

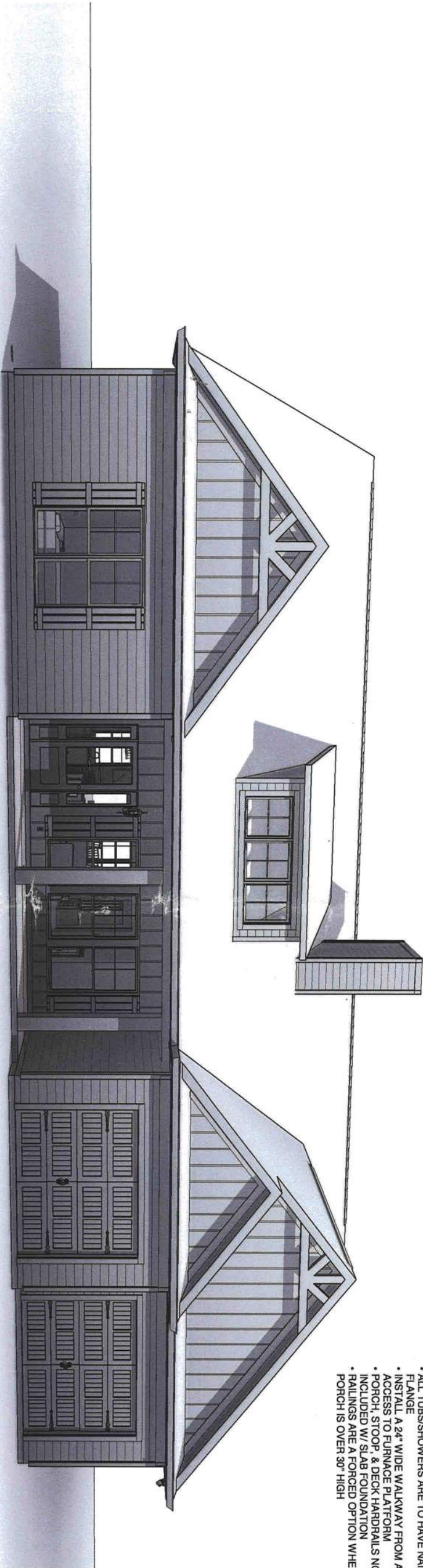
SHEET LIST - CONSTRUCTION

Sheet Number	Sheet Name
C-0	COVER SHEET
E-1	FRONT & REAR ELEVATIONS
E-2	LEFT & RIGHT ELEVATION
E-3	ROOF OVERVIEW
F-1	FOUNDATION
F-1.1	FOUNDATION DETAILS
F-2	FIRST FLOOR PLAN
H-1	FIRST FLOOR ELEC & HVAC
S-1	DETAILS & SECTIONS
S-2	WINDOW DETAIL
S-3	DETAILS & SECTIONS
S-4	MONOSLAB GARAGE DOOR FRAMING

Florida Building Code 2017 6th Edition

GENERAL NOTES

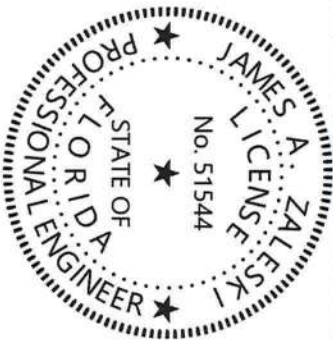
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
- ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
- STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
- 7/16" O.S.B. AND HOUSEWRAP REQUIRED. DIMENSIONS ARE TO SHEATHING EXTERIOR; SUBTRACT 1/2" FROM DIMENSIONS FOR EXTERIOR WINDOW AND DOOR FRAMING LOCATION IF OPENINGS ARE FRAMED BEFORE SHEATHING INSTALLATION
- ALL INTERIOR DOORS ARE EITHER CENTERED ON WALLS OR R.O. STARTED MIN OF 4" FROM ADJOINING WALL UNLESS OTHERWISE DIMENSIONED
- NUMBER OF STAIR TREADS & RISERS MAY VARY AS A RESULT OF LOCAL BUILDING CODES, STANDARDS AND FINAL GRADE
- CLOSET SHELF HEIGHT OFF FLOOR: SINGLE-68"
- DOUBLE 42" & 84"
- ALL PLUMBING FIXTURES SHOWN ARE A REPRESENTATION OF SIZE AN LOCATION ONLY. ACTUAL STYLE AND BRAND OF FIXTURES MAY VARY PER OFFICE LOCATION
- ALL TUBS/SHOWERS ARE TO HAVE NAILERS AT FLANGE
- INSTALL A 24" WIDE WALKWAY FROM ATTIC ACCESS TO FURNACE PLATFORM
- PORCH, STOOP, & DECK HARDRAILS NOT INCLUDED W/ SLAB FOUNDATION
- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH



1 FRONT PERSPECTIVE - CONSTRUCTION

Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

Digitally signed
by JAMES
ZALESKI
Date: 2020.09.23
14:31:28 -04'00'



FINAL CONSTRUCTION PLANS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

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Revision Schedule		
Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR	2,400 SF
HEATED	2,400 SF
GARAGE	710 SF
FRONT PORCH	140 SF
REAR PORCH	232 SF
UNDER ROOF	1,082 SF
TOTAL UNDER ROOF	3,482 SF

THE: VICTORIA MODERN FARMHOUSE	
FOR: RONALD AND KAREN KRAMER	
TBD COLONEY DRIVE	
LAKE CITY, FL 32024	
OFFICE: GAINESVILLE, FL	SOLD BY: ALEX LOCAV

DRAWN BY: R. CLIFFORD	JOB# 59-20-023
CHECKED BY: B. TOOMBS	2x4 EXTERIOR WALLS
PRINT DATE: 9/23/2020 12:19:26 PM	FOUNDATION TYPE: MONOSLAB

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SHEET NUMBER:
C-0
COVER SHEET

PAPER SIZE: 11" x 17"

SCALE: 1/8" = 1'-0"

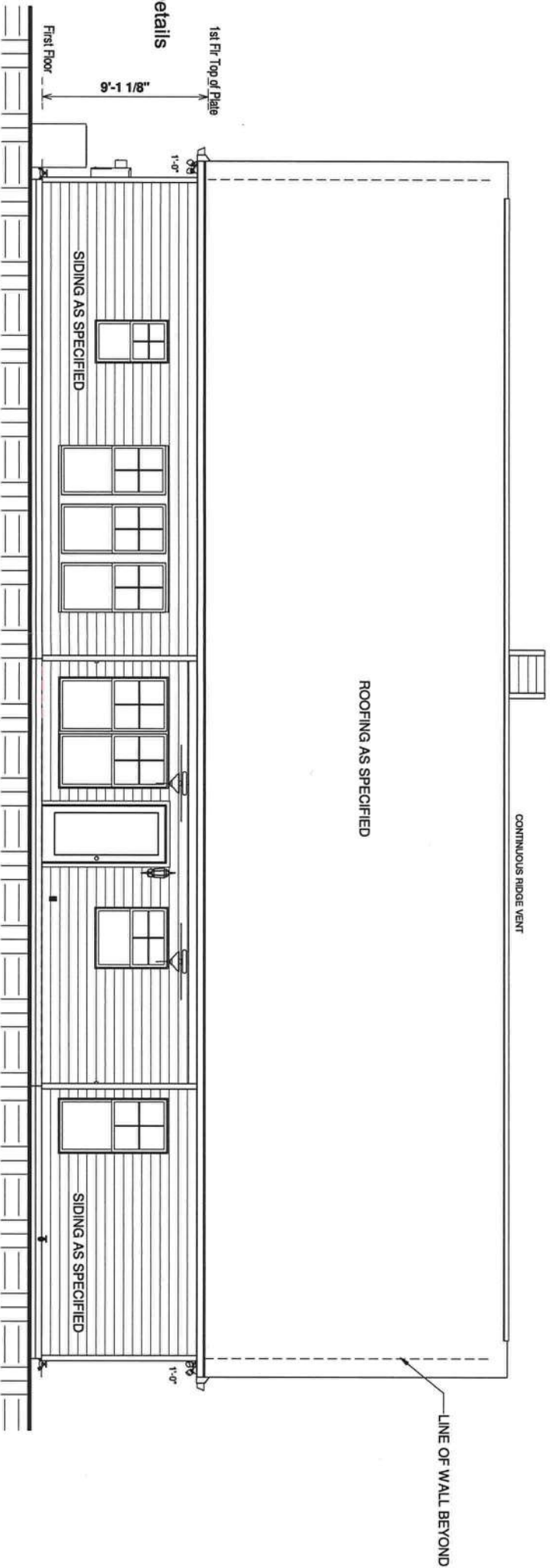
- MIN 9'-0" CEILING HEIGHT ON FIRST FLOOR
- 7/16" O.S.B HOUSEWRAP REQUIRED
- ROOF OVERHANGS, AS NEEDED, ARE FROM WALL SHEATHING TO RAFTER WALLS
- FINAL GRADE TO BE DETERMINED ON SITE
- FOUNDATION DRAWN AS REPRESENTATION ONLY
- PORCH, STOOP & DECK HANDRAILS NOT INCLUDED WITH SLAB FOUNDATION and RAILING IS A FORCED OPTION WHEN THE PORCH IS OVER 30" HIGH

A circular professional engineer seal for the State of Florida. The outer ring contains the text "JAMES A. ZALESKI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the text "STATE OF FLORIDA" on the left and "No. 51544" on the right, also separated by two stars. The seal is surrounded by a dashed circular border.



Digitally signed by JAMES ZALESKI

Date: 2020.09.23 14:30:50 -04'00'



2 REAR ELEVATION
1/8" = 1'-0"

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Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

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OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

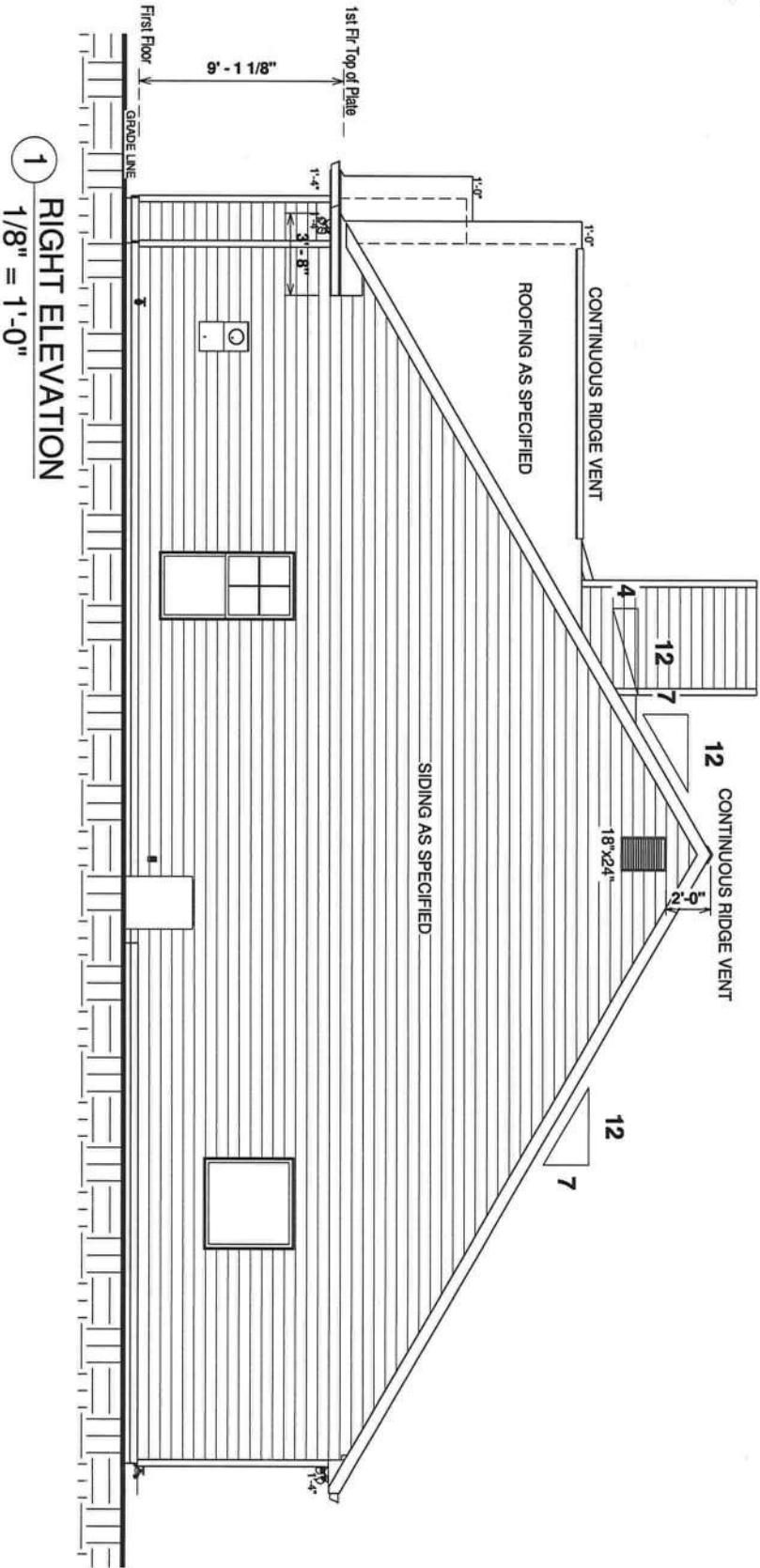
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<u>AREAS:</u>	
FIRST FLOOR	2,400 SF
HEATED	2,400 SF
GARAGE	710 SF
FRONT PORCH	140 SF
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UNDER ROOF	1,082 SF
TOTAL UNDER ROOF	3,482 SF

THE:	
VICTORIA MODERN FARMHOUSE	
FOR:	
RONALD AND KAREN KRAMER	
TBD COLONEY DRIVE LAKE CITY, FL 32024	
OFFICE:	SOLD BY:
GAINESVILLE, FL	ALEX LOCAY

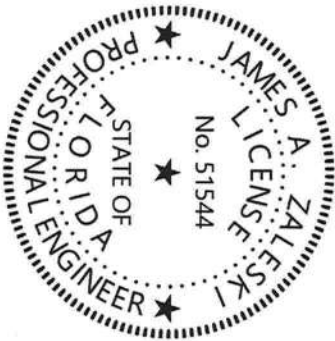
DRAWN BY: R. CLIFFORD	JOB# 59-20-023
CHECKED BY: B. TOOMBS	2x4 EXTERIOR WALLS
PRINT DATE: 9/23/2020 12:19:27 PM	<u>FOUNDATION TYPE:</u> MONOSLAB

SCALE: 1/8" = 1'-0"	SHEET NUMBER: <div style="font-size: 48px; text-align: center; margin-top: 20px;">E-1</div>	PROPERTY OF: <div style="text-align: center;">  </div>
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FRONT & REAR ELEVATIONS		

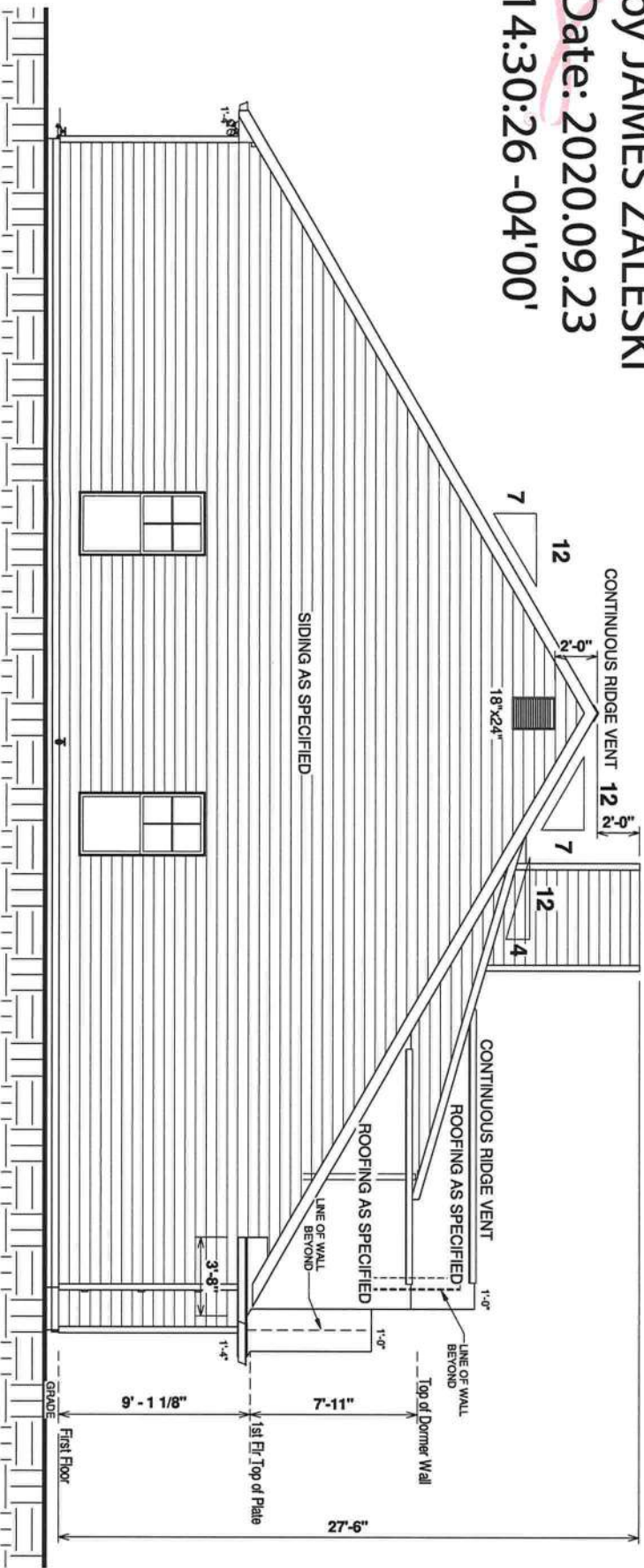


1 RIGHT ELEVATION
1/8" = 1'-0"

- GENERAL NOTES**
- MIN 9'-1 1/8" CEILING HEIGHT ON FIRST FLOOR
 - ALL LOAD BEARING WALLS & EXT. OPENINGS TO HAVE (2) 2X10 HEADERS UNLESS OTHERWISE NOTED
 - STANDARD FIRST FLOOR WINDOW HEADERS TO BE FRAMED DOWN 2'-2" FROM T.O.P. EXCEPT AS NOTED
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 - PORCH, STOOP, & DECK HARDWARES NOT INCLUDED W/ SLAB FOUNDATION
 - RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH
- 7:12 O.W.H. = 6 5/8"
9:12 O.W.H. = 9 1/8"



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14:30:26 -04'00'



2 LEFT ELEVATION
1/8" = 1'-0"

FINAL CONSTRUCTION PLANS

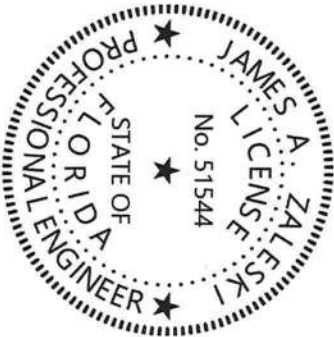
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Revision Schedule		
Revision Number	Revision Description	Revision Date

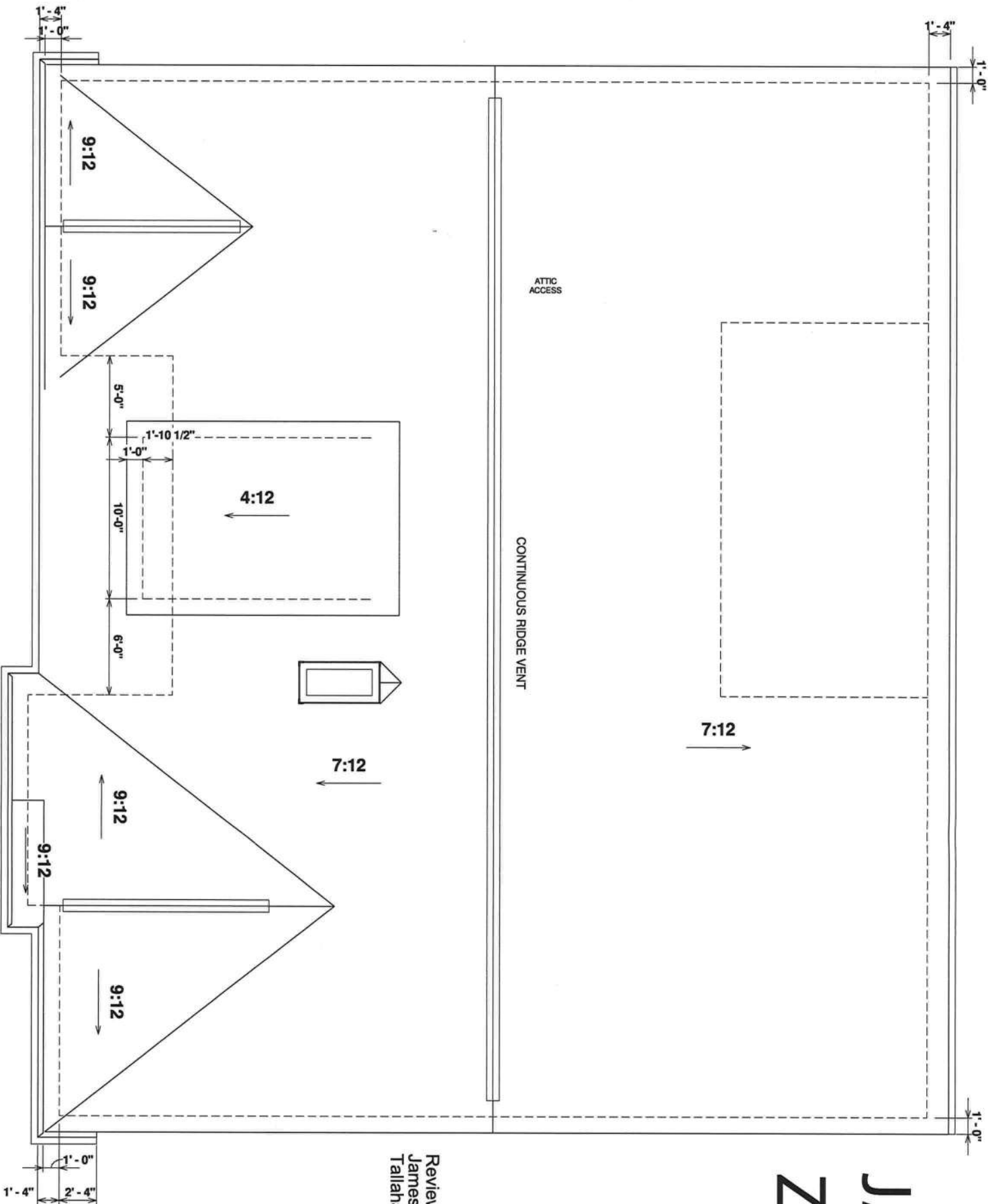
SHEET NUMBER:	PROPERTY OF:	DRAWN BY:	JOB#	THE:	AREAS:	
E-2	AMERICA'S HOME PLACE	R. CLIFFORD	59-20-023	VICTORIA MODERN FARMHOUSE	FIRST FLOOR	2,400 SF
				FOR: RONALD AND KAREN KRAMER	HEATED	2,400 SF
				TBD COLONEY DRIVE	GARAGE	710 SF
				LAKE CITY, FL 32024	FRONT PORCH	140 SF
				OFFICE: GAINESVILLE, FL	REAR PORCH	232 SF
				SOLD BY: ALEX LOCAY	UNDER ROOF	1,082 SF
					TOTAL UNDER ROOF	3,482 SF

LEFT & RIGHT ELEVATION	PRINT DATE:	FOUNDATION TYPE:
	9/23/2020 12:19:28 PM	MONOSLAB

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ZALESKI
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2020.09.23
14:30:05 -04'00'



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James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details



1 Roof Overview
1/8" = 1'-0"

7:12 O.W.H. = 6 5/8"
9:12 O.W.H. = 9 1/8"

FINAL CONSTRUCTION PLANS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
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THE: VICTORIA MODERN FARMHOUSE	OFFICE: GAINESVILLE, FL
FOR: RONALD AND KAREN KRAMER	SOLD BY: ALEX LOCAY
TBD COLONEY DRIVE LAKE CITY, FL 32024	

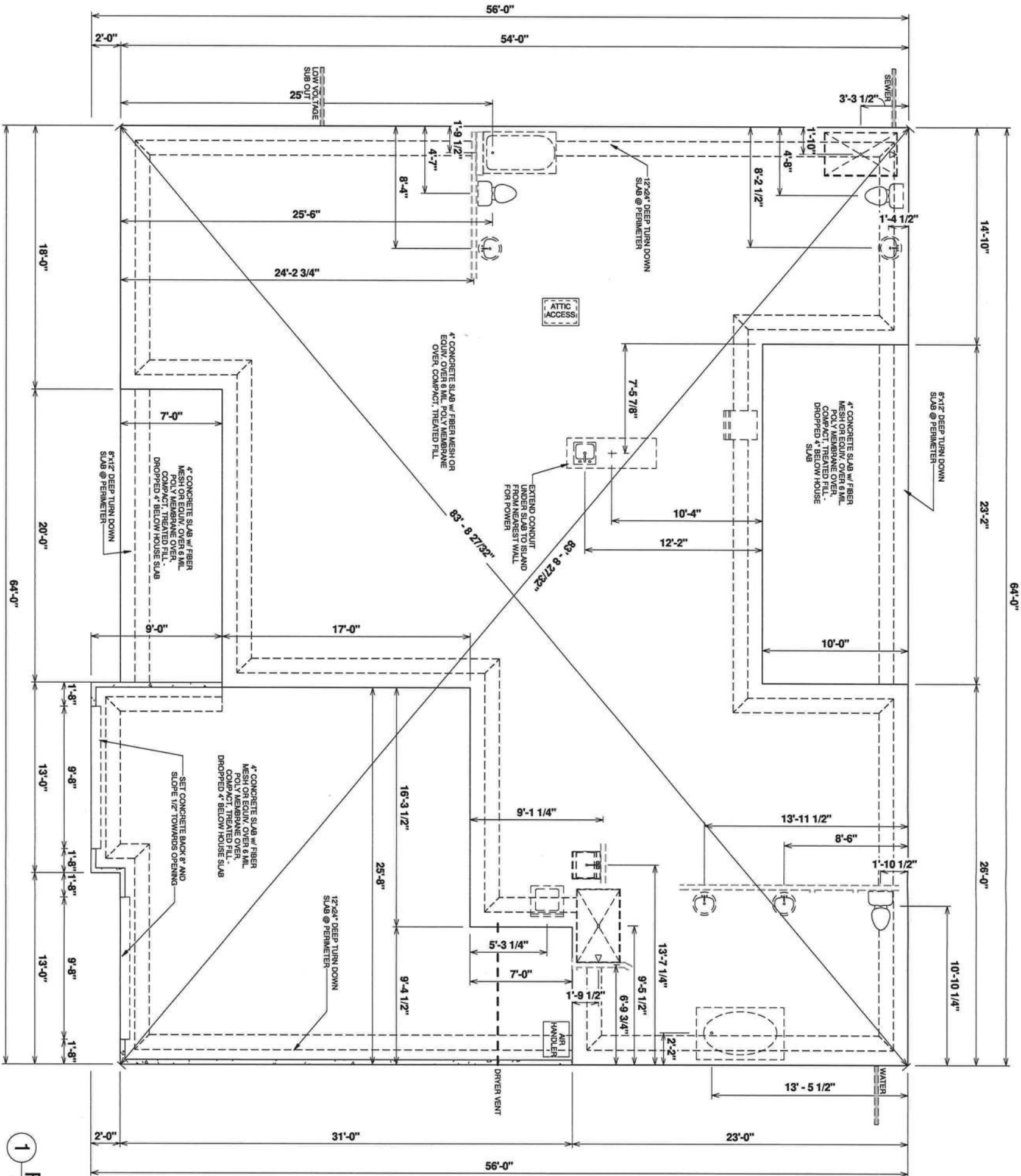
JOB# 59-20-023	FOUNDATION TYPE: MONOSLAB
2x4 EXTERIOR WALLS	

DRAWN BY: R. CLIFFORD	PRINT DATE: 9/23/2020 12:19:28 PM
CHECKED BY: B. TOOMBS	

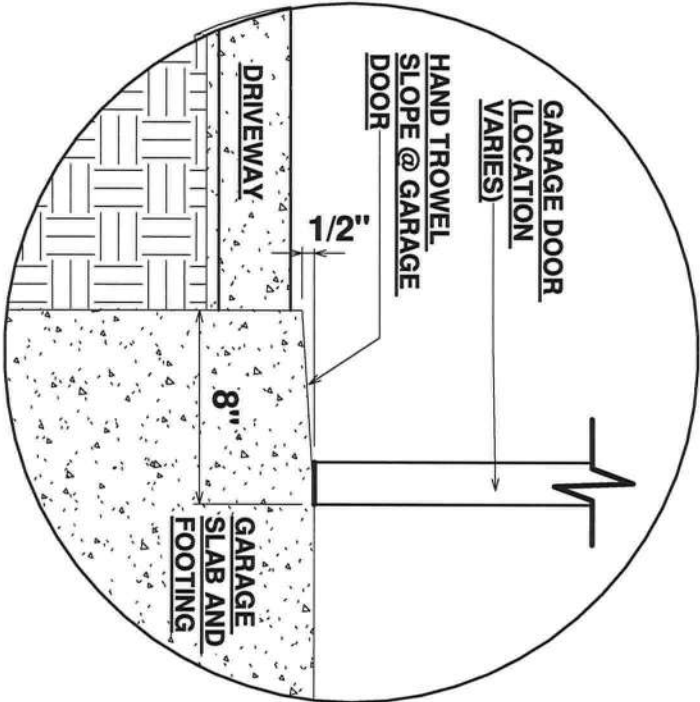
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SHEET NUMBER: E-3	ROOF OVERVIEW
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FOUNDATION FOR SUITABLE SOILS - IF BUILDER FINDS ADVERSE SOILS NOTIFY ENGINEER



2 SLOPE @ GARAGE DOOR
1 1/2" = 1'-0"

8" POURED CONC. WALL - 9'-0" HIGH

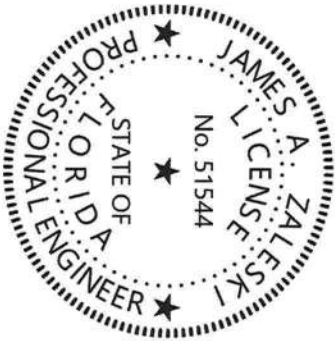
JAMES

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JAMES ZALESKI

ZALESKI

Date: 2020.09.23
14:29:44 -04'00'

Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details



1 FOUNDATION PLAN
1/8" = 1'-0"

FINAL CONSTRUCTION PLANS

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%.

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Revision Schedule		
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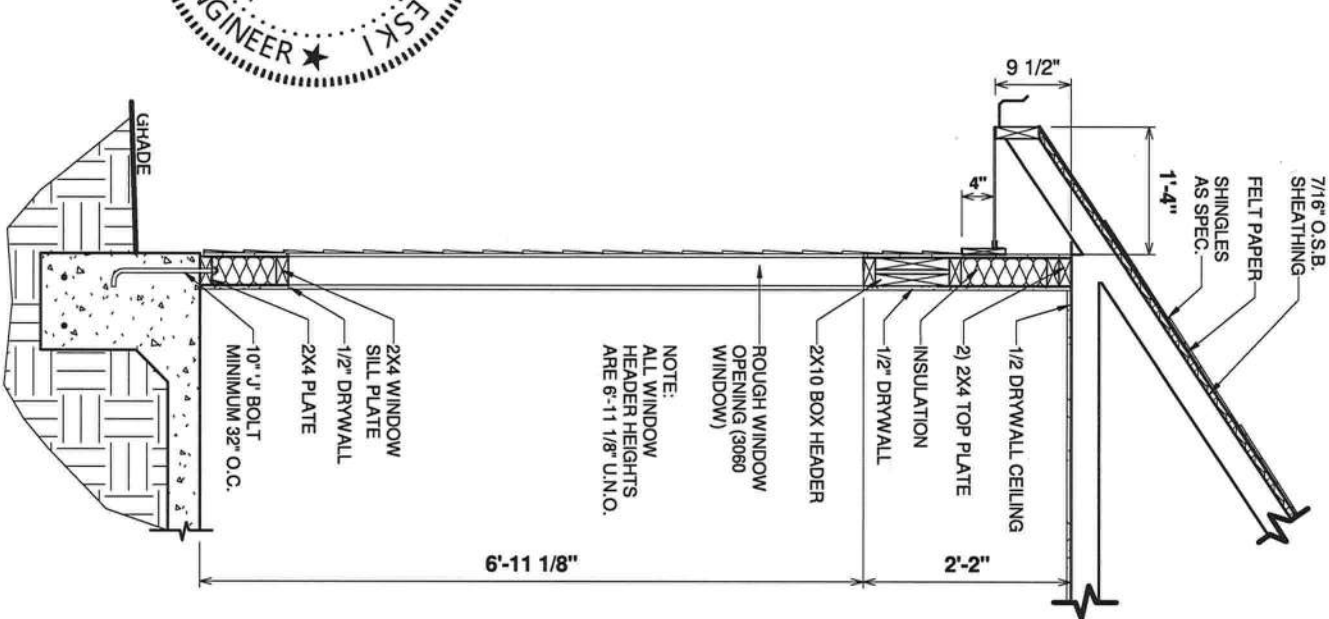
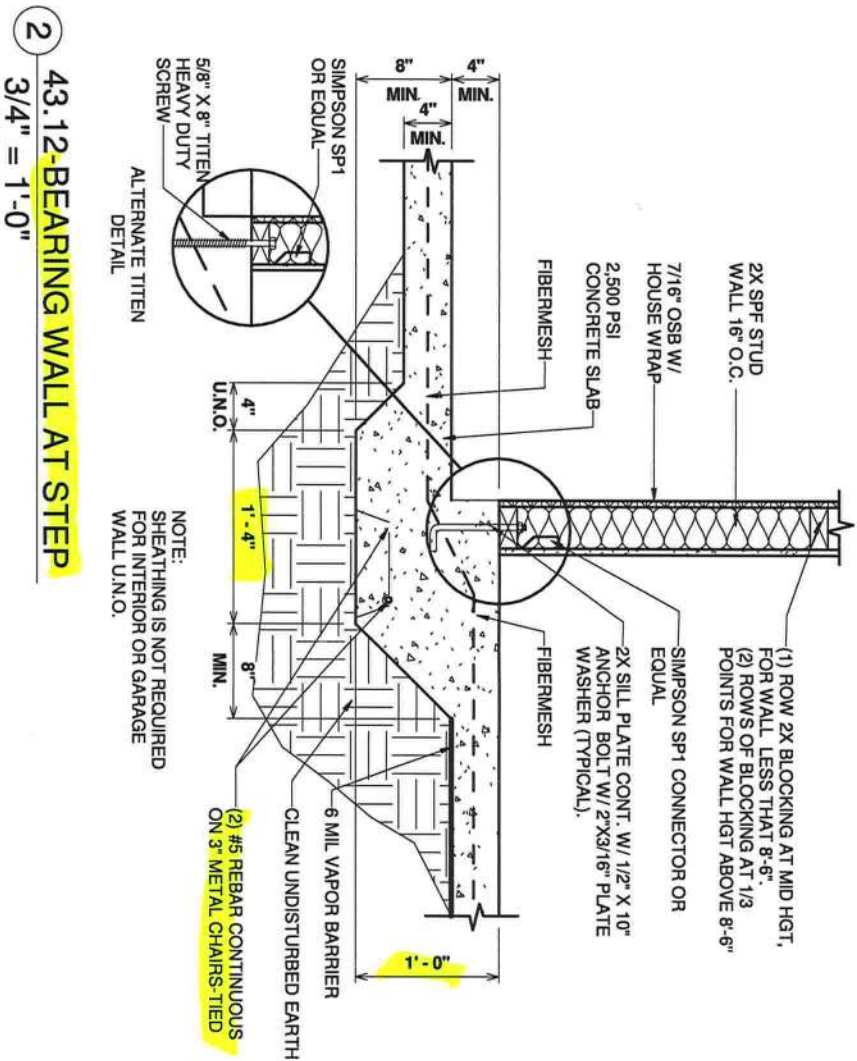
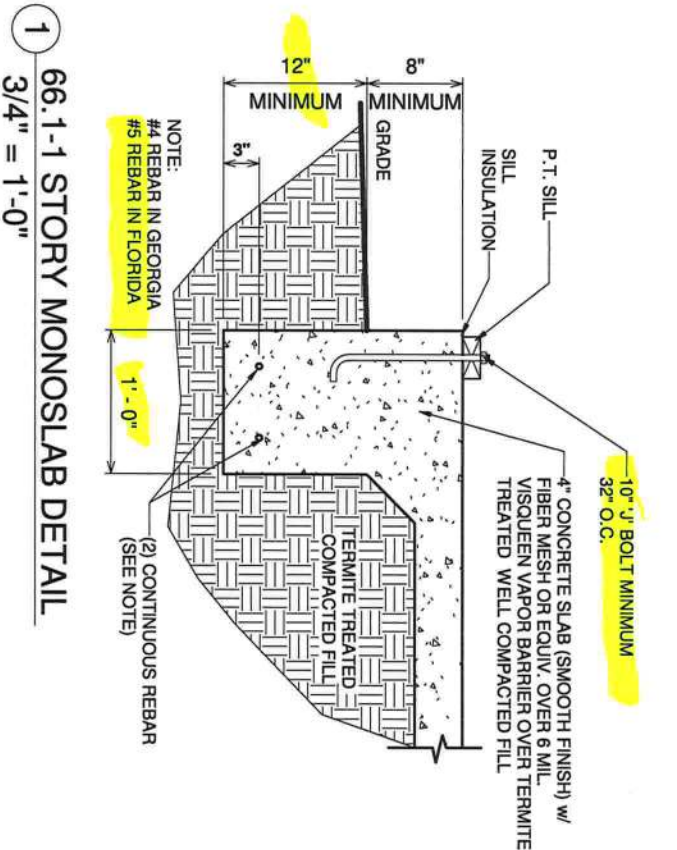
THE: VICTORIA MODERN FARMHOUSE	
FOR: RONALD AND KAREN KRAMER	
TBD COLONEY DRIVE LAKE CITY, FL 32024	
OFFICE: GAINESVILLE, FL	SOLD BY: ALEX LOCAY

JOB# 59-20-023	
CHECKED BY: B. TOOMBS	2x4 EXTERIOR WALLS
PRINT DATE: 9/23/2020 12:19:29 PM	FOUNDATION TYPE: MONOSLAB

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SHEET NUMBER: F-1	
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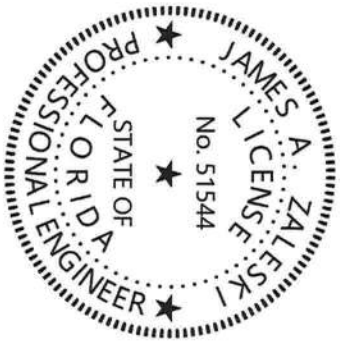
FOUNDATION



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James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

FOUNDATION FOR SUITABLE SOILS - IF BUILDER FINDS ADVERSE SOILS NOTIFY ENGINEER

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by JAMES
ZALESKI
Date: 2020.09.23
14:29:20 -04'00'



FINAL CONSTRUCTION PLANS

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SCALE: As indicated

SHEET NUMBER:

F-1.1

PROPERTY OF:



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DRAWN BY:

R. CLIFFORD

CHECKED BY:

B. TOOMBS

PRINT DATE:

9/23/2020 12:19:29 PM

JOB#

59-20-023

2x4 EXTERIOR WALLS

FOUNDATION TYPE:

MONOSLAB

THE:

VICTORIA MODERN FARMHOUSE

FOR:

RONALD AND KAREN KRAMER

TBD COLONEY DRIVE LAKE CITY, FL 32024

OFFICE:

GAINESVILLE, FL

SOLD BY:

ALEX LOCAY

AREAS:

FIRST FLOOR	2,400 SF
HEATED	2,400 SF
GARAGE	710 SF
FRONT PORCH	140 SF
REAR PORCH	232 SF
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TOTAL UNDER ROOF	3,482 SF

Revision Schedule

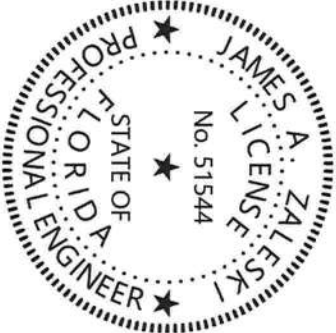
Revision Number	Revision Description	Revision Date

FOUNDATION DETAILS

GENERAL NOTES

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- RAILINGS ARE A FORCED OPTION WHEN PORCH IS OVER 30" HIGH

21,600 CUBIC FEET



Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

JAMES Digitally signed by
JAMES ZALESKI
ZALESKI Date: 2020.09.23 14:29:01 -04'00'

1 First Floor Plan - Construction
1/8" = 1'-0"

OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

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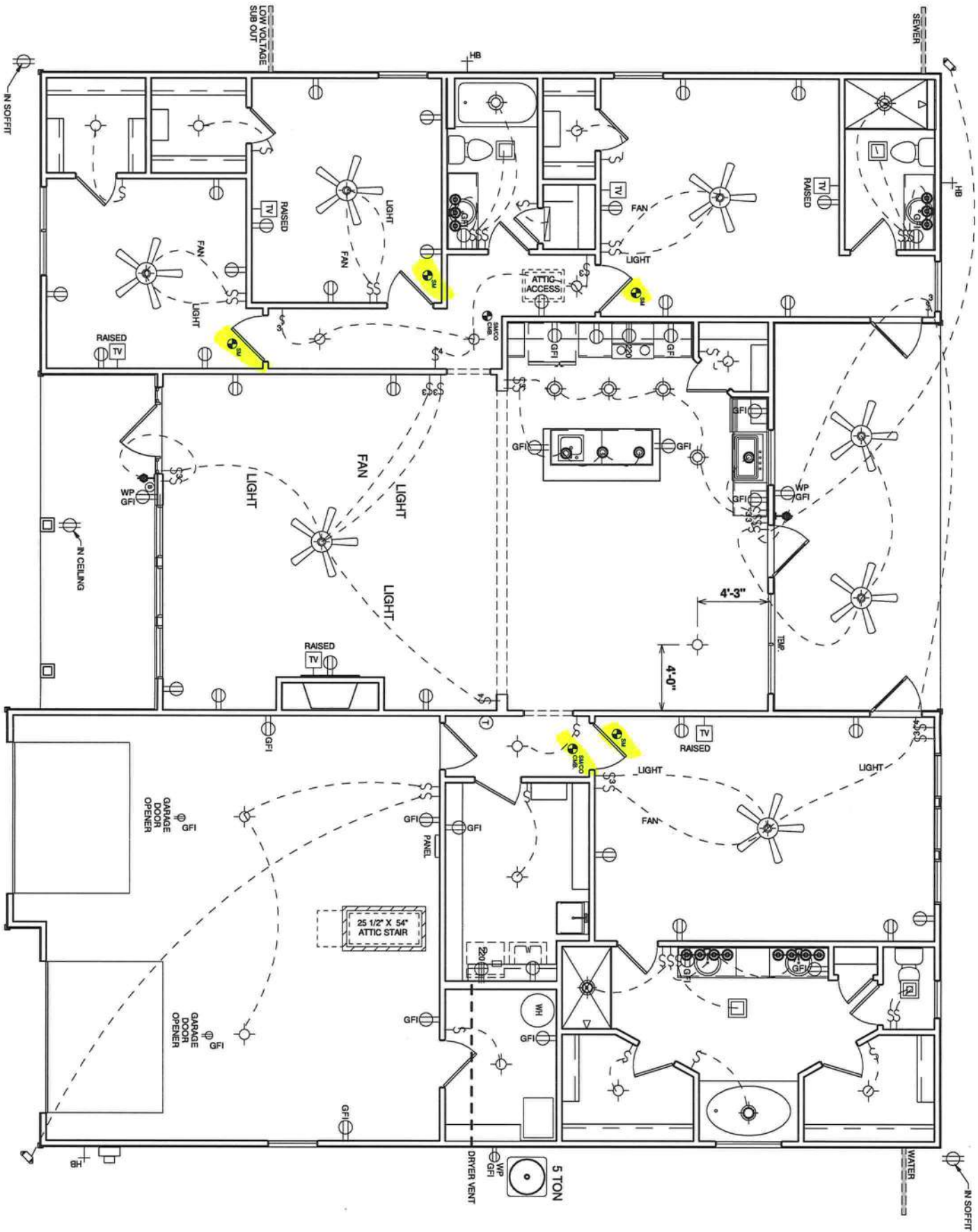
Revision Schedule		Revision		Revision	
Revision Number	Revision Description	Revision Number	Revision Description	Revision Number	Revision Description

AREAS:		TOTAL UNDER ROOF	
FIRST FLOOR	2,400 SF		
HEATED	2,400 SF		
GARAGE	710 SF		
FRONT PORCH	140 SF		
REAR PORCH	232 SF		
UNDER ROOF	1,082 SF		
TOTAL UNDER ROOF	3,482 SF		

SHEET NUMBER:	PROPERTY OF:	DRAWN BY:	JOB#	THE:	FOR:	OFFICE:	SOLD BY:
F-2		R. CLIFFORD	59-20-023	VICTORIA MODERN FARMHOUSE	RONALD AND KAREN KRAMER	GAINESVILLE, FL	ALEX LOCAY
		CHECKED BY:	2x4 EXTERIOR WALLS				
		B. TOOMBS					
		PRINT DATE:	FOUNDATION TYPE:				
		9/23/2020	MONOSLAB				
		12:19:29 PM					

FIRST FLOOR PLAN

ELECTRICAL LEGEND	
LIGHTING FIXTURES	
Ceiling Fan	
Ceiling Fan w/ Light	
Ceiling Mounted Light	
Recessed Ceiling Light	
Pendant Ceiling Light	
Fluorescent Ceiling Light	
Ceiling Exhaust Fan/Light Combo	
Ceiling Exhaust Fan/Light Combo	
Emergency Exit Light	
Junction Box for Future Fixture	
Fluorescent Wall Mounted Light	
Wall Mounted Vanity 3 Light	
Wall Mounted Vanity 4 Light	
Wall Mounted Interior Sconce Light	
Wall Mounted Front Exterior Light	
Wall Mounted Rear Exterior Light	
Wall Mounted Exterior Coach Light	
Exterior Flood Light	
ELECTRICAL FIXTURES	
Duplex Outlet	
Duplex Outlet - 220v	
Duplex Outlet - GFI	
Duplex Outlet - Water Proof GFI	
Duplex Outlet - 220V Water Proof GFI	
Duplex Outlet - Ceiling Mounted	
Duplex Outlet - Floor Mounted	
4-plex Outlet	
4-plex Outlet - Floor Mounted	
Outlet, Light and Switch (Attic/Crawl)	
2-Way Switch	
3-Way Switch	
4-Way Switch	
Dimmer Switch	
Rocker Switch	
Smoke Detector	
Smoke Detector/Carbon Monoxide	
Thermostat	
Door Bell	
Door Bell Chime	
Telephone Jack	
Television / Cable Jack	
Telephone / Data Jack	

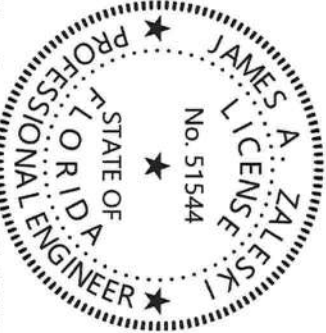


1 First Floor Plan-Electrical/HVAC Plan
1/8" = 1'-0"

Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

JAMES ZALESKI

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Date: 2020.09.23 14:28:41 -04'00'



OPT. PAPER SIZE: 10' 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

ELECTRICAL NOTES:

- BRANCH CIRCUITS THAT SUPPLY 125V, SINGLE PHASE, 15 & 20 AMP RECEPTACLE OUTLETS IN BEDROOMS SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER, ART. 210-12(b) 1999 NEC
- CONFORM ELECTRICAL WIRING & COMPONENTS TO CURRENT NEC PROVISIONS OF 1 & 2 FAMILY DWELLINGS AS REQUIRED BY CODE
- OUTLET LOCATIONS ARE REPRESENTATION ONLY
- ACTUAL OUTLET LOCATIONS MAY VARY PER LOCAL CODE

HVAC SYMBOLS (TYPICAL)

RA	RETURN AIR - CEILING
RA	RETURN AIR - WALL
SC	SUPPLY - CEILING
SF	SUPPLY - FLOOR
SW	SUPPLY - WALL

HVAC NOTES:

- FURNACE NOT LOCATED ON HEATED AREA TO BE AS CENTRALLY LOCATED AS POSSIBLE. IN ACCORDANCE WITH ALL APPLICABLE CODES
- BUILDER & HVAC CONTRACTOR RESERVE THE RIGHT TO LOCATE SUPPLY VENTS OR LINES
- RETURN AIR REGISTERS TO BE AS CLOSE TO FURNACE UNIT & CENTRALLY LOCATED AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED AS CLOSE TO INTERIOR AIR HANDLER AS POSSIBLE
- OUTSIDE COMPRESSOR UNIT TO BE LOCATED 10' AWAY MIN. FROM DRYER VENT

Revision Schedule		
Revision Number	Revision Description	Revision Date

AREAS:	
FIRST FLOOR	2,400 SF
HEATED	2,400 SF
GARAGE	710 SF
FRONT PORCH	140 SF
REAR PORCH	232 SF
UNDER ROOF	1,082 SF
TOTAL UNDER ROOF	3,482 SF

THE: VICTORIA MODERN FARMHOUSE	FOR: RONALD AND KAREN KRAMER
TBD COLONEY DRIVE LAKE CITY, FL 32024	
OFFICE: GAINESVILLE, FL	SOLD BY: ALEX LOCAY

JOB# 59-20-023	FOUNDATION TYPE: MONOSLAB
2x4 EXTERIOR WALLS	

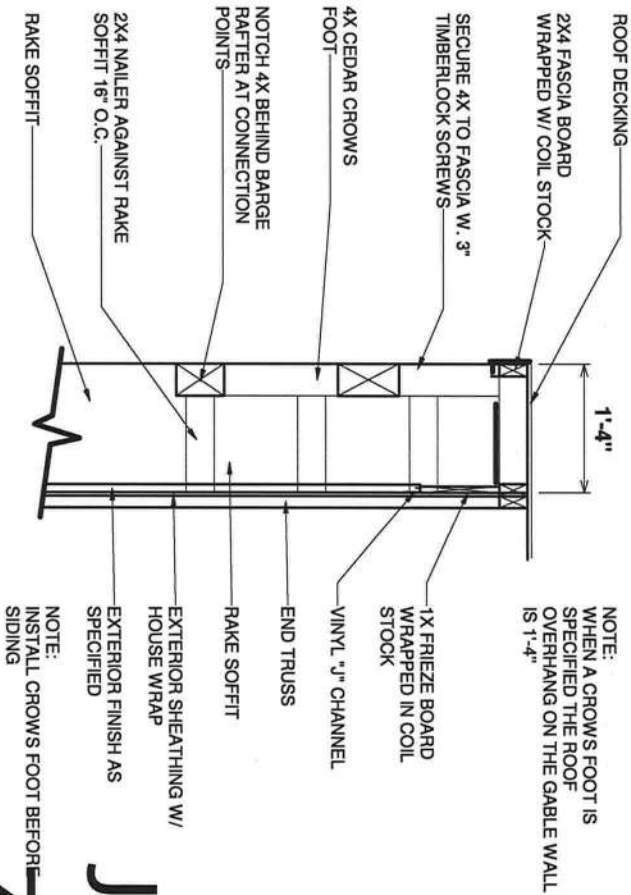
DRAWN BY: R. CLIFFORD	CHECKED BY: B. TOOMBS
PRINT DATE: 9/23/2020 12:19:30 PM	

PROPERTY OF:	© COPYRIGHT - 2020
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SHEET NUMBER: H-1	SCALE: 1/8" = 1'-0"
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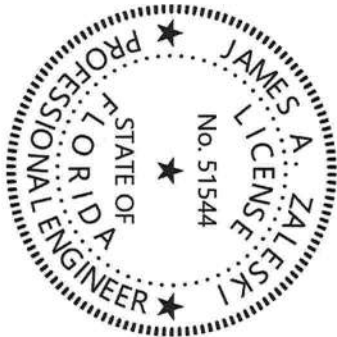
FIRST FLOOR ELEC & HVAC

NOTE:
NOTCH 4X CEDAR CROWS FOOT
BEHIND BARGE RAFTER

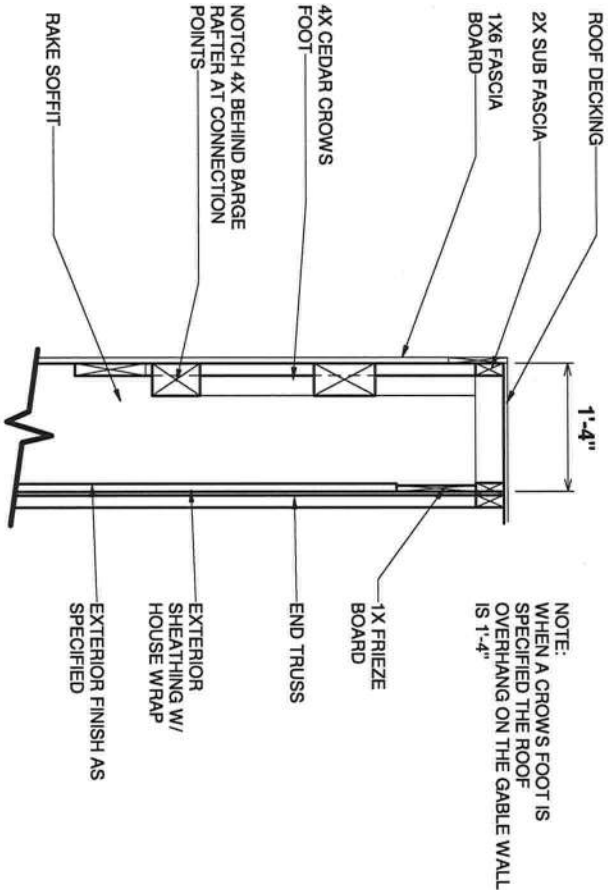


NOTE:
WHEN A CROWS FOOT IS
SPECIFIED THE ROOF
OVERHANG ON THE GABLE WALL
IS 1'-4"

SECTION A-A

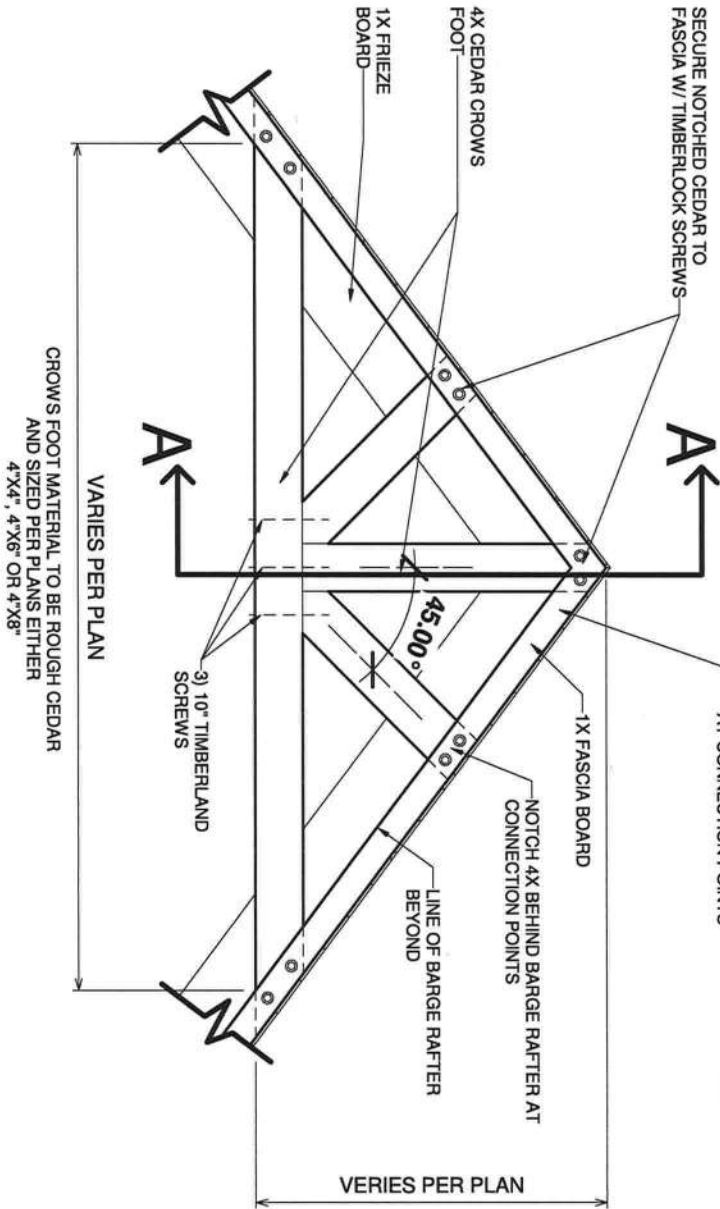


JAMES A. ZALESKI
Digitally signed
by JAMES A. ZALESKI
Date: 2020.09.23 14:28:17 -04'00'



NOTE:
WHEN A CROWS FOOT IS
SPECIFIED THE ROOF
OVERHANG ON THE GABLE WALL
IS 1'-4"

SECTION B-B



CROWS FOOT MATERIAL TO BE ROUGH CEDAR
AND SIZED PER PLANS EITHER
4\"/>

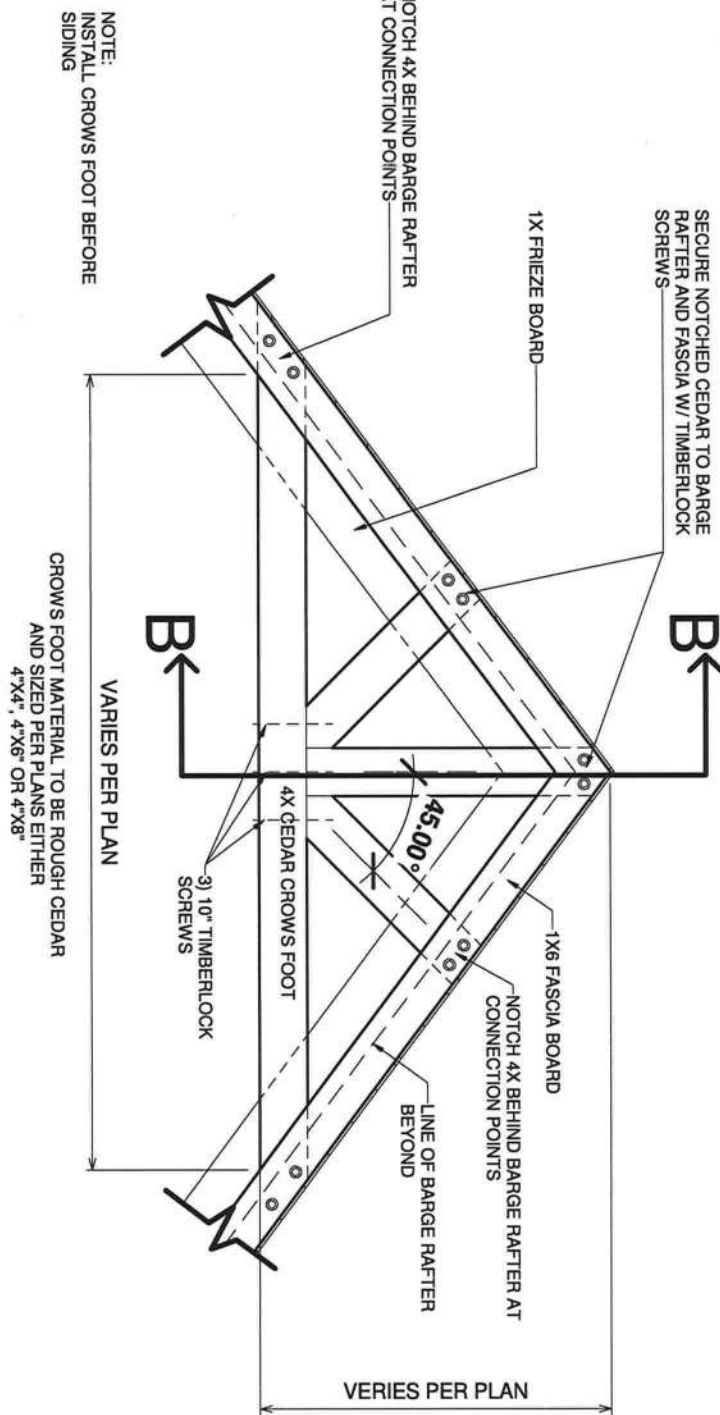
2 485.1 CROWS FOOT DETAIL at VINYL SIDING

1/2" = 1'-0"

Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

3 485.2 CROWS FOOT DETAIL at FIBER CEMENT SIDING

1/2" = 1'-0"



CROWS FOOT MATERIAL TO BE ROUGH CEDAR
AND SIZED PER PLANS EITHER
4\"/>

FINAL CONSTRUCTION PLANS

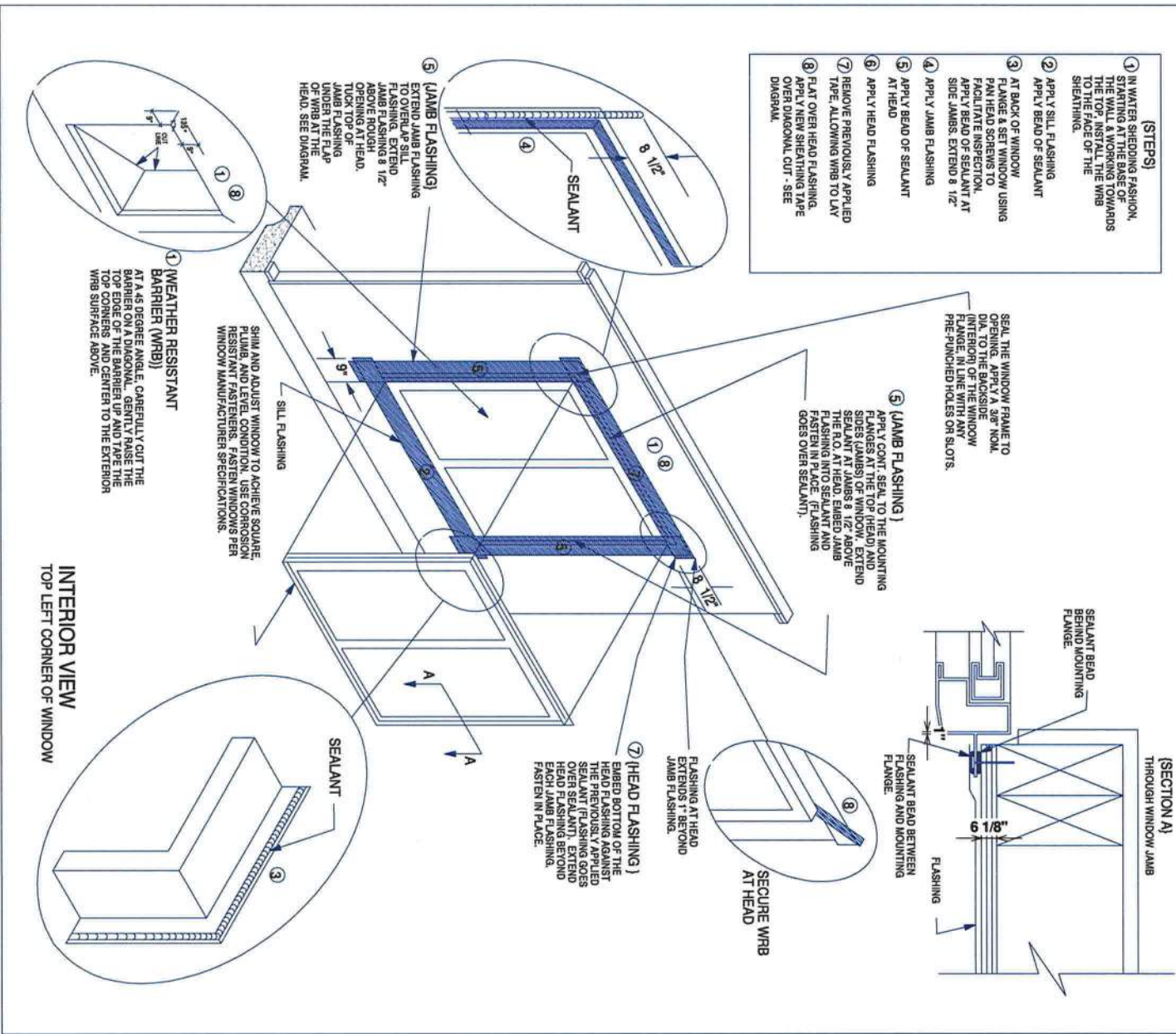
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%

Revision Schedule		Revision Number	Revision Description	Revision Date

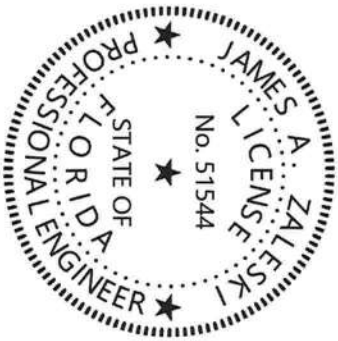
SHEET NUMBER:	PROPERTY OF:	DRAWN BY:	JOB#	THE:	AREAS:
S-1	AMERICA'S HOME PLACE	R. CLIFFORD	59-20-023	VICTORIA MODERN FARMHOUSE	FIRST FLOOR 2,400 SF
		CHECKED BY:	2x4 EXTERIOR WALLS	FOR: RONALD AND KAREN KRAMER	HEATED 2,400 SF
		PRINT DATE:	FOUNDATION TYPE:	TBD COLONEY DRIVE	GARAGE 710 SF
		9/23/2020	MONOSLAB	LAKE CITY, FL 32024	FRONT PORCH 140 SF
		12:19:30 PM			REAR PORCH 232 SF
					UNDER ROOF 1,082 SF
					TOTAL UNDER ROOF 3,482 SF
				OFFICE: GAINESVILLE, FL	SOLD BY: ALEX LOCAY

DETAILS & SECTIONS

WINDOW INSTALLATION (METHOD A-1)
WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION.
FLASHING APPLIED OVER THE FACE OF THE MOUNTING FLANGE.




James A. Zaleski
by JAMES
ZALESKI
Digitally signed
Date: 2020.09.23
14:27:55 -04'00'

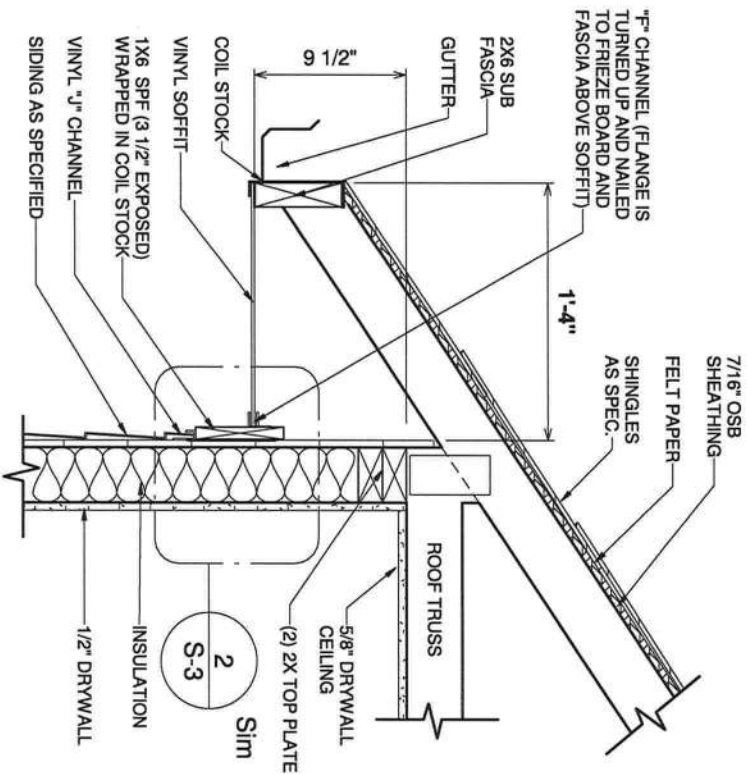


Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

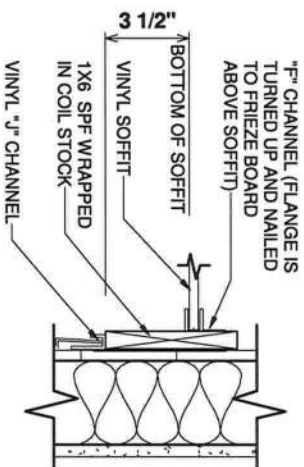
OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

Revision Schedule		
Revision Number	Revision Description	Revision Date

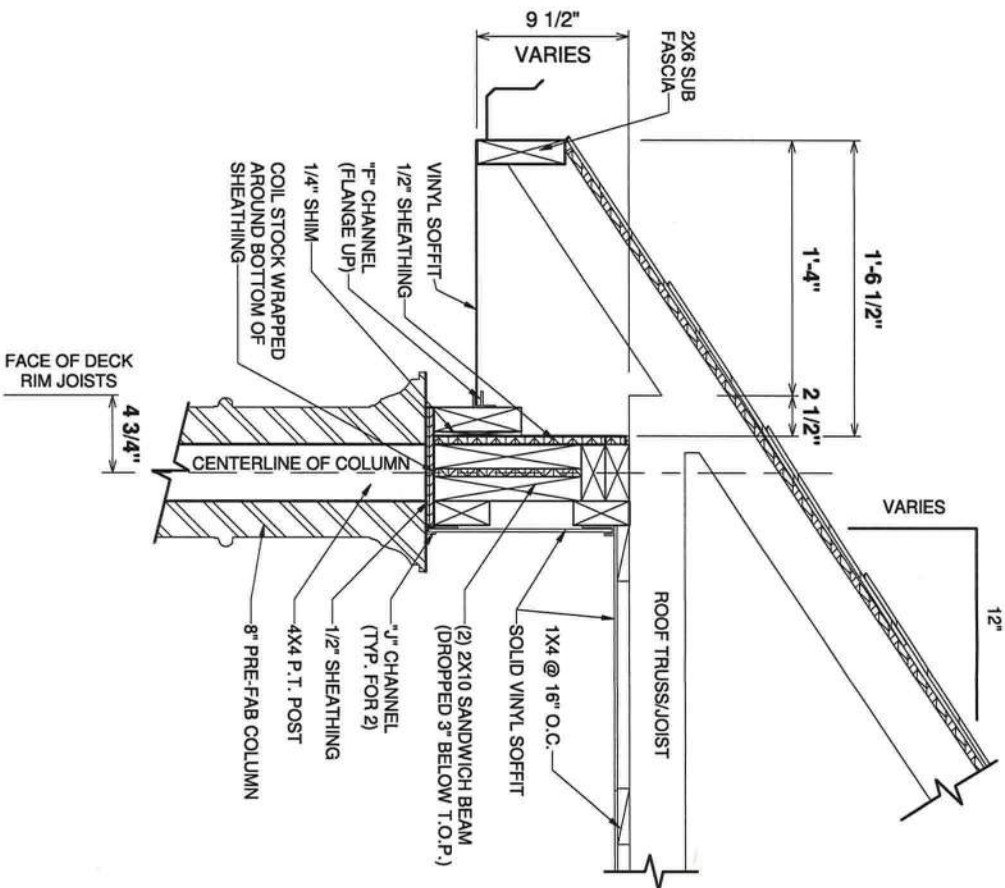
SHEET NUMBER:	PROPERTY OF:	DRAWN BY:	JOB#	THE:	AREAS:
S-2		R. CLIFFORD	59-20-023	VICTORIA MODERN FARMHOUSE	FIRST FLOOR 2,400 SF
		CHECKED BY:	2x4 EXTERIOR WALLS	FOR: RONALD AND KAREN KRAMER	HEATED 2,400 SF
		PRINT DATE:	FOUNDATION TYPE:	TBD COLONEY DRIVE LAKE CITY, FL 32024	GARAGE 710 SF
		9/23/2020 12:19:31 PM	MONOSLAB	OFFICE: GAINESVILLE, FL	FRONT PORCH 140 SF
				SOLD BY: ALEX LOCAY	REAR PORCH 232 SF
WINDOW DETAIL					UNDER ROOF 1,082 SF
					TOTAL UNDER ROOF 3,482 SF



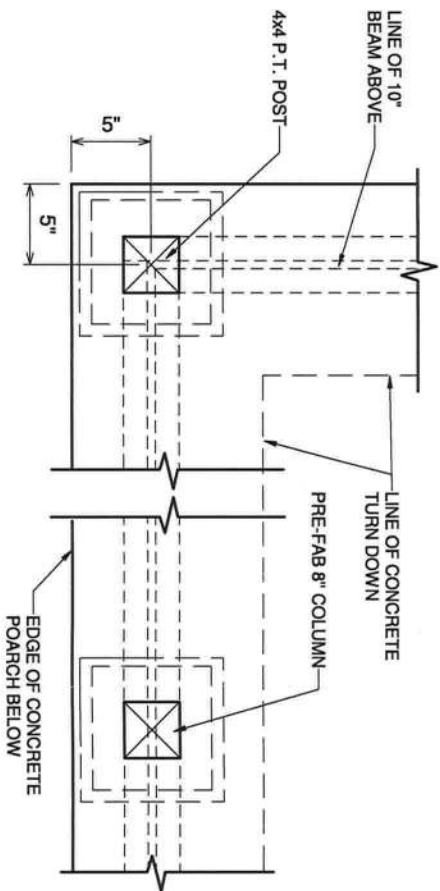
1 400.1 RAFTER TAIL AT SIDING WALL - TYPICAL
1" = 1'-0"



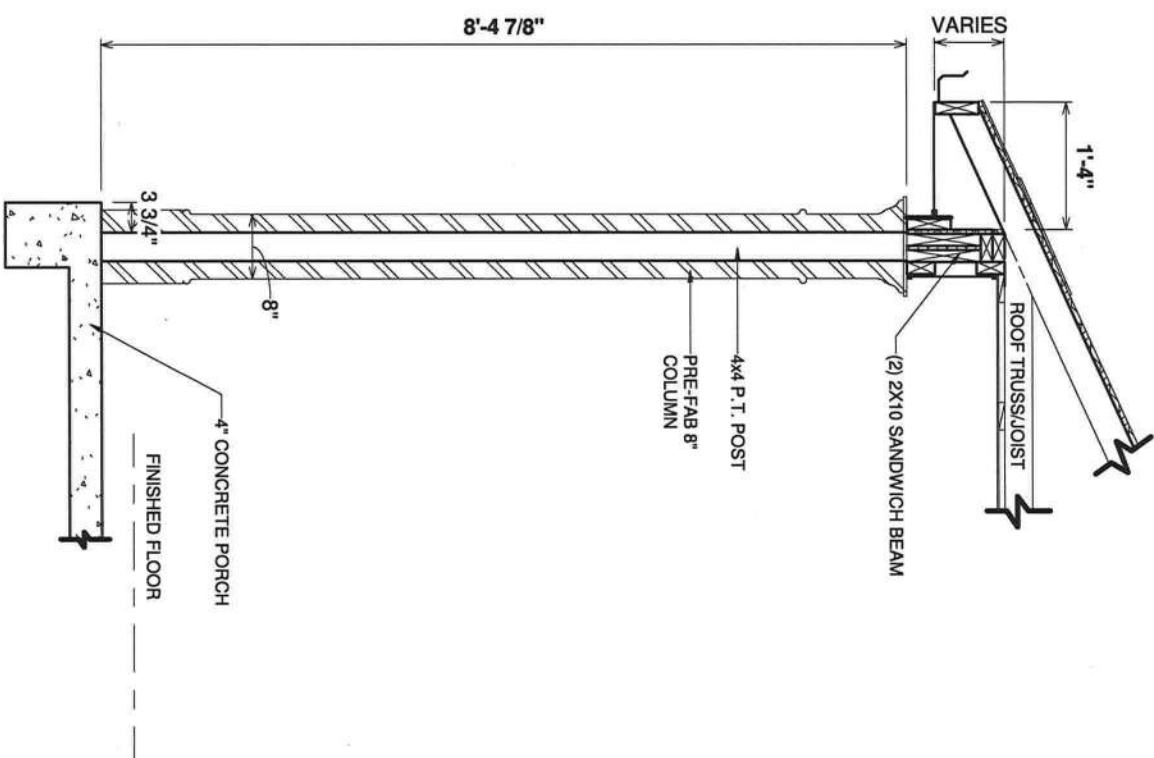
2 400.2 FRIEZE DETAIL AT SIDING
1 1/2" = 1'-0"



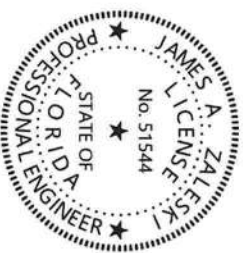
3 810.2 8" COLUMN PORCH BEAM EYE SOFFIT DETAIL
1" = 1'-0"



4 820.2 PORCH 8" COLUMN FRAMING ON SLAB
1" = 1'-0"



5 820.1 8" PORCH COLUMN - On Concrete
1/2" = 1'-0"



JAMES ZALESKI

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Date: 2020.09.23 14:27:27 -04'00'

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Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details


OPT. PAPER SIZE: for 1/4" = 1'-0" on 24"x36" PAPER SIZE ENLARGE PRINTS TO 200%
FINAL CONSTRUCTION PLANS

SCALE: As indicated

SHEET NUMBER:

S-3

PROPERTY OF:



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R. CLIFFORD

CHECKED BY:

B. TOOMBS

PRINT DATE:

9/23/2020
12:19:31 PM

JOB#

59-20-023

2x4 EXTERIOR WALLS

FOUNDATION TYPE:

MONOSLAB

THE:

VICTORIA MODERN FARMHOUSE

FOR:

RONALD AND KAREN KRAMER

TBD COLONEY DRIVE
LAKE CITY, FL 32024

OFFICE:

GAINESVILLE, FL

SOLD BY:

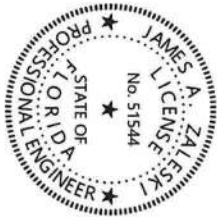
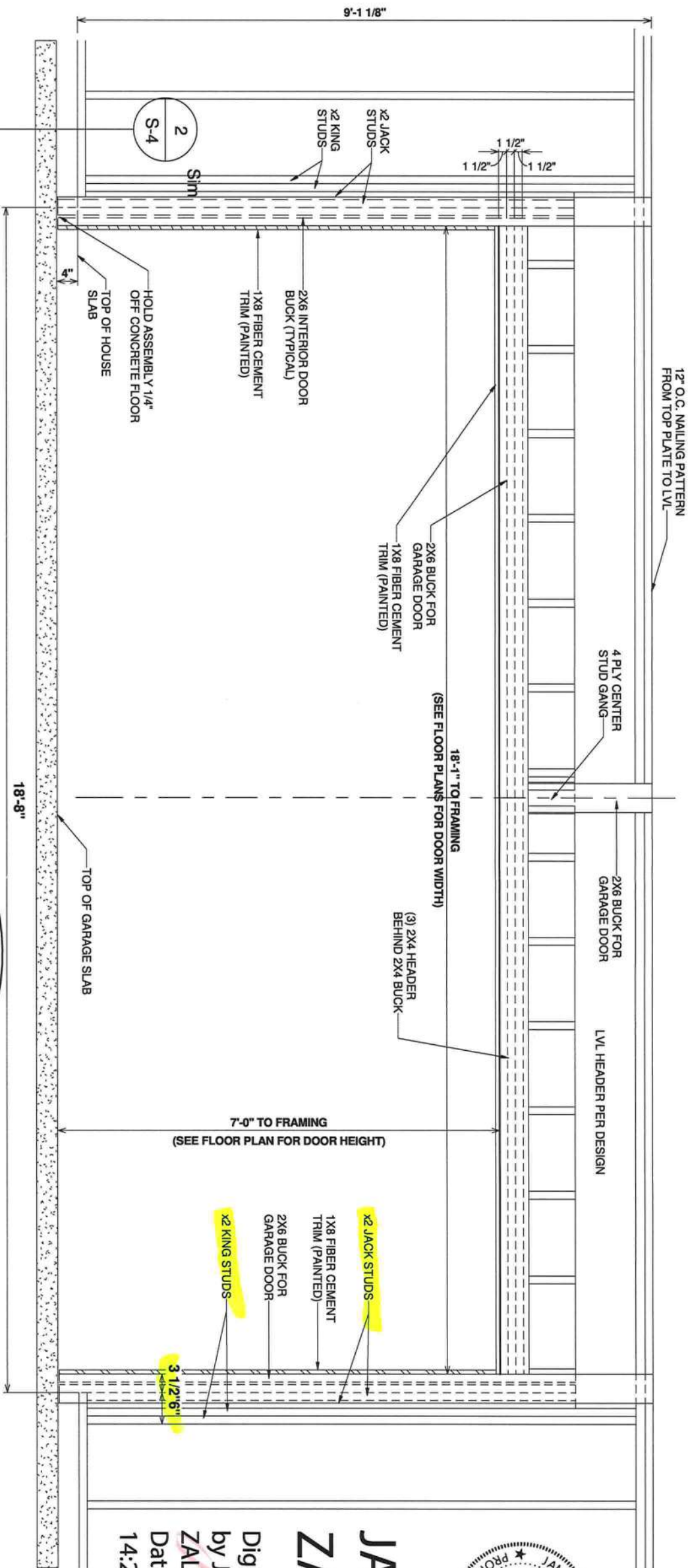
ALEX LOCAY

AREAS:

FIRST FLOOR	2,400 SF
HEATED	2,400 SF
GARAGE	710 SF
FRONT PORCH	140 SF
REAR PORCH	232 SF
UNDER ROOF	1,082 SF
TOTAL UNDER ROOF	3,482 SF

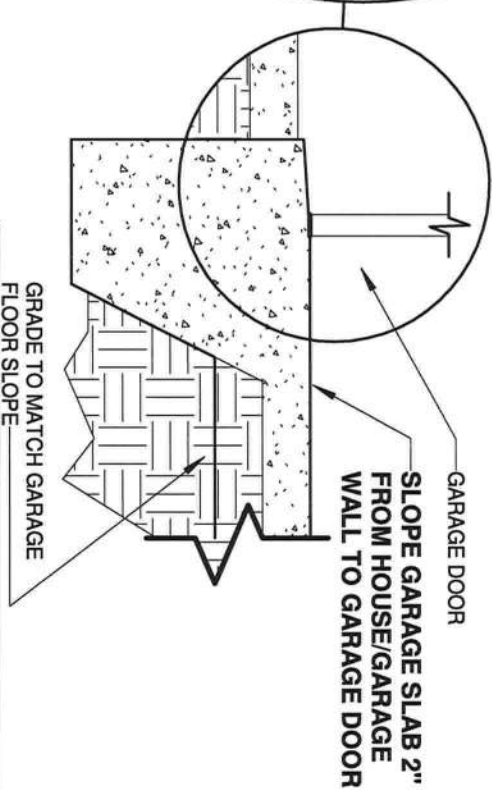
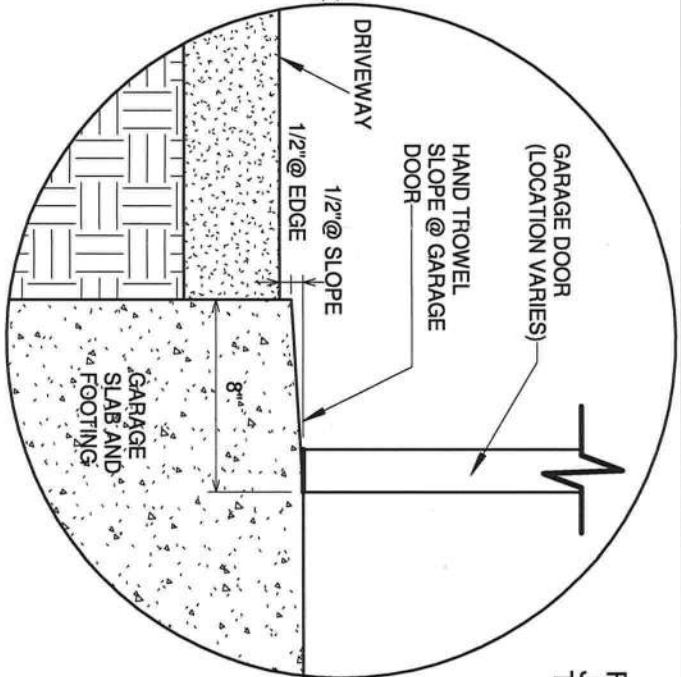
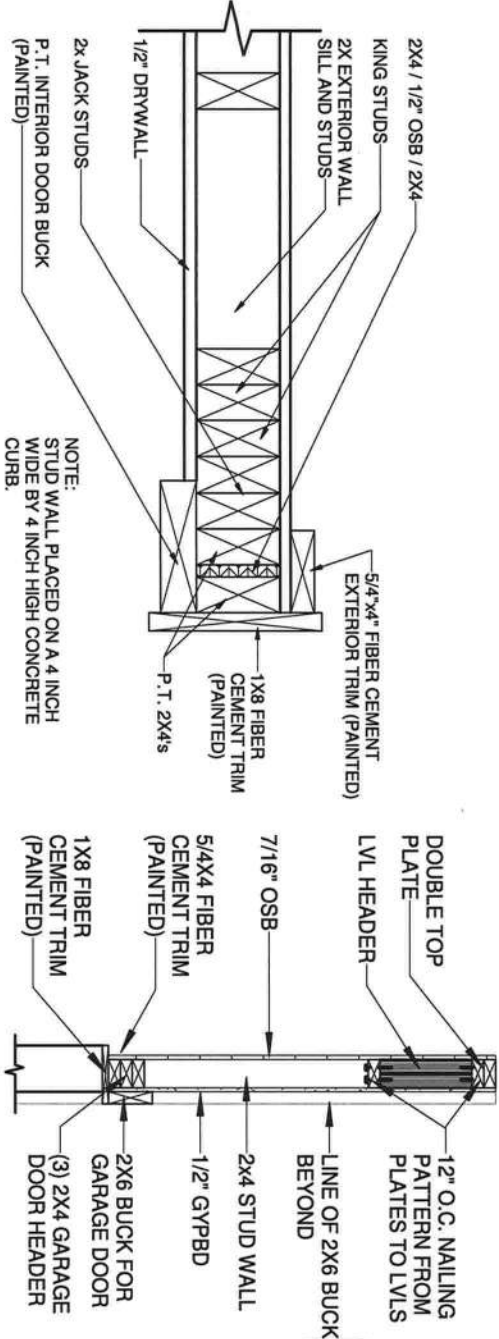
Revision Schedule

Revision Number	Revision Description	Revision Date



JAMES ZALESKI
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by JAMES ZALESKI
Date: 2020.09.23 14:26:44 -04'00'

1 275.1 GARAGE DOOR FRAMING DETAIL - SLAB FLOOR
1/2" = 1'-0"



2 GARAGE DOOR FRAMING AT CONCRETE FLOOR
1 1/2" = 1'-0"

3 GARAGE DOOR WALL SECTION AT HEADER
1/2" = 1'-0"

4 SLOPE AT GARAGE DOOR DETAIL
3/4" = 1'-0"

Reviewed for Compliance
James Zaleski PE 51544 2305 Haverhill Rd
Tallahassee, FL 32312 PH 850-766-7778 See Wind Load Details

FINAL CONSTRUCTION PLANS

MONOSLAB GARAGE FRAMING
FOR AREAS 43, 53, 59, 66, & 73

Revision Schedule			AREAS:		THE:	
Revision Number	Revision Description	Revision Date			FOR:	
			FIRST FLOOR	2,400 SF	VICTORIA MODERN FARMHOUSE	
			HEATED	2,400 SF	RONALD AND KAREN KRAMER	
			GARAGE	710 SF	TBD COLONEY DRIVE	
			FRONT PORCH	140 SF	LAKE CITY, FL 32024	
			REAR PORCH	232 SF	OFFICE:	GAINESVILLE, FL
			UNDER ROOF	1,082 SF	SOLD BY:	ALEX LOCAY
			TOTAL UNDER ROOF	3,482 SF		

SHEET NUMBER:	PROPERTY OF:	DRAWN BY:	JOB#
S-4	AMERICA'S HOME PLACE	R. CLIFFORD	59-20-023
		CHECKED BY:	2x4 EXTERIOR WALLS
		PRINT DATE:	FOUNDATION TYPE:
		9/23/2020	MONOSLAB
		12:19:32 PM	

MONOSLAB GARAGE DOOR FRAMING
