

DATE 11/22/2010

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction**PERMIT**
000029020

APPLICANT MICHAEL MALONE PHONE 386.292.3352
ADDRESS 6460 SW 19TH STREET POMPANO BEACH FL 33068
OWNER MICHAEL J. MALONE PHONE 954.970.4385
ADDRESS 236 SW HONEYBEE CRT FT. WHITE FL 32038
CONTRACTOR JESSIE L. CHESTER KNOWLES PHONE 386.755.6441
LOCATION OF PROPERTY C-131-S TO SASSAFRAS STREET, TR TO HONEYBEE CT, TR TO END ON R.
TYPE DEVELOPMENT M/H/UTILITY ESTIMATED COST OF CONSTRUCTION 0.00
HEATED FLOOR AREA TOTAL AREA HEIGHT STORIES
FOUNDATION WALLS ROOF PITCH FLOOR
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 07-6S-17-09621-209 SUBDIVISION TUSTENUGGEE OAKS UNREC
LOT 9 BLOCK PHASE UNIT TOTAL ACRES 10.02

000001862 IH1025283
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
WAIVER 10-0477 BLK JL N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: 1 FOOT ABOVE ROAD...Check # or Cash 3381**FOR BUILDING & ZONING DEPARTMENT ONLY**

(footer/Slab)

Temporary Power Foundation Monolithic
 date/app. by date/app. by date/app. by
Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
Framing Insulation
 date/app. by date/app. by
Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
Heat & Air Duct Peri. beam (Lintel) Pool
 date/app. by date/app. by date/app. by
Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 0.00 CERTIFICATION FEE \$ 0.00 SURCHARGE FEE \$ 0.00
MISC. FEES \$ 250.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 70.62 WASTE FEE \$ 184.25
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ **TOTAL FEE** 579.87
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

PERMIT APPLICATION / MANUFACTURED HOME INSTALLATION APPLICATION

For Office Use Only

(Revised 1-10-08)

Zoning Official RLK 16.11.10

Building Official HD 11-15-10

AP# 1011-14

Date Received 11/9

By JW

Permit # 29020 1862

Flood Zone X

Development Permit N/A

Zoning A-3

Land Use Plan Map Category A-3

Comments _____

FEMA Map# N/A

Elevation N/A

Finished Floor 1st floor

River N/A

In Floodway N/A

☒ Site Plan with Setbacks Shown ☒ EH # 10-0477 ☒ EH Release ☒ Well letter ☒ Existing well

☒ Recorded Deed or Affidavit from land owner ☒ Letter of Auth. from installer ☐ State Road Access

☐ Parent Parcel # _____

☐ STUP-MH _____

☐ F W Comp. letter _____

IMPACT FEES: EMS _____

Fire _____

Corr _____

Road/Code _____

School _____

= TOTAL N/A Suspended

☒ V F ELECTRIC

A/C

Property ID # 07-65-17-0962/209

Subdivision Lot 9. JUSTENUSSEE OAKS (UNREC.)

▪ New Mobile Home X Used Mobile Home _____ MH Size 14X40 Year 2011

▪ Applicant Michael Malone Phone # 386-292-3352 - cell #

▪ Address 6460 SW. 19th ST. Pompano Beach, FL 33068

▪ Name of Property Owner Michael Malone Phone# 954 970-4385 - HWT

911 Address 236 SW HONEYBEE CT, A-White #1, 32038

Circle the correct power company -

FL Power & Light

Clay Electric

(Circle One) -

Suwannee Valley Electric

Progress Energy

▪ Name of Owner of Mobile Home Michael J Malone Phone # 386-292-3352

Address 6460 SW 19th Street Pompano Beach, FL 33068

▪ Relationship to Property Owner Self/Owner

▪ Current Number of Dwellings on Property 0

▪ Lot Size 670 X 670 Total Acreage 10.02

▪ Do you : Have Existing Drive or Private Drive or need Culvert Permit or Culvert Waiver (Circle one)
(Currently using) (Blue Road Sign) (Putting in a Culvert) (Not existing but do not need a Culvert)

▪ Is this Mobile Home Replacing an Existing Mobile Home NO (ONES)

▪ Driving Directions to the Property CR 131 TO SACROS ST TURN Right, then TURN (R) ON Honeybee CT to End on Right.

▪ Name of Licensed Dealer/Installer Jessie L. "Chester" Knowles Phone # 386-755-6441

▪ Installers Address 5801 SW. SR 47 LAKE CITY, FL 32024

▪ License Number IH 1025283/1 Installation Decal # 1337 X

JW called + spoke w Michael on 11.16.10
JW called again: 11.19.10 - to let Michael know.

established
for the
office
MS wants
11.9.10

PERMIT WORKSHEET

page 1 of 2

Installer Jessie L. Chester Knowles License # IH 1025283/1
 Manufacturer Southwest Oaks Length x Width 14 x 40
 Name of Owner of this Mobile Home Michael Malone
 Phone 386-292-3352
 Address 6460 SW 19th St Pompano Beach

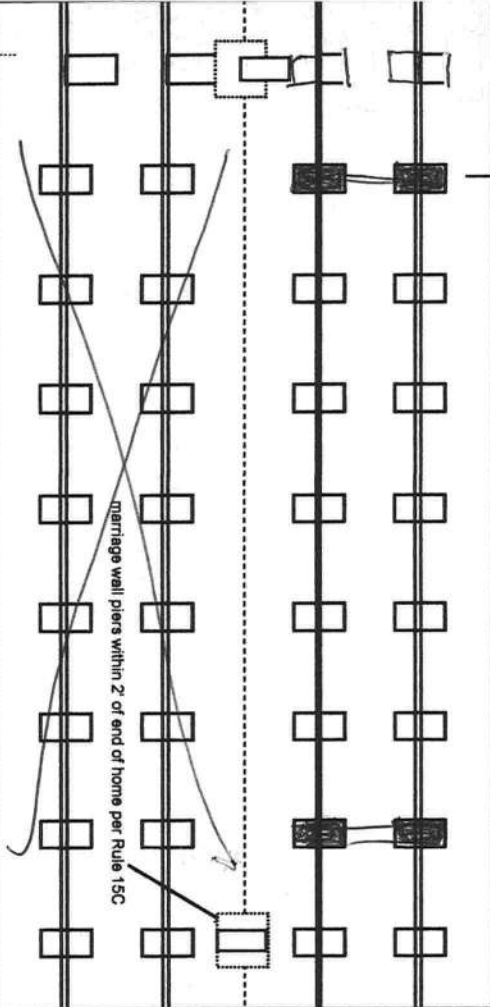
NOTE: If home is a single wide fill out one half of the blocking plan
 If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
 where the sidewall ties exceed 5 ft 4 in.

Installer's Initials

JKK

Typical pier spacing
 2' 5" lateral
 longitudinal
 Show locations of Longitudinal and Lateral Systems
 (use dark lines to show these locations)



New Home ☒ Used Home ☐ Year
 Home installed to the Manufacturer's Installation Manual ☒
 Home is installed in accordance with Rule 15-C ☐
 Single wide ☒ Wind Zone II ☒ Wind Zone III ☐
 Double wide ☐ Installation Decal # 1337
 Triple/Quad ☐ Serial # 12313

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity (sq in)	Footer size (256)	18 1/2" x 18 (342)	20" x 20" (400)	22" x 22" (484)*	24" x 24" (576)*	26" x 26" (676)
1000 dsf	3'	4'	5'	6'	7'	8'
1500 dsf	4' 6"	6'	7'	8'	8'	8'
2000 dsf	6'	8'	8'	8'	8'	8'
2500 dsf	7' 6"	8'	8'	8'	8'	8'
3000 dsf	8'	8'	8'	8'	8'	8'
3500 dsf	8'	8'	8'	8'	8'	8'

* Interpolated from Rule 15-C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size 17 1/2 x 25 1/2
 Perimeter pier pad size N/A

Other pier pad sizes (required by the mfg.) 16 x 16

Draw the approximate locations of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening Single wide Pier pad size

ANCHORS

4 ft ☒ 5 ft ☐

FRAME TIES

within 2' of end of home spaced at 5' 4" oc

OTHER TIES

Number

Longitudinal Stabilizing Device (LSD)
 Manufacturer
 Longitudinal Stabilizing Device w/ Lateral Arms
 Manufacturer Olive Technology

Sidewall 16
 Longitudinal 10/14
 Marriage wall N/A
 Shearwall 2

TIEDOWN COMPONENTS

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf or check here to declare 1000 lb. soil ☒ without testing.

X 1.0 X 1.0 X 1.0

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations.
2. Take the reading at the depth of the footer.
3. Using 500 lb. increments, take the lowest reading and round down to that increment.

X 1.0 X 1.0 X 1.0

TORQUE PROBE TEST

The results of the torque probe test is N/A 11-5-10 inch pounds or check here if you are declaring 5' anchors without testing. A test showing 275 inch pounds or less will require 4 foot anchors.

Note: A state approved lateral arm system is being used and 4 ft. anchors are allowed at the sidewall locations. I understand 5 ft anchors are required at all centerline the points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000 lb holding capacity.

Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name

Jessie LeChavez Knowles

Date Tested

11-5-10

Electrical

Connect electrical conductors between multi-wide units, but not to the main power source. This includes the bonding wire between multi-wide units. Pg. 15c-1

Plumbing

Connect all sewer drains to an existing sewer tap or septic tank. Pg. 15c-1

Connect all potable water supply piping to an existing water meter, water tap, or other independent water supply systems. Pg. 15c-1

Site Preparation

Debris and organic material removed ☒ Swale ☒ Pad ☒ Other ☒

Fastening multi wide units

Floor: Type Fastener: N/A Length: N/A Spacing: N/A
Walls: Type Fastener: N/A Length: N/A Spacing: N/A
Roof: Type Fastener: N/A Length: N/A Spacing: N/A
For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of the centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's initials

N/A

Type gasket

N/A

Installed:

Between Floors Yes ☒
Between Walls Yes ☒
Bottom of ridgebeam Yes ☒

Weatherproofing

The bottomboard will be repaired and/or taped. Yes ☒ Pg. 15c-1
Siding on units is installed to manufacturer's specifications. Yes ☒
Fireplace chimney installed so as not to allow intrusion of rain water. Yes ☒

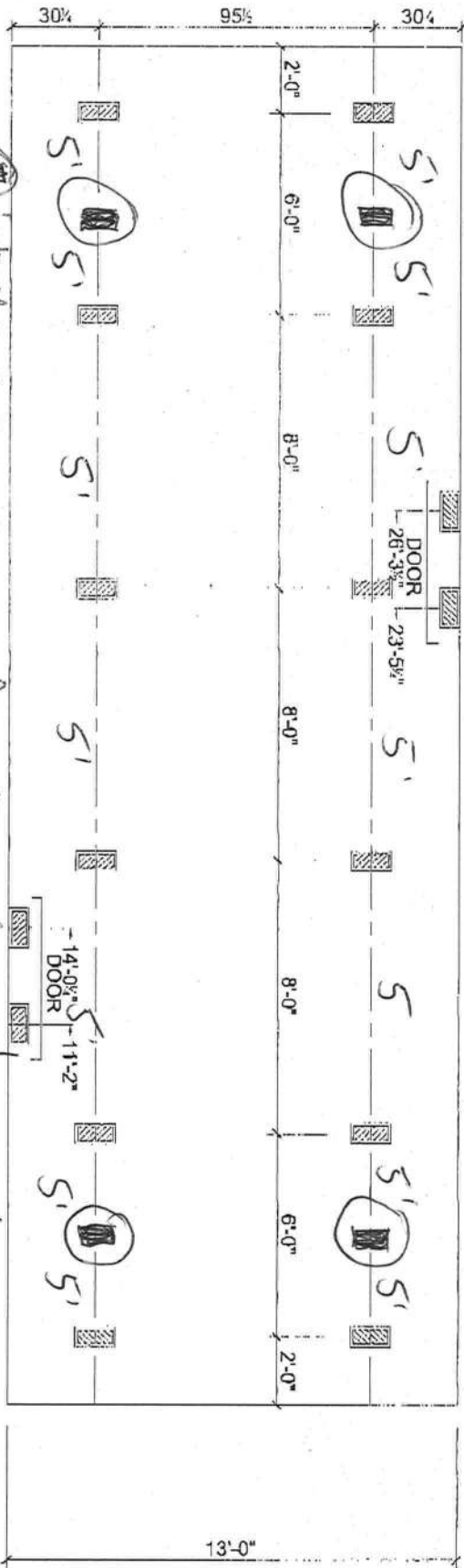
Miscellaneous

Skirting to be installed. Yes ☒ No ☒
Dryer vent installed outside of skirting. Yes ☒ N/A ☒
Range downflow vent installed outside of skirting. Yes ☒ N/A ☒
Drain lines supported at 4 foot intervals. Yes ☒
Electrical crossovers protected. Yes ☒ N/A ☒
Other: ☒

Installer verifies all information given with this permit worksheet is accurate and true based on the

Installer Signature

Jessie LeChavez Knowles Date 11-5-10



■ SUPPORT PIER/TYP

FOUNDATION NOTES:

- THIS DRAWING IS DESIGNED FOR THE STANDARD WIND ZONE AND IS TO BE USED IN CONJUNCTION WITH THE INSTALLATION MANUAL AND ITS SUPPLEMENTS.
- FOOTINGS ARE SHOWN FOR EXAMPLE ONLY QUANTITY AND SPACING MAY VARY BASED ON PAD TYPE, SOIL CONDITION, ETC.

Live Oak Homes
MODEL: S-4401A - 14 X 40
4-BEDROOM / 2-BATH

S-4401A

WARRANTY DEED
FROM CORPORATION

This Warranty Deed Made and executed the 1st day of May, 2000 A.D. by
COLUMBIA PLANTATION COMPANY

a corporation existing under the laws of STATE OF FLORIDA and having its principal place of business at 5345 Ortega Blvd., Ste 7, JACKSONVILLE, FL 32210 hereinafter called the grantor, to

MICHAEL J. MALONE, A SINGLE MAN

whose postoffice address is 6460 S.W. 19th Street, Pompano Beach, Florida hereinafter called the grantees: 33068

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees, all that certain land situate in JACKSONVILLE County, Florida, viz:

SEE ATTACHED EXHIBIT "A" FOR LEGAL DESCRIPTION

COLUMBIA

FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

00-08774

'00 MAY 25 AM 8:17

RECORDED

TRK

Documentary Stamp
Intangible Tax
P. DeWitt Cason
Clerk of Court
By TRK D.C.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantees that it is lawfully seized of said land in fee simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances

(CORPORATE SEAL)

In Witness Whereof the grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed, by its proper officers thereunto duly authorized, the day and year first above written.

ATTEST: Lee D. Wedekind, Jr.
Secretary

COLUMBIA PLANTATION COMPANY

Signed, sealed and delivered in the presence of:

J.T. Lander Michael J. Malone

M. David Smith

By Lee D. Wedekind, Jr.
LEE D. WEDEKIND, JR. President

STATE OF FLORIDA
COUNTY OF DUVAL

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments, personally appeared LEE D. WEDEKIND, JR.

well known to me to be the President and respectively of the corporation named as grantor in the foregoing deed, and that they severally acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily under authority duly vested in them by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid this 1st day of MAY, 2000 A.D.

Michael H. Harrell
Abstract & Title Services, Inc.
3801 40th Terrace, Suite B
Gainesville, FL 32606

Pursuant to issuance of Title Insurance
Prepared By & Return to Above

Personally Known to me
Produced Identification
FLORIDA DRIVER'S LICENSE

JULIE L. JOHNES
NOTARY PUBLIC, STATE OF FLORIDA
My Commission Expires May 14, 2002
Comm. No. CC 742818

PARCEL NO. 2

Commence at the Northeast corner of Section 7, Township 6 South, Range 17 East, Columbia County, Florida and run thence S 89°54'54" W along the North line of said Section 7, 40.00 feet to the West right-of-way line of County Road No. C-131; thence S 00°20'48" W along said West right-of-way line of County Road No. C-131, 638.44 to the Northeast corner of Lot 1 of Tustenuggee Ridge, a subdivision according to plat thereof recorded in Plat Book 6, Page 212 of the Public Records of Columbia County, Florida; thence N 89°38'15" W along the North line of said Lot 1 and continuing, 683.44 feet to the POINT OF BEGINNING; thence continue N 89°38'15" W, 650.04 feet; thence S 00°20'48" W, 671.46 feet; thence S 89°38'15" E, 650.04 feet; thence N 00°20'48" E, 671.46 feet to the POINT OF BEGINNING. Said lands being subject to an easement for ingress and egress as follows: that portion of a 50-foot radius cul-de-sac in the Southwest corner thereof. Containing 10.02 acres, more or less.

TOGETHER WITH

60-FT. ROAD EASEMENT FOR TUSTENUGGEE OAKS

A strip of land 60 feet in width being 30 feet each side of a centerline described as follows: Commence at the Northwest corner of the NE 1/4 of Section 12, Township 6 South, Range 16 East, Columbia County, Florida and run thence S 00°03'14" E along the West line of the East 1/2 of said Section 12, 22.91 feet to the South line of Ichetucknee Road (a county maintained graded road); thence N 89°26'50" E along said South line of Ichetucknee Road, 561.07 feet, thence N 89°05'20" E still along said South line of Ichetucknee Road, 785.95 feet to the POINT OF BEGINNING; thence S 00°20'48" W, 1892.66 feet; thence S 89°38'15" E, 2600.59 feet to Reference Point "E"; thence continue S 89°38'15" E, 1300.06 feet to Reference Point "F"; thence continue S 89°38'15" E, 1300.07 feet to Reference Point "G"; thence continue S 89°38'15" E, 1333.48 feet to the West right-of-way line of County Road No. C-131 and the POINT OF TERMINATION. Also BEGIN at Reference Point "E" and run thence N 00°20'48" E, 671.46 feet to the centerpoint of a cul-de-sac having a radius of 50 feet and to the POINT OF TERMINATION. Also begin at Reference Point "E" and run thence S 00°20'48" W, 671.46 feet to the centerpoint of a cul-de-sac having a radius of 50 feet and to the POINT OF TERMINATION. Also begin at Reference Point "F", and run thence N 00°20'48" E, 671.46 feet to the centerpoint of a cul-de-sac having a radius of 50 feet and to the POINT OF TERMINATION. Also begin at Reference Point "F" and run thence S 00°20'48" W, 671.46 feet to the POINT OF TERMINATION. Also begin at Reference Point "G" and run thence N 00°20'48" E, 671.46 feet to the centerpoint of a cul-de-sac having a radius of 50 feet and to the POINT OF TERMINATION. Also begin at Reference Point "G" and run thence S 00°20'48" W, 671.46 feet to the centerpoint of a cul-de-sac having a radius of 50 feet and to the POINT OF TERMINATION. Said easement being a part of the NE 1/4 of Section 12 and the NW 1/4 and the NE 1/4 of Section 7, Township 6 South, Range 17 East.

Columbia County Property Appraiser

DB Last Updated: 8/5/2010

2009 Tax Roll Year

Parcel: 07-6S-17-09621-209

<< Next Lower Parcel Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

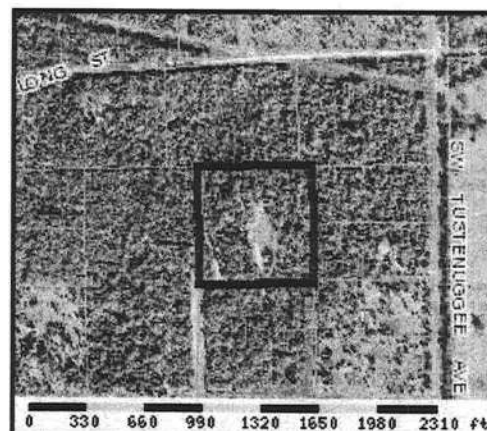
Print

Owner & Property Info

Search Result: 1 of 5

Next >>

Owner's Name	MALONE MICHAEL J		
Mailing Address	6460 SW 19TH ST POMPAÑO BEACH, FL 33068		
Site Address	236 SW HONEYBEE CT		
Use Desc. (code)	VACANT (000000)		
Tax District	3 (County)	Neighborhood	7617
Land Area	10.020 ACRES	Market Area	02
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. COMM NE COR OF SEC, RUN W 40 FT TO W R/W CR-131, RUN S ALONG R/W 638.44 FT, W 683.44 FT FOR POB, CONT W 650.04 FT, S 671.46 FT, E 650.04 FT, N 671.46 FT TO POB. (AKA LOT 9 TUSTENUGEE OAKS S/D UNREC) ORB 902-2467.		



Property & Assessment Values

2009 Certified Values		
Mkt Land Value	cnt: (0)	\$57,827.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (0)	\$0.00
XFOB Value	cnt: (0)	\$0.00
Total Appraised Value		\$57,827.00
Just Value		\$57,827.00
Class Value		\$0.00
Assessed Value		\$57,827.00
Exempt Value		\$0.00
Total Taxable Value	Cnty: \$57,827 Other: \$57,827 Schl: \$57,827	

2010 Working Values

NOTE:

2010 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

[Show Working Values](#)

Sales History

[Show Similar Sales within 1/2 mile](#)

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
5/1/2000	902/2467	WD	V	Q		\$28,000.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
			NONE			

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
						NONE

Land Breakdown

Lnd Code	Desc	Units	Adjustments	Eff Rate	Lnd Value
000000	VAC RES (MKT)	10.02 AC	1.00/1.00/1.00/1.00	\$5,194.13	\$52,045.00



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

APPLICATION FOR CONSTRUCTION PERMIT

10-0477
CR # 10-5059

PERMIT NO. 782231
DATE PAID: 10/15/10
FEE PAID: 310.00
RECEIPT #: 1527165

APPLICATION FOR:

[X] New System [] Existing System [] Holding Tank [] Innovative
[] Repair [] Abandonment [] Temporary []

APPLICANT: MIKE MALONE

AGENT: PAUL LLOYD

TELEPHONE: (386) 292-3352

MAILING ADDRESS: 6460 SW 19TH ST.

NORTH LAUDERDALE FL 33068

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: N/A BLOCK: N/A SUBDIVISION: METES AND BOUNDS PLATTED:

PROPERTY ID #: 07-6S-17-09621-209 ZONING: A9 I/M OR EQUIVALENT: [NO]

PROPERTY SIZE: 10.020 ACRES WATER SUPPLY: [X] PRIVATE PUBLIC [] <=2000GPD [] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [NO] DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 236 SW HONEY BEECT

DIRECTIONS TO PROPERTY: 41 SOUTH TURN RIGHT ON TUSTANUGGEE RD PAST CR 240 TURN RIGHT ON SASAFRAS TURN RIGHT ON HONEY BEE CT. TO END ON RIGHT.

BUILDING INFORMATION [X] RESIDENTIAL [] COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	MOBILE HOME	1	520	
2				
3				
4				

[] Floor/Equipment Drains [] Other (Specify)

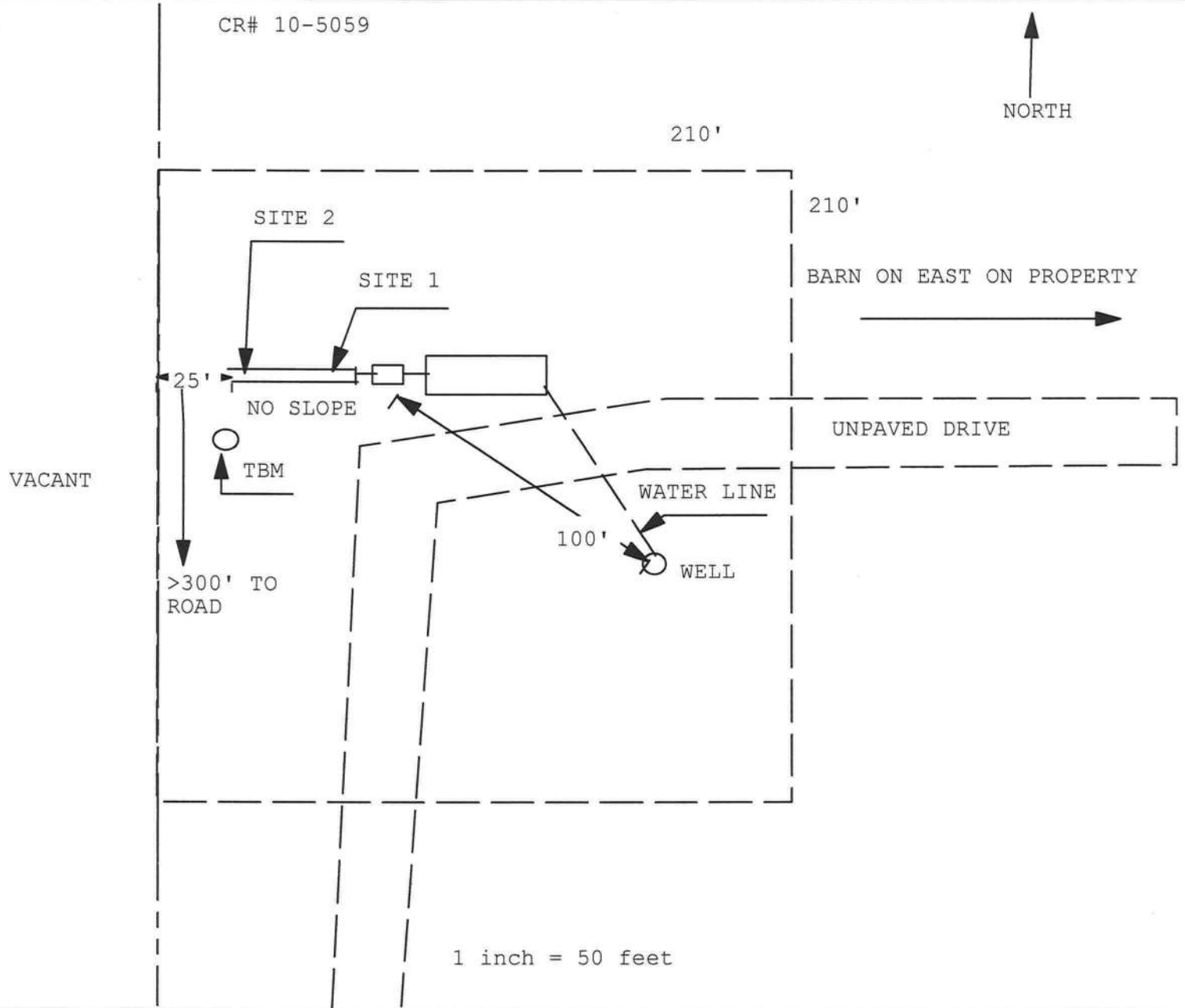
SIGNATURE: Paul Lloyd

DATE: 10/15/10

Application for Onsite Sewage Disposal System
Construction Permit. Part II Site Plan

Permit Application Number: 10-0477

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By Paul R. Boyd Date 10/15/10
Plan Approved ☒ Not Approved ☐ Date _____

By Salbi Ford, EH Director CPHU

Notes: _____

Columbia CHD

See attached for full
property dimensions.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1011-14

CONTRACTOR

JESSIE L. Chester Krawles

PHONE

386-755-6441

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

ELECTRICAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C	Print Name <u>Robert Grant</u> License #: <u>CAC1814931</u>	Signature <u>[Signature]</u> Phone #: <u>800 859 3708</u>
PLUMBING/ GAS	Print Name <u>Jessie L. Chester Krawles</u> License #: <u>IH 10252831</u>	Signature <u>Jessie L. Chester Krawles</u> Phone #: <u>386-755-6441</u>
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER

1011-1A

CONTRACTOR

JESSIE L. "CHUCK" KNOWLES

PHONE

386-755-6441

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

* ELECTRICAL *	Print Name _____ License #: _____	Signature _____ Phone #: _____
MECHANICAL/ A/C _____	Print Name _____ License #: _____	Signature _____ Phone #: _____
PLUMBING/ GAS ✓	Print Name <u>Jessie L. "Chuck" Knowles</u> License #: <u>IH 1025283/1</u>	Signature <u>Jessie L. "Chuck" Knowles</u> Phone #: <u>386-755-6441</u>
ROOFING	Print Name _____ License #: _____	Signature _____ Phone #: _____
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name _____ License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit. 752 - 1371

APPLICATION NUMBER 1011-19 CONTRACTOR Jessie L. Chetta Inc PHONE 86-755(644)

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

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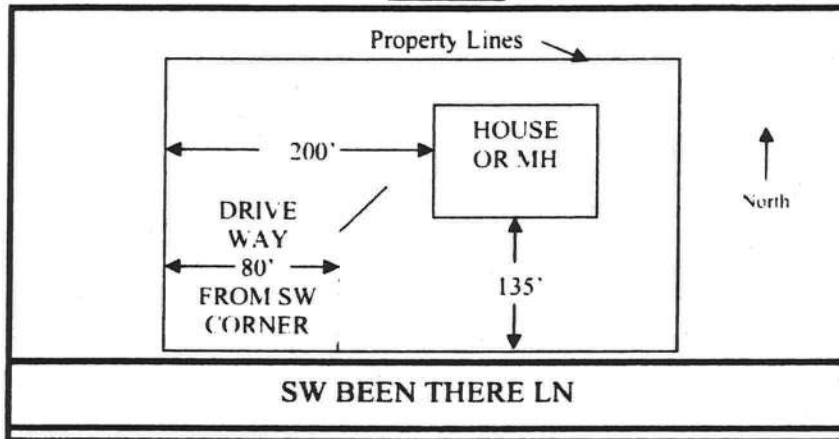
<input checked="" type="checkbox"/> ELECTRICAL	Print Name <u>Michael S Conner</u>	Signature <u>Michael S Conner</u>
	License #: <u>ER 13013192</u>	Phone #: <u>86-397-0909</u>
<input type="checkbox"/> MECHANICAL/A/C	Print Name _____	Signature _____
	License #: _____	Phone #: _____
<input type="checkbox"/> PLUMBING/GAS	Print Name _____	Signature _____
	License #: _____	Phone #: _____
<input type="checkbox"/> ROOFING	Print Name _____	Signature _____
	License #: _____	Phone #: _____
<input type="checkbox"/> SHEET METAL	Print Name _____	Signature _____
	License #: _____	Phone #: _____
<input type="checkbox"/> FIRE SYSTEM/SPRINKLER	Print Name _____	Signature _____
	License #: _____	Phone #: _____
<input type="checkbox"/> SOLAR	Print Name _____	Signature _____
	License #: _____	Phone #: _____

Specialty License	License Number	Sub-Contractor's Printed Name	Sub-Contractor's Signature
MASON			
CONCRETE FINISHER			
FRAMING			
INSULATION			
STUCCO			
DRYWALL			
PLASTER			
CABINET INSTALLER			
PAINTING			
ACOUSTICAL CEILING			
GLASS			
CERAMIC TILE			
FLOOR COVERING			
ALUM/VINYL SIDING			
GARAGE DOOR			
METAL BLDG ERECTOR			

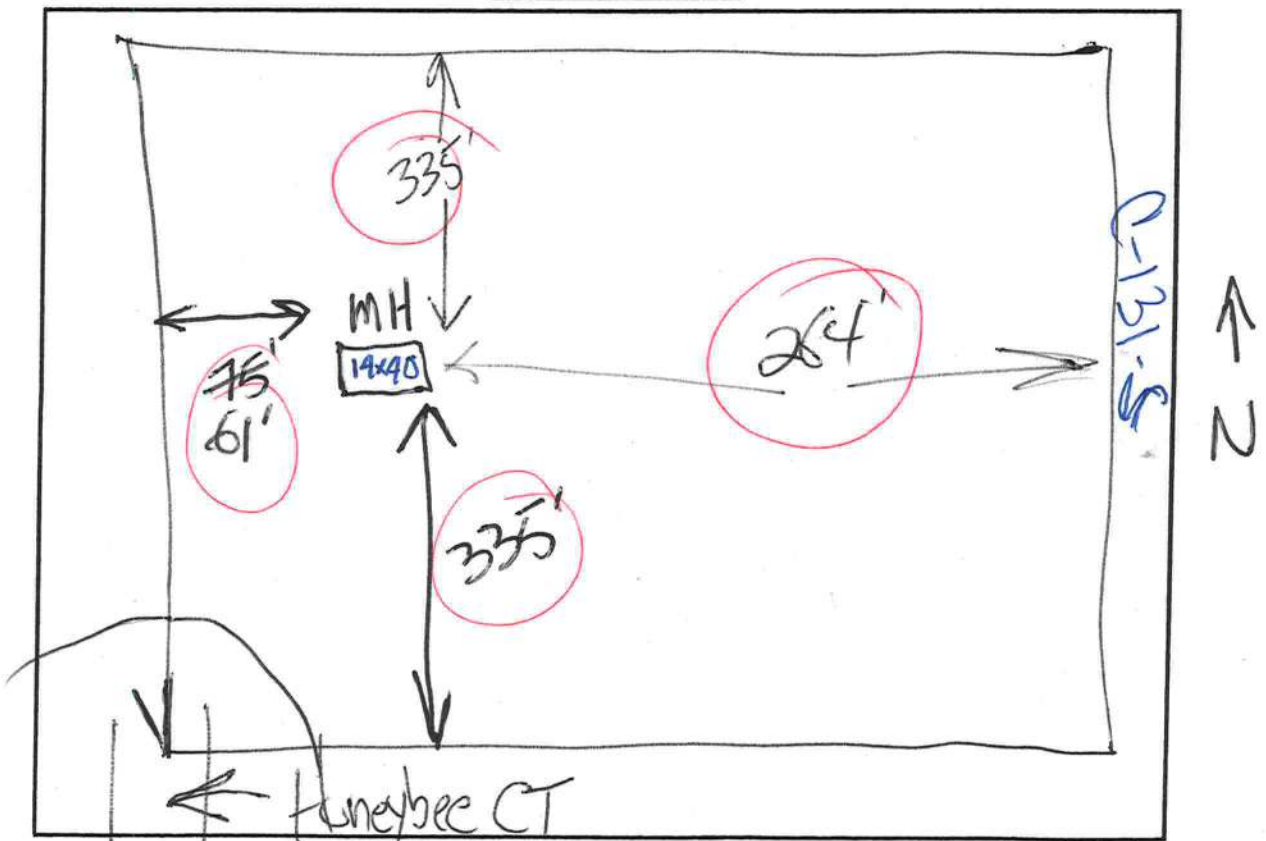
F. S. 440.103 Building permits; Identification of minimum premium policy.—Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

1. A PLAT, PLAN, OR DRAWING SHOWING THE PROPERTY LINES OF THE PARCEL.
2. LOCATION OF PLANNED RESIDENT OR BUSINESS STRUCTURE ON THE PROPERTY WITH DISTANCES FROM AT LEAST TWO OF THE PROPERTY LINES TO THE STRUCTURE (SEE SAMPLE BELOW).
3. LOCATION OF THE ACCESS POINT (DRIVEWAY, ETC.) ON THE ROADWAY FROM WHICH LOCATION IS TO BE ADDRESSED WITH A DISTANCE FROM A PARALLEL PROPERTY LINE AND/OR PROPERTY CORNER (SEE SAMPLE BELOW).
4. TRAVEL OF THE DRIVEWAY FROM THE ACCESS POINT TO THE STRUCTURE (SEE SAMPLE BELOW).

SAMPLE:



SITE PLAN BOX:



**Water Wells
Pumps & Service**

**Phone: (386) 752-6677
Fax: (386) 752-1477**

Lynch Well Drilling, Inc.

**173 SW Young Place
Lake City, FL 32025**

www.lynchwelldrilling.com

November 9, 2010

To Whom It May Concern:

As required by building code regulations for Columbia County in order that a building permit can be issued, the following well information is provided with regard to the well for Michael Malone in Tustenuggee Oaks Lot #9.

Size of Pump Motor:	1.5 HP 20 gallons per min.
Size of Pressure Tank:	81 -Gallon Bladder Tank - 25.1 Draw down
Cycle Stop Valve Used:	No
Constant Pressure System:	No

Should you require any additional information, please contact us.

Sincerely,



Linda Newcomb
Lynch Well Drilling, Inc.



COLUMBIA COUNTY BUILDING DEPARTMENT
135 NE Hernando Ave, Suite B-21, Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

MOBILE HOME INSTALLERS LETTER OF AUTHORIZATION

I, Jessie L. "Chester" Knowles, give this authority for the job address show below
Installer License Holder Name

only, 236 SW HONEYBEE CT Ft. White FL 32038 and I do certify that
Job Address

the below referenced person(s) listed on this form is/are under my direct supervision and control
and is/are authorized to purchase permits, call for inspections and sign on my behalf.

Printed Name of Authorized Person	Signature of Authorized Person	Authorized Person is... (Check one)
Michael Malone		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input checked="" type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner
		<input type="checkbox"/> Agent <input type="checkbox"/> Officer <input type="checkbox"/> Property Owner

I, the license holder, realize that I am responsible for all permits purchased, and all work done
under my license and I am fully responsible for compliance with all Florida Statutes, Codes, and
Local Ordinances.

I understand that the State Licensing Board has the power and authority to discipline a license
holder for violations committed by him/her or by his/her authorized person(s) through this
document and that I have full responsibility for compliance granted by issuance of such permits.

Jessie L. "Chester" Knowles
License Holders Signature (Notarized)

I H1025283/1
License Number

11-10-10
Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above license holder, whose name is Jessie Chester Knowles
personally appeared before me and is known by me or has produced identification
(type of I.D.) _____ on this 10 day of November, 2010.

Laurie Hodson
NOTARY'S SIGNATURE

(Seal/Stamp)



1011-14

**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000001862**

DATE: 11/24/2010

BUILDING PERMIT NO. 29020

APPLICANT ***VOID***PRIVATE ROAD*** PHONE _____

ADDRESS _____ FL _____

OWNER MICHAEL L. MALONE PHONE 954.870.4385

ADDRESS 236 SW HONEYBEE CRT FT. WHITE _____ FL 32038

CONTRACTOR _____ PHONE _____

LOCATION OF PROPERTY C-131-S TO SASSAFRAS STREET, TR TO HONEYBEE CRT, TR TO END ON R.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT TUSTENUGGEE OAKS 9

PARCEL ID # 07-6S-17-09621-209

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: _____

A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC

Amount Paid _____

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE
CULVERT WAIVER IS:

_____ APPROVED _____ NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: _____

SIGNED: _____ DATE: _____

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160



**Columbia County Building Department
Culvert Waiver**

**Culvert Waiver No.
000001862**

DATE: 11/22/2010

BUILDING PERMIT NO. 29020

APPLICANT MICHAEL L. MALONE

PHONE 386.292.3352

ADDRESS 6460 SW 19TH STREET

POMPAÑO BEACH

FL 33068

OWNER MICHAEL L. MALONE

PHONE 954.870.4385

ADDRESS 236 SW HONEYBEE CRT

FT. WHITE

FL 32038

CONTRACTOR JESSIE L. "CHESTER" KNOWLES

PHONE 386.755.6441

LOCATION OF PROPERTY C-131-S TO SASSAFRAS STREET, TR TO HONEYBEE CRT, TR TO END ON R.

SUBDIVISION/LOT/BLOCK/PHASE/UNIT TUSTENUGGEE OAKS

9

PARCEL ID # 07-6S-17-09621-209

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: [Signature]

A SEPARATE CHECK IS REQUIRED
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

PUBLIC WORKS DEPARTMENT USE ONLY

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE
CULVERT WAIVER IS:

 APPROVED

NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: private Rd not county's

SIGNED: [Signature]

DATE: 24 NOV 10

NOV 23 2010

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160



COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 1/24/2011 DATE ISSUED: 1/25/2011

ENHANCED 9-1-1 ADDRESS:

235 SW HONEYBEE CT

FORT WHITE FL 32038

PROPERTY APPRAISER PARCEL NUMBER:

07-6S-17-09621-209

Remarks:

STRUCTURE ON PARCEL LOT 9 TUSTENUGGEE OAKS S/D UNREC.

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.