

DATE 11/21/2006

# Columbia County Building Permit

PERMIT  
000025247

This Permit Expires One Year From the Date of Issue

APPLICANT TOM BUSH PHONE 352 332-7665

ADDRESS 3601 97TH BLVD GAINESVILLE FL 32606

OWNER JOHN KUYKENDALL PHONE \_\_\_\_\_

ADDRESS 727 NW OLD MILL DRIVE LAKE CITY FL 32025

CONTRACTOR FUNSTATE POOLS PHONE 352 332-7665

LOCATION OF PROPERTY 90W, TR ON LAKE JEFFREY, TL ON OLD MILL DRIVE, LAST LOT ON LEFT BEFORE HARD CURVE TO RIGHT

TYPE DEVELOPMENT SWIMMING POOL ESTIMATED COST OF CONSTRUCTION 40762.00

HEATED FLOOR AREA \_\_\_\_\_ TOTAL AREA \_\_\_\_\_ HEIGHT \_\_\_\_\_ STORIES \_\_\_\_\_

FOUNDATION \_\_\_\_\_ WALLS \_\_\_\_\_ ROOF PITCH \_\_\_\_\_ FLOOR \_\_\_\_\_

LAND USE & ZONING RSF-2 MAX. HEIGHT \_\_\_\_\_

Minimum Set Back Requirements: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00

NO. EX.D.U. 1 FLOOD ZONE NA DEVELOPMENT PERMIT NO. \_\_\_\_\_

PARCEL ID 26-3S-16-02305-105 SUBDIVISION \_\_\_\_\_

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ PHASE \_\_\_\_\_ UNIT \_\_\_\_\_ TOTAL ACRES \_\_\_\_\_

CPC044114

Culvert Permit No. \_\_\_\_\_ Culvert Waiver \_\_\_\_\_ Contractor's License Number \_\_\_\_\_ Applicant/Owner/Contractor JH

EXISTING X06-0406 BK JH N

Driveway Connection \_\_\_\_\_ Septic Tank Number \_\_\_\_\_ LU & Zoning checked by \_\_\_\_\_ Approved for Issuance \_\_\_\_\_ New Resident \_\_\_\_\_

COMMENTS: NOC ON FILE

Check # or Cash 35802

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power \_\_\_\_\_ Foundation \_\_\_\_\_ Monolithic \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Under slab rough-in plumbing \_\_\_\_\_ Slab \_\_\_\_\_ Sheathing/Nailing \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Framing \_\_\_\_\_ Rough-in plumbing above slab and below wood floor \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Electrical rough-in \_\_\_\_\_ Heat & Air Duct \_\_\_\_\_ Peri. beam (Lintel) \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Permanent power \_\_\_\_\_ C.O. Final \_\_\_\_\_ Culvert \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

M/H tie downs, blocking, electricity and plumbing \_\_\_\_\_ Pool \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

Reconnection \_\_\_\_\_ Pump pole \_\_\_\_\_ Utility Pole \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

M/H Pole \_\_\_\_\_ Travel Trailer \_\_\_\_\_ Re-roof \_\_\_\_\_  
date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_ date/app. by \_\_\_\_\_

BUILDING PERMIT FEE \$ 205.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00

MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ \_\_\_\_\_

FLOOD DEVELOPMENT FEE \$ \_\_\_\_\_ FLOOD ZONE FEE \$ \_\_\_\_\_ CULVERT FEE \$ \_\_\_\_\_ TOTAL FEE 255.00

INSPECTORS OFFICE [Signature] CLERKS OFFICE CN

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

**"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."**

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK# 35802

Revised 9-23-04

For Office Use Only Application # 0611-31 Date Received 11/13 By JN Permit # 25247  
 Application Approved by - Zoning Official CFS Date 11/20/06 Plans Examiner AKJH Date 11/14-06  
 Flood Zone N/A Development Permit N/A Zoning RSF-2 Land Use Plan Map Category RLD  
 Comments Notice of Commencement has wrong parcel #.

Applicants Name Tom Brust Phone 352 332-7665  
 Address 3601 97 BLD GAINESVILLE FL. 32606  
 Owners Name JOHN KUYKENDALL Phone \_\_\_\_\_  
 911 Address 727 NW OLDMILL DR LAKE CITY 32025  
 Contractors Name TILLIS GIBSON FUNSTATE POOLS INC Phone 352 332 7665  
 Address 3601 97 BLD GAINESVILLE FL. 32606  
 Fee Simple Owner Name & Address JOHN KUYKENDALL  
 Bonding Co. Name & Address N/A  
 Architect/Engineer Name & Address FUNSTATE POOLS  
 Mortgage Lenders Name & Address N/A

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
 Property ID Number 26-35-16-02305-105 ~~12756-000~~ Estimated Cost of Construction 40,762<sup>00</sup>  
 Subdivision Name \_\_\_\_\_ Lot \_\_\_\_\_ Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_  
 Driving Directions DRIVE WEST ON 90 TO LAKE JEFFERY Rd. TURN RIGHT DRIVE TO  
OLD MILL DRIVE TURN LEFT FOLLOW CURVES TO 727 NW TURN LEFT INTO DRIVEWAY

Type of Construction INGROUND CONCRETE SWIMMING POOL + SPA Number of Existing Dwellings on Property \_\_\_\_\_  
 Total Acreage \_\_\_\_\_ Lot Size \_\_\_\_\_ Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 171' Side 20' Side 100' Rear 200'  
 Total Building Height \_\_\_\_\_ Number of Stories \_\_\_\_\_ Heated Floor Area \_\_\_\_\_ Roof Pitch \_\_\_\_\_

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

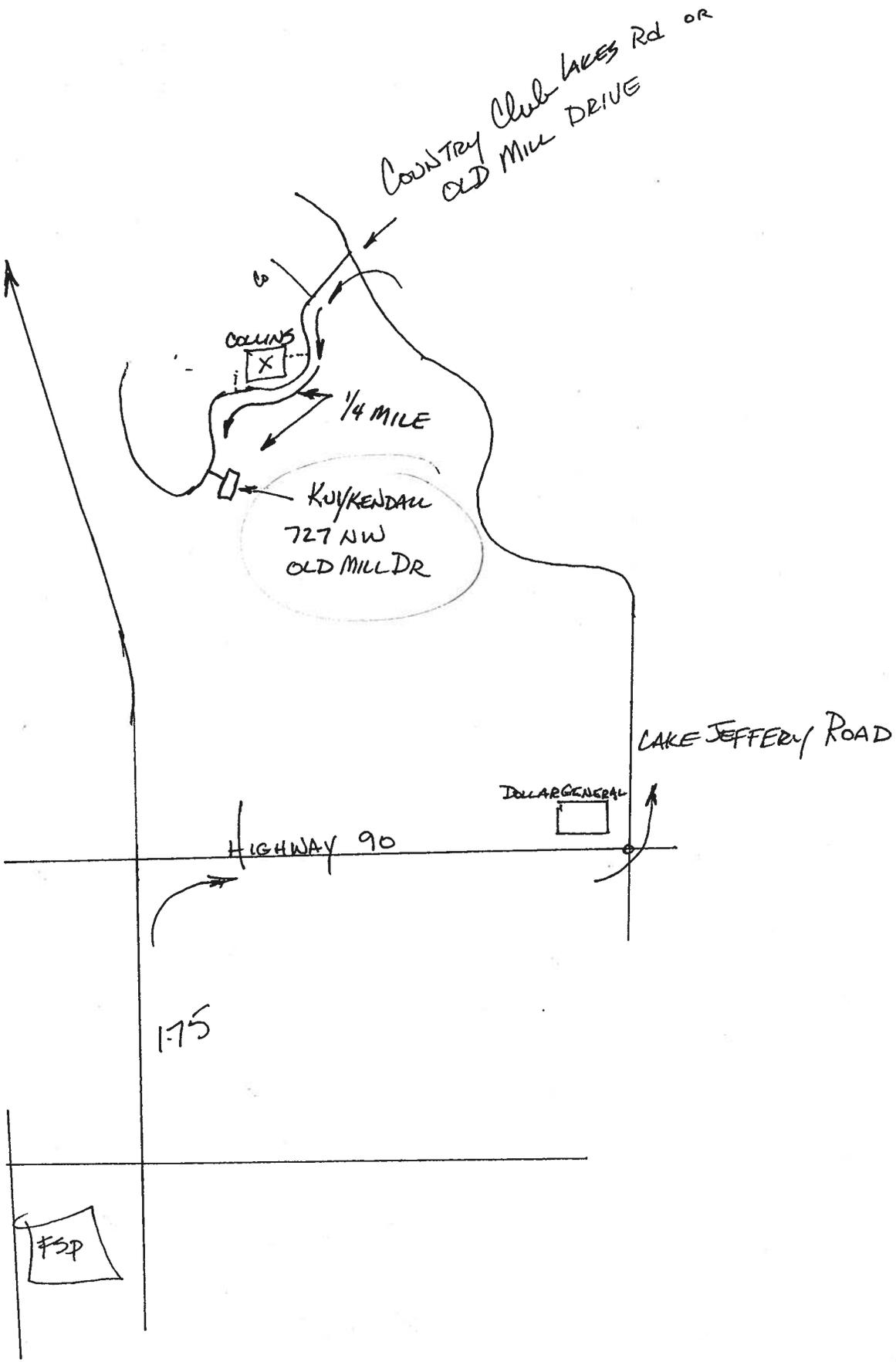
**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT**

[Signature]  
 Owner Builder or Agent (Including Contractor)

[Signature]  
 Contractor Signature  
 Contractors License Number CPC 044114  
 Competency Card Number \_\_\_\_\_  
 NOTARY STAMP/SEAL

STATE OF FLORIDA  
 COUNTY OF COLUMBIA  
 Sworn to (or affirmed) and subscribed before me  
 this \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_\_\_.  
 Personally known \_\_\_\_\_ or Produced Identification \_\_\_\_\_

[Signature]  
 Notary Signature  
 NANCY A. ERNEY  
 Notary Public, State of Florida  
 My comm. expires May 8, 2007  
 Bond No. DD 194650  
 Bonded thru Troy Fain Insurance



**NOTICE OF COMMENCEMENT**

PERMIT NUMBER: \_\_\_\_\_

STATE OF: FLORIDA COUNTY OF: COLUMBIA CITY OF: LAKECITY

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**DESCRIPTION OF PROPERTY**

LOT: \_\_\_\_\_ BLOCK: 41 SECTION: \_\_\_\_\_ TOWNSHIP: \_\_\_\_\_ RANGE: \_\_\_\_\_

TAX PARCEL NUMBER: 00-00-00-12756-000

SUBDIVISION: \_\_\_\_\_ PLATBOOK: \_\_\_\_\_ MAP PAGE: \_\_\_\_\_

STREET ADDRESS: 727 NW OLD MILL DR. LAKECITY FL. 32025

**GENERAL DESCRIPTION OF IMPROVEMENTS**

TO CONSTRUCT: INGROUND CONCRETE SWIMMING POOL & SPA  
S 1/2 OF SE 1/4 BLOCK 41

**OWNER INFORMATION**

OWNER NAME: JOHN KUKKENDALL  
ADDRESS: 727 NW OLD MILL DR PHONE: \_\_\_\_\_  
CITY: LAKE CITY FL. 32025 STATE: FL. ZIP CODE: 32025

INTEREST IN PROPERTY: OWNER  
FEE SIMPLE TITLEHOLDER NAME: \_\_\_\_\_ Inst: 2006026791 Date: 11/13/2006 Time: 12:22  
FEE SIMPLE TITLHOLDER ADDRESS: \_\_\_\_\_ S. J. DC, P. DeWitt Cason, Columbia County B: 1101 P: 1968  
(If other than owner)

CONTRACTOR NAME: FUN STATE POOLS, INC.  
ADDRESS: 3601 NW 97 BLVD, GAINESVILLE, FL 32606 PHONE: 352-332-7665

BONDING COMPANY: \_\_\_\_\_ N/A  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY: \_\_\_\_\_ STATE: \_\_\_\_\_

LENDER NAME: \_\_\_\_\_ N/A  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY: \_\_\_\_\_ STATE: \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7I, Florida Statutes:

NAME: \_\_\_\_\_ ADDRESS \_\_\_\_\_

In addition to himself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date is one (1) year from date of recording unless a different date is specified.

SIGNATURE OF OWNER: John Kukkendall

SWORN to and subscribed before me this 27 day of Sept, A.D. 2006

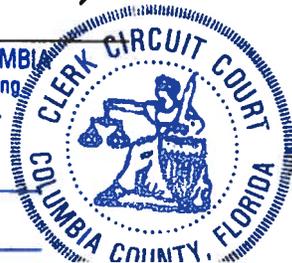
Notary Public Nancy Erney

My Commission Expires: \_\_\_\_\_

STATE OF FLORIDA, COUNTY OF COLUMBIA  
I HEREBY CERTIFY, that the above and foregoing  
is a true copy of the original filed in this office.  
P. DeWITT CASON, CLERK OF COURTS

By Ashon League  
Deputy Clerk

Date 11-13-2006



NANCY A. ERNEY  
Notary Public, State of Florida  
My comm. expires May 8, 2007  
Comm. No. DD 194650  
Bonded Thru Troy Fain Insurance



3601 N.W. 97th Blvd.  
Gainesville, Florida 32606

REF. NO. \_\_\_\_\_

332-POOL

Job No. \_\_\_\_\_

POOL SHAPE Roman

SIZE 15 X 30 DEPTH 5 TO 6 PERM B3 AREA 410

DECK 12x6 SF DECK SURFACE Subdeck O-DRAIN Yes

COPING No CANTILEVER Yes

TILE Yes COLOR Dark

STEP COLOR Yes COLOR Dark

TURNOVER Blue FILTER TYPE PM SIZE 150 PUMP 2HP

SKIMMER Yes INLETS 5 MAIN DRAIN Yes

GRAB RAILS No HAND RAIL No LADDER No

POOL LIGHT Yes VOLTS 120 WATTS 400

DIVING BOARD No SIZE No

AUTOMATIC CHLORINATOR Set TIMER Yes FILL LINE No

CLEANING EQUIPMENT Make SWIMOUT Yes SIZE 4 JETS No

ROPE & FLOATS No ROPE ANCHORS No

AUTOMATIC CLEANING SYSTEM Lead POOL HEATER 200,000

GAS LINE BY: Outside SLIDE No SIZE No BTU 75

SPA SPECIFICATIONS

SIZE 5 X 0 DEPTH 3' JETS 5

BLOWER No SKIMMER Yes LIGHT Yes

SPILLWAY Yes HEATER Yes MAIN DRAIN Yes

SCREEN ENCLOSURE None ROOF None DOORS None

ALUM. ROOF None GUTTER None

REMOVE FENCING None REPLACE FENCING None TEMP. FENCE None

TREE REMOVAL None STUMP REMOVAL None

SHRUBS None SAVE None HAUL AWAY None

SEPTIC TANK None SEWER LINE None

POWER LINE None RELOCATE None

GAS LINE None WATER LINE None CAP None

SPRINKLERS None REROUTE None

PHONE LINE None ACCESS PERMISSION None

RETAINING WALL None

NAME Custom Design - FUN STATE POOLS

ADDRESS 727 NW Old Mill Dr

CITY Lake City PHONE: \_\_\_\_\_

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ SUB \_\_\_\_\_ PAGE \_\_\_\_\_

Part 2 of contract dated \_\_\_\_\_ for pool at \_\_\_\_\_

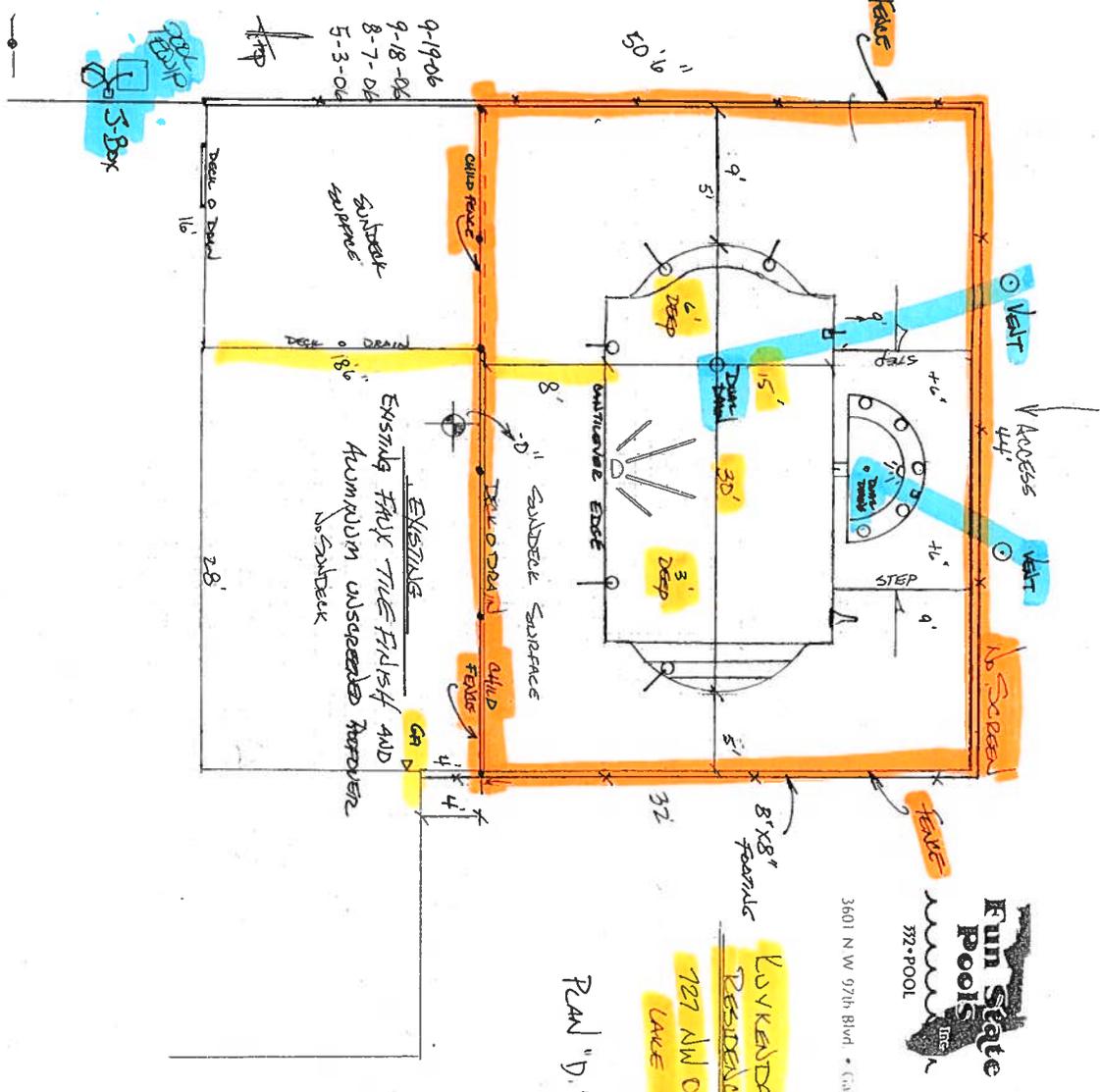
BOOK \_\_\_\_\_

ALSO DESCRIBED AS \_\_\_\_\_

CUSTOMER'S SIGNATURE [Signature]

DWN BY Tom Bush DATE 9/26/06 CHK BY \_\_\_\_\_

PLOT PLAN  
SCALE: 1/8" = 10"



Note - Angle of repose of existing foundation shall not be disturbed by pool excavation without engineering.

Note - Pool shall be wired as per NEC and all metal within 5' of pool shall be bonded.



3601 N.W. 97th Blvd. • Gainesville, Florida, 32606

Tom Bush

727 NW Old Mill Drive  
Lake City

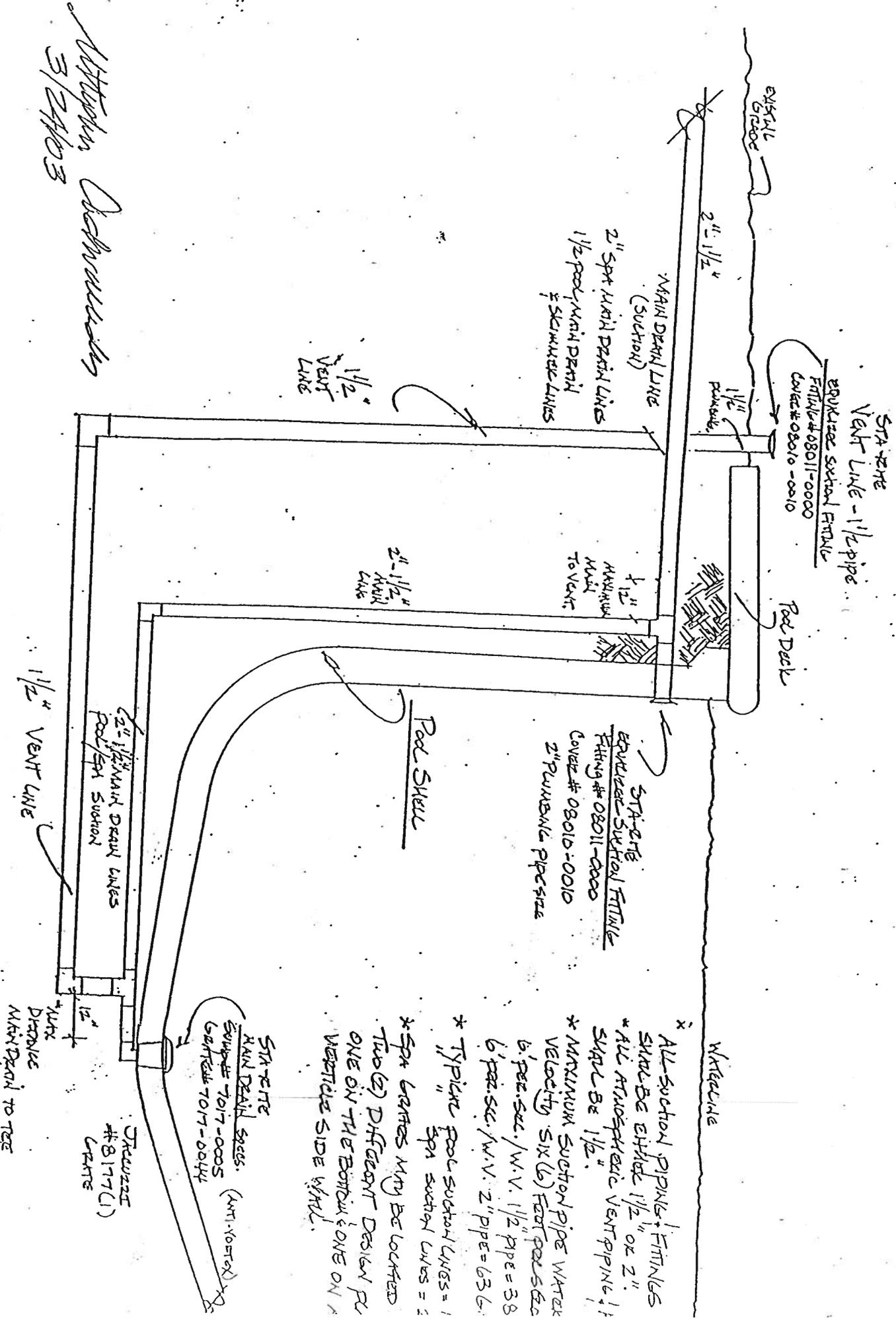
Plan "D"

OFFICE COPY



Approved Swimming Pool and Spa  
 Dike Main Detail Atmospheric Vent  
 Attachment

Compliant with # 424.2.6.6. F.R. Building Code



STRAIGHT  
 EQUIVALENT SECTION FITTING  
 FITTING # 08011-0000  
 COVER # 08010-0010  
 2" PUMPCABLE PIPE SIZE

- \* ALL SUCTON PIPES & FITTINGS SHALL BE EITHER 1 1/2" OR 2"
- \* ALL ATMOSPHERIC VENT PIPES SHALL BE 1 1/2"
- \* MINIMUM SUCTON PIPE WATER VELOCITY SIX (6) FEET PER SEC
- 6' PER SEC / W.V. 1 1/2" PIPE = 38
- 6' PER SEC / W.V. 2" PIPE = 63 G.P.M.
- \* TYPICAL POOL SUCTON LINES = 1"
- " SPA SUCTON LINES = 2"
- \* SPA BRATES MAY BE LOCATED TWO (2) DIFFERENT DESIGN OR ONE ON THE BOTTOM & ONE ON A VERTICAL SIDE WALL.

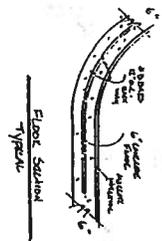
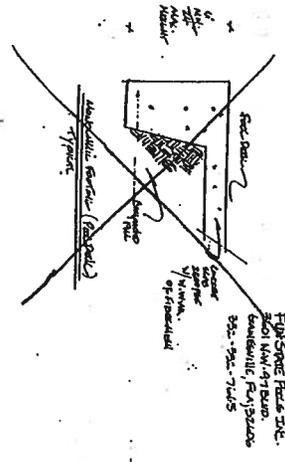
STRAIGHT  
 MAIN DRAIN SIZES. (ANTI-VORTEX)  
 SOURCE - 7017-0005  
 PART # 7017-0044

THRUZZI  
 # 8177 (1)  
 GATE

William Robinson  
 3/24/03

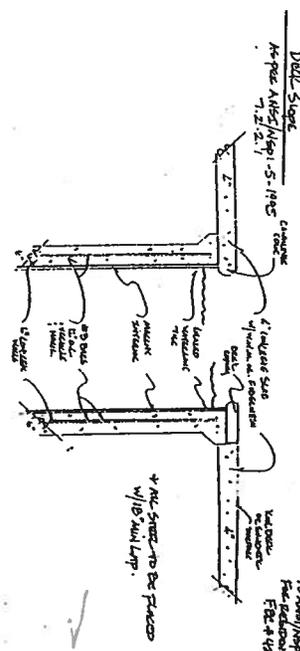


STANDARD SECTION  
 FINISH SPECIFICATIONS  
 8"x6" w/ 2" x 3" Bars Cont.  
 12"x6" w/ 3" x 5" Bars Cont.  
 MAX. SPAC. TO BE 8" ON-CENT  
 AS PER N.E.C.



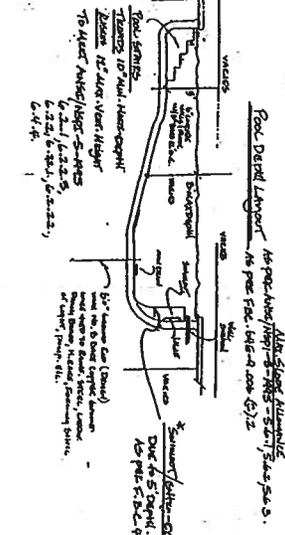
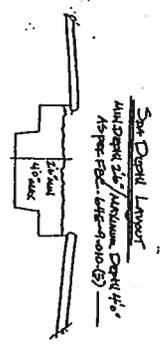
NOTE  
 Concrete minimum to be 4" thick  
 Reinforcement to be #4 bars  
 Max. Spacing 8" on-Cent  
 (See Section 05110-000)

WALL SECTION  
 Typical

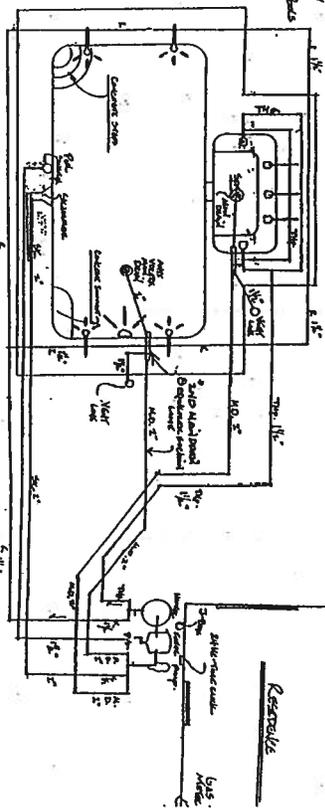


TYPICAL REB. DETAILS

All good Plans to comply  
 to AIAA/MSJ-5-1945  
 Fac. & 1945, 2.0.1  
 Rebar



PLAN  
 Typical



Rebar Layout  
 2" MAX. SPAC. BETWEEN REB. BARS  
 REB. BARS PLACED ON LAMINATED LATH.  
 AS PER F.B.C. 1945, 2.0.1.6.4  
 4 BARS TO MEET AIAA/MSJ-5-1945, 7.2.2.1

REBAR SPECIFICATIONS  
 ALL REBAR SHALL COMPLY  
 TO N.E.C. - F.B.C. 1945, 2.0.1.6

2001 F.B.C.

Handwritten notes and signatures, including 'CASH' and '8/1/01'.

Permit #

# Residential Swimming Pool, Spa and Hot Tub Safety Act

## Notice of Requirements

I (We) acknowledge that a new swimming pool, spa or hot tub will be constructed or installed at  
727 NW Des Moines Dr. Lake City, FL, and hereby affirm that one of the following  
(Please Print Street Address)  
methods will be used to meet the requirements of Chapter 515, Florida Statutes.  
(please initial the method(s) to be used for your pool)

- The pool will be isolated from access to the home by an enclosure that meets the pool barrier requirements of Florida Statute 515.29; **CHILD SAFETY FENCE**
- The pool will be equipped with an approved safety pool cover that complies with ASTM F1346-91 (Standard Performance Specifications for Safety Covers for Swimming Pools, Spas and Hot Tubs);
- All doors and windows providing direct access from the home to the pool will be equipped with an exit alarm that has a minimum sound pressure rating of 85 decibels at 10 feet;
- All doors providing direct access from the home to the pool will be equipped with self-closing, self-latching devices with release mechanisms placed no lower than 54" above the floor or deck;

I understand that not having one of the above installed at the time of final inspection, or when the pool is completed for contract purposes, will constitute a violation of Chapter 515, F.S. and will be considered as committing a misdemeanor of the second degree, punishable by fines up to \$500 and/or up to 60 days in jail as established in Chapter 775, F.S.

[Signature]  
CONTRACTOR'S SIGNATURE & DATE

FLORIDA STATE POOLS  
CONTRACTOR'S NAME (PLEASE PRINT)

[Signature] 9/27/06  
OWNER'S SIGNATURE & DATE

Catherine Kryendall 9/27/06  
OWNER'S NAME (PLEASE PRINT)

# Quality Components And Precision Manufacturing.

## We use only the highest quality fence mesh.

At Protect-A-Child, we offer only one type of mesh in our fences. Used exclusively in Protect-A-Child Pool Fences for over 18 years, field use as well as testing according to ASTM standards has proven our "Textilene®" UV resistant mesh to be stronger, more abrasion resistant, lighter in weight, and because of its exclusive open weave, more transparent than others. It does not rot, tear, stretch, run, or fade. This mesh alone has stood the test of time, children, and weather from the blazing deserts of Arizona to the unforgiving winters of Minnesota.

## We ensure that our mesh is securely attached to our posts.

Our fences are assembled with a maximum spacing of just four inches between screws for a solid attachment of mesh to post. We use only rounded head stainless steel screws and identical post drilling patterns for a smooth, safe, finish and uniform quality appearance. This ensures the utmost in child safety.

## Strong, corrosion free polyvinyl sleeves.

Another Protect-A-Child innovation, our polyvinyl sleeve walls are twice the thickness of others and will not wear out even after hundreds of removals and insertions. These sleeves allow our fence to meet the national electrical code for bonding safety.

# Your Child's Safety Is Too Important To Wait.

## Decide Now To Protect Them.

Your pool and patio should be a place of enjoyment and relaxation, not a cause of worry and concern. For over 18 years Protect-A-Child Pool Fencing has been making it possible for families to experience that enjoyment.

It only takes a simple distraction for a heartbreaking tragedy to occur. That's why it's important that you act now and call Protect-A-Child for a free estimate. Your child is worth it. Your peace of mind is worth it. Call today.

AFFORDABLE PROTECT-A-CHILD  
POOL FENCE  
OCALA (352) 624-3565  
GAINESVILLE (352) 331-1094

**PROTECT-A-CHILD®**  
**POOL FENCE SYSTEMS**

*The Baby Safe® Pool Fence*

954-979-1089 • 800-992-2206 • Fax: 954-979-5240  
www.protectachild.com • Email: help@protectachild.com

Protect A Child Pool Fencing is not a substitute for adequate adult supervision. Children should always be carefully monitored when near pools or other potential drowning hazards.

# Columbia County Property Appraiser

DB Last Updated: 10/4/2006

## 2006 Proposed Values

Parcel: 26-3S-16-02305-105 HX

- 

### Owner & Property Info

Search Result: 1 of 1

<b>Owner's Name</b>	KUYKENDALL JOHN G &		
<b>Site Address</b>	OLD MILL		
<b>Mailing Address</b>	CATHERINE MCLAIN KUYKENDALL 727 NW OLD MILL DR LAKE CITY, FL 32055		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Neighborhood</b>	26316.04	<b>Tax District</b>	2
<b>UD Codes</b>	MKTA06	<b>Market Area</b>	06
<b>Total Land Area</b>	10.110 ACRES		
<b>Description</b>	COMM INTERS OF E LINE OF SEC & N R/W CSX RR, RUN W'LY 544.98 FT, S 105.47 FT, W 1086.18 FT FOR POB, CONT W 731.93 FT, NE ALONG ARC OF CURVE 249.93 FT, N 354.70 FT, NE ALONG CURVE 191.88 FT, SE 300 FT, CONT SE ALONG CURVE 235.40 FT, SE 150 FT, SE ALONG CURVE 85.81 FT, SW 729.40 FT TO POB. (AKA LOT 5 MAX RAVNDAL S/D UNREC) ORB 797-1321, WD 1022-1317.		

### GIS Aerial



### Property & Assessment Values

<b>Mkt Land Value</b>	cnt: (1)	\$116,265.00
<b>Ag Land Value</b>	cnt: (0)	\$0.00
<b>Building Value</b>	cnt: (1)	\$199,247.00
<b>XFOB Value</b>	cnt: (4)	\$6,646.00
<b>Total Appraised Value</b>		\$322,158.00

<b>Just Value</b>	\$322,158.00
<b>Class Value</b>	\$0.00
<b>Assessed Value</b>	\$271,236.00
<b>Exempt Value</b>	(code: HX) \$25,000.00
<b>Total Taxable Value</b>	\$246,236.00

### Sales History

Sale Date	Book/Page	Inst. Type	Sale VImp	Sale Qual	Sale RCode	Sale Price
7/29/2004	1022/1317	WD	I	Q		\$305,000.00
10/11/1994	797/1321	WD	V	Q		\$36,000.00

### Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	1996	Common BRK (19)	2732	5084	\$199,247.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

### Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	1996	\$1,856.00	928.000	0 x 0 x 0	(.00)
0180	FPLC 1STRY	1996	\$2,150.00	1.000	0 x 0 x 0	(.00)
0296	SHED METAL	1996	\$400.00	80.000	8 x 10 x 0	(.00)
0166	CONC,PAVMT	1996	\$2,240.00	1120.000	0 x 0 x 0	(.00)



**NOTICE OF COMMENCEMENT**

25247

PERMIT NUMBER: \_\_\_\_\_

STATE OF: FLORIDA COUNTY OF: COLUMBIA CITY OF: LAKE CITY

THE UNDERSIGNED HEREBY gives notice that improvement(s) will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

**DESCRIPTION OF PROPERTY**

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SECTION: \_\_\_\_\_ TOWNSHIP: \_\_\_\_\_ RANGE: \_\_\_\_\_

TAX PARCEL NUMBER: 26-35-16-02305-105-HX

SUBDIVISION: \_\_\_\_\_ PLATBOOK: \_\_\_\_\_ MAP PAGE: \_\_\_\_\_

STREET ADDRESS: 727 NW OLD MILL DR. LAKE CITY 32025

**GENERAL DESCRIPTION OF IMPROVEMENTS**

TO CONSTRUCT: INGROUND CONCRETE SWIMMING POOL & SPA

**OWNER INFORMATION**

OWNER NAME: JOHN KUYKENDALL  
ADDRESS: 727 NW OLD MILL DR. PHONE: \_\_\_\_\_  
CITY: LAKE CITY FL. 32625 STATE: FL. ZIP CODE: 32625

INTEREST IN PROPERTY: OWNER  
FEE SIMPLE TITLEHOLDER NAME: \_\_\_\_\_  
FEE SIMPLE TITLEHOLDER ADDRESS: \_\_\_\_\_  
(If other than owner)

MAIL TO

CONTRACTOR NAME: FUN STATE POOLS, INC.  
ADDRESS: 3601 NW 97 BLVD. GAINESVILLE, FL 32606 PHONE: 352-332-7665

BONDING COMPANY: N/A  
ADDRESS: \_\_\_\_\_  
CITY: \_\_\_\_\_

Inst: 2006027652 Date: 11/21/2006 Time: 15:37

LENDER NAME: N/A S.F. DC, P. DeWitt Cason, Columbia County B: 1102 P: 1919  
ADDRESS: \_\_\_\_\_  
CITY: \_\_\_\_\_

Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)71, Florida Statutes:

NAME: N/A ADDRESS \_\_\_\_\_

In addition to himself, Owner designates \_\_\_\_\_ of \_\_\_\_\_ to receive a copy of Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes.

Expiration date is one (1) year from date of recording unless a different date is specified.

SIGNATURE OF OWNER: [Signature]

SWORN to and subscribed before me this 21 day of November, A.D. 2006

Notary Public [Signature]

My Commission Expires:



Regina C Gonzales  
My Commission DD184289  
Expires February 17, 2007