHING DETAILS



12/5/07

REVISIONS		BY	DATE
-	-	-	-
-	-	-	-
-	-	-	-
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GENERAL NOTES	
1	ROOF SHEATHING DETAILS N.T.S.

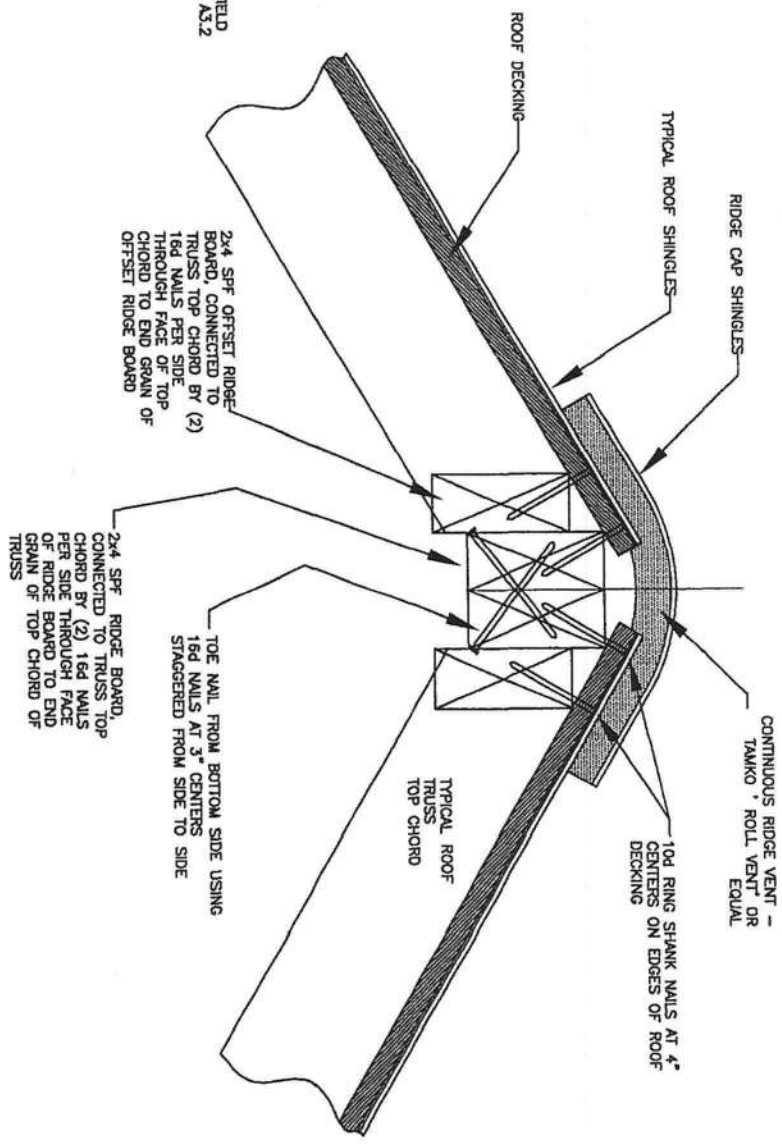
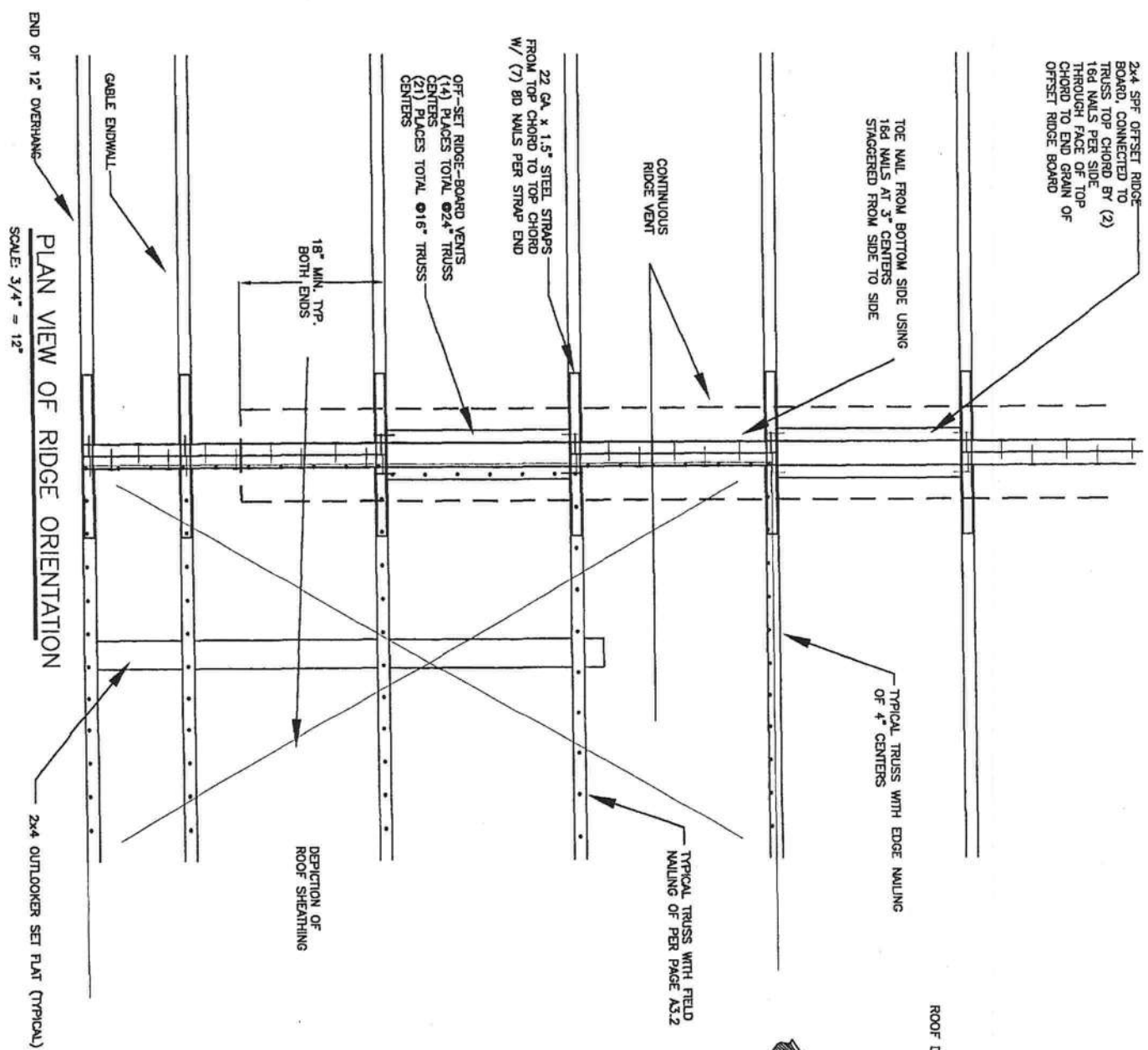
DRAWING TITLE	
ROOF SHEATHING DETAILS	
NAME:	SERIES:
PLANT:	MOD
1	M2866SS320096-140
DESCRIPTION:	JOB NO.
26'8" x 66' 3BR-2BA	2145-0470
DRAWN BY:	DATE DRAWN:
BILLY PITTS	10/5/07
SHEET:	
A3.3	

HWG
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[Signature]
12/5/07



CROSS SECTION VIEW OF RIDGE ORIENTATION
SCALE: 1/4" = 1'
OPTIONAL RIDGE BOARD ORIENTATION
USING OFFSET FOR VENTS

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 9B-72

APPROVED BY

NIP INC.

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-5308-M286SS320096
Allow. Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC

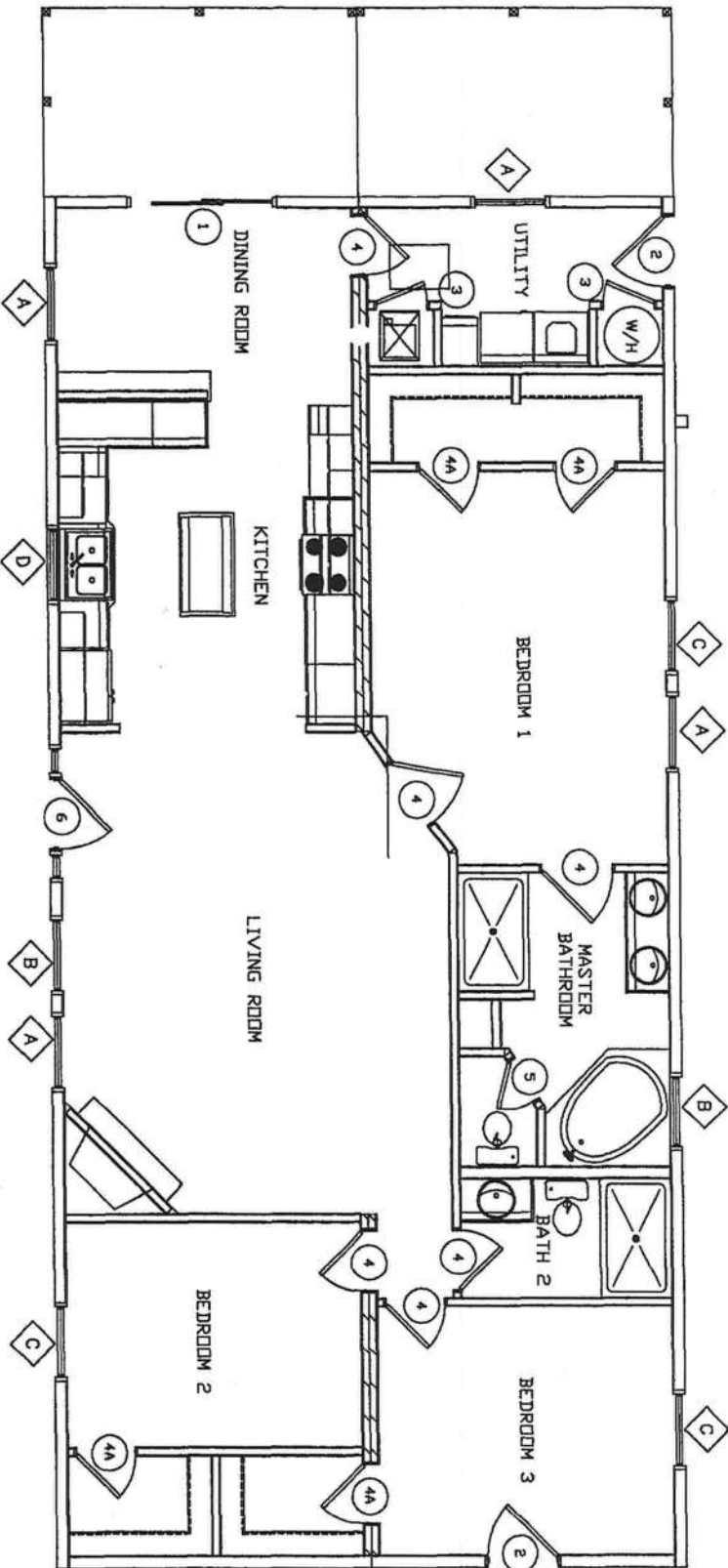
DOOR SCHEDULE				
Tag	Quantity	Width	Height	Remarks
1	1	6'-0"	6'-8"	SLIDING GLASS DOOR
2	2	3'-0"	6'-8"	EXTERIOR DOOR
3	2	2'-2"	6'-8"	INTERIOR DOOR
4A	4	2'-6"	6'-8"	INTERIOR DOOR
4	6	3'-0"	6'-8"	INTERIOR DOOR
5	1	2'-0"	6'-8"	INTERIOR DOOR
6	1	3'-0"	6'-8"	EXTERIOR DOOR W/ SIDELIGHTS

WINDOW SCHEDULE				
Tag	Quantity	Width	Height	Remarks
A	4	36	60	SINGLE HUNG
B	2	36	60	TEMPERED SINGLE HUNG
C	3	36	60	EGRESS SINGLE HUNG
D	1	36	36	SINGLE HUNG

LIGHT AND VENT AS FOLLOWS:

WINDOW SIZE	FRAME WIDTH	FRAME HEIGHT	EGRESS SAGFT SASH INSTALLED	EGRESS CLEAR		GLASS AREA	STANDARD DIVIDED
				WIDTH	HEIGHT		
3'0"x3'0	35 1/2"	35 1/2"	342	32 1/16"	15 11/32"	6.60	6/6
3'0"x5'0	35 1/2"	59 1/2"	612	32 1/16"	27 15/32"	11.98	6/6

DOOR U-VALUE - 0.35
WINDOW U-VALUE - 0.35
SHGC-0.28
MINIMUM WINDOW AND DOOR DP- +48.9 PST/-53.2 PST






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These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

APPROVED BY



Const. Type: VB unprotected
Occupancy: R3
Allowable No. of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ext. Walls: 0 hr
Plan No.: MFT-5306-A0266SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/7/2007
Manufacturer: Modular One, LLC

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.



THE NEXT GENERATION

REVISIONS		BY	DATE	GENERAL NOTES
1	DOOR & WINDOW SCHEDULE	-	-	3/16" = 1'-0"
A4		-	-	

DRAWING TITLE			
DOOR & WINDOW SCHEDULE			
NAME:	SERIES:	MODEL NO.	
PLANT: 1	MOD	M2866SS320096-140	
DESCRIPTION: 26'8"x66' 3BR-2BA	JOB NO. 2145-0470		
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: A4	

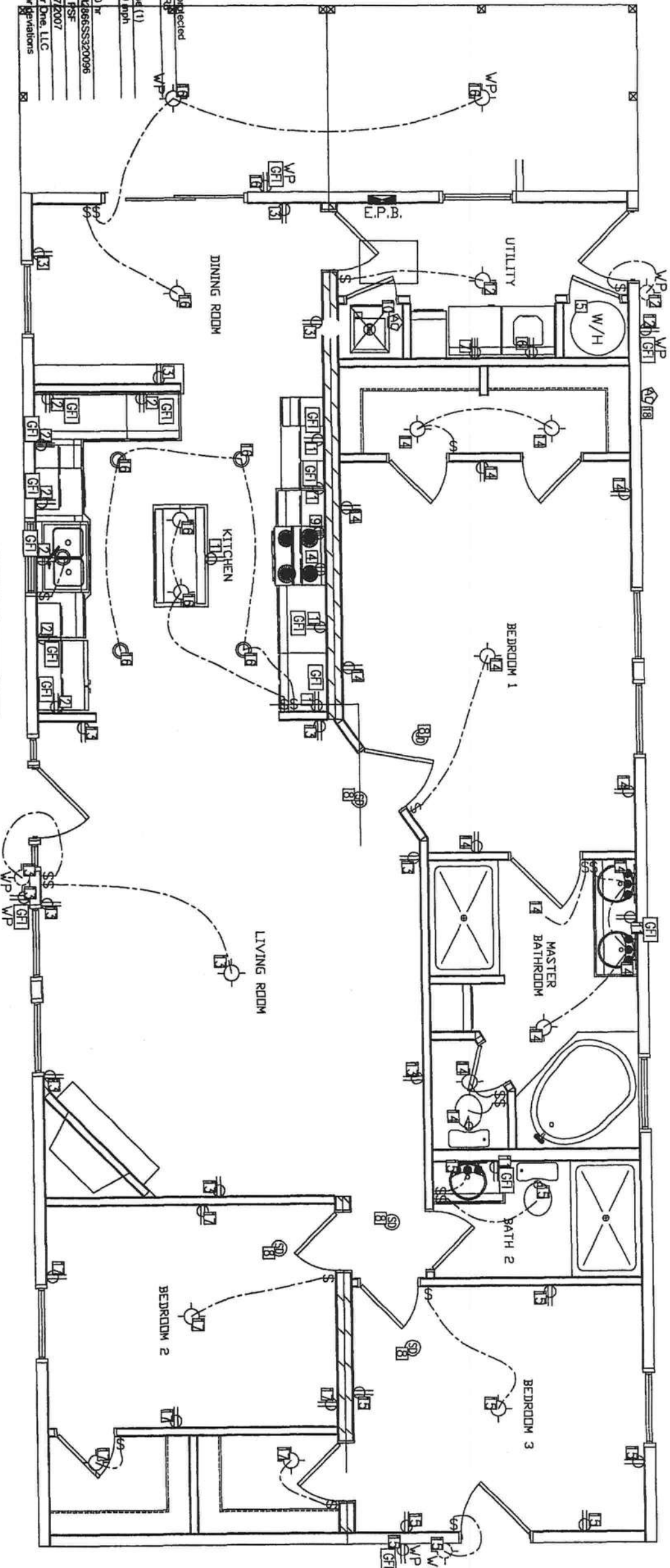
These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

APPROVED BY

Const. Type: Occupancy: Allowable No. of Floors: Wind Velocity: Fire Rating of Ext. Walls: Plan No.: Allow. Floor Load: Approval Date: Manufacturer:

VF unperfected
On (1)
140 mph
0 ft
MFT-5308-M286SS320096
40 PSF
12/7/2007
Modular One, LLC

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ELECTRICAL SCHEDULE
PANEL SIZING 200 AMP PANEL (TYP.)
PANEL SIZING

FLOOR AREA (1546) X 3 / 1000 =	4.6 KVA
(3) SMALL APPLIANCES @ 1500 VA / 1000 =	4.5 KVA
RANGE @ 8.0 KW (NAME PLATE) =	8.0 KVA
WATER HEATER @ 3.5 KW =	3.5 KVA
WASHER @ 1500 VA / 1000	1.5 KVA
DRYER @ 5 KW =	5.0 KVA
OPT. DISHWASHER @ 1.4 KW =	1.4 KVA
OPT. MICROWAVE @ 1.2 KW =	1.2 KVA
OPT. GARBAGE DISPOSAL @ 1.2 KW =	1.2 KVA
TOTAL LOAD	30.9 KVA
FIRST 10 KVA @ 100%	10.0 KVA
REMAINDER @ 40%	8.36 KVA
HVAC @ 100% (VERIFY AT SITE)	19.2 KVA

ELECTRICAL SCHEDULE & NOTES

TOTAL / 240 X 1000 =				37.6 KVA
INSTALL 200 AMP PANEL 120/240 V. 1Ø				156.5 AMPS
NOMENCLATURE	CIRCUIT #	VOLTS	WIRE	BREAKER
KITCHEN	1	120	12-2 GF	20-SP
KITCHEN	2	120	12-2 GF	20-SP
DINING ROOM	3	120	12-2	20-SP
MICROWAVE	4	120	12-2	20-SP
WATER HEATER	5	240	10-3	25-DP
WASHER	6	120	12-2	20-SP
DRYER	7	240	10-3	30-DP
SMOKE DETECTOR	8	120	12-2 AF	20-SP
RANGE	9	240	8-3	40-DP
AHU	10	240	8-3	40-DP

BATHROOM	RECEPTS	11	120	12-2 GF	20-SP
UTILITY LIGHT		12	120	12-2	20-SP
LIVING ROOM		13	120	12-2	20-SP
BED1/BTH1		14	120	12-2 AFl	20-SP
BED3/BTH2		15	120	12-2 AFl	20-SP
KIT./DIN. LIGHTS		16	120	12-2	20-SP
BEDROOM 2		17	120	12-2 AFl	20-SP
CONDENSING UNIT		18	240	B-3	40-DP



NOTE: AC DISCONNECT TO BE WITHIN 25' OF AN EXTERIOR RECEPT.

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REVISIONS	BY	DATE	GENERAL NOTES
1	ET	3/16	ELECTRICAL 3/16" = 1'-0"

ELECTRICAL PLAN

NAME:	SERIES:	MODEL NO.
PLANT: 1	MOD	M286SS320096-140
DESCRIPTION: 26'8" x 66' 3BR-2BA	JOB NO. 2145-0470	
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: E1

GENERAL MECHANICAL NOTES

DO NOT SCALE DRAWINGS. REFER TO FLOOD PLAN FOR EXACT LOCATION OF DOORS, WINDOWS, AND CEILING DEVICES. PROJECT IS A NEW STRUCTURE. ROUTE ALL PIPING AND CONDUIT AS INDICATED, BUT SO AS NOT TO DEFACE EXTERIOR OF BUILDING. VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING WORK. DAMAGE TO STRUCTURE BEYOND CUTTING AND PATCHING FOR WORK INDICATED WILL BE REPAIRED TO EXISTING CONDITIONS AT THE CONTRACTORS EXPENSE. COORDINATE ALL PIPING AND DUCT WORK LOCATIONS WITH OTHER DIVISIONS AND EXISTING CONDITIONS. CONDENSATE DRAINS SHALL BE TRAPPED AT UNIT OUTLET AND ROUTED TO EXTERIOR DRYWELL. DRYER VENT TO WALL CAP TO BE SITE INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION APPROVAL. ANY AND ALL DUCT WORK MAY BE DONE ON SITE BY OTHERS

OUTSIDE HEAT PUMP
RANE MODEL 2TWB2048A, 4 TON HEAT PUMP DR EQUAL, 9.00 HSPF.

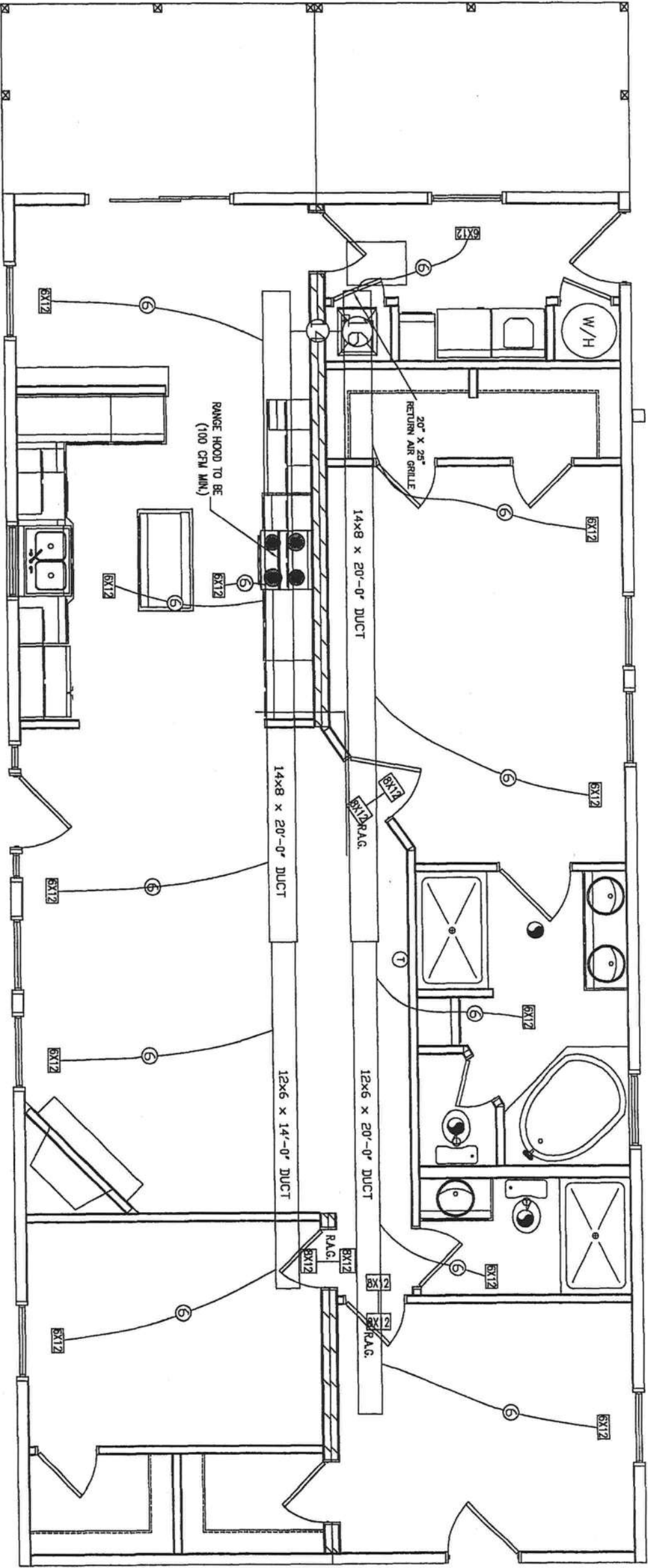
AIR HANDLER
RANE MODEL TW048C140B DR EQUAL

HVAC SYMBOL LEGEND:

XXX = SUPPLY AIR REGISTER

① = THERMOSTAT

== = FLEXIBLE DUCTWORK



These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-172

APPROVED BY



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Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-5306-M286SS320096
Allow. Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC



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REVISIONS

BY DATE

GENERAL NOTES

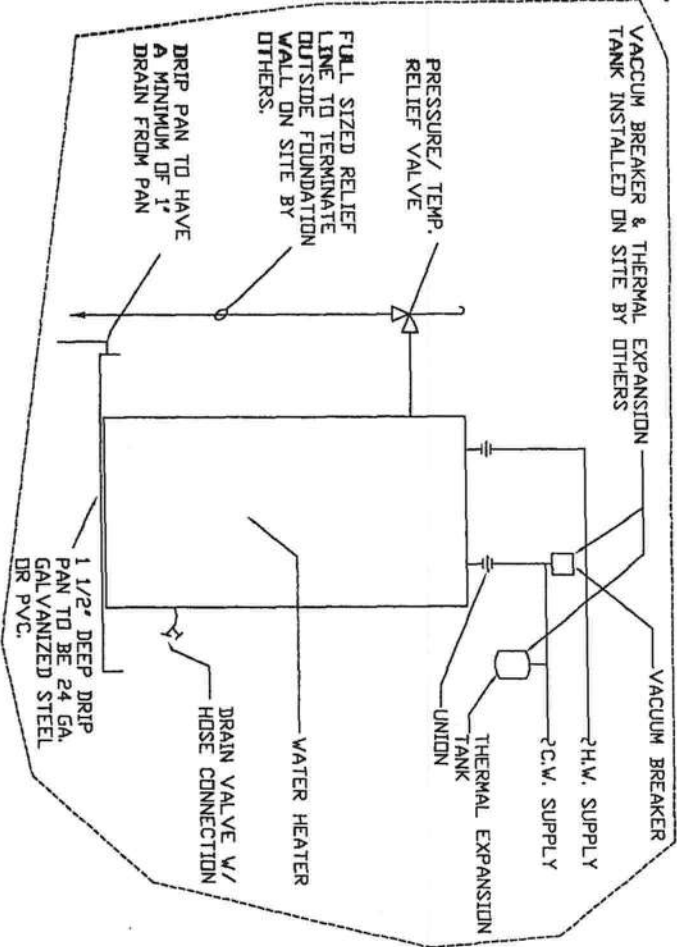
1 MECHANICAL PLAN
M1 3/16" = 1'-0"

DRAWING TITLE

MECHANICAL
HVAC PLAN

NAME:	SERIES:	MODEL NO.:
---	MOD	M2866SS320096-140
PLANT: 1	DESCRIPTION: 26'8" x 66' 3BR-2BA	JOB NO. 2145-0470
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: M1

WATER HEATER DETAIL



- SUPPLY LINES
1. SUPPLY LINES SIZING IS BASED ON AN ASSUMED AVAILABLE PRESSURE OF 46 TO 60 PSI AT MAIN INLET AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
2. ALL SUPPLY LINES SHALL BE 3/4", ALL STUB-UPS SHALL BE 1/2", UNLESS OTHERWISE SPECIFIED.

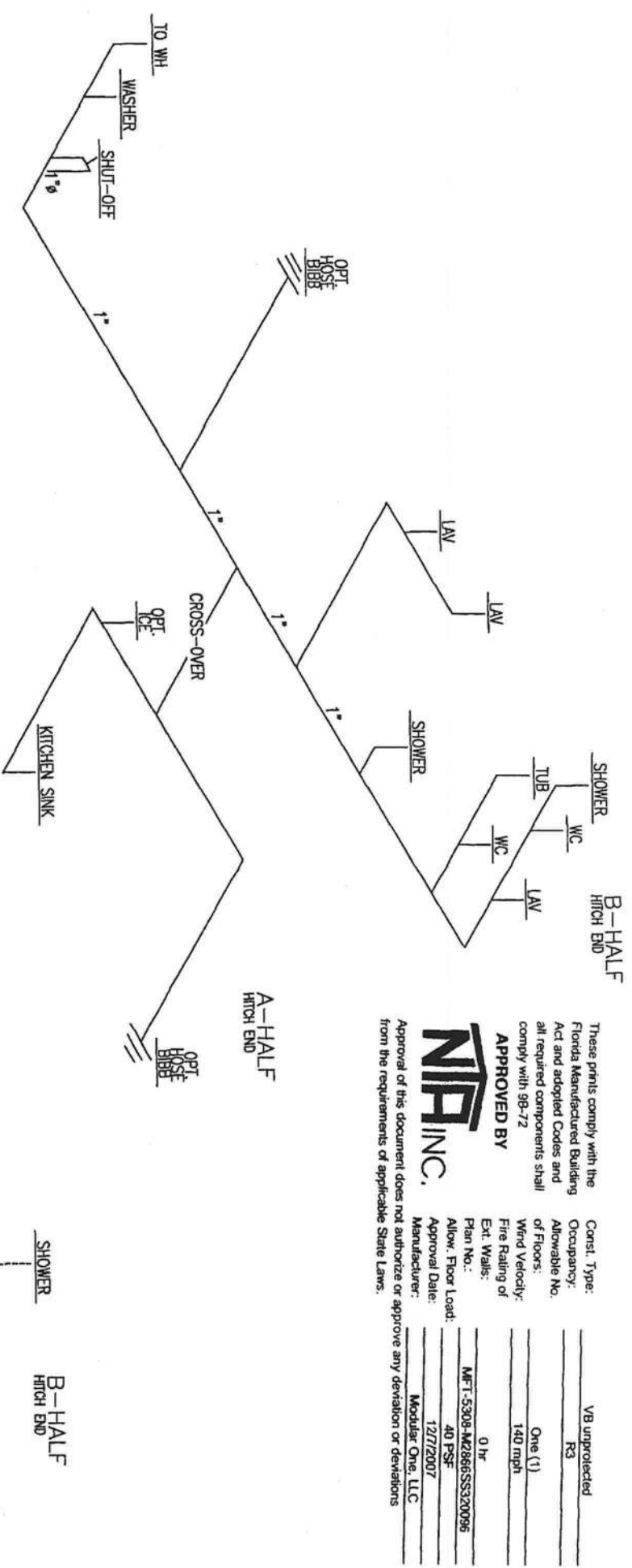
- PLUMBING NOTES
1. MAIN WATER LINE, SHUT-OFF VALVE, AND PRESSURE REDUCING VALVE ARE DESIGNED BY OTHERS, SITE INSTALLED SUBJECT TO LOCAL JURISDICTION APPROVAL.
2. MAIN VENT AND WASTE STACK LOCATED IN CLOSET IN CHASE.
3. ALL PIPING LOCATED IN EXTERIOR WALLS SHALL BE PROTECTED FROM FREEZING.
4. HOSE BIBB IS TO BE FROST PROOFED WITH BACK FLOW PREVENTER.
5. HOT WATER TO BE LEFT HAND SIDE OF THE COLD WATER.
6. STANDARD 40 GALLON WATER HEATER

HWC

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These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

APPROVED BY

NIP INC.

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Const. Type:	Occupancy:	Allowable No. of Floors:	Wind Velocity:	Fire Rating of Ext. Walls:	Plan No.:	Allow. Floor Load:	Approval Date:	Manufacturer:
VB unprotected	R3	One (1)	140 mph	0 hr	MFT-5308-M286SS320096	40 PSF	12/7/2007	Modular One, LLC

MODULAR ONE

THE NEXT GENERATION

REVISIONS		BY	DATE	GENERAL NOTES
-	-	-	-	1 PLUMBING N.T.S.
-	-	-	-	
-	-	-	-	
-	-	-	-	

DRAWING TITLE

SUPPLY PLUMBING PLAN

NAME:	SERIES:	MODEL NO.	PLANT:	DESCRIPTION:	DATE DRAWN:	SHEET:
---	MOD	M286SS320096-140	1	26'8"x66' 3BR-2BA	10/5/07	P1

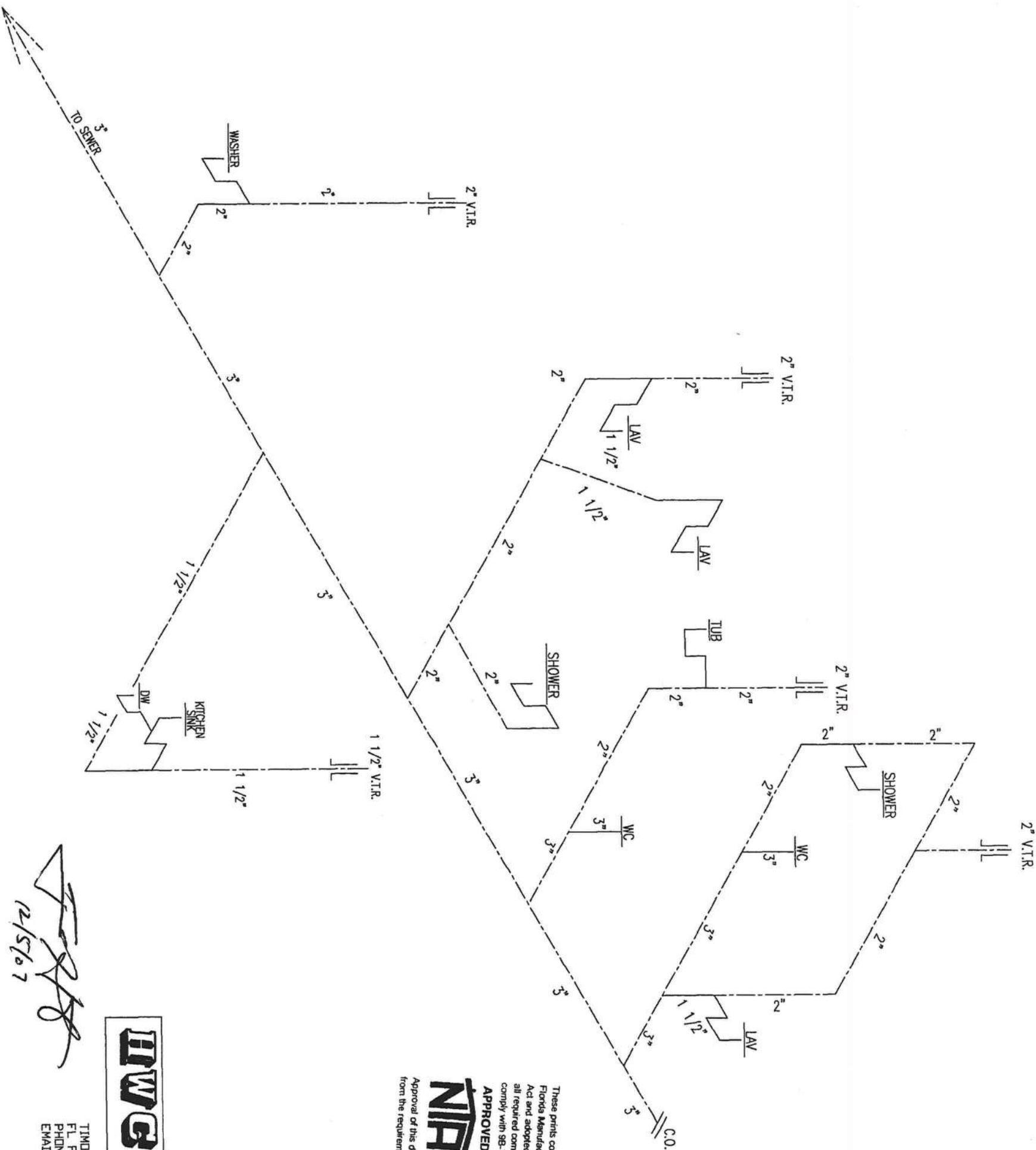
DRAWN BY: BILLY PITTS

[Signature]
12/5/07

NOTE:
AIR ADMITTANCE VALVE
TO BE TYPE B PER ASSE
1051.

⏏ = VENT THRU ROOF

NOTE: UNITS PER SECTION
P3107/P3108 DF 2004 FRC
CHAPTER 31



These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with SB-72

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Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-5308-M286SS320096
Allow. Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC

[Signature]
12/5/07

HWG

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REVISIONS		BY	DATE
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GENERAL NOTES	
1	PLUMBING
P2	N.T.S.

DRAWING TITLE

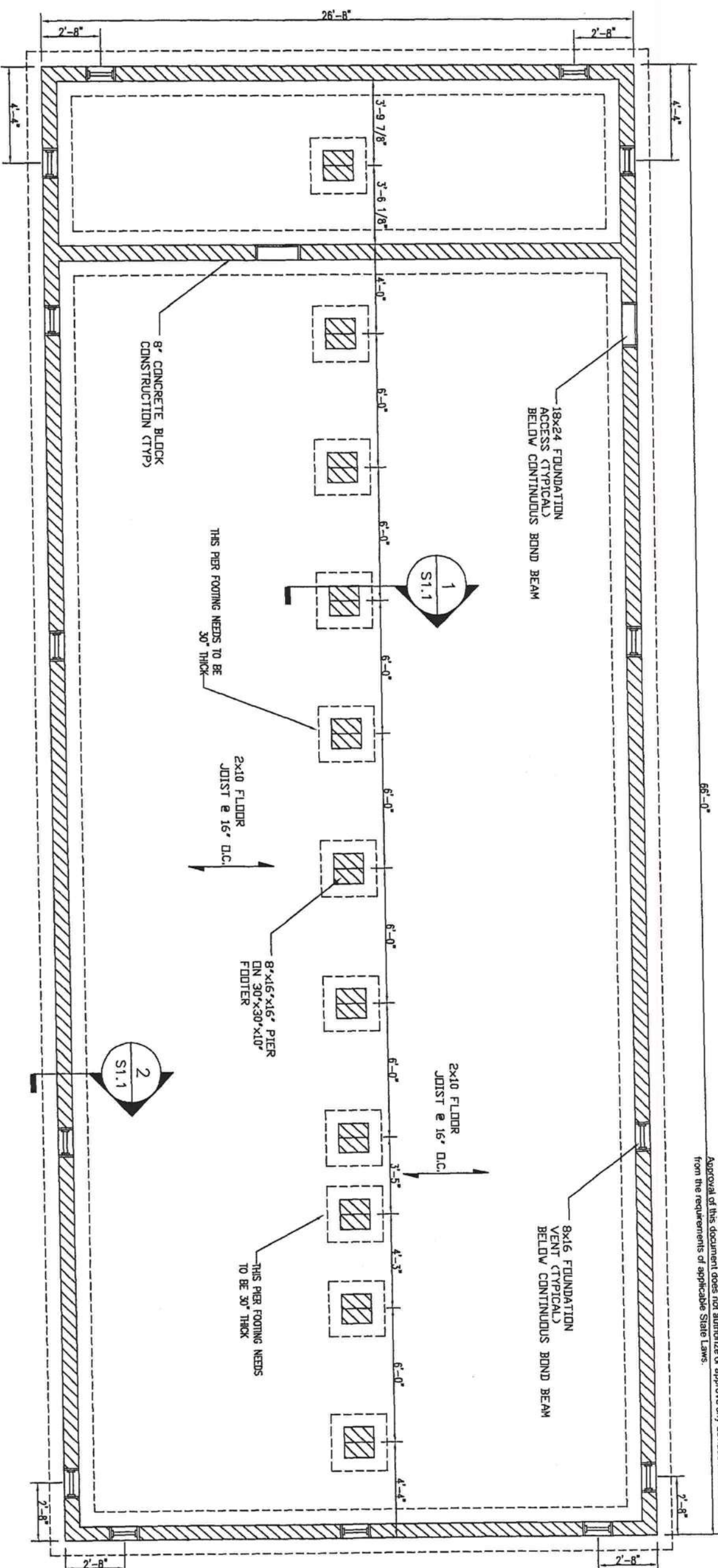
DWV
PLUMBING PLAN

NAME:	SERIES:	MODEL NO.
---	MOD	M286SS320096-140
PLANT: 1	DESCRIPTION: 26'8"x66' 3BR-2BA	JOB NO. 2145-0470
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: P2

Const. Type:	VB unipolycrystalline
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph


Part Number:	0 hr
Ext. Wt.:	MFT-5308-MZ86SS320096
Plan No.:	40 PSF
Allow. Floor Load:	12/17/2007
Approval Date:	Modular One, LLC
Manufacturer:	

APPROVE only when necessary:



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HILLBORN, WERNER, CARTER
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CLEARWATER, FL 33756
COA #1025

JURISDICTION APPROVAL.					
MODULAR ONE					
					
REVISIONS					
	BY	DATE			
-	-	-			
-	-	-			
-	-	-			
-	-	-			
			GENERAL NOTES		
			① FOUNDATION PLAN 3/16" = 1'-0"		
DRAWING TITLE					
MOD FOUNDATION					
NAME: -----		SERIES: MOD	MODEL NO. M2866SS320096-140		
PLANT: 1	DESCRIPTION: 26'8"x66' 3BR-2BA		JOB NO. 2145-0470		
DRAWN BY: BILLY PITTS	DATE 10/5/07	DRAWN:	SHEET: S1		

- REINFORCED CONCRETE
1. ALL CONCRETE WORK SHALL CONFORM TO THE BUILDING CODE REQUIREMENTS
 2. FOR REINFORCED CONCRETE.
 3. THE COMPRESSIVE STRENGTH AT 28 DAYS OF ALL CAST IN PLACE CONCRETE SHALL BE 3500 P.S.I.
 4. LAP SPLICES OVER REINFORCING SHALL BE AT LEAST 27 BAR DIAMETERS.
 5. CLEAR CONCRETE COVER FOR REINFORCING STEEL FOOTINGS 3".
 6. THE LONGITUDINAL REINFORCING STEEL IN FOOTINGS SHALL BE CONTINUOUS AROUND CORNERS.
 7. SEE TYPICAL DETAILS ON SHEET S12
 8. FOUNDATION ENCLOSURE TO BE SITE INSTALLED BY OTHERS SUBJECT TO LOCAL JURISDICTION APPROVAL.

- CONCRETE MASONRY
1. CONCRETE MASONRY SHALL CONFORM TO ASTM C90, GRADE N, AND TYPE 1 WITH AN DVEN DRY WEIGHT 155 P.C.F. THE MINIMUM COMPRESSIVE STRENGTH OF THE NET CROSS SECTIONAL AREA OF MASONRY UNITS SHALL BE 1,250 P.S.I.
 2. GROUT FOR FILLING MASONRY CELLS SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH EQUAL TO OR GREATER THAN THE UNIT MASONRY STRENGTH OR 2000 P.S.I. THE SLUMP SHALL BE BETWEEN 8" AND 10".
 3. USE COARSE GROUT CONTAINING PEA GRAVEL WHERE THE DIMENSION OF ANY CONTINUOUS VERTICAL CELL IS GREATER THAN 4'.
 4. TYPE "S" MORTAR SHALL BE USED FOR MASONRY.
 5. LAP SPLICES FOR REINFORCEMENT IN MASONRY SHALL BE 27 BAR DIAMETERS.
 6. REINFORCEMENT SHALL BE PLACED AND SECURED IN POSITION AND HAVE LOCAL INSPECTION WHERE REQUIRED PRIOR TO GROUTING OPERATION.
 7. PLACE VERTICAL REINFORCEMENT IN THE CENTER OF CELLS UNLESS NOTED OTHERWISE.

- FOUNDATION PLAN NOTES
1. LOT TO GRADE AS TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE AWAY FROM FOUNDATION WALLS SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET.
 2. THE SUB-GRADE SHALL BE CLEANED OF ALL VEGETATION AND ORGANIC MATERIAL. ALL CONCRETE FORMS SHALL BE REMOVED PRIOR TO THE BUILDING BEING OCCUPIED. ALL CONSTRUCTION MATERIALS SHALL ALSO BE REMOVED BEFORE BUILDING IS OCCUPIED.
 3. MECHANICAL DUCTS AND PLUMBING SHALL BE ADEQUATELY SUPPORTED FROM THE FLOOR STRUCTURE. NO DUCT WORK SHALL BE IN CONTACT WITH THE GROUND.
 4. 4" PVC POSITIVE DRAIN TO BE LOCATED AT THE LOWEST POINT IN THE CRAWL SPACE AND EXTEND 12" BEYOND THE EDGE OF THE FOOTING. THE DRAIN OPENING SHALL BE ON THE TOP OF THE FOOTING.
 5. AN ACCESS OPENING MINIMUM SIZE 18"x24" SHALL BE PROVIDED TO THE CRAWL SPACE.
 6. APPROVED FOUNDATION VENTS SHALL BE REQUIRED WITH THE TOTAL NET OPENING AREA OF NOT LESS THAN 1 SQ. FT./ EACH 150 SQ.FT. OF CRAWL SPACE AREA. A VENT SHALL BE INSTALLED WITHIN 3' OF EACH OTHER.
 7. A 4 MIL. POLYETHYLENE VAPOR BARRIER SHALL BE INSTALLED WITH JOINTS HAVING A 4" LAP.
 8. THE ASSUMED SAFE SUBGRADE BEARING CAPACITIES ARE:
INDIVIDUAL SPREAD FOOTING (P.S.F.)..... 3,000
CONTINUOUS FOOTING (P.S.F.)..... 3,000
 9. WHERE ROCK IS ENCOUNTERED IN A FOUNDATION EXCAVATION, UNDERCUT THE ROCK 8" AND PLACE THE FOUNDATION ON COMPACTED GRAVEL. FILL IN LETU OF UNDERCUTTING ROCK AT 4" A SAND PAD MAY BE USED.
 10. WHERE FOOTING EXCAVATIONS ARE TO REMAIN OPEN AND MAY BE EXPOSED TO RAINFALL THE EXCAVATION SHALL BE UNDERCUT AND A 4" THICK CRUSHED STONE PAD SHALL BE PLACED IN THE BOTTOM TO PROTECT THE BEARING SOILS.
 11. WHERE THE FOOTING STEPS ARE NECESSARY, THEY SHALL BE TIED TOGETHER IN A CONTINUOUS FASHION.
 12. EXCAVATION OF FOUNDATION NOT SUBJECT TO FREEZING SHALL BE A MINIMUM DEPTH OF 12" OR TO THE FROST LINE.

GENERAL NOTES

DESIGN AND CODE INFORMATION AND DIMENSIONS AND NOTIFY ARCHITECT OF ANY CONDITION WHICH DO NOT COMPLY WITH PLANS AND SPECIFICATIONS.

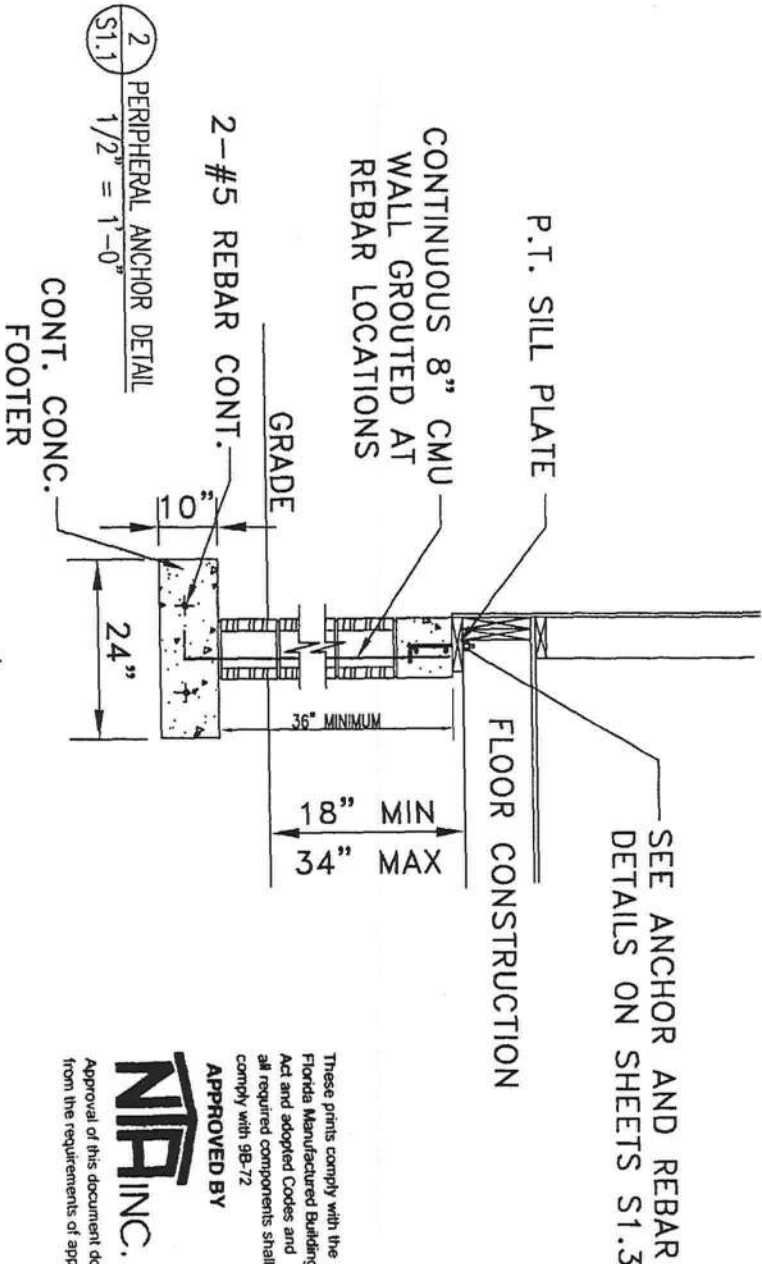
- DESIGN DATA AND LOADS
1. SEISMIC DESIGN DATA
SEISMIC DESIGN CATEGORY C
 2. WIND DESIGN DATA:
3-SECOND GUST WIND SPEED, V (M.P.H.) 140

- ***** NOTE *****
1. FOUNDATION AND DETAILS ARE SUGGESTED.
 2. FOOTINGS SHALL NOT BE PLACED ON EXPANSIVE SOILS.

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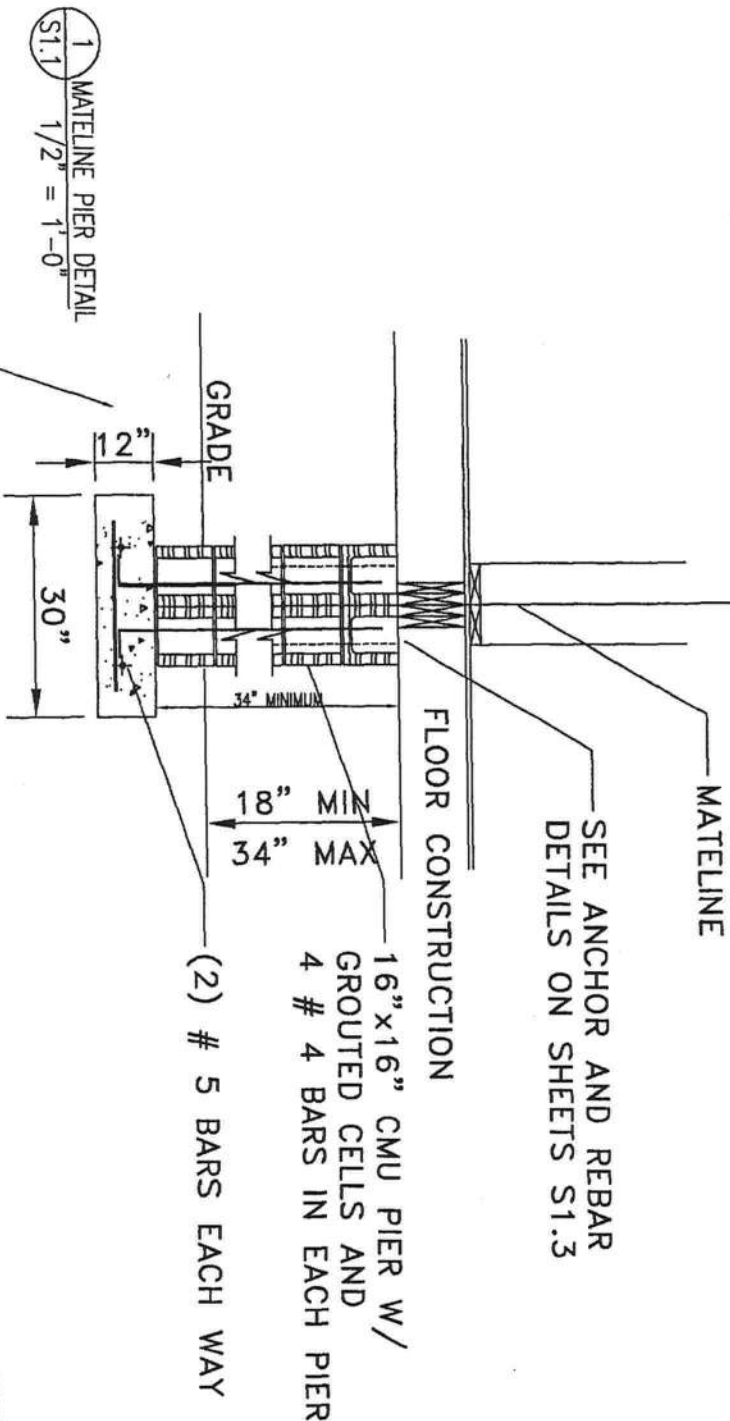
These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

APPROVED BY

NIA INC.

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Allow. Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC



SPECIAL NOTE: TWO PIERS UNDER LARGE OPENING THICKNESS DIMENSION MUST BE 30"

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EMAIL: THUNT@HWCENG.COM

[Signature]
12/5/07



REVISIONS		BY	DATE	GENERAL NOTES	
-		-	-	<div>1 FOUNDATION PLAN</div> <div>$\frac{1}{32} = 1'-0"$</div>	
-		-	-		
-		-	-		
-		-	-		
-		-	-		
DRAWING TITLE					
FOUNDATION DETAILS					
NAME: -----		SERIES: MOD		MODEL NO. M2866SS320096-140	
PLANT: 1	DESCRIPTION: 26'8" x 66' 3BR-2BA		JOB NO. 2145-0470		
DRAWN BY: BILLY PITTS		DATE DRAWN: 10/5/07		SHEET: S1.1	

REVISIONS		BY	DATE
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GENERAL NOTES	
1	ANCHOR TIEDOWN DETAIL
3/16"	= 1'-0"

DRAWING TITLE
ANCHOR
TIEDOWN
DETAIL

NAME:	SERIES:	MODEL NO.
PLANT: 1	MOD M2866SS320096-140	JOB NO. 2145-0470
DESCRIPTION: 26'8" x 66' 3BR-2BA		
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: S1.2

NOTE:
FOR HEADER CONSTRUCTION
DETAILS & FASTENING DETAILS
SEE PAGE C61 OF THE
STRUCTURAL PACKAGE

TYPICAL MARRIAGE WALL OPENING
HEADER DETAILS ARE LOCATED IN
THE STRUCTURAL PACKAGE MICRILLAM
BEAMS: C17.0 - C17.2

OPTIONAL FIREPLACE IS DESIGNED AND INSTALLED PER UL-127
OF THE MANUFACTURERS INSTALLATION INSTRUCTIONS PER PAGES
M11.0 - M11.27 OF THE BUILDING SYSTEMS MANUAL.

COLUMN STRAPPING SCHEDULE	
1. ALL CLUE WITH 100% COVERAGE SHALL BE USED.	
2. INSTALLED STEEL STRAPS AT EACH STUD OF EACH COLUMN.	
3. COLUMN STUDS SHALL NOT BE NOTCHED OR BORED.	

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These prints comply with the
Florida Manufactured Building
Act and adopted Codes and
all required components shall
comply with 9B-72

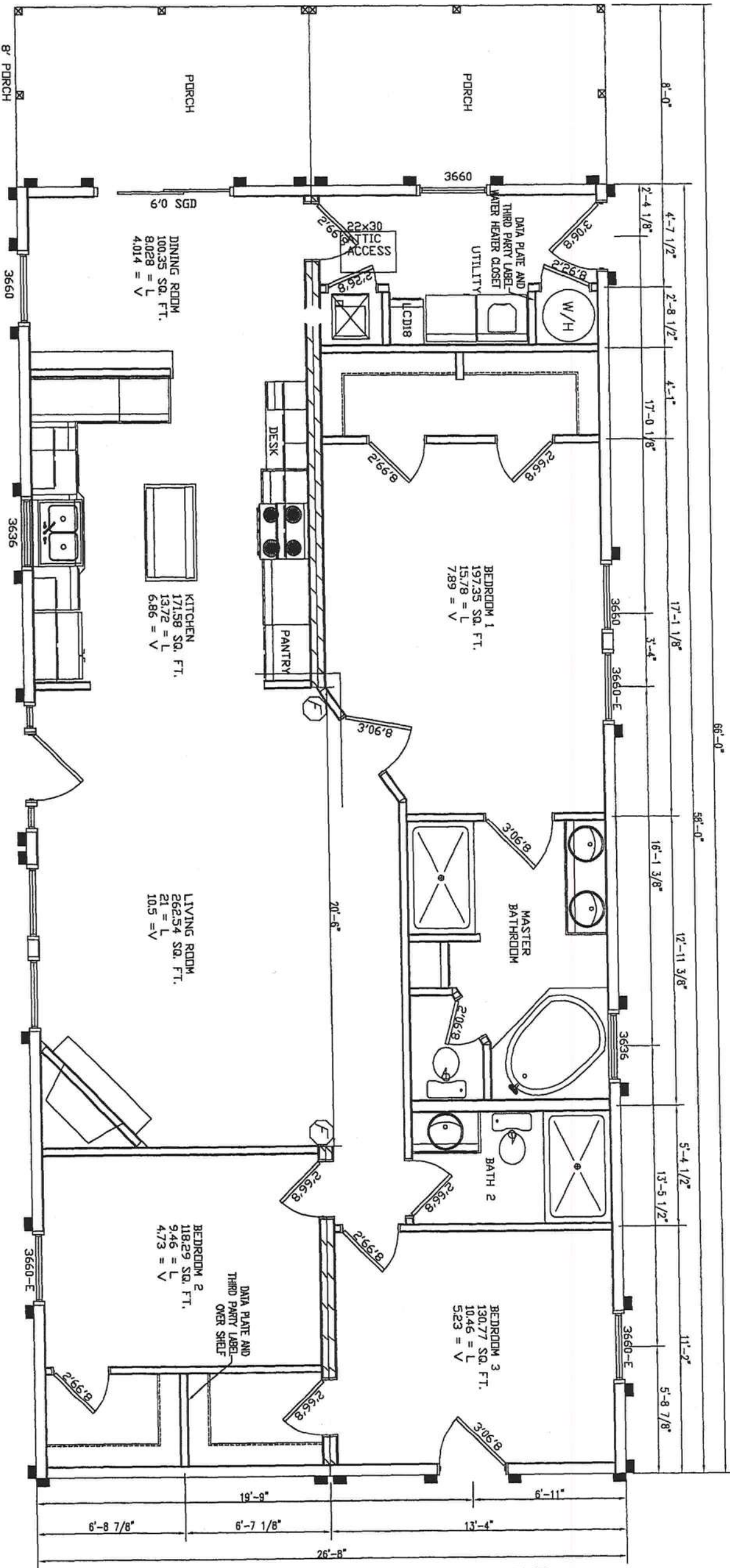
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Const. Type: VB unprotected
Occupancy: R3
Allowable No. of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ext. Walls: 0 hr
Plan No.: MFT-5308-M2866SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/7/2007
Manufacturer: Modular One, LLC

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APPROXIMATE LOCATION OF SIMPSON SHD14RJ CONCRETE IMBED ANCHORS REQUIRED

12/5/07



A-HALF

B-HALF



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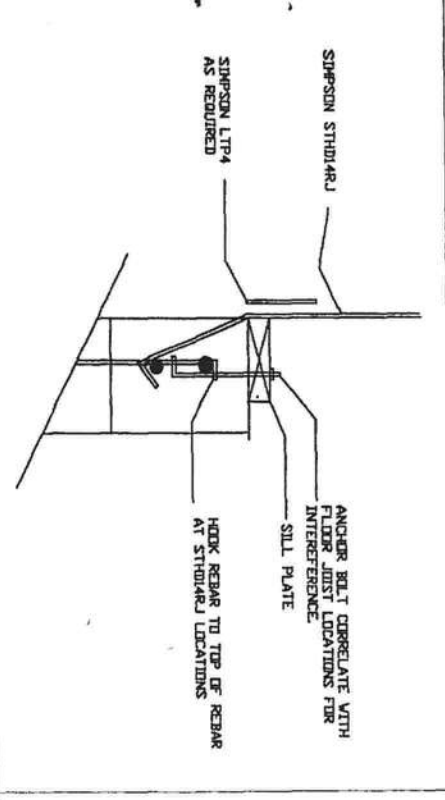
Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-5308-M286SS320096
Allow Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 9B-72

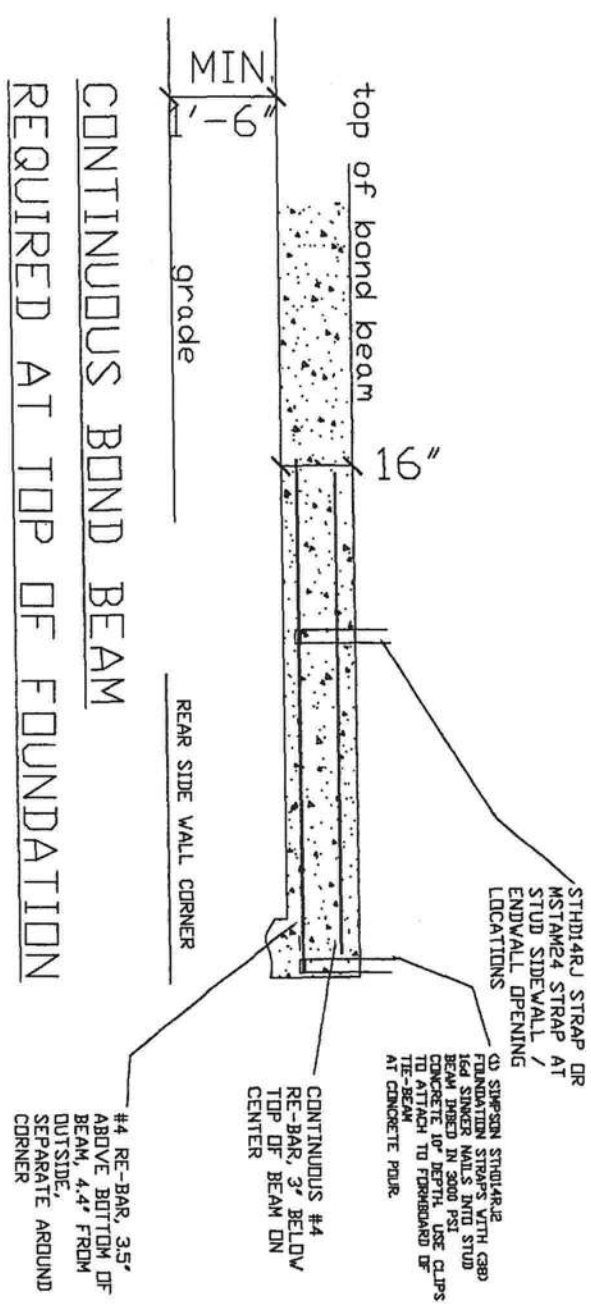
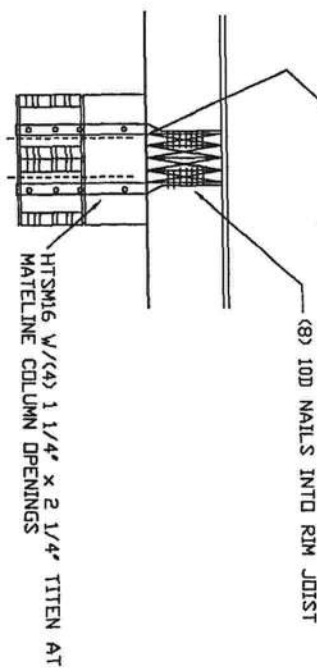
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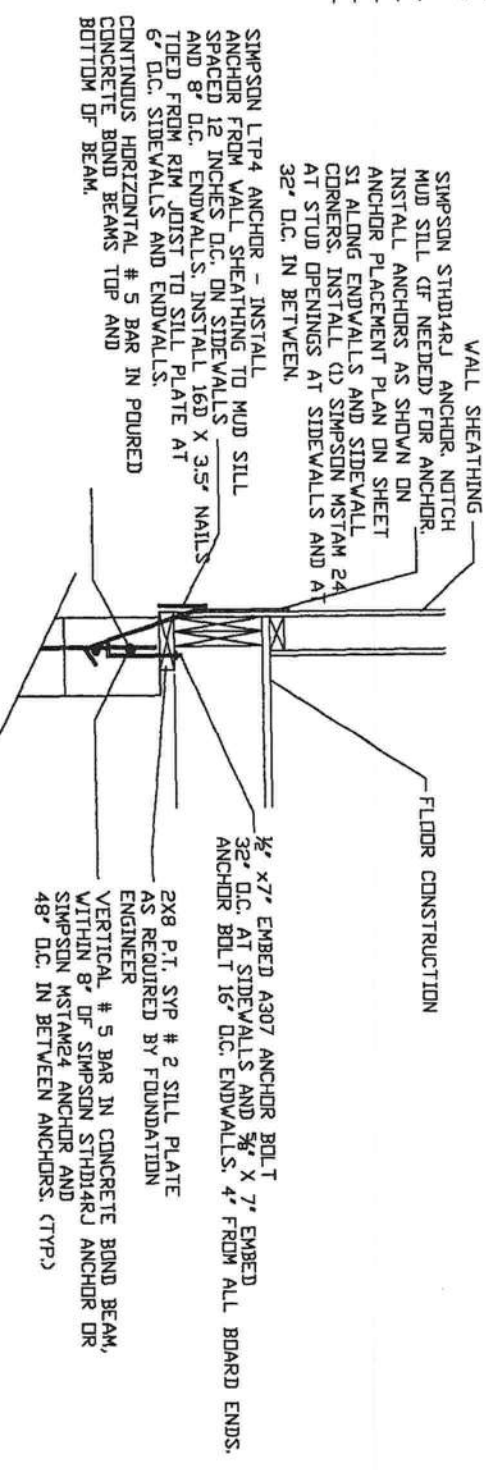


MATELINE TIEDOWN AT OPENINGS.

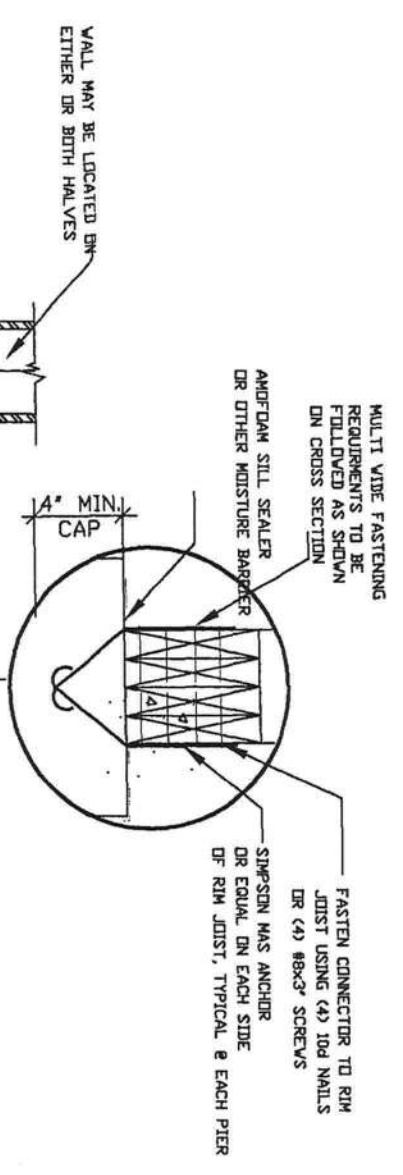


REVISIONS	BY	DATE
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-	-	-
-	-	-

GENERAL NOTES
1 ANCHOR TIEDOWN DETAIL 3/16\"/>



PERIPHERAL ANCHOR DETAIL



MATELINE PIER ANCHOR DETAIL
ALONG MATELINE WALLS.

12/5/07

DRAWING TITLE	
ANCHOR TIEDOWN DETAILS	
NAME:	SERIES:
MOD	M2866SS320096-140
PLANT:	DESCRIPTION:
1	26'8\"/>

RAMED OPENINGS
EADER SECUREMENT 48" MAXIMUM OPENING
ROOF TRUSSES ARE TO BE DOUBLED ON EACH SIDE AND FASTENED TOGETHER W/
.131x3" NAILS @ 24" O.C. STAGGERED TOP AND BOTTOM OR 14 GA. STAPLES @ 20"
O.C. STAGGERED TOP AND BOTTOM. TOGETHER W/ .131x3" PD NAILS @ 24" O.C.
DOUBLE HEADERS TO BE FASTENED TOGETHER TOP AND BOTTOM OR 14 GA. STAPLES @ 20" O.C. STAGGERED TOP
AND BOTTOM.

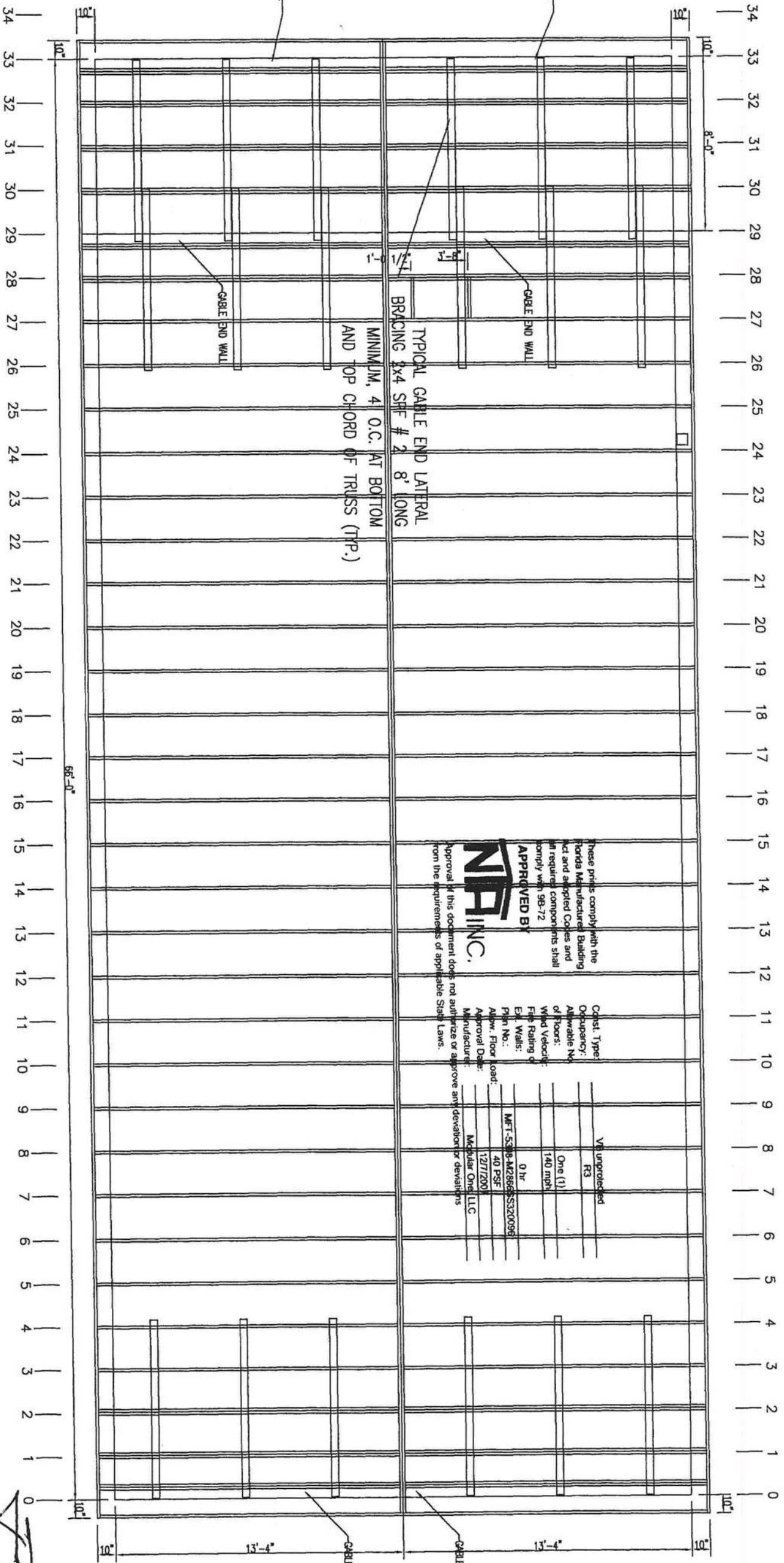
- 3. FASTEN HEADERS TO JOIST W/ (5) .131x3" NAILS OR (9) 14 GA. STAPLES BEFORE ADDING 2nd JOIST.
- 4. (TYPICAL) CONNECTION HEADER TO CUT JOIST W/ (5) .131x3" NAILS OR (9) 14 GA. STAPLES

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NOTE: GABLE END WALLS
ARE 2X6 SYP#2, STUDS 16"
O.C. SHEATHED BOTH SIDES
WITH 7/16" DSB



REVISIONS			GENERAL NOTES	
BY	DATE			
-	-	-		
-	-	-		
-	-	-		
-	-	-		

24" O.C. BOTTOM
CHORD PLAN

NAME: _____	SERIES: MOD	MODEL NO. M286SS320096-140
PLANT: 1	DESCRIPTION: 26'8"x66' 3BR-2BA	JOB NO. 2145-0470
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: S3

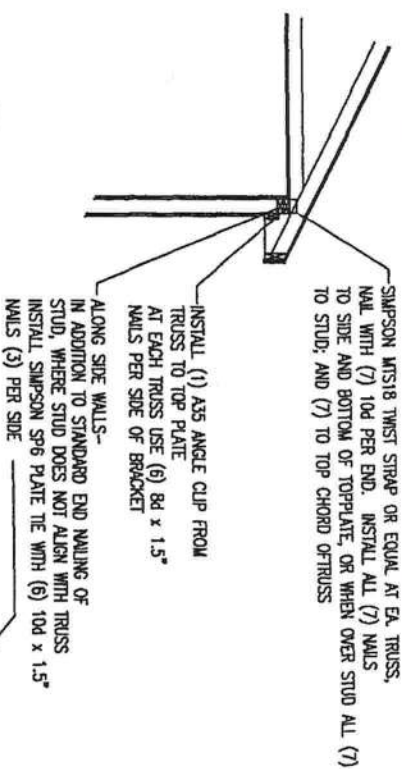
MODULAR ONE, LLC
PLANT #1
1884 MINES RD.
PULASKI, TN 38478



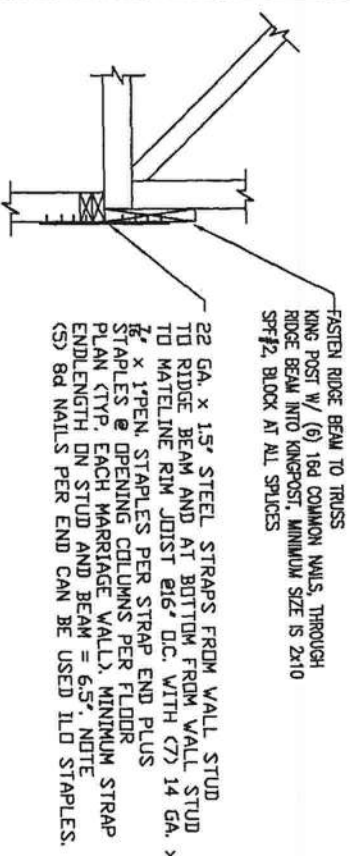
HILBORN, WERNER, CARTER
& ASSOCIATES
1827 SOUTH MYRTLE AVE.
CLEWATER, FL 33756
COA #1025

PHONE: (931) 424-7305
FAX: (931) 424-7308
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TIMOTHY L. HUNT, P.E.
FL P.E. LIC. #41033
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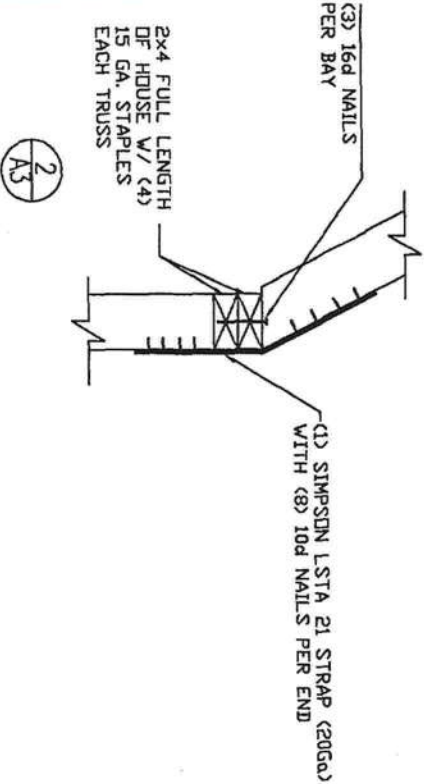


1
A3

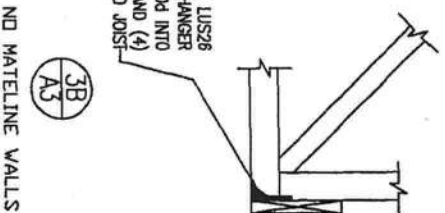


3A
A3

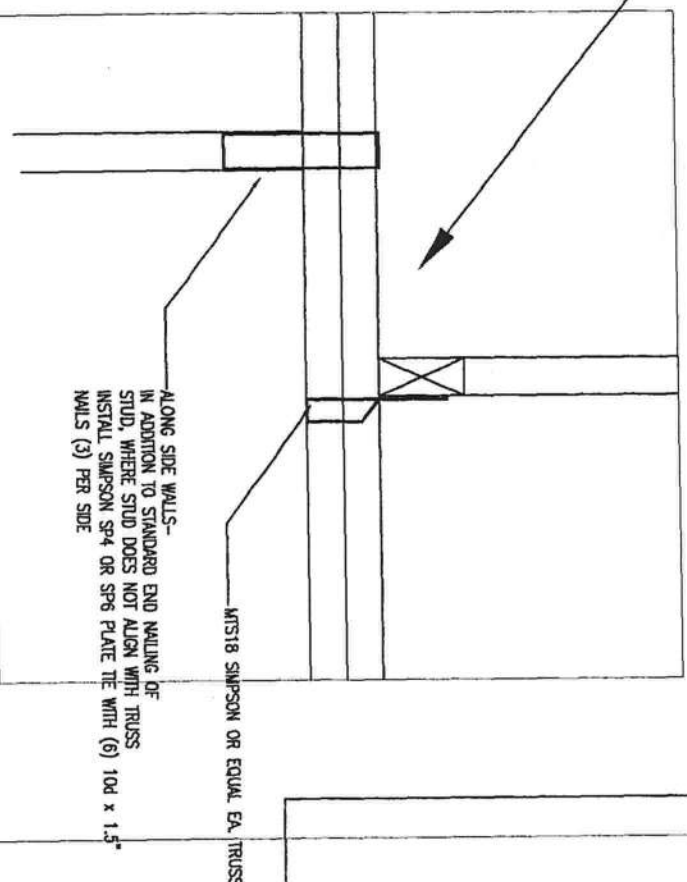
W/ MATELINE WALLS



2
A3



3B
A3

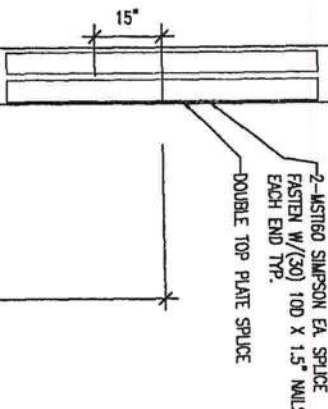


These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

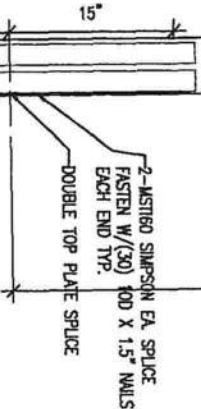


Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

Const. Type: VB unprotected
Occupancy: R3
Allowable No. of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ext. Walls: 0 hr
Plan No.: MFT-5308-M286SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/7/2007
Manufacturer: Modular One, LLC



7'-6" REF (15FT BOARDS SHOWN)
12 FT BOARDS MIN.



TYP. TOP PLATE SPLICE DETAIL

Signature
12/5/07



REVISIONS		BY	DATE
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

GENERAL NOTES
1 24" O.C. ROOF
S3.1 3/16" = 1'-0"

DRAWING TITLE
TRUSS CONNECTIONS

NAME: ---	SERIES: MOD	MODEL NO. M286SS320096-140
PLANT: 1	DESCRIPTION: 26'8" x 66' 3BR-2BA	JOB NO. 2145-0470
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: S3.1

15" X 14" LVL, FASTEN TO TRUSS WITH (8) 16d COMMON NAILS THROUGH LVL AND INTO TRUSS KINGPOST CTYP. EACH TRUSS.

(2) 2 X 8 SYP # 2 ON EDGE

FASTEN POST TO HEADER AS SHOWN ON PORCH DETAIL SHEETS

THESE TWO BOARDS (SEE FLOOR TRUSS PLAN FOR OTHERS) TO BE INSTALLED AFTER STRAP

(4) 2X4'S ALONG WATERLINE, (2) 2X6'S ALONG SIDE WALL, FASTENED TOGETHER W/ (2) ROWS OF 16d NAILS 16" O.C. TYP.

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PLANT #1
1884 MINES RD.
PULASKI, TN 38478
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EMAIL: TKING@MODULARONE.NET



HILBORN, WERNER, CARTER & ASSOCIATES, INC.
1627 SOUTH MYRTLE AVE.
CLEARWATER, FL 33756

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72		Const. Type:	vb unmanufactured
Occupancy:	Allowable No. of Floors:	Occupancy:	R3
Wind Velocity:	Fire Rating of Ext. Walls:	Wind Velocity:	One (1) 140 mph
Plan No.:	Allow. Floor Load:	Fire Rating of Ext. Walls:	0 hr
Manufacturer:	Approval Date:	Plan No.:	MFT-5306-M286SS320096
Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.		Manufacturer:	40 PSF 12/7/2007 Modular One, LLC

LSTA 24 TIEDOWN
SEE DETAIL
A1
S4.3

(2)2x8 SYP# 2 ON EDGE

STRAP TRUSS TO HEADER V/
SIMPSON H-I FASTENER (CTYP.)

(6) 2" X 6"
SYP # 2
PER OUTSIDE
CORNER, FOUNDATION
STRAP AS SHOWN

FOUNDATION STRAPS ACTUALLY GO
OVER SHEATHING

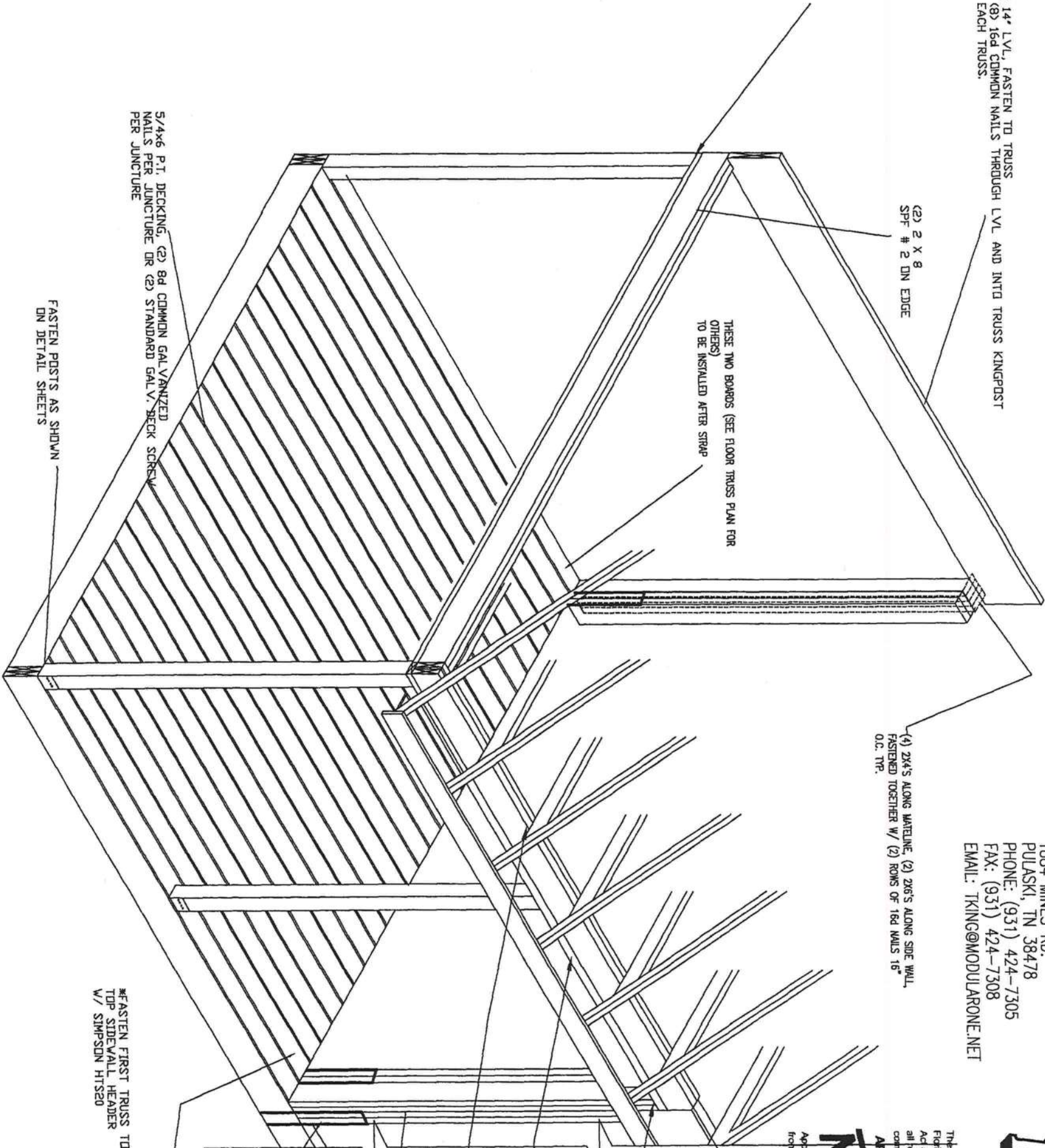
THIS BOARD (SEE FLOOR TRUSS PLAN FOR OTHERS)
TO BE INSTALLED AFTER STRAP

*FASTEN FIRST TRUSS TO
TOP SIDEWALL HEADER
W/ SIMPSON HTS20

5/4x6 P.T. DECKING, (2) 8d COMMON GALVANIZED
NAILS PER JUNCTURE OR (2) STANDARD GALV. DECK SCREW
PER JUNCTURE

FASTEN POSTS AS SHOWN
ON DETAIL SHEETS

NOTE
1. ALL EXTERIOR LUMBER TO BE PRESSURE TREATED.
2. ALL EXTERIOR FASTENERS TO BE GALVANIZED.



REVISIONS

BY DATE

GENERAL NOTES

DRAWING TITLE

PORCH
DETAILS

1
S4 3/4" = 1'-0"



NAME:	SERIES:	MODEL NO.
PLANT:	MOD	M286SS320096-140
DESCRIPTION:	26'8"x66' 3BR-2BA	JOB NO.
DRAWN BY:	DATE DRAWN:	SHEET:
BILLY PITTS	10/5/07	S4

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PLANT #1
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FAX: (931) 424-7308
EMAIL: TKING@MODULARONE.NET

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CLEARWATER, FL 33756
COA #1025

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FL P.E. LIC. #41033
PHONE: 727-584-8151
EMAIL: THUNT@HWCEMG.COM

NOTE ***
1. ALL EXTERIOR LUMBER TO BE PRESSURE TREATED.
2. ALL EXTERIOR FASTENERS TO BE GALVANIZED.



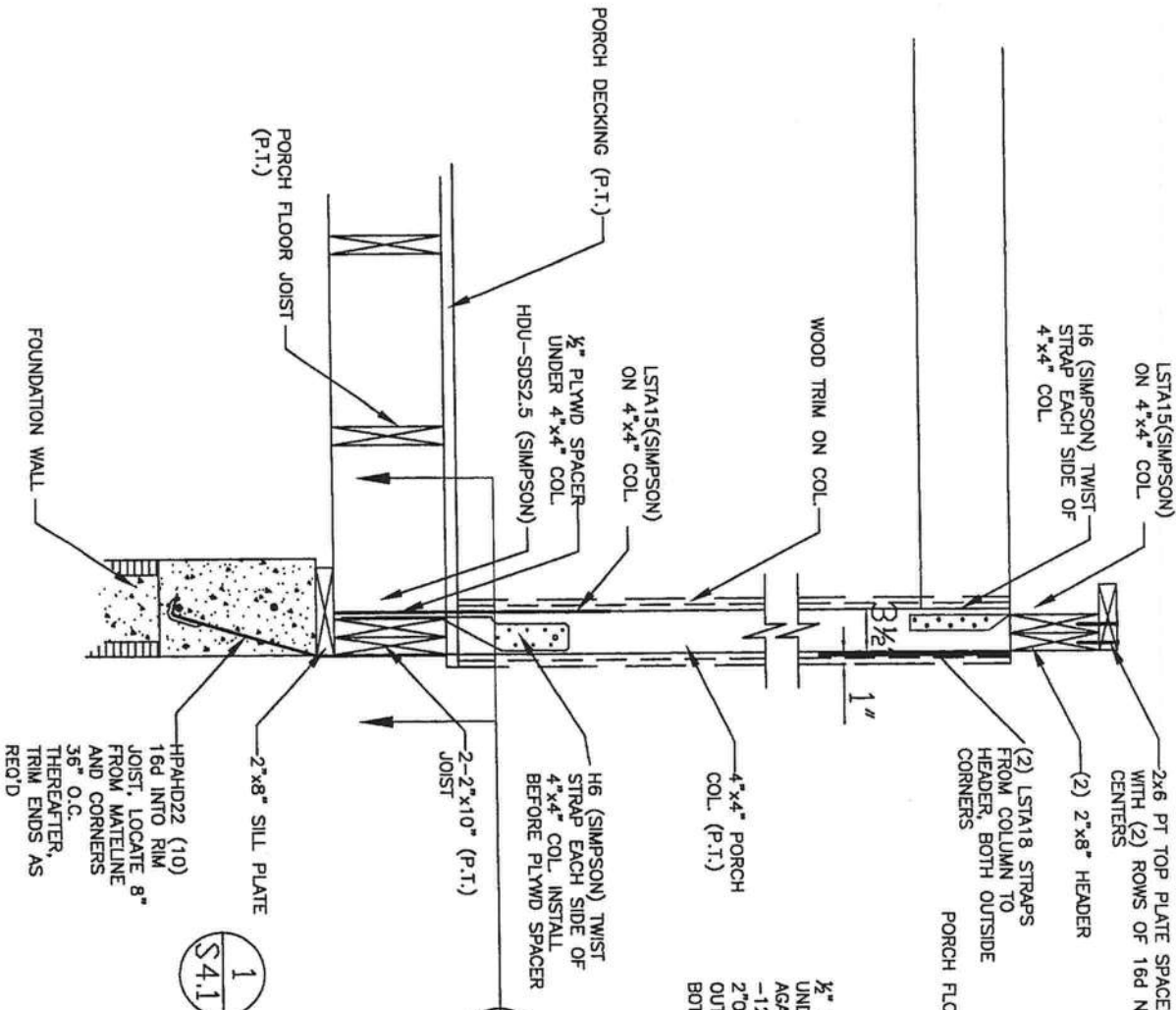
REVISIONS	

GENERAL NOTES	
1	PORCH DETAILS
1	3/4" = 1'-0"

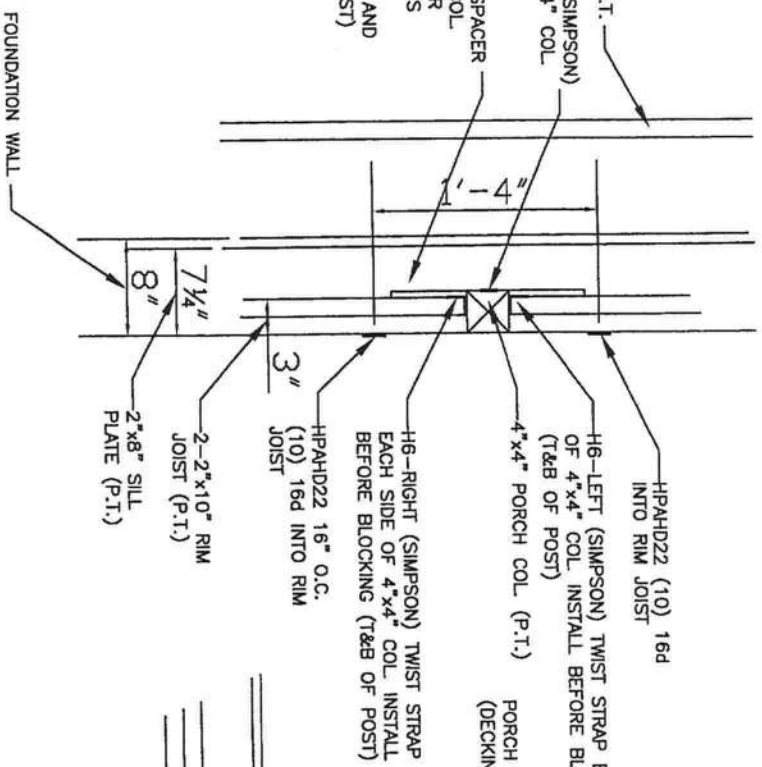
DRAWING TITLE	
PORCH	RIM JOIST TO FOUNDATION TIEDOWN OPTION 1: SIMPSON HPAHD22 ANCHORS

NAME:	SERIES:	MODEL NO.
PLANT: 1	MOD	M2866SS320096-140
DESCRIPTION:	JOB NO.	
26'8" x 66' 3BR-2BA	2145-0470	
DRAWN BY:	DATE DRAWN:	SHEET:
BILLY PITTS	10/5/07	S4.1

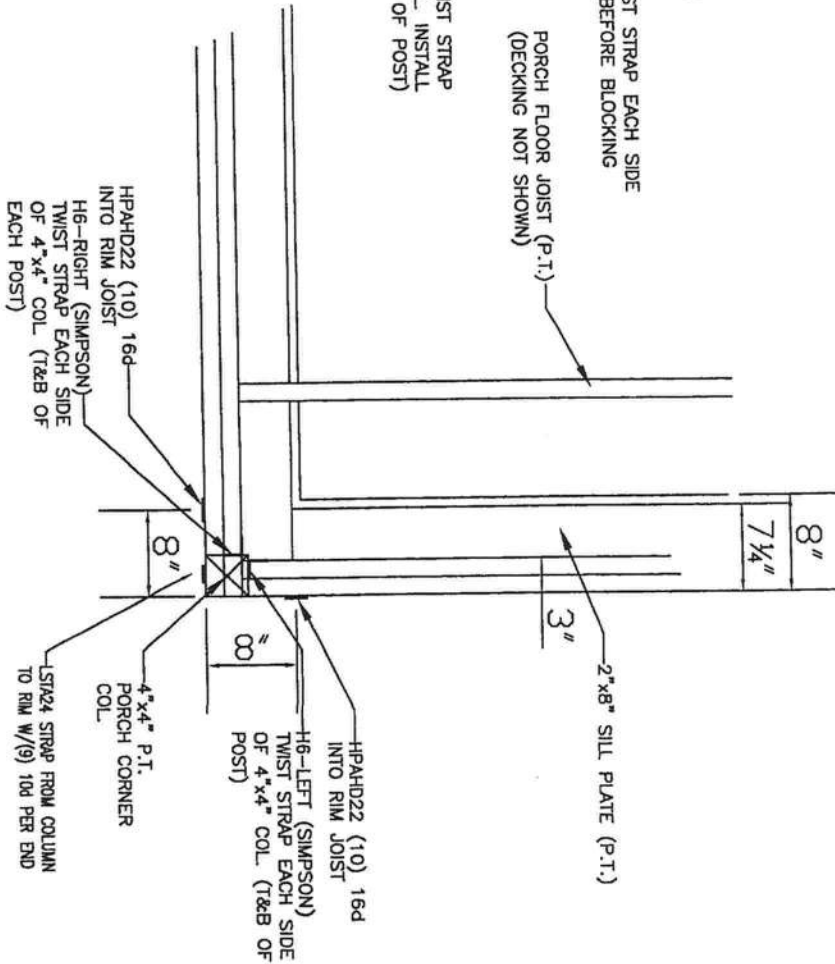
ELEVATION SECTION
LOOKING FROM SIDEWALL



SECTION AT BOTTOM
OF MID-POSTS



SECTION AT BOTTOM OF
CORNER POSTS



* ALL FASTENERS IN P.T.
FRAMING TO BE HOT DIPPED
GALVANIZED OR S.S.

12/5/07

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 9B-72

APPROVED BY

NIP INC.

Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.

Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-5308-M286SS320096
Allow. Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC

MODULAR ONE, LLC
PLANT #1
1884 MINES RD.
PULASKI, TN 38478
PHONE: (931) 424-7305
FAX: (931) 424-7308
EMAIL: TKING@MODULARONE.NET

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OAKLAND, CA 94612

TIMOTHY L. HUNT, PE
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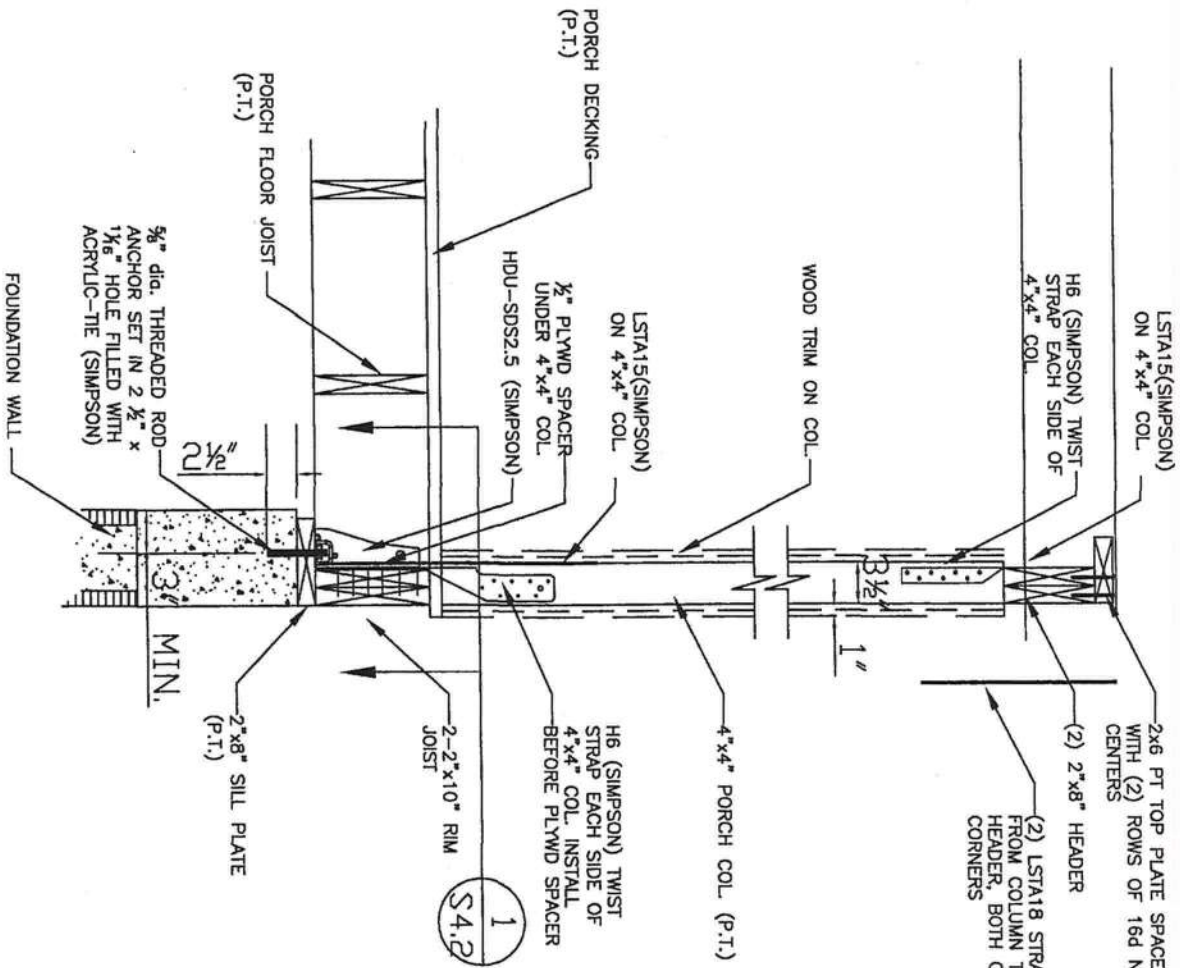
*** NOTE ***
1. ALL EXTERIOR LUMBER TO BE PRESSURE TREATED.
2. ALL EXTERIOR FASTENERS TO BE GALVANIZED.

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

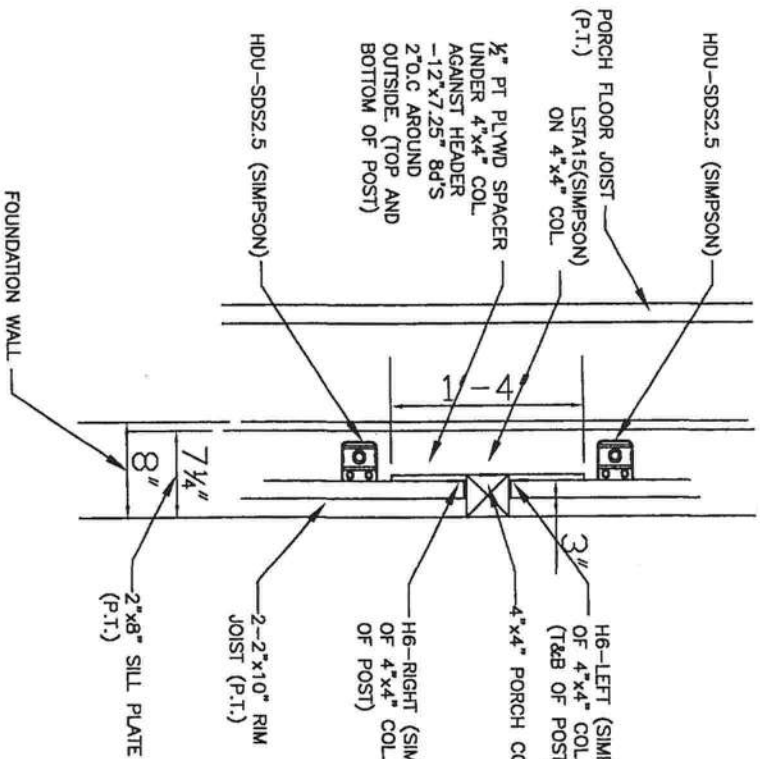
APPROVED BY

Const. Type: VB unprotected
Occupancy: R3
Allowable No. of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ext. Walls: 0 hr
Plan No.: MFT-5308-M286SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/7/2007
Manufacturer: Modular One, LLC

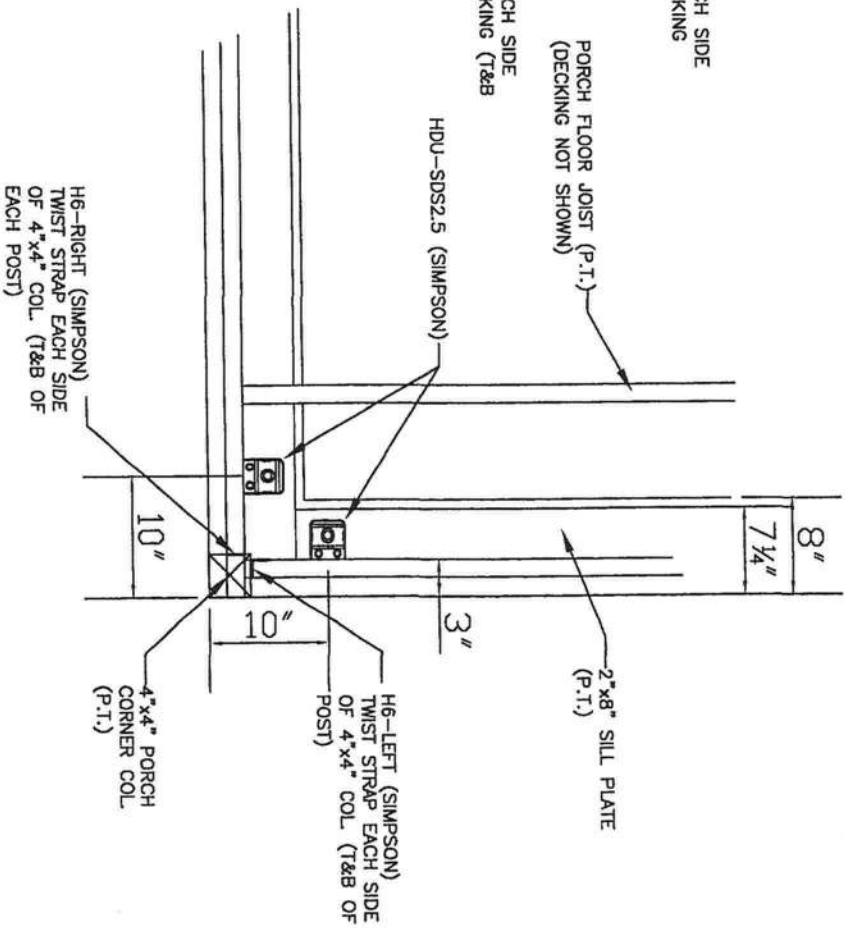
Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.



ELEVATION SECTION
LOOKING FROM SIDEWALL



1 SECTION AT BOTTOM OF
S4.2 MID-POSTS



1 SECTION AT BOTTOM OF
S4.2 CORNER POSTS

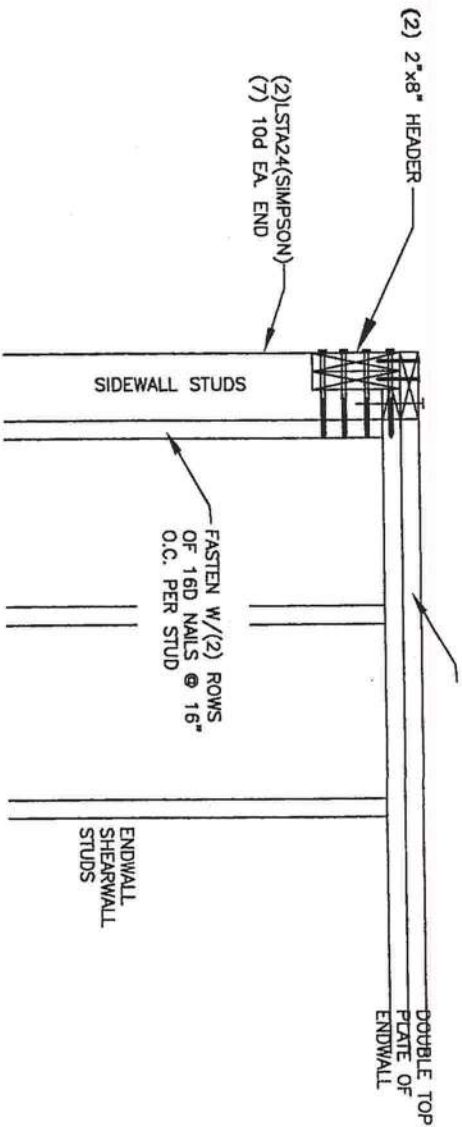
[Signature]
12/5/07

MODULAR ONE THE NEXT GENERATION		REVISIONS		GENERAL NOTES		DRAWING TITLE	
BY	DATE	BY	DATE	1 PORCH TIEDOWN DETAILS S4.2 3/4" = 1'-0"		PORCH RIM JOIST TO FOUNDATION TIEDOWN OPTION 2: SIMPSON HDU-SDS2.5	
NAME: ---		SERIES: MOD		MODEL NO. M286SS320096-140		JOB NO. 2145-0470	
PLANT: 1		DESCRIPTION: 26'8" x 66' 3BR-2BA		DATE DRAWN: 10/5/07		SHEET: S4.2	
DRAWN BY: BILLY PITTS		DATE: 10/5/07		SHEET: S4.2			

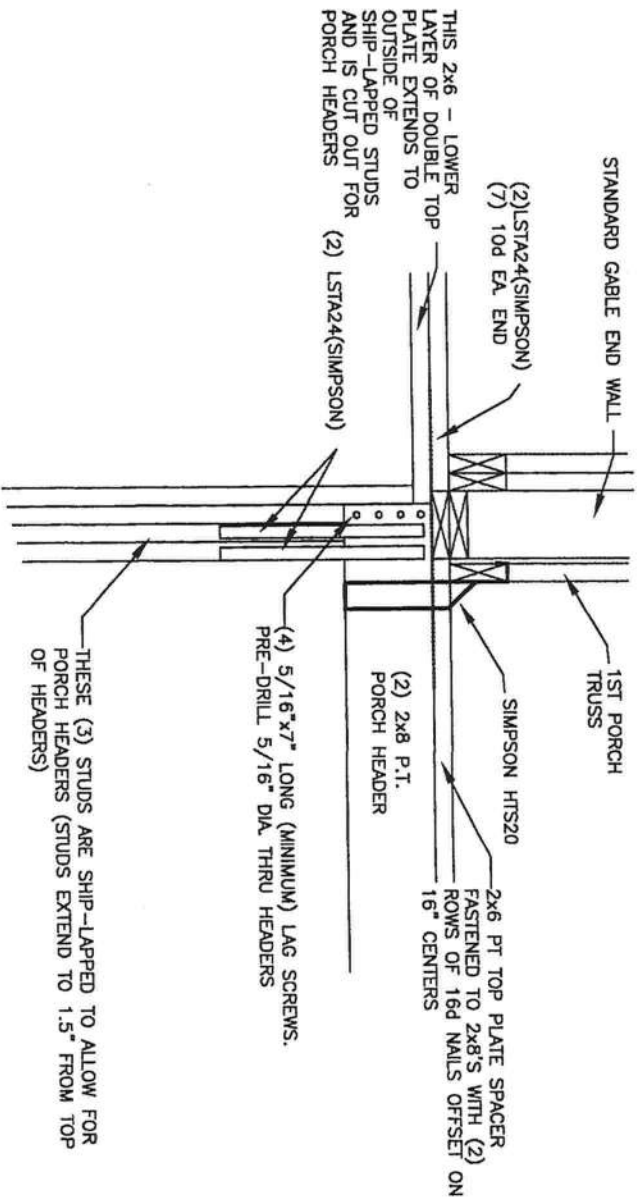
MODULAR ONE, LLC
PLANT #1
1884 MINES RD.
PULASKI, TN 38478
PHONE: (931) 424-7305
FAX: (931) 424-7308
EMAIL: TKING@MODULARONE.NET

HWG
HILBORN, WERNER, CARTER
ARCHITECTS
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COA #1025

TIMOTHY L. HUNT, PE
FL P.E. LIC. #41033
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BACK UPPER CORNER ELEVATION SECTION
LOOKING FROM END WALL SIDE (A2)



BACK UPPER CORNER ELEVATION
LOOKING FROM SIDE WALL SIDE (A1)

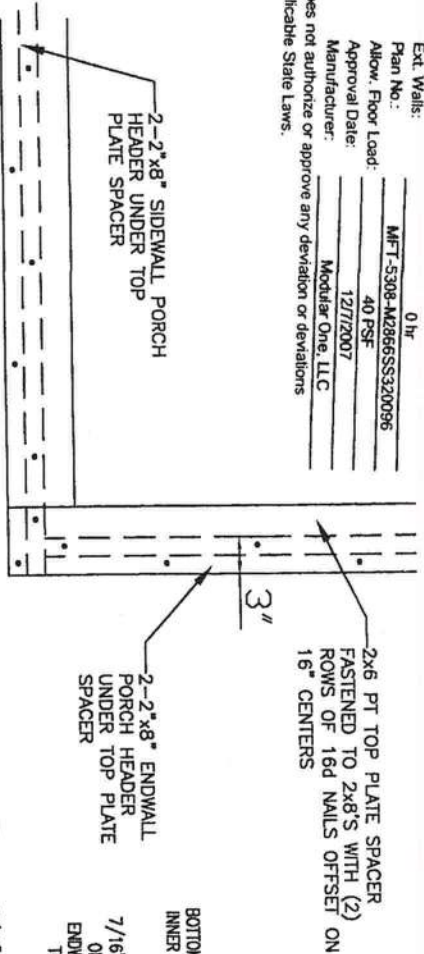
*** NOTE ***
1. ALL EXTERIOR LUMBER TO BE PRESSURE TREATED.
2. ALL EXTERIOR FASTENERS TO BE GALVANIZED.

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-12

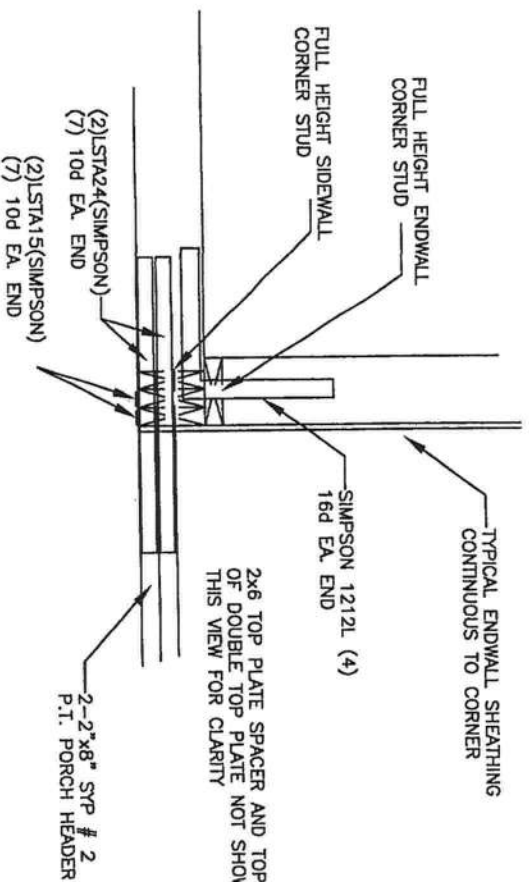
APPROVED BY

Const. Type:	VB unprotected
Occupancy:	R3
Allowable No. of Floors:	One (1)
Wind Velocity:	140 mph
Fire Rating of Ext. Walls:	0 hr
Plan No.:	MFT-5308-M286SS320096
Allow. Floor Load:	40 PSF
Approval Date:	12/7/2007
Manufacturer:	Modular One, LLC

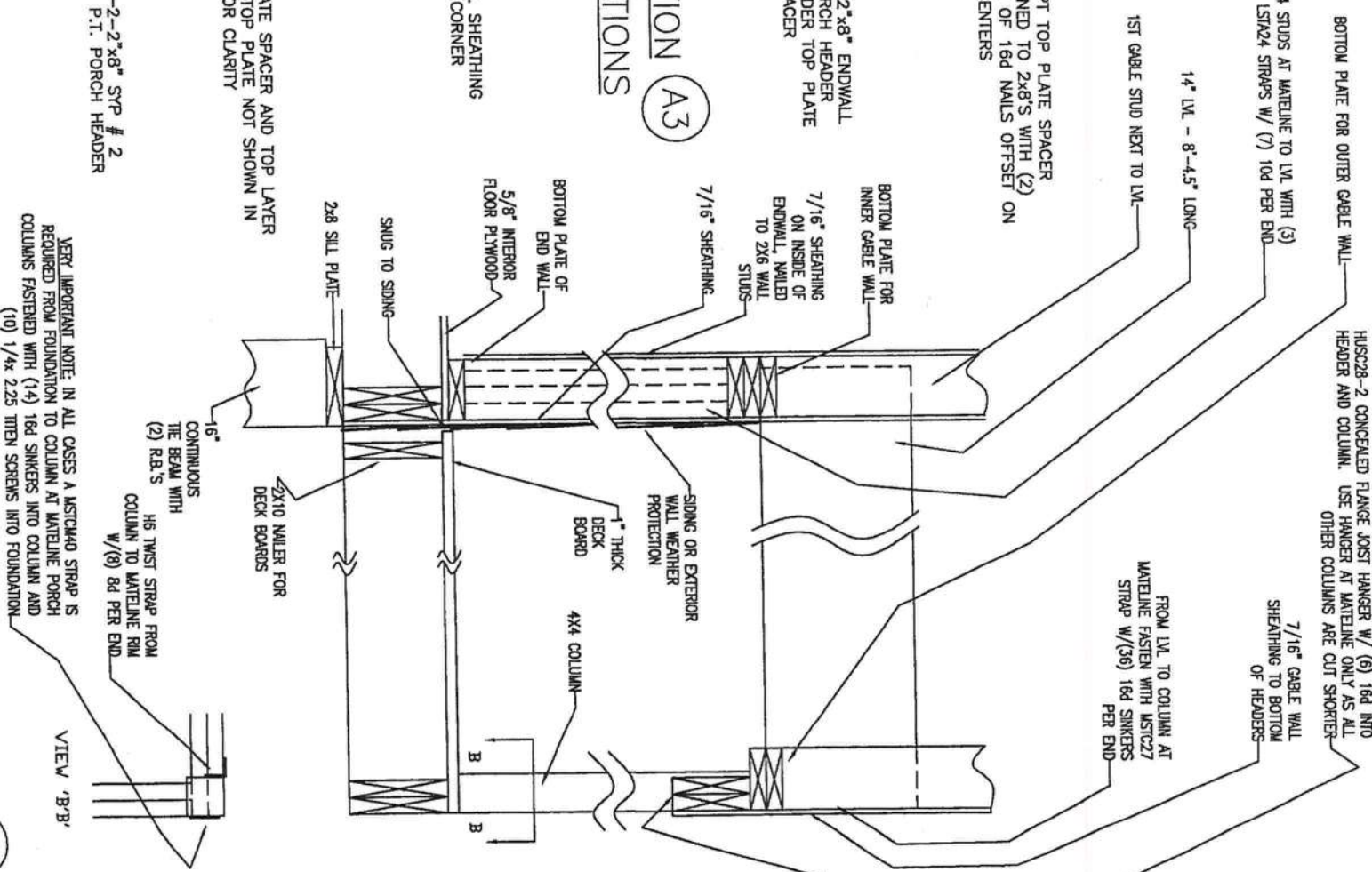
Approval of this document does not authorize or approve any deviation or deviations from the requirements of applicable State Laws.



FRONT UPPER CORNER PLAN SECTION
LOOKING FROM ROOF TRUSS LOCATIONS (A3)



BACK UPPER CORNER PLAN SECTION
LOOKING FROM ROOF TRUSS LOCATIONS (A4)



PORCH CROSS SECT
LOOKING TOWARDS MATELINE (A5)

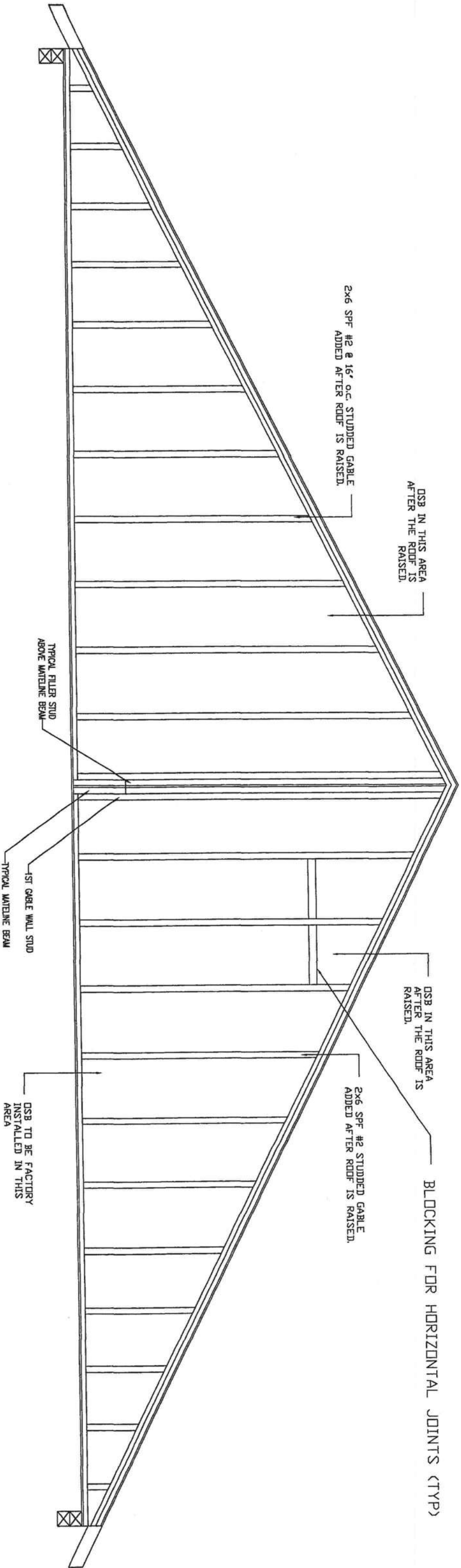
MODULAR ONE

FOR THE LATEST AFFORDABLE AFFORDABLE AFFORDABLE

REVISIONS		BY	DATE
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

GENERAL NOTES		DRAWING TITLE
1	PORCH DETAILS	PORCH DETAILS
4.3	3/4" = 1'-0"	

NAME:	SERIES:	MODEL NO.
PLANT: 1	MOD	M2866SS320096-140
DESCRIPTION: 26'8"x66' 3BR-2BA		JOB NO. 2145-0470
DRAWN BY: BILLY PITTS	DATE DRAWN: 10/5/07	SHEET: S4.3



1
S5
CABLE DETAIL
NTS

These prints comply with the Florida Manufactured Building Act and adopted Codes and all required components shall comply with 98-72

APPROVED BY

NTS INC.

Const. Type: VB unprotected
Occupancy: R3
Allowable No. of Floors: One (1)
Wind Velocity: 140 mph
Fire Rating of Ext. Walls: 8 hr
Plan No.: MFT-5308-M286SS320096
Allow. Floor Load: 40 PSF
Approval Date: 12/7/2007
Manufacturer: Modular One, LLC

THWG

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CLEARWATER, FL 33756
COA #1025

TIMOTHY L. HUNT, PE
FL P.E. LIC. #41033
PHONE: 727-584-8151
EMAIL: THUNTE@HWCENG.COM

THWG

12/5/07



REVISIONS		BY	DATE	GENERAL NOTES	
-		-	-	1 S5 CABLE END DETAIL NTS.	
-		-	-		
-		-	-		
-		-	-		

DRAWING TITLE			
CABLE END DETAILS			
-----		MOD	M2866SS320096-140
PLANT:	DESCRIPTION:	JOB NO.	
1	26'8" x 66' 3BR-2BA	2145-0470	
DRAWN BY:	DATE DRAWN:	SHEET:	
BILLY PITTS	10/5/07	S5	

DRAWING TITLE		CABLE OVERHANG DETAILS	
INVENTOR	DATE	MOD	M2866SS320096-140
PLANT:	DESCRIPTION:	JOB NO.	
1	26'8" x 66' 3BR-2BA	2145-0470	
DRAWN BY:	DATE DRAWN:	SHEET:	
BILLY PITTS	10/5/07	S5.1	

GABLE ENDWALL OVERHANG

FASTEN PLYWOOD SHEATHING TO OVERHANG PER SHEET A3.2 NO BUTT JOINTS AT ENDWALL STUD SHEATHING TO EXTEND 12" MAX AT ENDWALL

ENDWALL

12" MAX.

3/4" MIN.

#8 X 3" WOOD SCREWS @ 6" O.C. CONNECTING GABLE FRAMING TOP PLATES TOGETHER.

FASTEN TRUSS TOP CHORD TO DOUBLE TOP PLATE WITH #10X3 1/2" WOOD SCREWS AT MAX. 8" O.C.

SEE NOTE #1 IN FASTENER SCHEDULE

GABLE END TRUSS SETS NEXT TO GABLE FRAMING

2x6 SPF #3 OR BETTER

11" MAX.

22GA. STEEL STRAP @ 24" O.C. SEE NOTE 2

TRIM

FASTORY ASSEMBLED OVERHANG 2x6 SPF #3 OR BETTER AT 24" O.C. MAX.

STRUCTURAL WILL SHEATHING SHALL EXTEND CONTINUOUSLY TO ROOF SHEATHING.

FASTORY ASSEMBLED 2x4 SPF #2 AT 16" O.C. OR 2x6" SPF #2 @ 16" O.C. GABLE END WALL (FIELD INSTALLED)

3
S5.1
(ADD ON METHOD)

ENDWALL OVERHANG SECTION